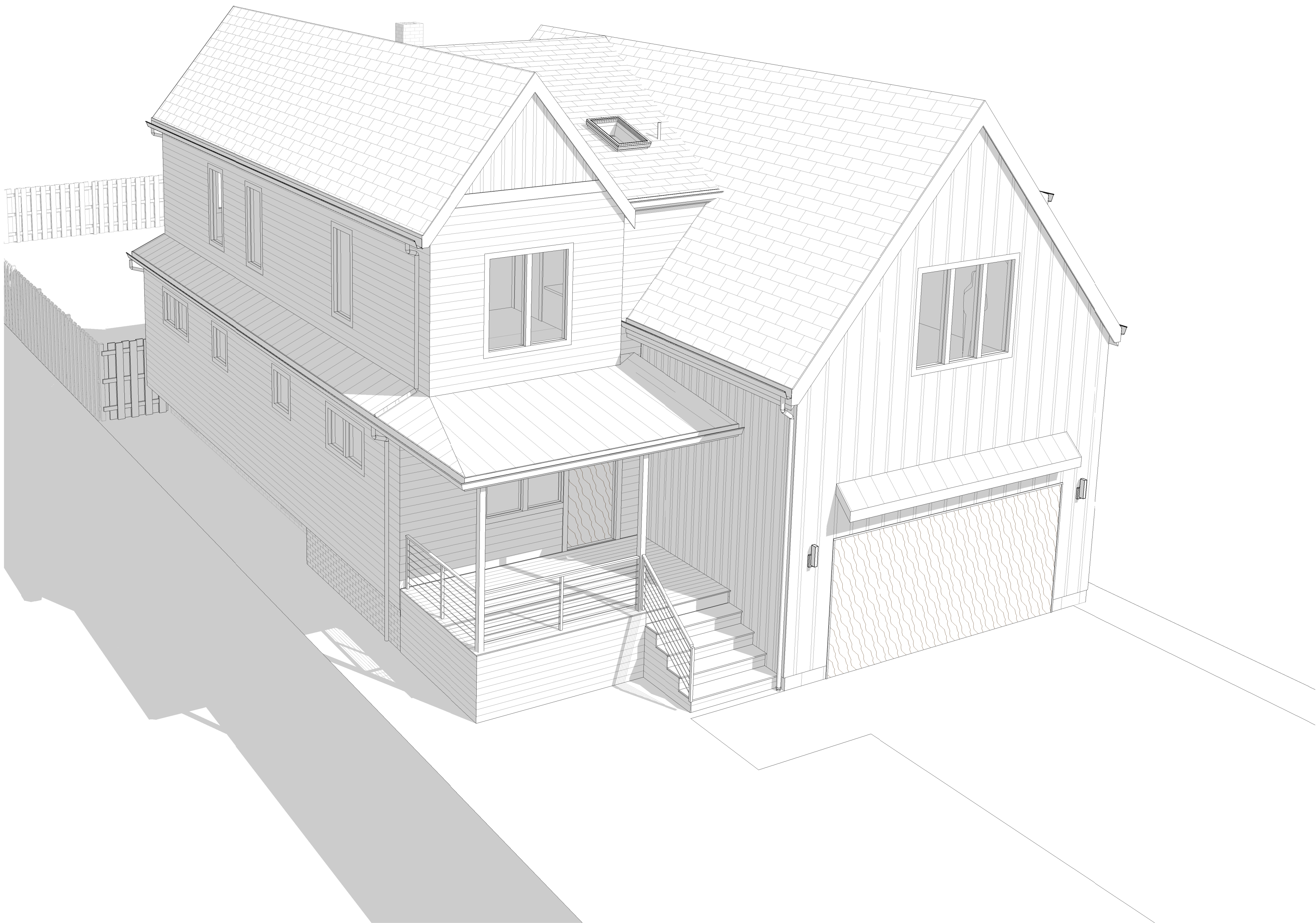


Burg Residence Addition and Renovation

19670 Telbir Ave.
Rocky River, OH 44116

ISSUANCE NAME: ZONING & PERMIT
ISSUANCE DATE: 06/28/2023
PROJECT NUMBER: 190301



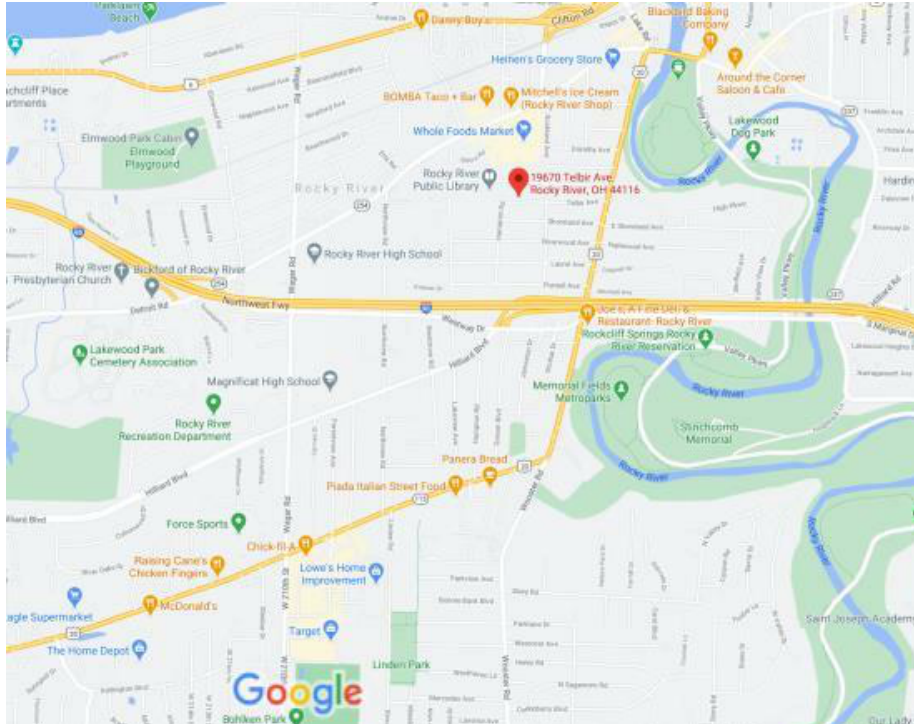
LEGEND - MATERIALS

	UNDISTURBED OR COMPACTED SOIL		CONTINUOUS WOOD FRAMING
	POROUS FILL OR SUBBASE		WOOD BLOCKING
	DRAINAGE FILL		PLYWOOD
	CAST-IN-PLACE CONCRETE		PARTICLE BOARD
	TOPSOIL		FINISHED LUMBER FOR ARCHITECTURAL WORK
	GROUT		BATT INSULATION
	BRICK		RIGID INSULATION
	CONCRETE UNIT MASONRY		FIBROUS FIRE SIDING
	STEEL		GLASS
	ALUMINUM		TERRAZZO
	GYPSUM BOARD		CERAMIC TILE

LEGEND - STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.C.	AIR CONDITIONING
ALT.	ALTERNATE
C.B.B.	CEMENTITIOUS BACKER BOARD
C.H.	CEILING HEIGHT
C.T.	CERAMIC TILE
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.W.	COLD WATER
COORD.	COORDINATE
DEMO	DEMOLITION
DIAM.	DIAMETER
DWG.	DRAWING
EXIST.	EXISTING
E.T.R.	EXISTING TO REMAIN
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
EQ.	EQUAL
FG.	FIBERGLASS
F.D.	FLOOR DRAIN
FURN.	FURNITURE
GALV.	GALVANIZED
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GYP. BD.	GYPSUM BOARD
H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING
H.W.	HOT WATER
MANF.	MANUFACTURER
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MIR.	MIRRORED
MISC.	MISCELLANEOUS
M.T.	MOSAIC TILE
M.R.G.B.	MOISTURE RESISTANT GYPSUM BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPP.	OPPOSITE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
RAD.	RADIUS
R.O.	ROUGH OPENING
SAN.	SANITARY
SIM.	SIMILAR
S.O.G.	SLAB ON GRADE
S.S.M.	SOLID SURFACE MATERIAL
S.S.	STAINLESS STEEL
ST.	STORM
STRUCT.	STRUCTURAL
S.A.	SUPPLY AIR
TEMP.	TEMPORARY
T.	THERMOSTAT
TLT.	TOILET
TYP.	TYPICAL
U.C.	UNDER COUNTER
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VIN.	VINYL
W/	WITH
W/O	WITHOUT

LOCATION / MAP



SHEET LIST	
SHEET NUMBER	SHEET NAME
C0	COVER SHEET
A0.1	SITE PLAN - EXISTING
A0.2	SITE PLAN - NEW
A1	FLOOR PLANS
A2	FLOOR PLANS
A3	REFLECTED CEILING PLANS
A4	FINISH PLANS AND DETAILS
A5	EXTERIOR ELEVATIONS AND WALL SECTIONS
A6	EXTERIOR ELEVATIONS AND WALL SECTIONS
A7	(ENLARGED SECTIONS DETAILS (NOT INCLUDED))
A8	(ENLARGED SECTIONS DETAILS (NOT INCLUDED))
A9	FRAMING AND SYSTEMS PLANS
A10	FRAMING AND SYSTEMS PLANS
A11	DEMOLITION PLANS
A12	DEMOLITION PLANS AND SECTIONS
A13	DEMOLITION ELEVATIONS AND SECTIONS
A14	EXISTING CONDITIONS

LEGEND - GRAPHICS SYMBOLS

NORTH ARROW 	GENERAL ANNOTATION DIMENSIONS CENTERLINE CONTROL JOINT
GRAPHIC SCALE SCALE: 1/8" = 1'-0"	LINETYPE LEGEND PROPERTY LINE RIGHT OF WAY SANITARY LINE STORM LINE FENCE WATER LINE GAS LINE
VIEW TITLE 1 View Name SCALE: 1/8" = 1'-0"	PLUMBING LEGEND FIXTURE TYPE FIXTURE NUMBER
ROOM TAG Room Name Room # Room Area	MECHANICAL LEGEND LINEAR DIFFUSER EXHAUST FAN RETURN AIR DUCT / GRILLE SUPPLY AIR DUCT / DIFFUSER THERMOSTAT
COLUMN GRID 	ELECTRICAL LEGEND DOWNLIGHTS - LED PENDANT LIGHTS - LED UNDER CABINET LIGHTING - LED PANELBOARD (CLEAR FLOOR SPACE) LIGHT SWITCH (+48" A.F.F. - U.O.N.) LIGHT SWITCH - DIMMABLE (+48" A.F.F. - U.O.N.) LIGHT SWITCH - 3 WAY (+48" A.F.F. - U.O.N.) DOOR BELL (+48" A.F.F. - U.O.N.) DUPLEX RECEPTABLE (+12" A.F.F. - U.O.N.) GROUND FAULT CIRCUIT INTERRUPTER (G.F.C.I.) USB DUPLEX RECEPTABLE (+12" A.F.F. - U.O.N.)
SPOT ELEVATIONS EXISTING ELEVATION NEW ELEVATION	FRAMING DIRECTION SYMBOL
VERTICAL ELEVATIONS Name Elevation Name Elevation	PARTITION TAG PARTITION #
DRAWING REVISION 	
SECTION / DETAIL TAG DETAIL # SHEET #	
CALLOUT / ENLARGED DETAIL TAG DETAIL # SHEET #	
INTERIOR / EXTERIOR ELEVATION TAG ELEVATION # SHEET #	
DOOR TAG SYMBOL DOOR SIZE CEILING HEIGHT	
CEILING TAG 1'-0" A.F.F.	
WINDOW TYPE SYMBOL 	

Brian T. Hennies
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Expiration Date: 12/31/2023
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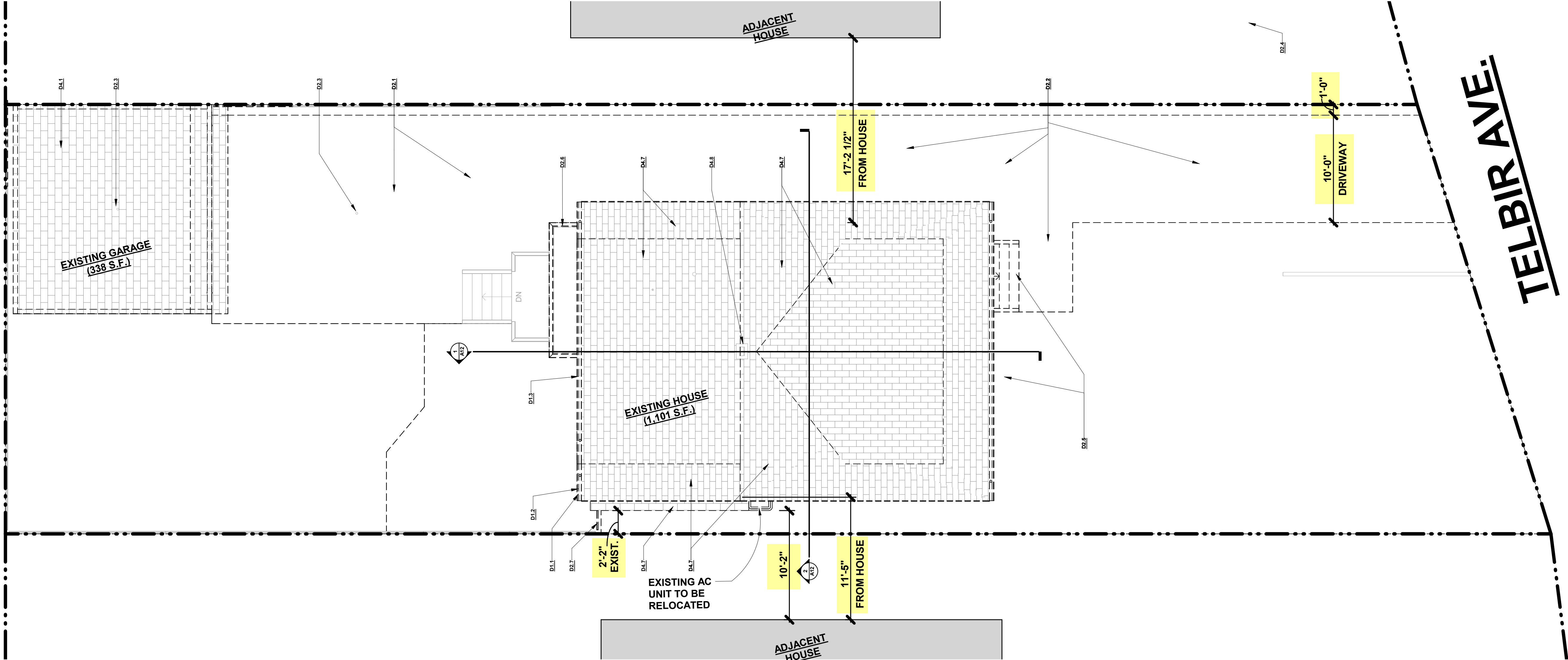
Zoning & Permit
Pricing
Reviews:

ZONING & PERMIT
Issuance Name:
06/28/2023
Issuance Date:
190301
Project Number:

COVER SHEET

C0

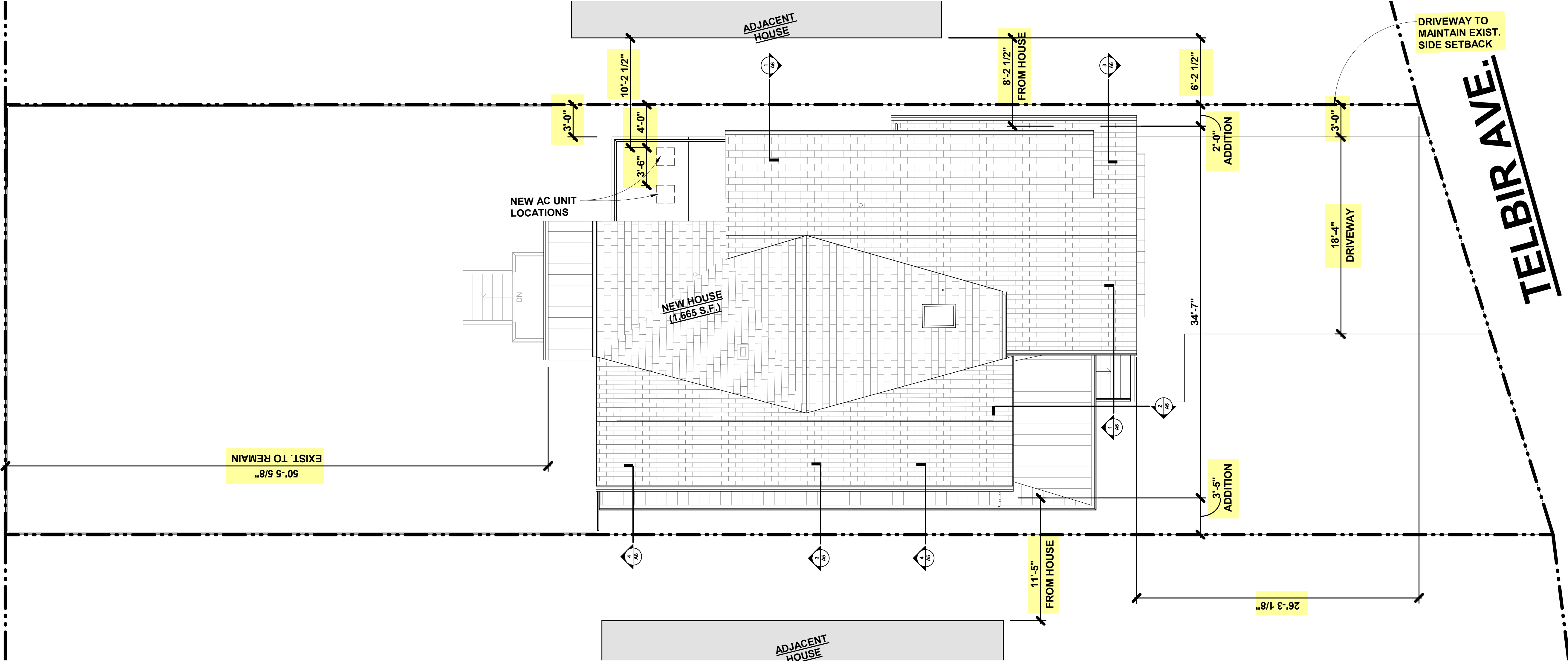
Sheet #:



SITE PLAN - DEMOLITION
SCALE: 3/16" = 1'-0"

LOT COVERAGE - EXISTING	
LOT SQ. FT.	5,440 (PER GIS)
EXISTING HOUSE:	1,101 S.F.
EXISTING GARAGE:	338 S.F.
TOTAL:	1,439 S.F. (26.5%)

NOTE:
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.



SITE PLAN - NEW
SCALE: 3/16" = 1'-0"

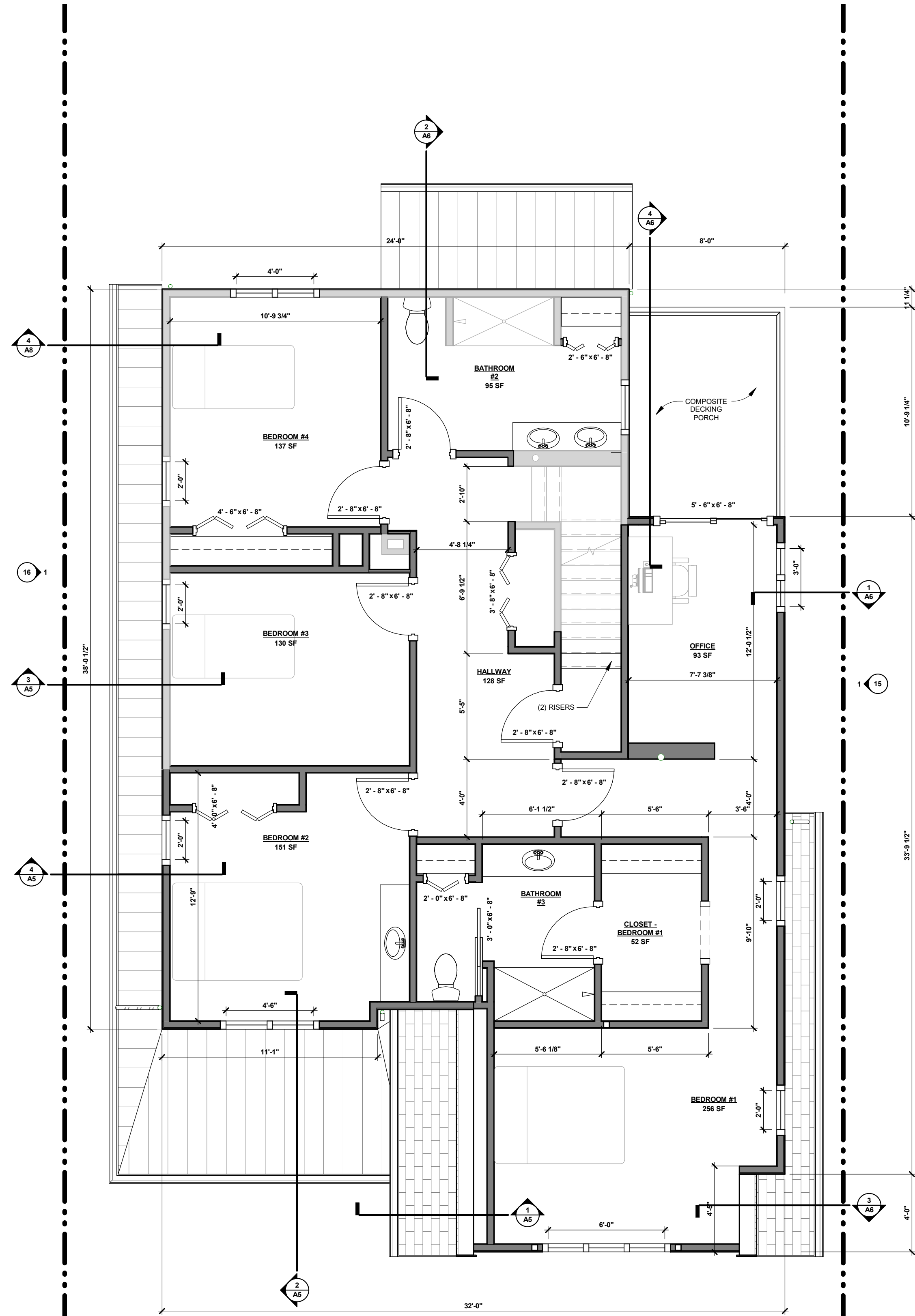
LOT COVERAGE - NEW	
LOT SQ. FT.	5,440 (PER GIS)
NEW HOUSE:	1,665 S.F.
GARAGE (ATTACHED):	0 S.F.
TOTAL:	1,665 S.F. (30.6%)

NOTE:
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.

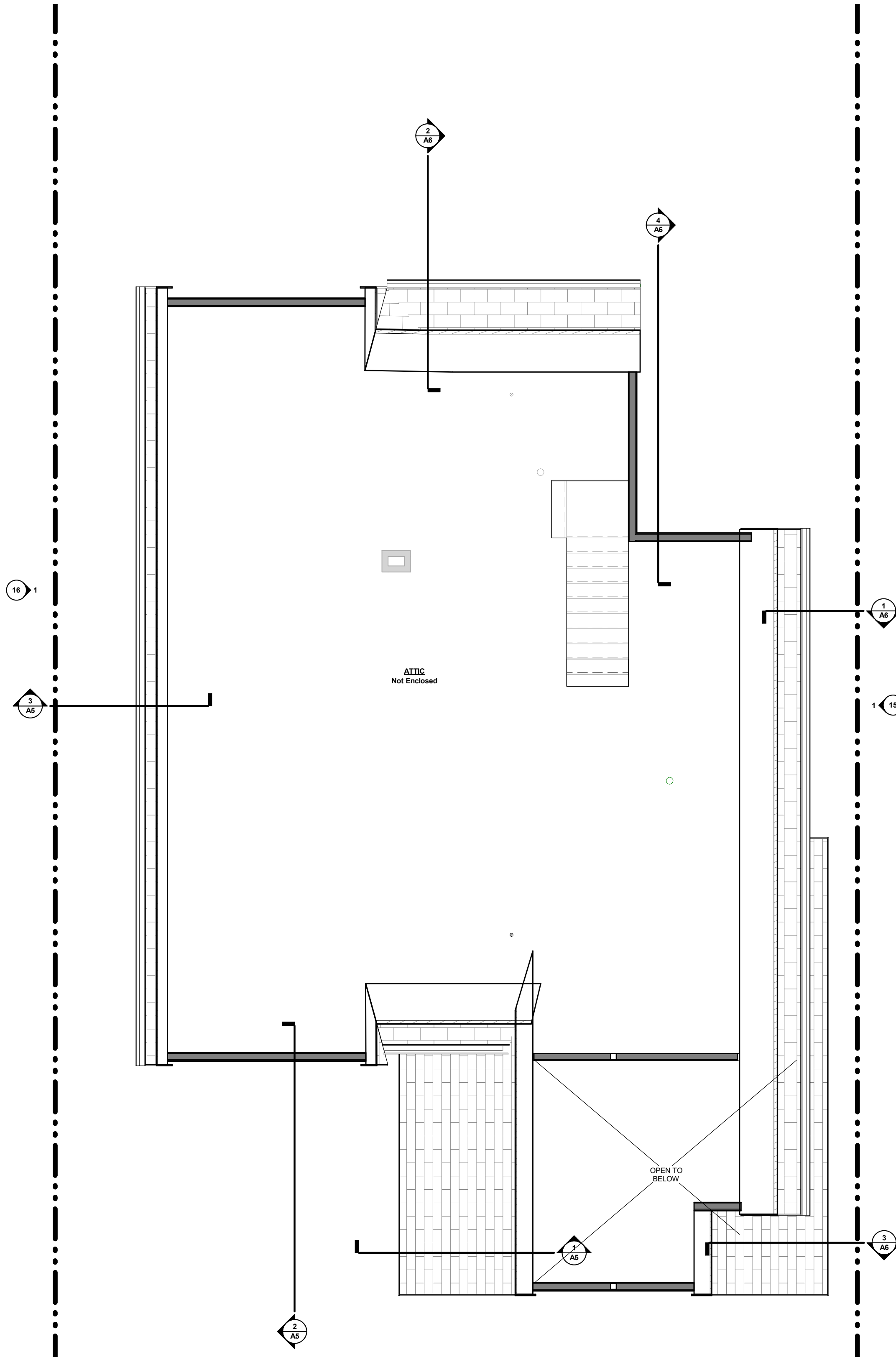
1. ELEMENTS LOCATED BY DIMENSION STRIPS ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL.
2. DIMENSION STRIPS SHALL BE INSTALLED TO THE FINISHED FACE OF THE WALL.
3. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
4. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR. UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY, NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
5. TYPICAL INTERIOR PARTITION CONSISTS OF 1/2" THICK LAYERS OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO DIMENSIONS FOR EXACT ASSEMBLIES. IN NEW WORK, GYPSUM BOARD SHALL BE INSTALLED TO THE INSIDE OF GYPSUM BOARD.
6. WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
7. PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS PLAT CEILING UNLESS OTHERWISE NOTED ON ALL LOCATIONS.
8. DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
9. EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK, ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
10. PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL, AND AT MATERIALS WITH DIFFERENT HEIGHTS. PROVIDE TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALONG WITH WALL PARTITION. TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN THE DOOR OR CASE.
11. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
12. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE, IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED FROM ADJACENT WALL.
13. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED CLOSET, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

1. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND CONDITIONS AS INDICATED ON THE DRAWINGS CONTRAST WITH ACTUAL CONDITIONS CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
2. UTILITY LINE LOCATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. EACH CONTRACTOR WORKING NEAR ANY UTILITY LINE, WHICH MAY OR MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROTECTING UTILITIES WHICH ARE IN THE AREA OF WORK.
3. LOCATIONS, SIZES AND DEPTHS OF SEWERS TO BE TIED SHOULD BE CONFIRMED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY USING DUE DILIGENCE TO PROTECT SEWER AND UTILITY LINES FROM DAMAGE.
4. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES. BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING OF WATER ON THE SITE. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO MEET CITY REQUIREMENTS AND OHIO DEQ REGULATIONS TO PREVENT POLLUTION PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, AND REMOVE SAME IMMEDIATELY UPON COMPLETION OF THE WORK.
5. BACKFILL MATERIAL SHALL HAVE ONE OF THE FOLLOWING UNIFIED SOIL CLASSIFICATION SYSTEM (USCS):
 - GC - CLAYEY GRAVELS
 - SC - CLAYEY SANDS
 - CL - INORGANIC CLAY OF LOW TO MEDIUM PLASTICITY
 - CL-M - SILTY CLAY OF LOW TO MEDIUM PLASTICITY
6. EXISTING TREES AND SHRUBS INDICATED TO REMAIN SHALL BE PROTECTED.
7. NEW FINISHED GRADES SHALL MEET AND MATCH EXISTING SITE GRADES AT EXISTING ROADS. PAVEMENT, BUILDING FOOTINGS AND CURBS SHALL BE CONSTRUCTED TO MEET EXISTING GRADES.
8. EXISTING MANHOLES, GAS VALVES, WATER VALVES OR OTHER UTILITY BOXES WITHIN LIMITS OF NEW WORK SHALL BE ADJUSTED TO MEET FINAL ELEVATION.
9. ANY STAGING AREA FOR CONSTRUCTION VEHICLES, EQUIPMENT AND MATERIALS SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR AS DESIGNATED AS A PART OF THE COMPLETION OF THE WORK.
10. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE MADE OF PVC/VINYL CHLORIDE (PVC) SDR-35. CONNECTIONS SHALL HAVE PREMIUM GASKETED Joints.
11. ALL NEW STORM SEWERS SHALL BE CONSTRUCTED OF SMOOTH LINE CORRUGATED POLYETHYLENE (HDPE) PIPE. EXISTING STORM PIPE SHALL BE INSPECTED, AND ANY PORTIONS OBSERVED TO BE DAMAGED SHOULD BE REPLACED AS A PART OF THIS WORK.
12. CLEAN-OUTS IN PAVEMENT SHOULD HAVE METAL FRAMES AND CONCRETE COLLARS.
13. CONCRETE PAVEMENT, WALKS AND CURBS SHALL BE STAKED AND APPROVED BY CLIENT PRIOR STARTING CONCRETE WORK.
14. SCORE CONCRETE WALKS AND/OR PAVEMENT: PROVIDE AND INSTALL 1"2 PREMOILED EXPANSION JOINTS AT 10' MAXIMUM SPACING. PROVIDE AND INSTALL 1"2 CONCRETE PAVEMENT, AS WELL AS ALONG EXISTING OR NEW STRUCTURES, WALLS AND COLLARS.
15. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND SHOULD SUPPLY WATER AS NECESSARY TO CONTROL DUST GENERATOR FROM CONSTRUCTION ACTIVITIES ON SITE. USED SOIL MAY NOT BE

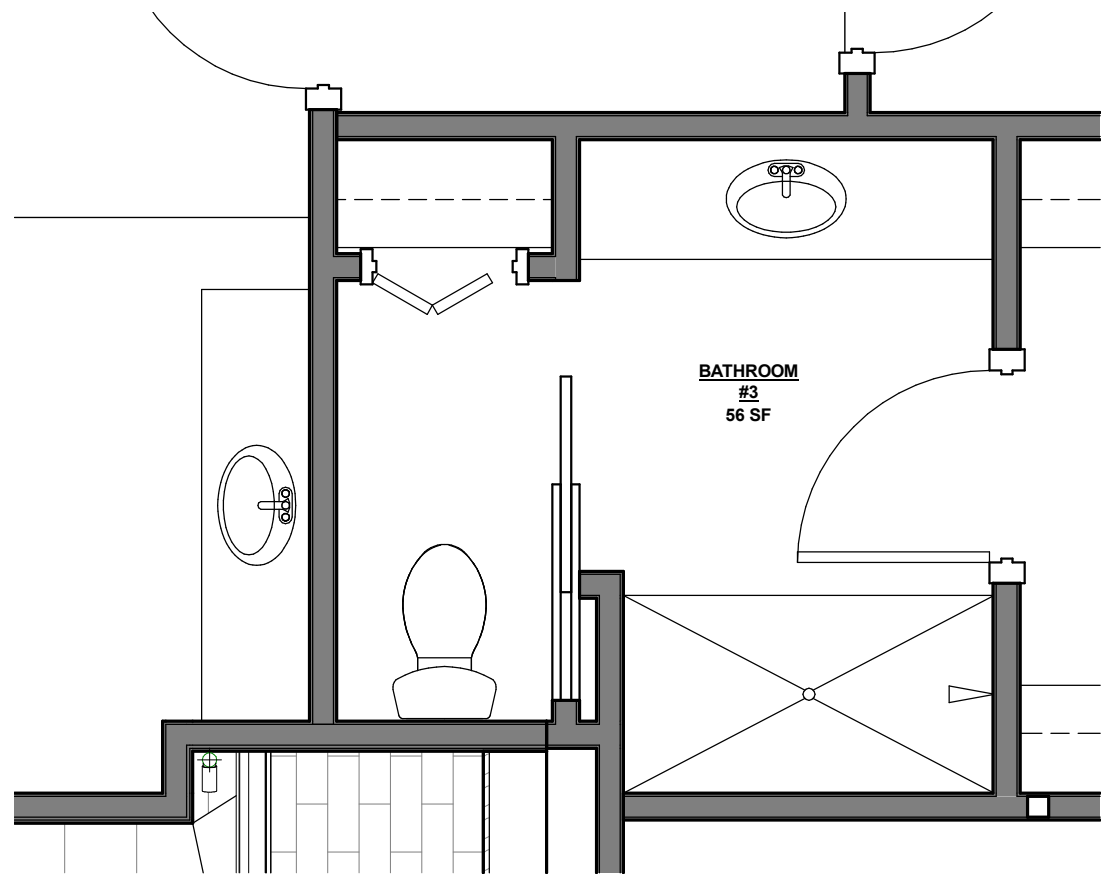




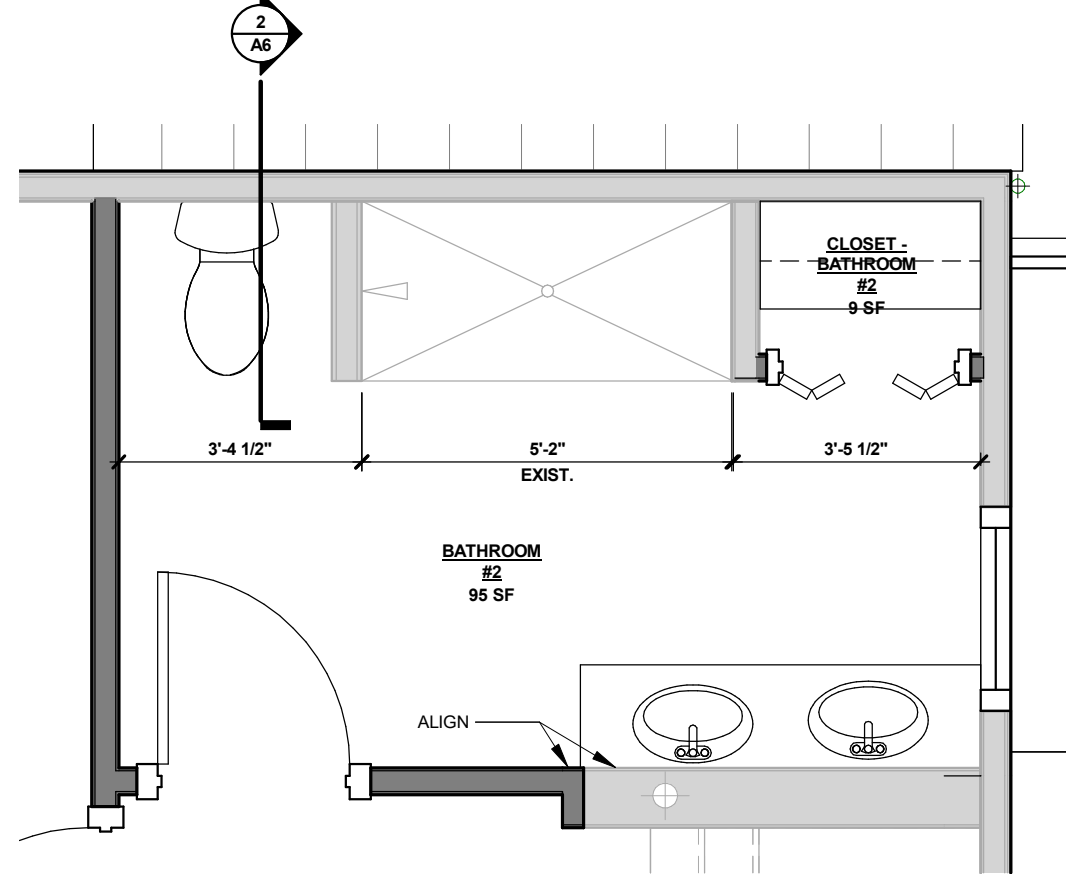
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



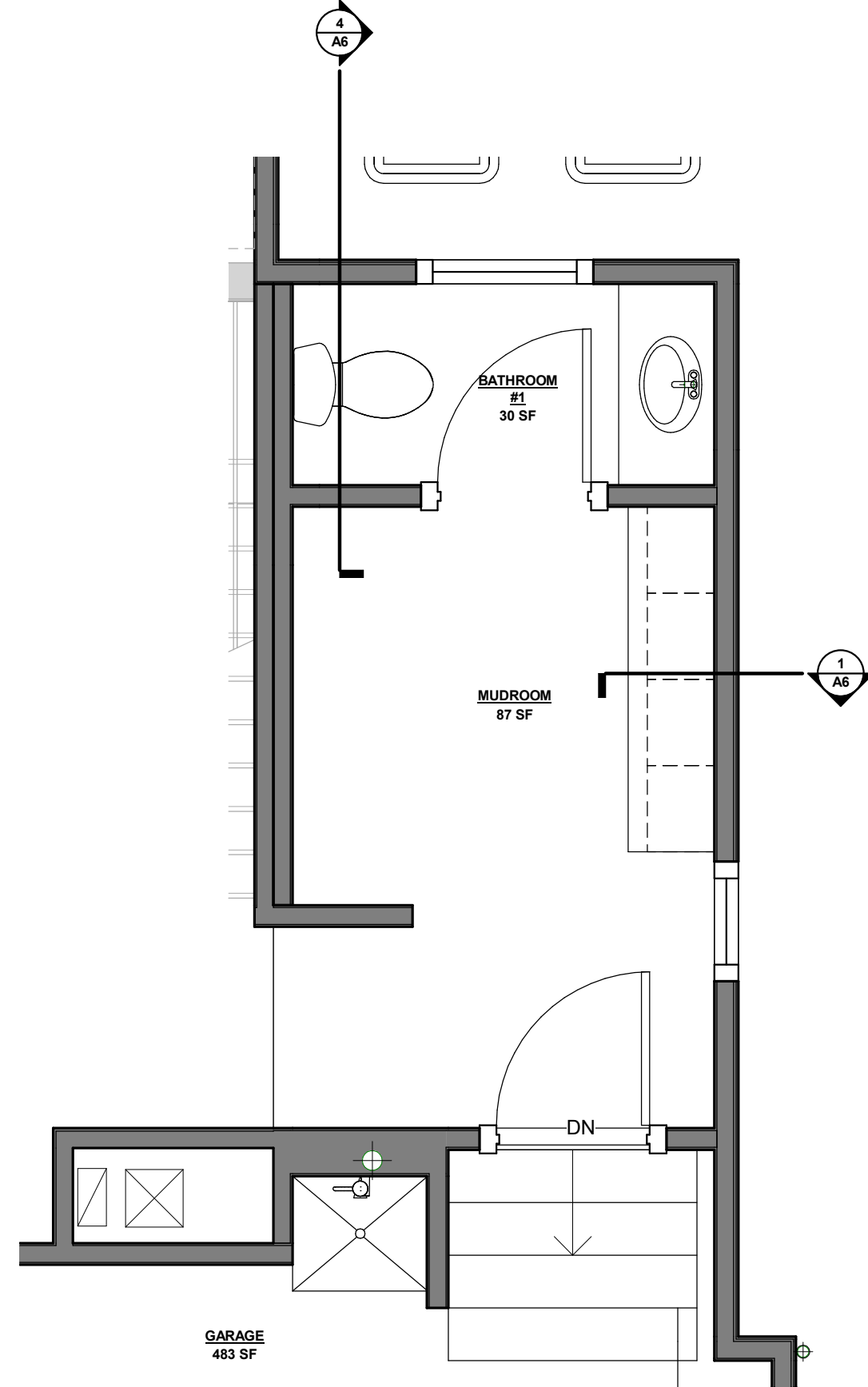
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 ENLARGED SECOND FLOOR PLAN - BATHROOM #3
SCALE: 3/8" = 1'-0"



2 ENLARGED SECOND FLOOR PLAN - BATHROOM #2
SCALE: 3/8" = 1'-0"



3 ENLARGED FIRST FLOOR PLAN - MUDROOM
SCALE: 3/8" = 1'-0"

- GENERAL NOTES - INTERIOR CONSTRUCTION**
- ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
 - DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
 - SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
 - TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO DIMENSIONS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
 - WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
 - PAINTE ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
 - DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
 - EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
 - PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION. TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN CENTER OF OPENING.
 - FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
 - DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 4" FROM THE ADJACENT WALL.
 - PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETRY, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

ZONING & PERMIT

Issuance Name:	06/28/2023	06/28/2023
Issuance Date:	06/11/2023	06/11/2023
Project Number:	190301	05/13/2021
Revision:		

Zoning & Permit

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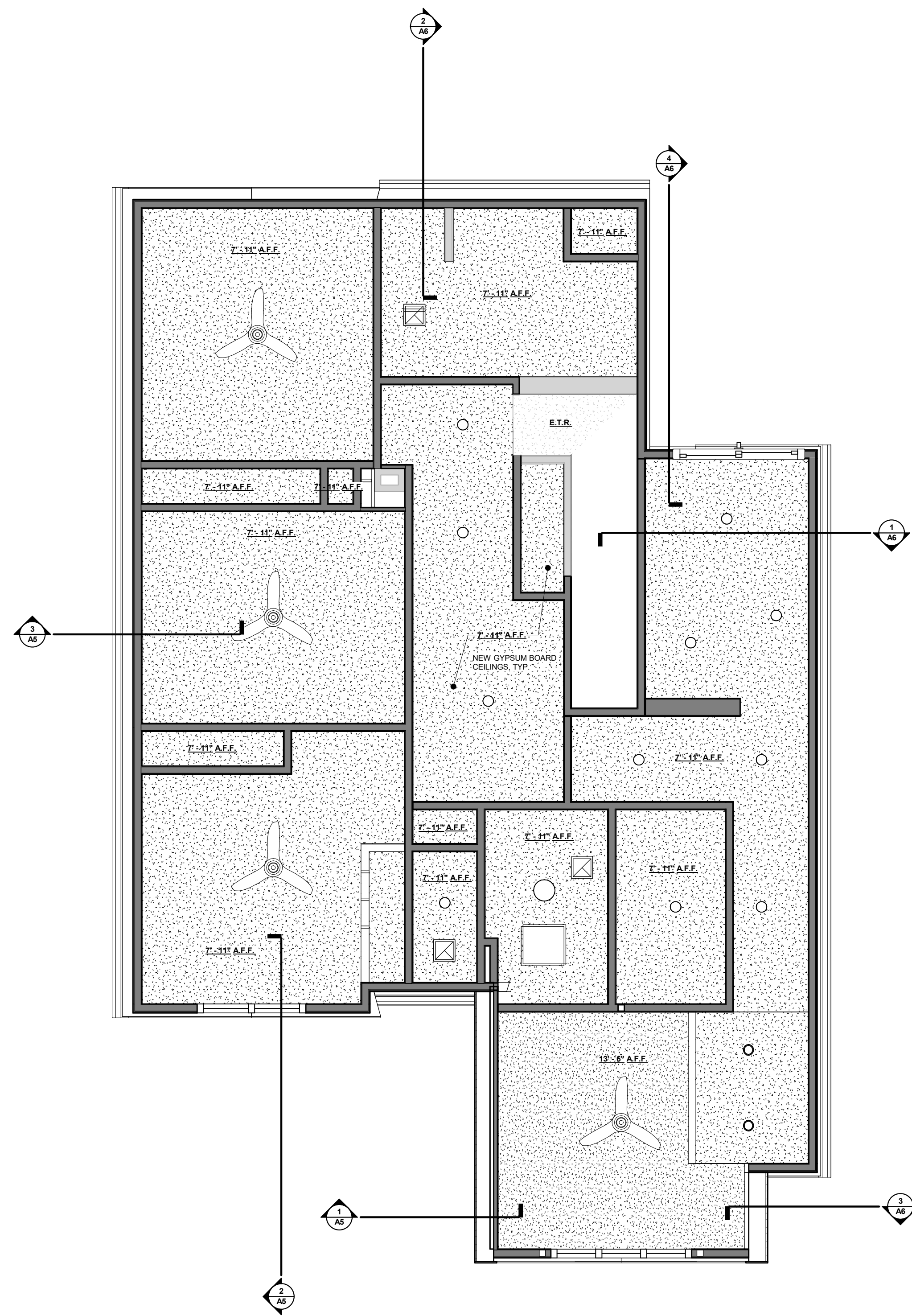
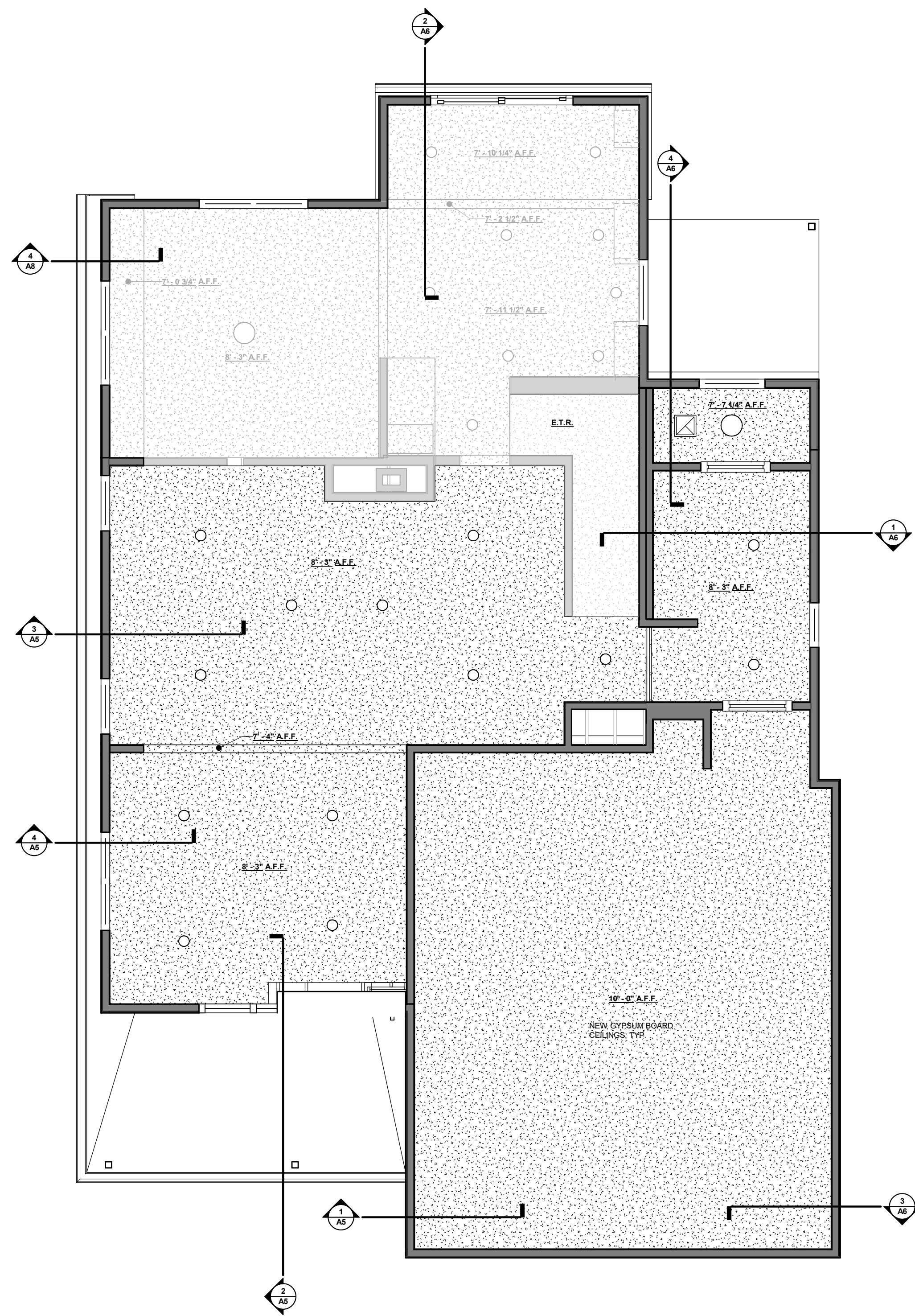
FLOOR PLANS

Sheet Name: A2

Addition and
Renovation

Burg Residence
19670 Telbir Ave
Rocky River, OH 44116
Project Info:

Brian T. Hennies
License #: 38379088
Expiration Date: 12/31/2023
Designer:





DOOR SCHEDULE							
MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	COMMENTS
Grade							
01	15' - 0"	7' - 0"	8	FG	1	FG	HARDWARE: GARAGE DOOR SYSTEM WITH KEYPAD
02	3' - 0"	7' - 0"	2	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
First Floor							
03	9' - 0"	7' - 0"	1	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
04	2' - 8"	6' - 8"	2	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
05	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL PRIVACY SET
06	6' - 0"	6' - 8"	1	"	"	"	RELOCATE EXIST.
Second Floor							
07	15' - 0"	6' - 8"	7	FG	1	FG	HARDWARE: LOCKET
08	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL PRIVACY SET
09	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
10	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
11	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
12	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
13	4' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
14	3' - 0"	6' - 8"	5	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
15	4' - 6"	6' - 8"	5	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
16	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
18	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
19	3' - 0"	6' - 8"	3	WD	-	WD	HARDWARE: SLING PRIVACY LATCHSET
20	2' - 0"	6' - 8"	6	WD	-	WD	HARDWARE: PIVOT SET WITH LEVERS
21	2' - 8"	6' - 8"	3	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS



GENERAL NOTES - EXTERIOR CONSTRUCTION

GENERAL
ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE
FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING
DIMENSIONS ARE NOMINAL.

DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS

SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.

FIRE RATINGS
PROVIDE CONTINUOUS PERIMETER FIRE SAFING BETWEEN FLOORS AND COORDINATE THE
INSTALLATION WITH THE
EXTERIOR WALL. FIRE RATING OF SAFING SHALL MATCH FIRE RATING OF FLOOR CONSTRUCTION

EXTERIOR WALL
REUSE EXISTING SHEATHING WHEREVER POSSIBLE, REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.

INSULATIONS
PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.

ROOFING
DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARDRAILS AS REQUIRED TO MEET OSHA STANDARDS.

ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED

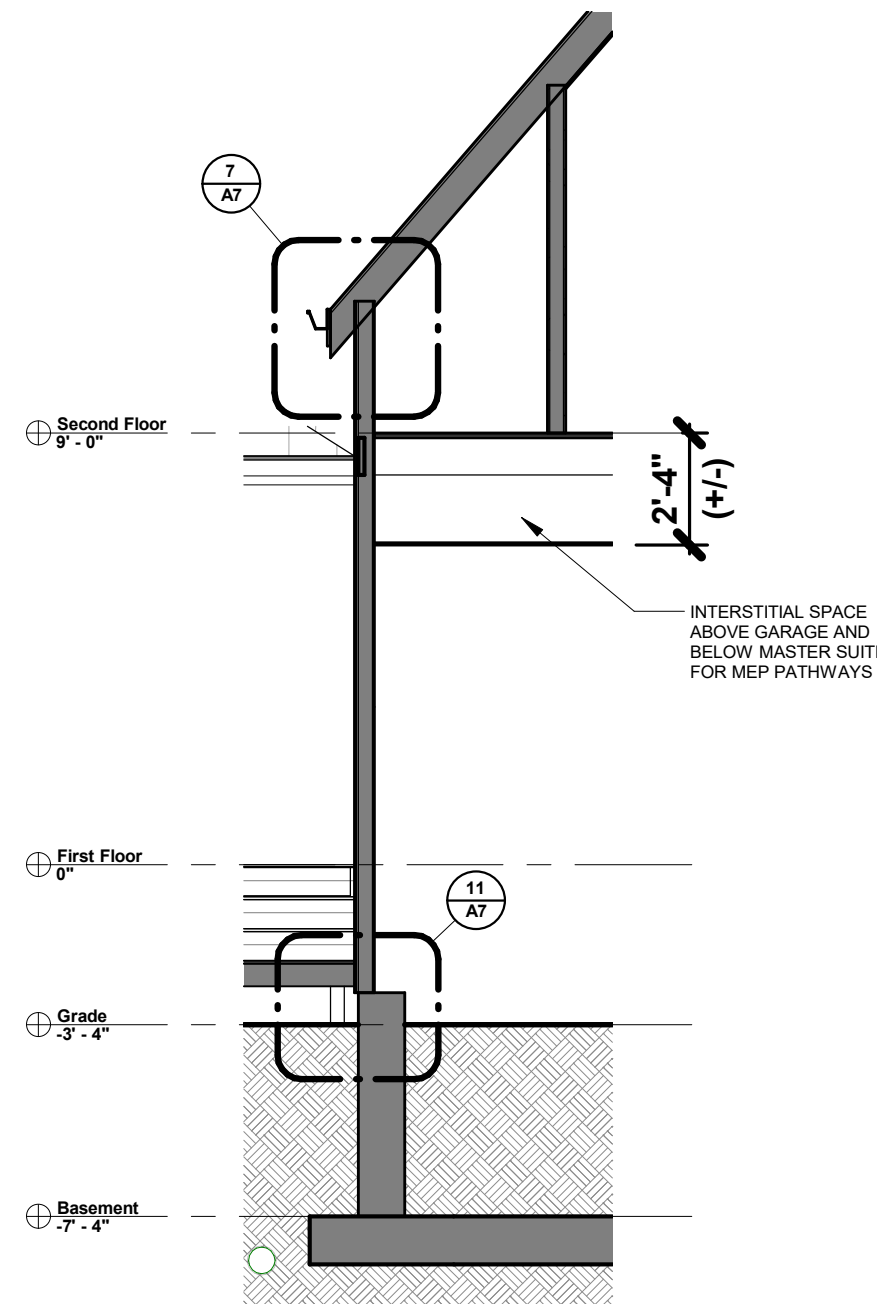
ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASE ON EXISTING CONDITIONS, ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.

PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS RECOMMENDATIONS AND DETAILS

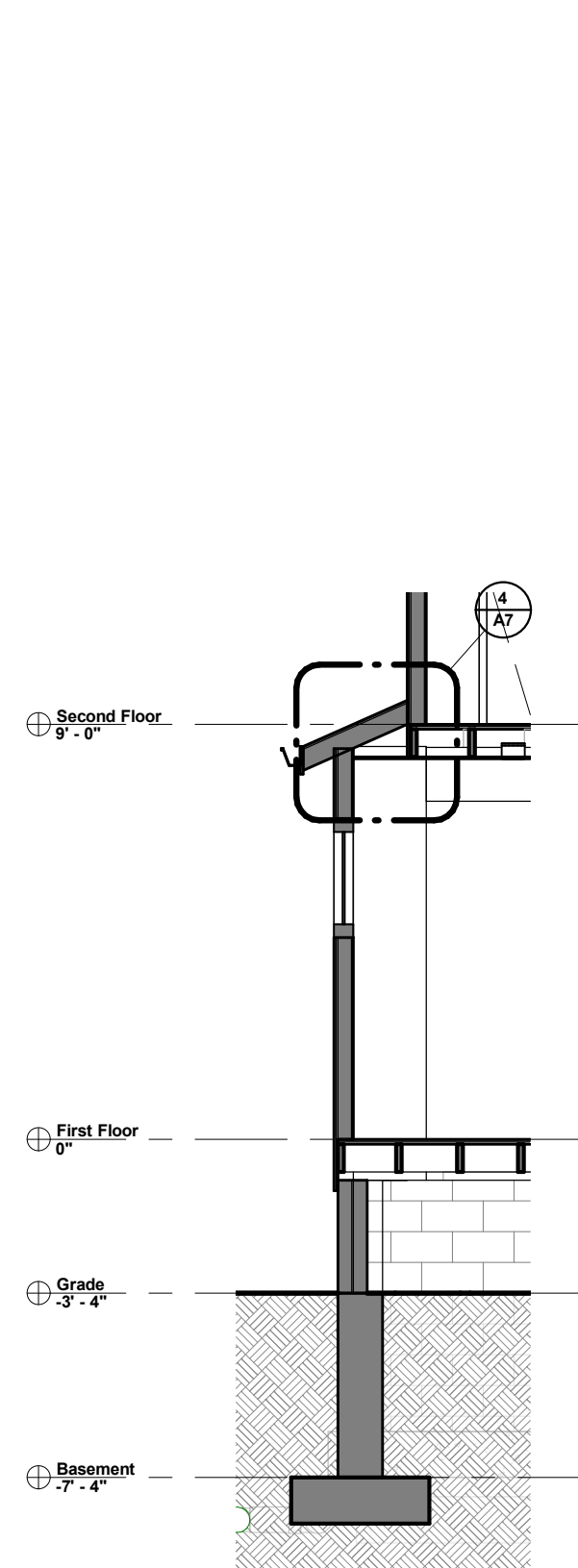
PROVIDE THERMAL BATT INSULATION (KRAFT-FACED) WITHING STUD WALLS, FRICTION FIT IN FRAMING CAVITY. PROVIDE THERMAL BATT INSULATION (NON-FACED) AT CRAWL SPACE JOISTS.

DRAIN.

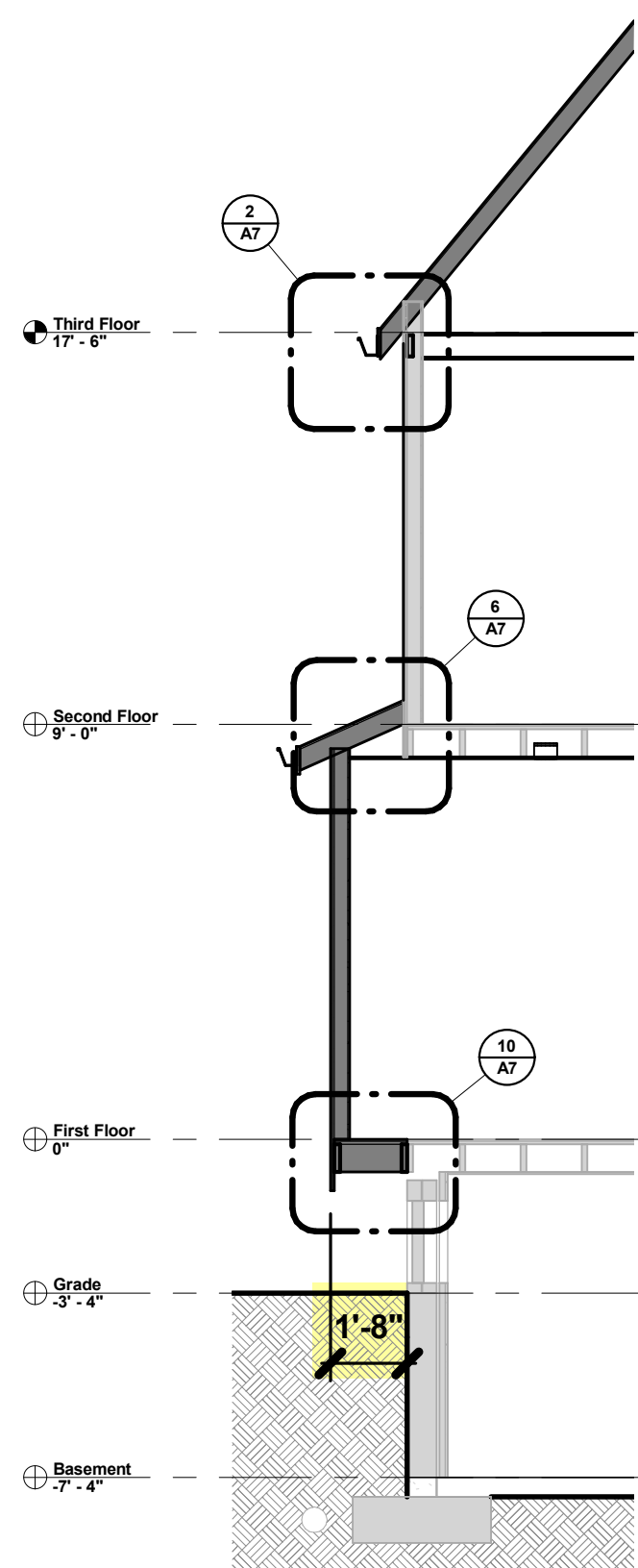
DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH



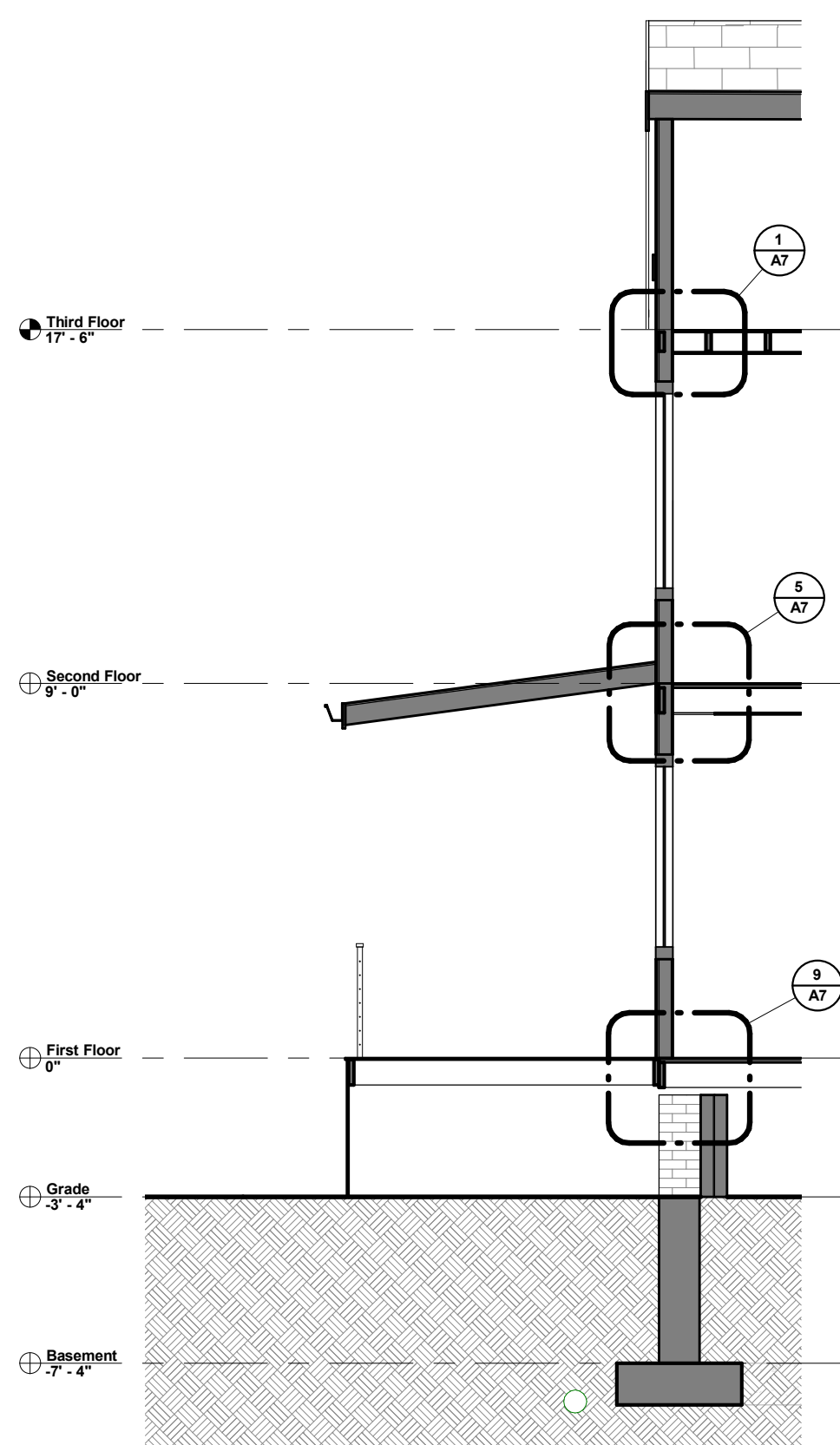
1 Section 2



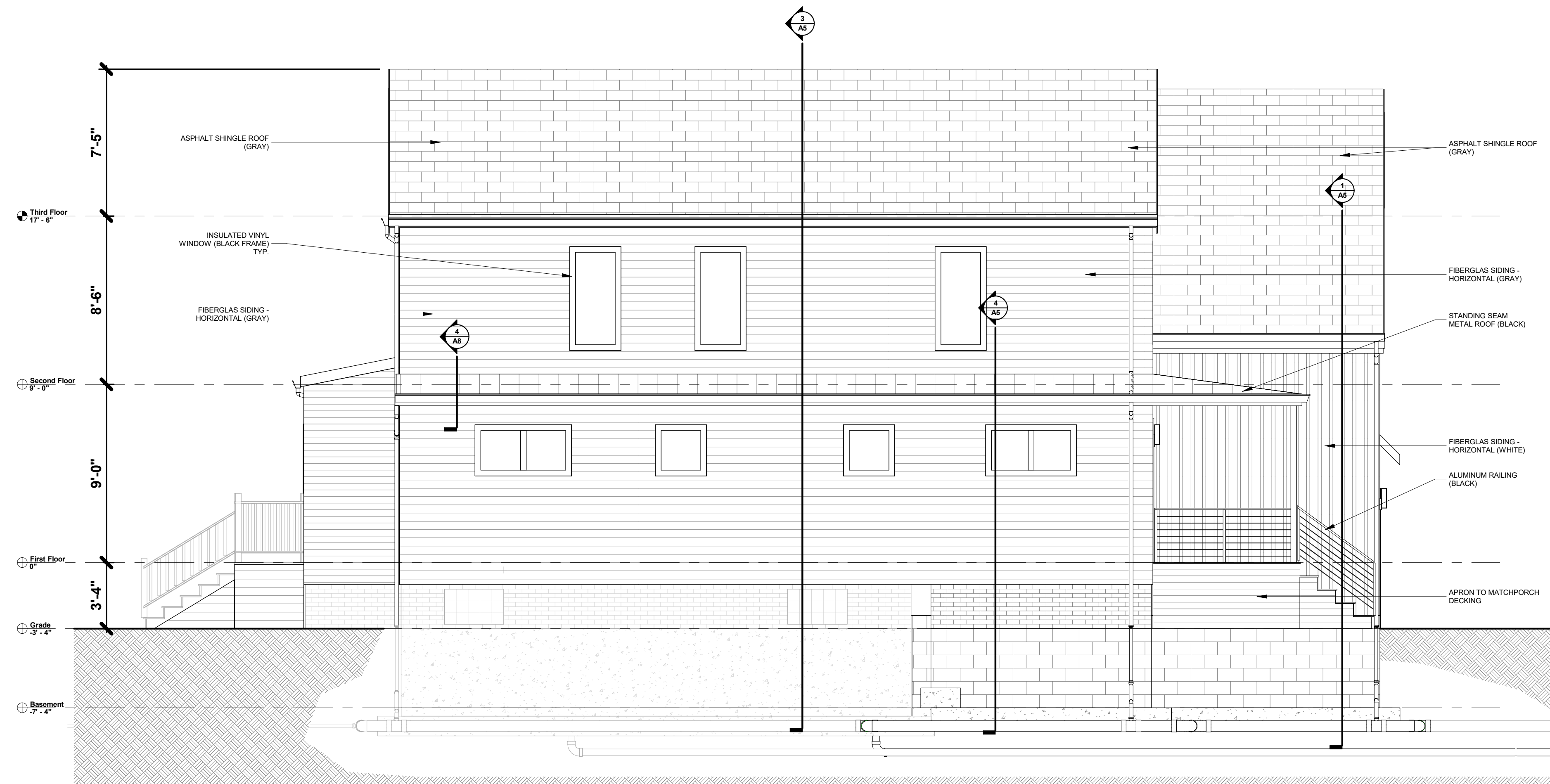
4 **Section 3**
SCALE: 1/4" = 1'-0"



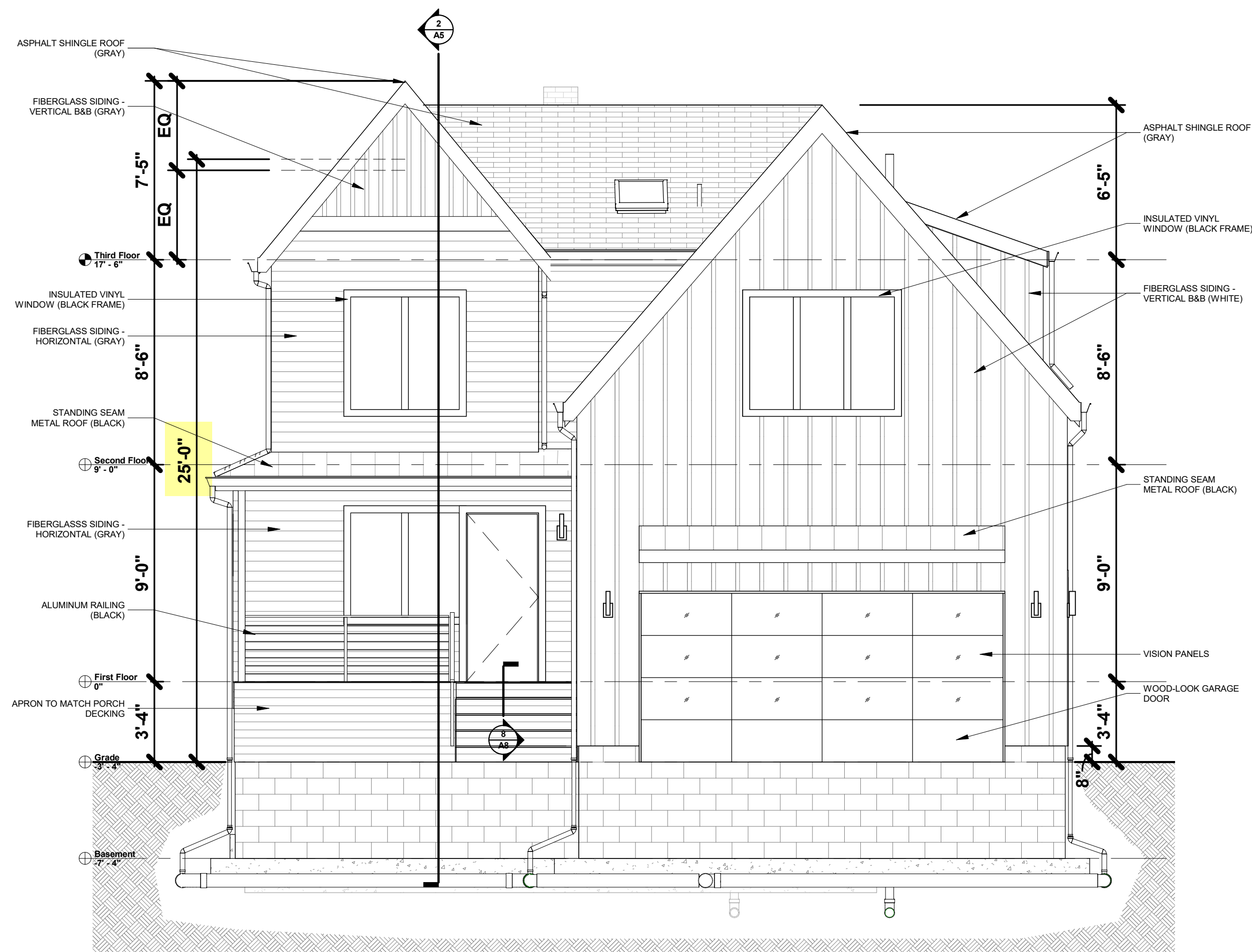
3 Section 1



2 Section 4
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS AND WALL SECTIONS

A5

ZONING & PERMIT

Issuance Name:

06/28/2023

Issuance Date: _____

190301

Zoning & Permit

Pricing

Pricing

06/28/2023

06/11/2023

05/13/2021

Date: _____

Brian T. Hennies

License #: 38379088

Expiration Date: 12/31/2023

not 44.

Decision:

Addition and Renovation

Burg Residence
19670 Telbir Ave.
Rocky River, OH 44115

Project Info:

FOUNDATIONS
DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH

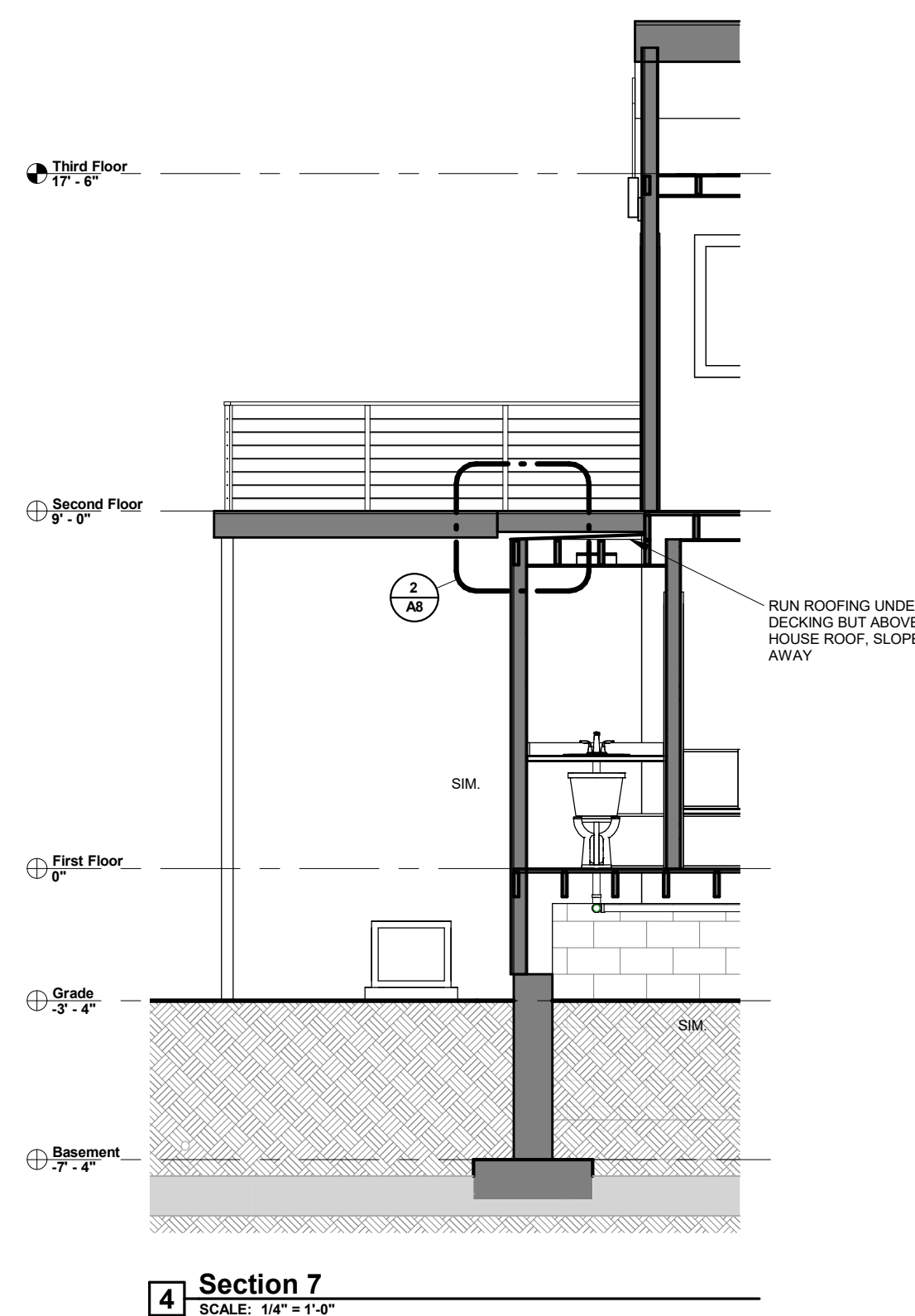
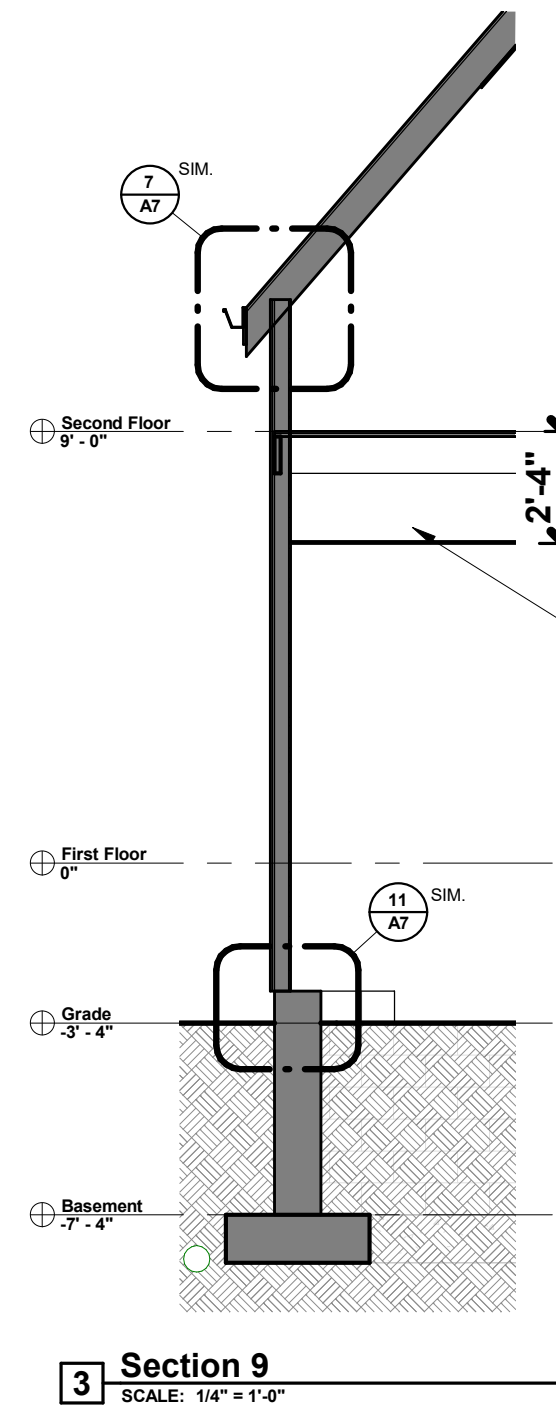
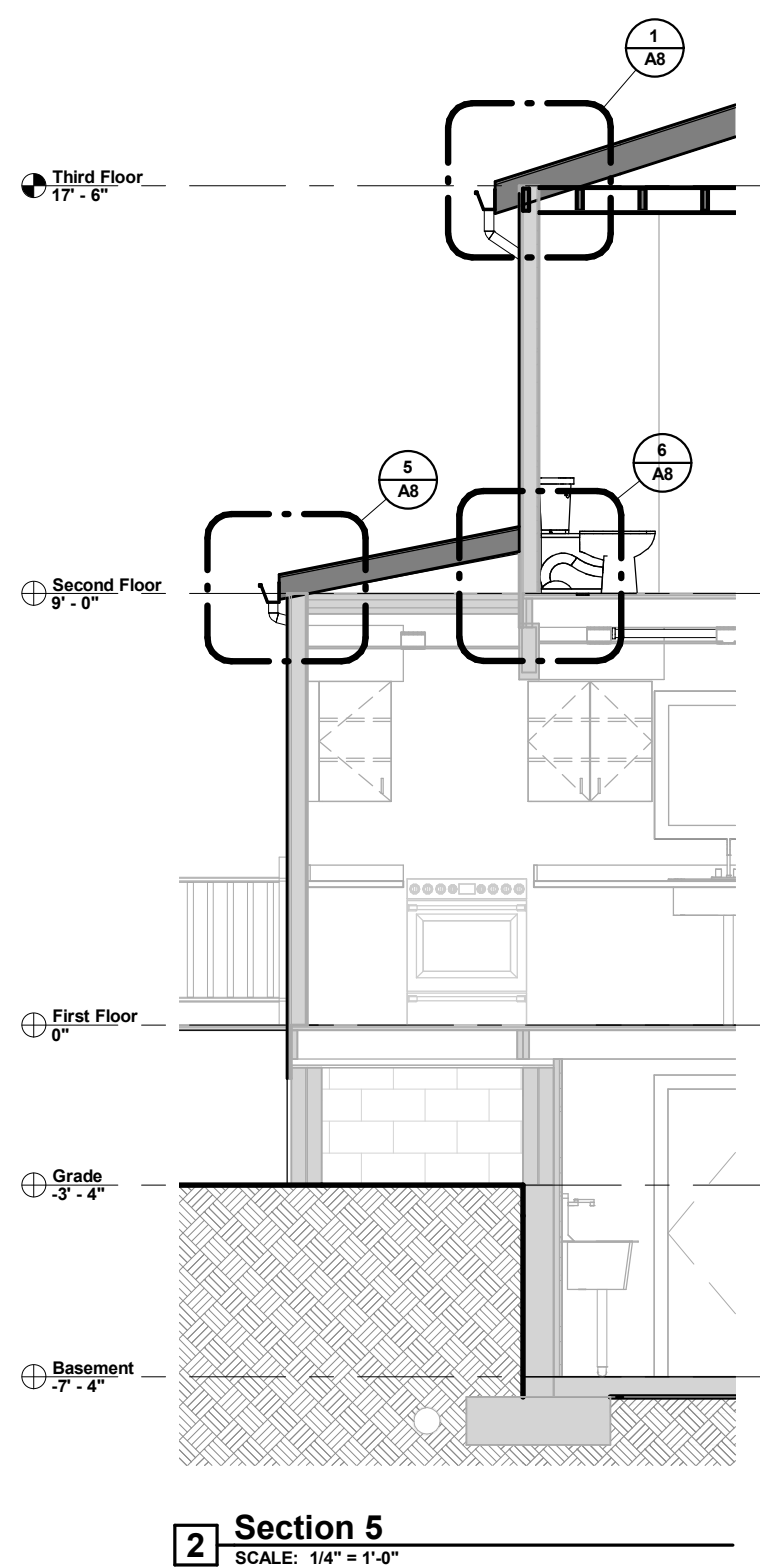
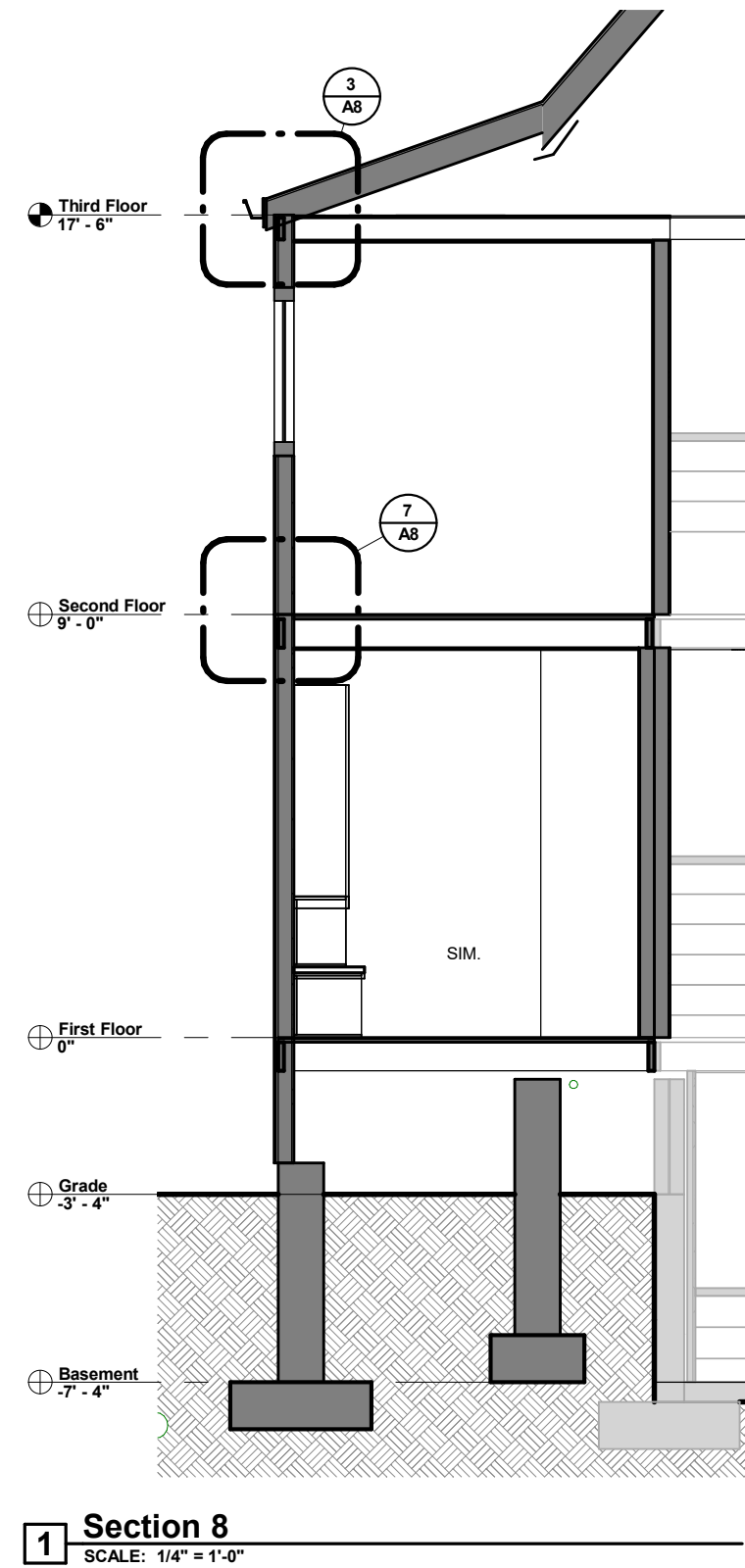
**Addition and
Renovation**

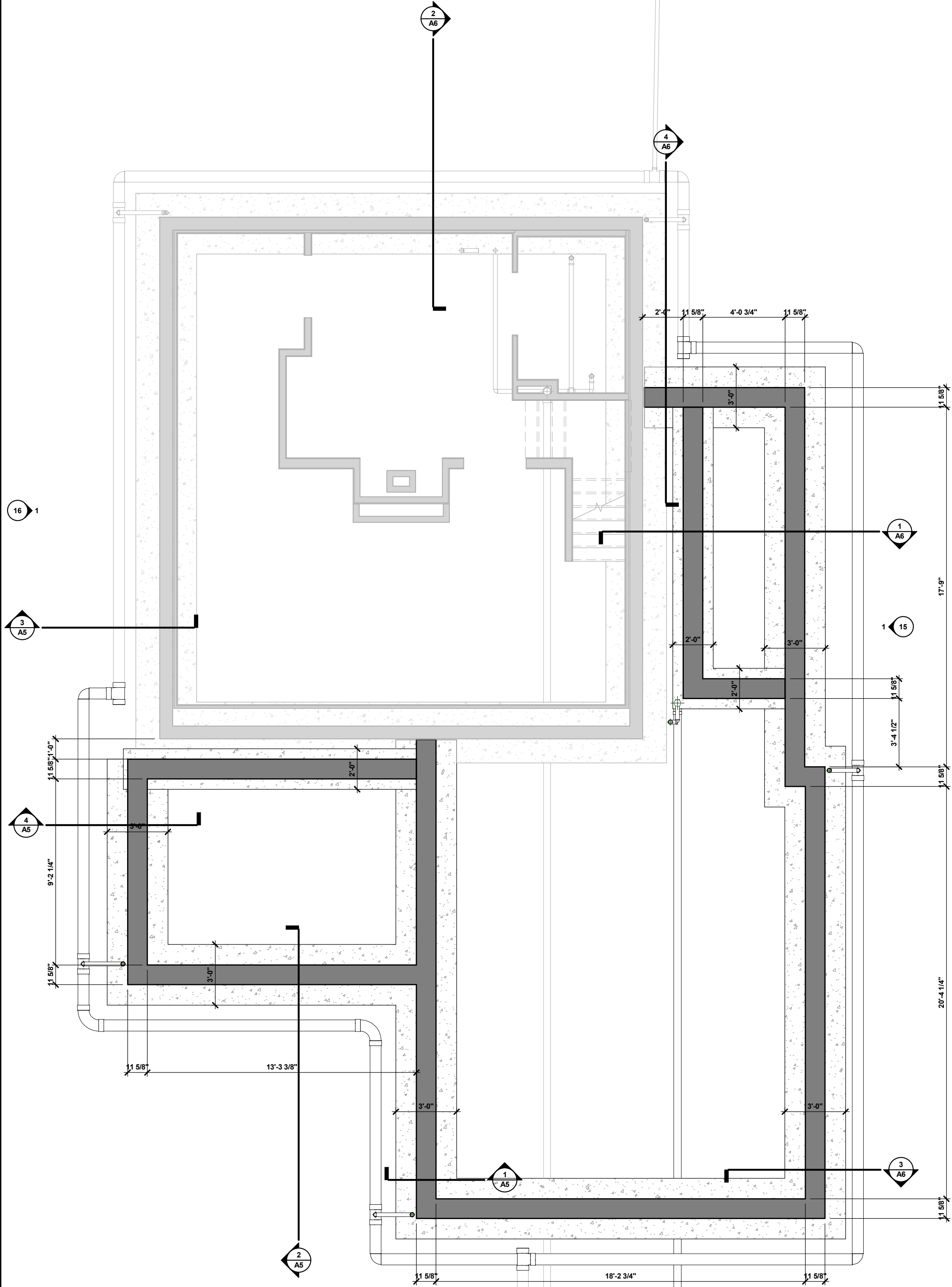
Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116

Zoning & Permit
Pricing
Pricing
Division

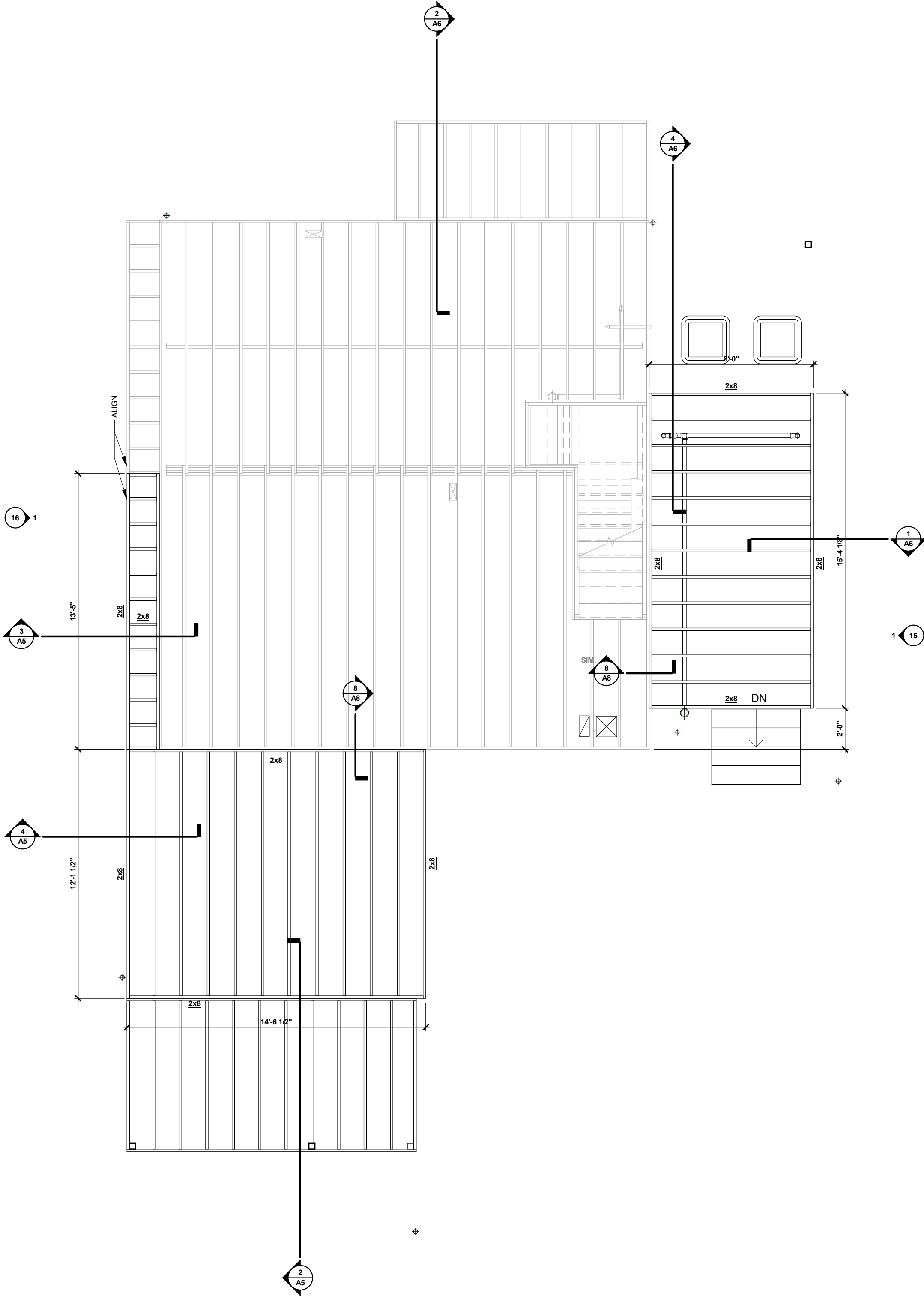
EXTERIOR ELEVATIONS AND WALL SECTIONS

A6





FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES - STRUCTURAL

GENERAL
BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING
AS THE DESIGNED UNIT

CONCRETE
CONCRETE STRENGTH AT 28 DAYS SHALL BE:
FOOTING AND FOUNDATIONS 3,000 PSI
INTERIOR SLAB ON GRADE 4,000 PSI
BACKFILL (LEAN CONCRETE) 1,500 PSI

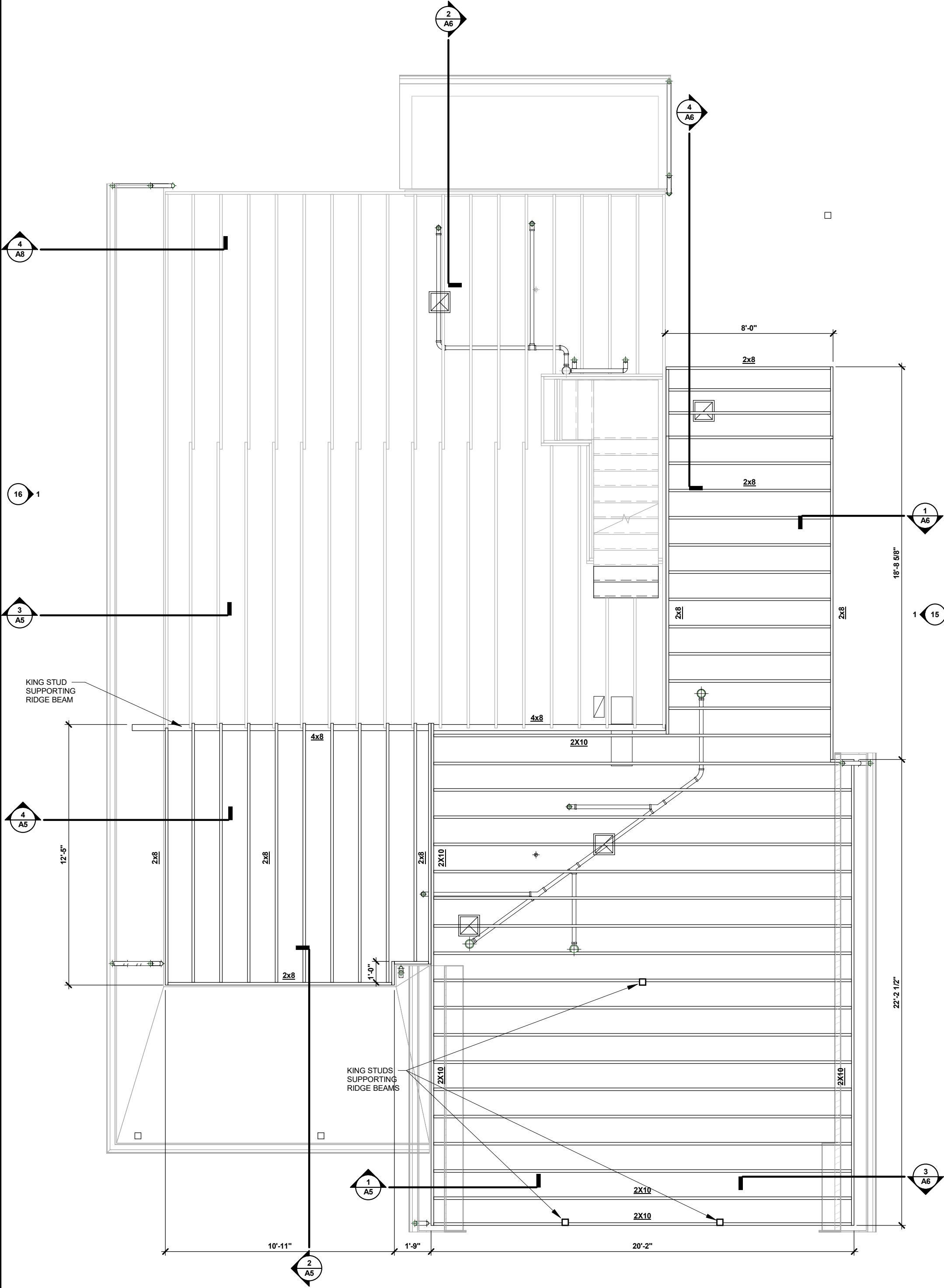
REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE #6@14" MIN. 0.0081 W/W. PROVIDE
REQUIRED CLEARANCES BETWEEN REINFORCING STEEL AND CONCRETE SURFACES.

PLACE NO PERMANENT LOAD SUCH AS MASONRY WALLS, ON SUPPORTED SLABS UNTIL CONCRETE HAS
REACHED SPECIFIED STRENGTH AND ALL SHORING HAS BEEN REMOVED.

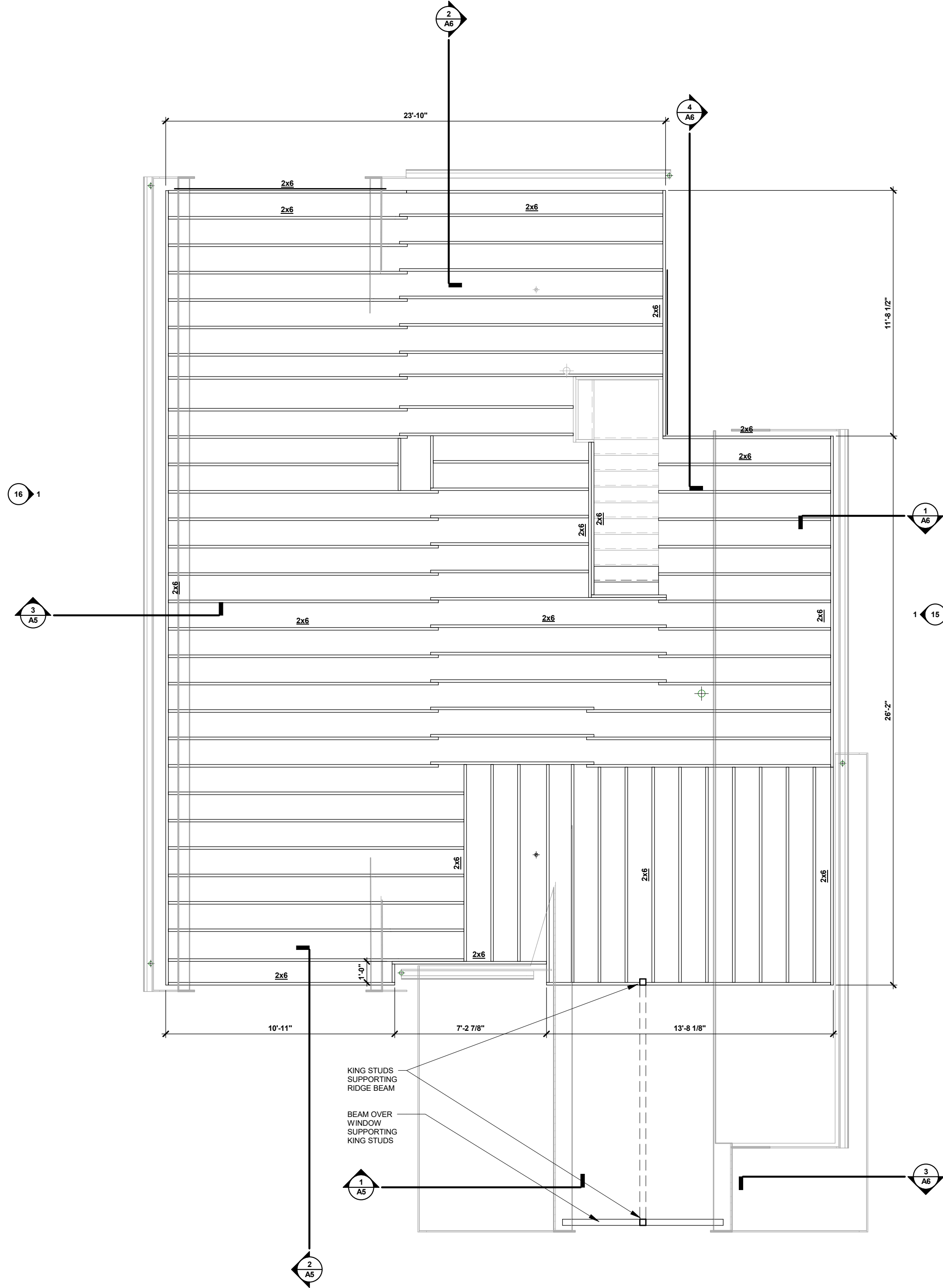
LOOSE LINTELS SHALL BE GALVANIZED AFTER FABRICATIONS AND SIZED BASED ON:

OPENING (CLEAR)	LINTEL SIZE	BEARING
UP TO 5'-0"	L3-1/2 x 3-1/2 x 5/16	4"
5'-1" - 7'-0"	L5 x 3-1/2 x 5/16	6"
7'-1" - 9'-0"	L6 x 3-1/2 x 3/8	8"

WOOD FRAMING
UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES - STRUCTURAL

GENERAL
BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING
AS THE DESIGNED UNIT

CONCRETE
CONCRETE STRENGTH AT 28 DAYS SHALL BE:
FOOTING AND FOUNDATIONS: 3,000 PSI
INTERIOR SLAB ON GRADE: 4,000 PSI
BACKFILL (LEAN) CONCRETE: 1,500 PSI

REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE #6@14" O.C. (50#) W/W. PROVIDE
REQUIRED CLEARANCES BETWEEN REINFORCING STEEL AND CONCRETE SURFACES.

PLACE NO PERMANENT LOAD SUCH AS MASONRY WALLS, ON SUPPORTED SLABS UNTIL CONCRETE HAS
REACHED SPECIFIED STRENGTH AND ALL SHORING HAS BEEN REMOVED.

LOOSE LINTELS SHALL BE GALVANIZED AFTER FABRICATIONS AND SIZED BASED ON:

OPENING (CLEAR)	LINTEL SIZE	BEARING
UP TO 5'-0"	1.3-1/2 x 3-1/2 x 5/16	4"
5'-1" - 7'-0"	1.5 x 3-1/2 x 5/16	6"
7'-1" - 9'-0"	1.6 x 3-1/2 x 3/8	8"

WOOD FRAMING
UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.

FRAMING AND
SYSTEMS
PLANS

A10

ZONING & PERMIT

Issuance Name:
06/28/2023
Issuance Date:
190301
Project Number:

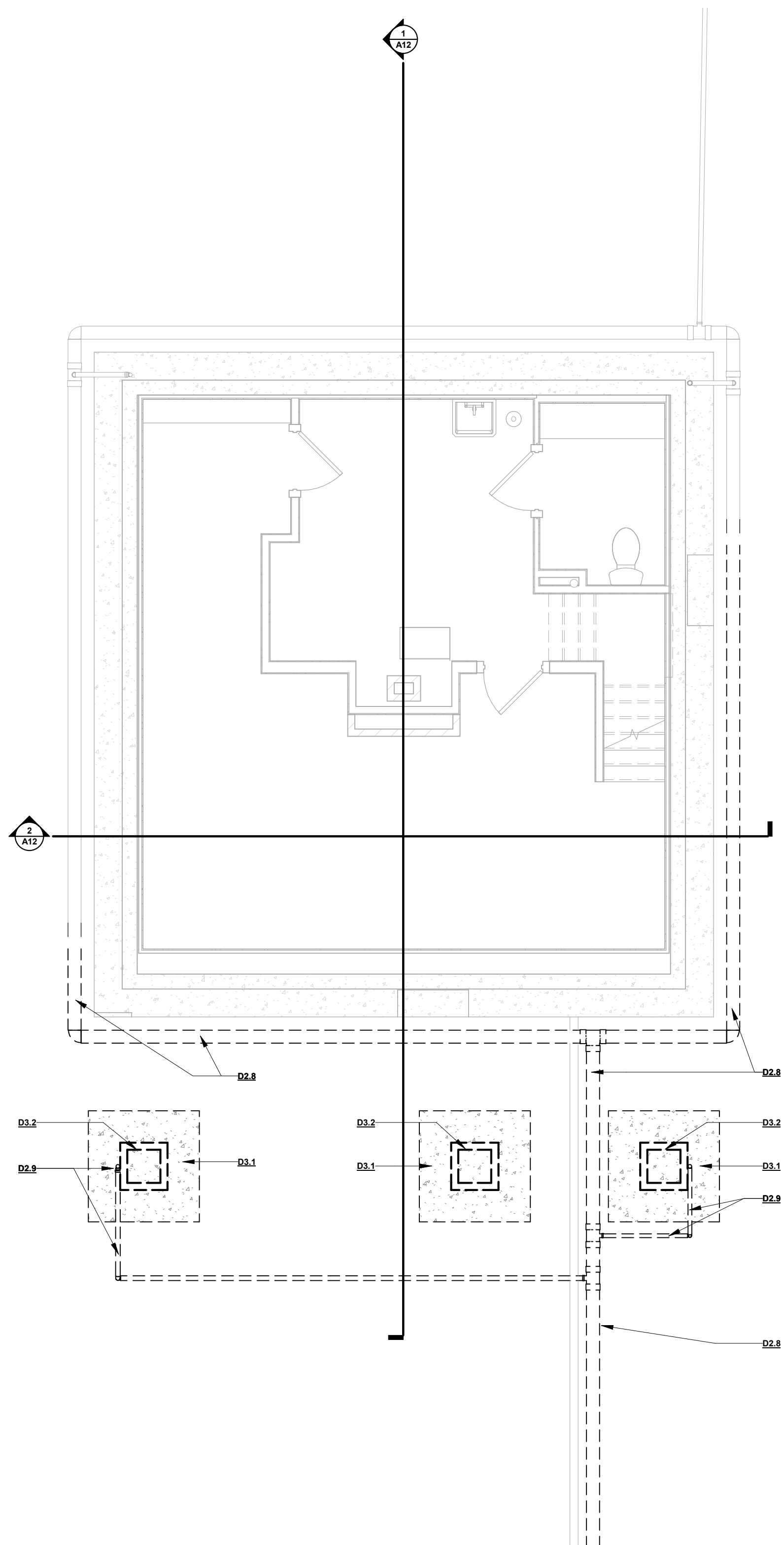
Zoning & Permit
Pricing
Revisions:

06/28/2023
06/11/2023
05/13/2021
Date:

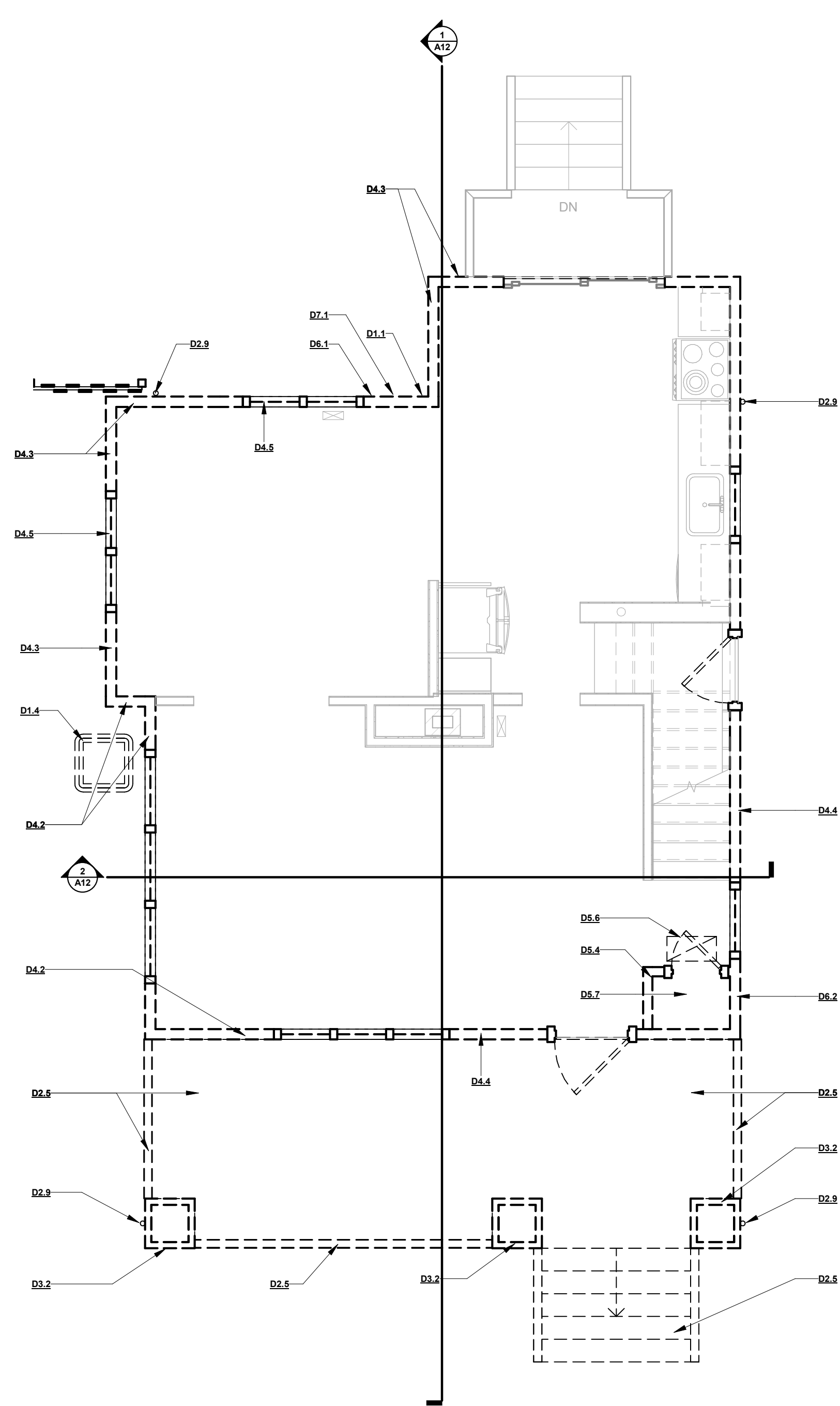
Addition and
Renovation

Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116
Project Info:

Brian T. Hennies
License #: 38379088
Expiration Date: 12/31/2023
Designer:



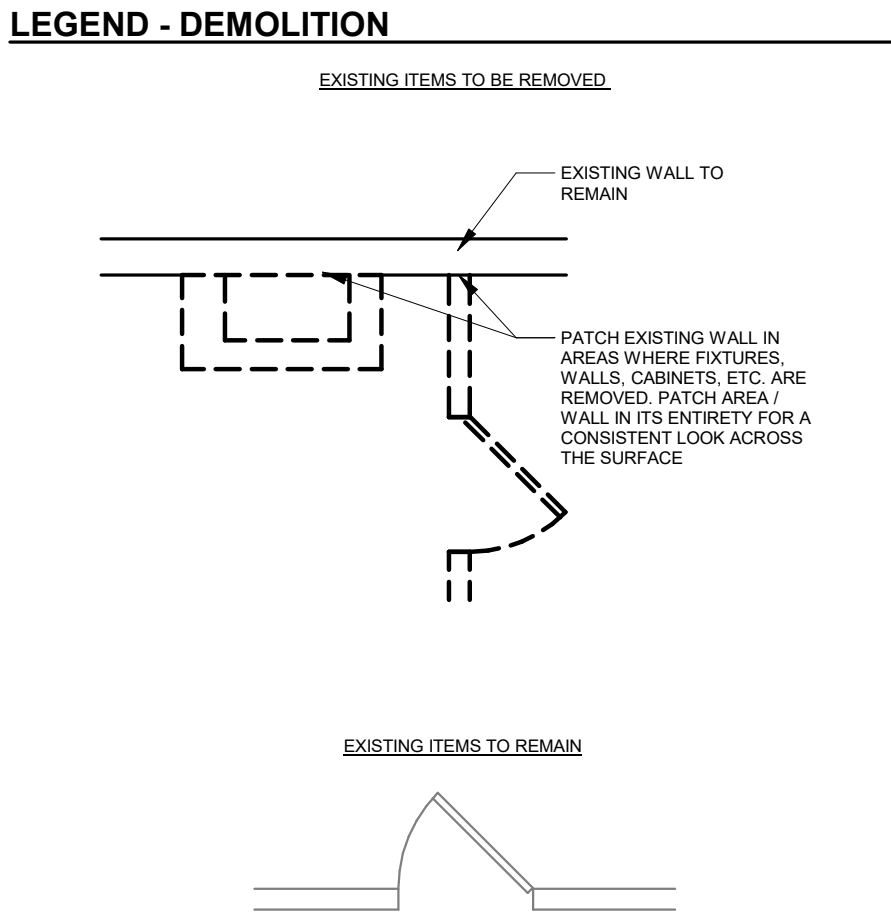
BASEMENT PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"

- GENERAL NOTES - DEMOLITION**
- COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID. FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.
 - SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.
 - COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH NEW WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.
 - REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAW. BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.
 - INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.
 - INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.
 - NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.
 - INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.
 - PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.
 - DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.
 - LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK. IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

#	DESCRIPTION
D1.1	REMOVE EXISTING CABLE LINE AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION. REINSTALL IN SAME LOCATION.
D1.4	REMOVE EXISTING AC CONDENSING UNIT AND ASSOCIATED PIPING AND WIRING. SEE PLANS OR NEW LOCATION ON EAST SIDE OF PROPERTY.
D2.5	REMOVE PORCH/DECK CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING, ATTACHMENTS, RAILINGS, POSTS AND FOOTERS.
D2.8	REMOVE PORTION OF EXISTING DRAIN TILE. SEE NEW WORK FOR LAYOUT AND CONNECTION POINTS.
D2.9	REMOVE EXISTING DOWNSPOUT AND ADAPTER.
D3.1	REMOVE PORTION OF EXISTING FOUNDATION CONCRETE FOOTER.
D3.2	REMOVE EXISTING MASONRY OR CMU WALL.
D4.2	REMOVE EXTERIOR WALL SIDING, SHEATHING, WOOD STUDS AND INTERIOR GYPSUM BOARD IN ITS ENTIRETY. TEMPORARILY PROTECT OPENING FROM WEATHER.
D4.3	REMOVE EXTERIOR WALL SIDING DOWN TO SHEATHING. PREP FOR NEW SIDING. REPAIR / REPLACE EXISTING SHEATHING AS NEEDED PRIOR TO NEW WORK.
D4.4	REMOVE EXTERIOR WALL SIDING AND SHEATHING DOWN TO WOOD STUDS. MAINTAIN STUDS IN PLACE FOR NEW WORK.
D4.5	REMOVE EXTERIOR WINDOW OR DOOR, TRIM AND HARDWARE.
D5.4	REMOVE GYPSUM OR PLASTER WOOD STUD WALL, BASE AND TOP MOLDING.
D5.6	REMOVE INTERIOR DOOR, FRAME, HARDWARE AND TRIM.
D5.7	REMOVE INTERIOR SHELVING, ROD AND ALL ASSOCIATED ATTACHMENTS.
D6.1	REMOVE EXISTING SPIGOT AND ASSOCIATED PIPING FOR NEW SIDING INSTALLATION. REINSTALL IN SAME LOCATION.
D6.2	REMOVE EXISTING SPIGOT. EXTEND TO NEW LOCATION WITH NEW PIPING AND NEW SPIGOT. SEE DWGS FOR NEW LOCATION.
D7.1	REMOVE BATHROOM EXHAUST VENT COVER FOR NEW SIDING INSTALLATION. REINSTALL IN SAME LOCATION.



**Addition and
Renovation**

Brian T. Hennies
License #: 38379088
Expiration Date: 12/31/2023

Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116

Project Info

Zoning & Permit

06/28/2023
06/11/2023
05/13/2021

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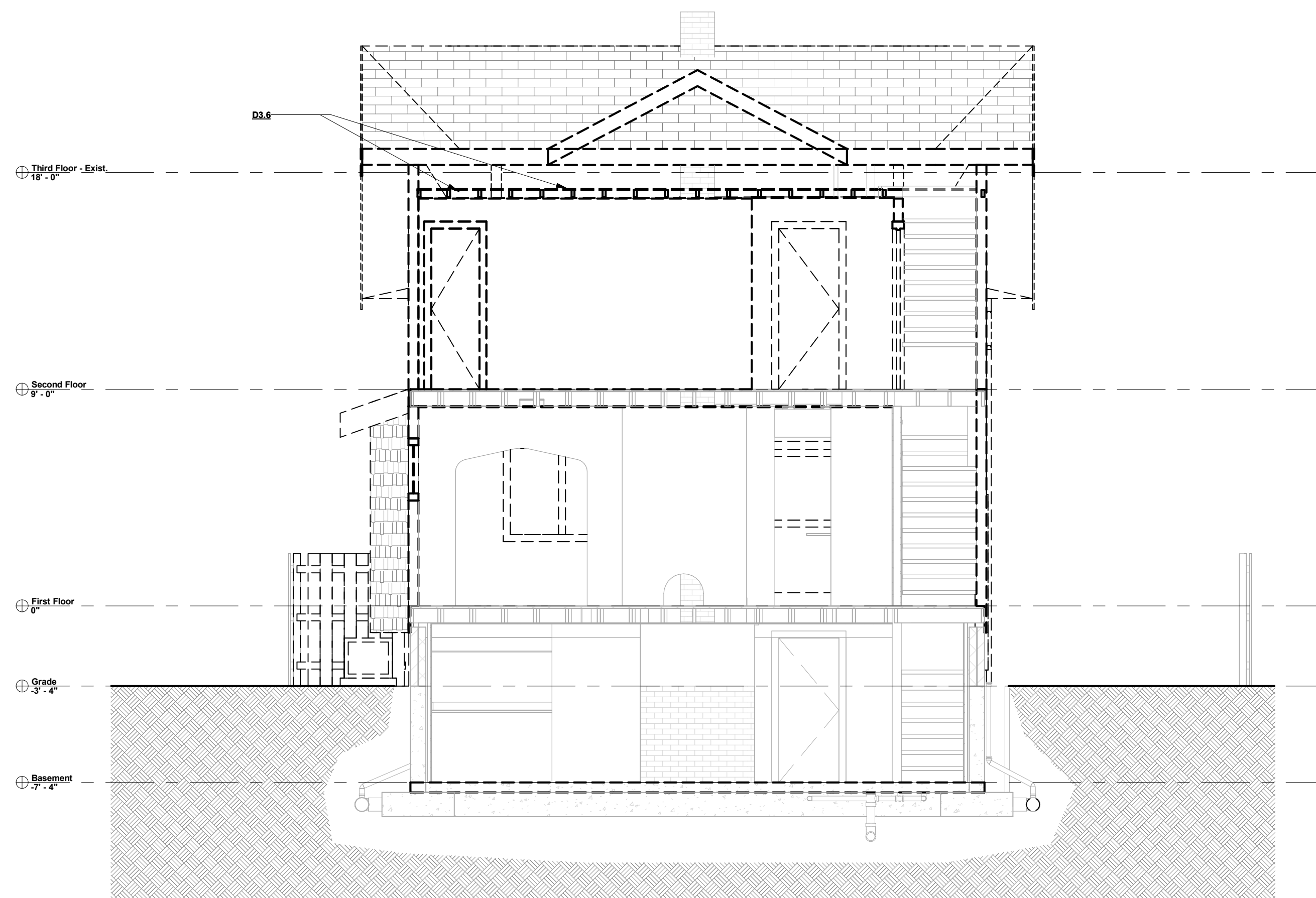
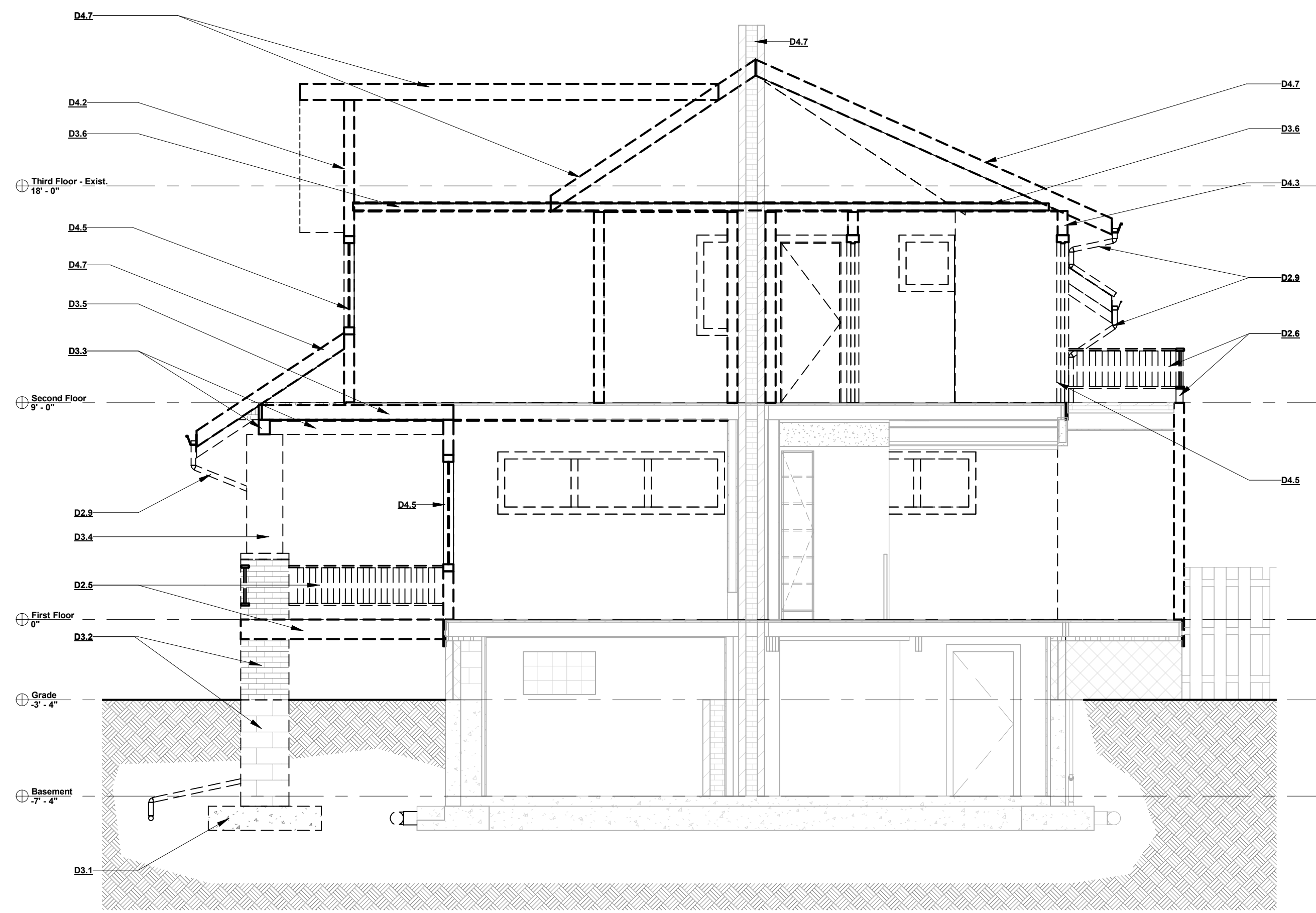
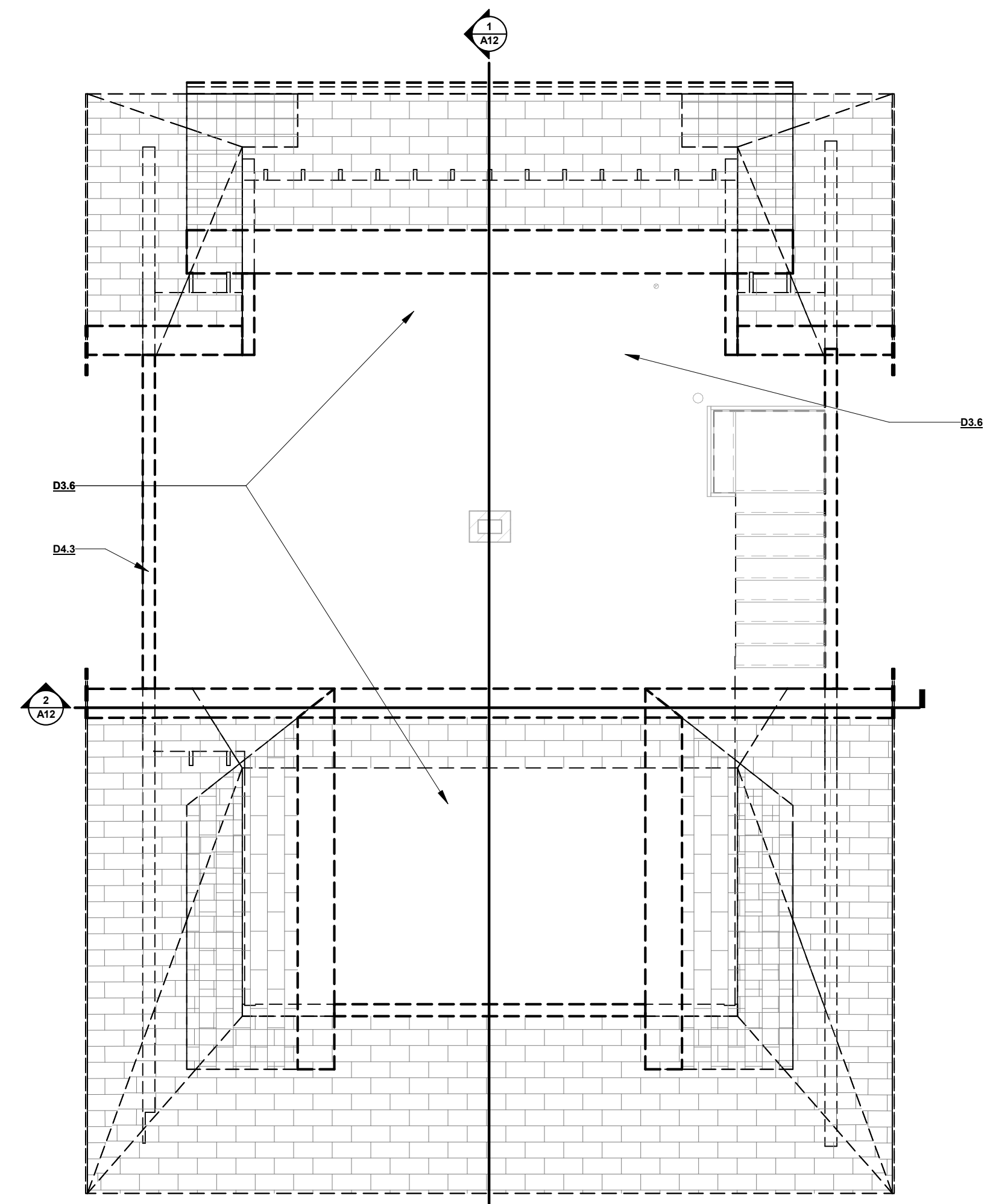
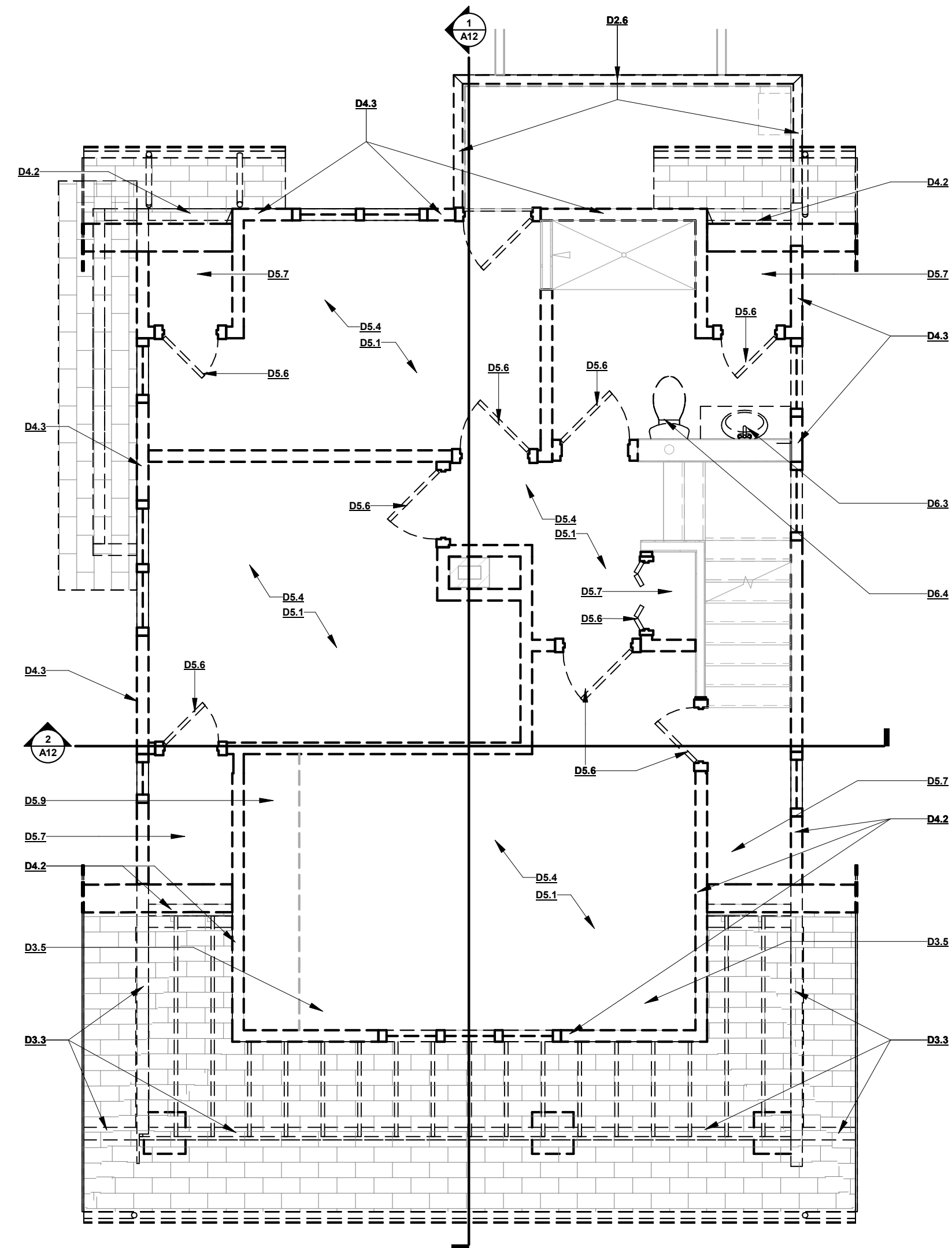
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Zoning & Permit

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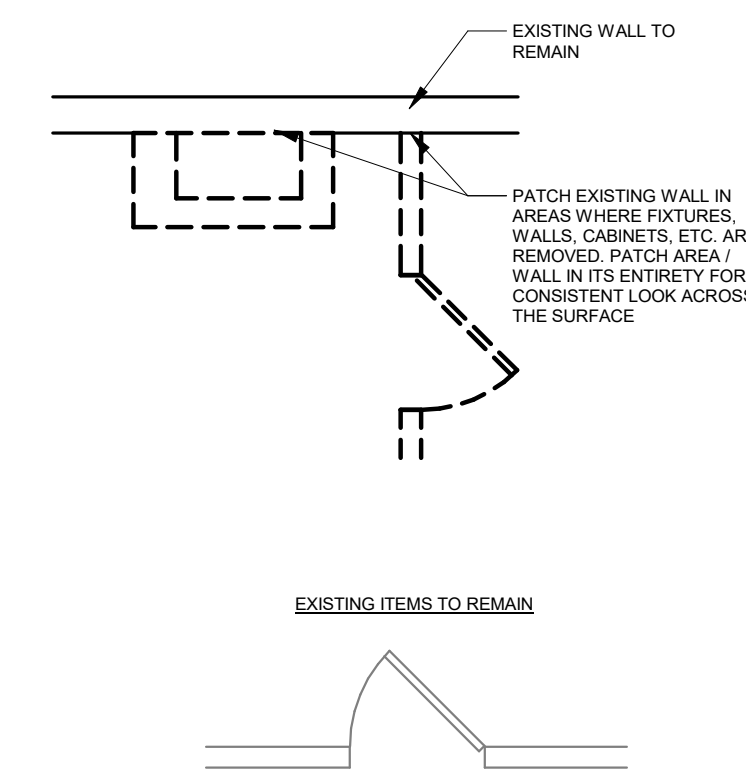
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05/13/2021



#	KEYNOTES	DESCRIPTION
02.5	REMOVE PORCHDECK CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING ATTACHMENTS, SOLINGS, POLES, AND FLOORS.	REMOVE PORCHDECK CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING ATTACHMENTS, SOLINGS, POLES, AND FLOORS.
03.0	REMOVE RAILINGS, POSTS AND ATTACHMENTS.	REMOVE RAILINGS, POSTS AND ATTACHMENTS.
03.1	REMOVE EXISTING DOWNSTAIRS AND ADAPTER.	REMOVE EXISTING DOWNSTAIRS AND ADAPTER.
03.2	REMOVE PORTION OF EXISTING PORCH CONCRETE FOOTER.	REMOVE PORTION OF EXISTING PORCH CONCRETE FOOTER.
03.3	REMOVE EXISTING MASONRY OR C&G WALL.	REMOVE EXISTING MASONRY OR C&G WALL.
03.4	REMOVE EXISTING WOOD JOIST MEMBER.	REMOVE EXISTING WOOD JOIST MEMBER.
03.5	REMOVE EXISTING WOOD COLUMN.	REMOVE EXISTING WOOD COLUMN.
03.6	REMOVE BY EXISTING WOOD JOISTS, PERMETER WOOD FRAMING AND ANY MISIC FRAMING WITHIN AREA.	REMOVE BY EXISTING WOOD JOISTS, PERMETER WOOD FRAMING AND ANY MISIC FRAMING WITHIN AREA.
03.8	REMOVE EXISTING WOOD JOISTS AND PL WOOD SUB FRAMING.	REMOVE EXISTING WOOD JOISTS AND PL WOOD SUB FRAMING.
03.9	REMOVE EXTERIOR WALL SIDS, SHEATHING, WOOD STUDS AND INTERIOR GYPSUM BOARD IN ENTIRETY. TEMPORARY BRACING REQUIRED.	REMOVE EXTERIOR WALL SIDS, SHEATHING, WOOD STUDS AND INTERIOR GYPSUM BOARD IN ENTIRETY. TEMPORARY BRACING REQUIRED.
03.10	REMOVE EXTERIOR WALL SIDS DOWN TO SHEATHING, PREP FOR NEW SIDING, REPAIR / REINFORCE EXISTING INTERIOR WALLS.	REMOVE EXTERIOR WALL SIDS DOWN TO SHEATHING, PREP FOR NEW SIDING, REPAIR / REINFORCE EXISTING INTERIOR WALLS.
03.11	REMOVE EXTERIOR WINDOW OR DOOR, TRIM AND HARDWARE.	REMOVE EXTERIOR WINDOW OR DOOR, TRIM AND HARDWARE.
03.12	REMOVE EXISTING HARDWOOD FLOOR SYSTEM, SIPS, FASCIA BOARD AND FRAMING MEMBERS IN ITS ENTIRETY. SET BRACE FOR NEW ROOF AND LOCATION.	REMOVE EXISTING HARDWOOD FLOOR SYSTEM, SIPS, FASCIA BOARD AND FRAMING MEMBERS IN ITS ENTIRETY. SET BRACE FOR NEW ROOF AND LOCATION.
03.13	REMOVE EXISTING HARDWOOD FINISH FLOOR TO REMAIN, MATCH AND MATCH WHERE VOERS ARE TO BE REINFORCED. REPAIR OR REPLACE EXISTING FLOORING TO RECEIVE NEW FLOORING.	REMOVE EXISTING HARDWOOD FINISH FLOOR TO REMAIN, MATCH AND MATCH WHERE VOERS ARE TO BE REINFORCED. REPAIR OR REPLACE EXISTING FLOORING TO RECEIVE NEW FLOORING.
03.14	REMOVE GYPSUM OR PLASTER WOOD STUD WALL, BASE AND TOP MOLDING.	REMOVE GYPSUM OR PLASTER WOOD STUD WALL, BASE AND TOP MOLDING.
03.15	REMOVE INTERIOR DOOR, FRAME, HARDWARE AND TRIM.	REMOVE INTERIOR DOOR, FRAME, HARDWARE AND TRIM.
03.16	REMOVE EXTERIOR VERTICAL SILL, FRAME AND ATTACHMENTS.	REMOVE EXTERIOR VERTICAL SILL, FRAME AND ATTACHMENTS.
03.17	REMOVE EXISTING STAIN EXISTING CLOSET SYSTEM, SEE PLANS FOR REINSTALLATION LOCATION.	REMOVE EXISTING STAIN EXISTING CLOSET SYSTEM, SEE PLANS FOR REINSTALLATION LOCATION.
03.18	REMOVE EXISTING SINK VERTICAL PREP PIPING FOR NEW SINK(S) TO BE CONNECTED.	REMOVE EXISTING SINK VERTICAL PREP PIPING FOR NEW SINK(S) TO BE CONNECTED.
03.19	REMOVE EXISTING SINK VERTICAL PREP PIPING FOR NEW SINK(S) TO BE CONNECTED.	REMOVE EXISTING SINK VERTICAL PREP PIPING FOR NEW SINK(S) TO BE CONNECTED.

LEGEND - DEMOLITION



GENERAL NOTES - DEMOLITION

3. COORDINATE AND CONFIRM EXTENT OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID. FIELD VERIFY TO BE REQUIRED FOR SCOPE OF WORK
2. SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER TO STORE IN LOCATION DESIGNATED BY OWNER
3. COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID
4. REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAWS. BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY
5. INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM THE PUBLIC AND PROTECT THE HOUSING CODES. THE BARRICADES SHOULD BE LOCATED EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOR ACCESS SHALL BE LOCKED
6. INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS REQUIRED IF DEMOLITION WORK IMPACTS THE FOUNDATION
7. NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW CONSTRUCTION
8. INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE
9. PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION
10. DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A LIKE NEW CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP
11. LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER. REMOVE AND RELocate PRIOR TO PERSONAL, INCLUDING ANY ITEMS THAT WOULD COMPROMISE THE DEMOLITION WORK SCHEDULE

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06/28/2023

Issuance Date:

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06/11/2023
06/28/2023

05/11/2023

Date:

DEMOLITION PLANS AND SECTIONS

A12

Addition and Renovation

Burg Residence
19670 Telbir Ave.

19670 Telbir Ave.

19670 Telbir Ave.

Project Info:

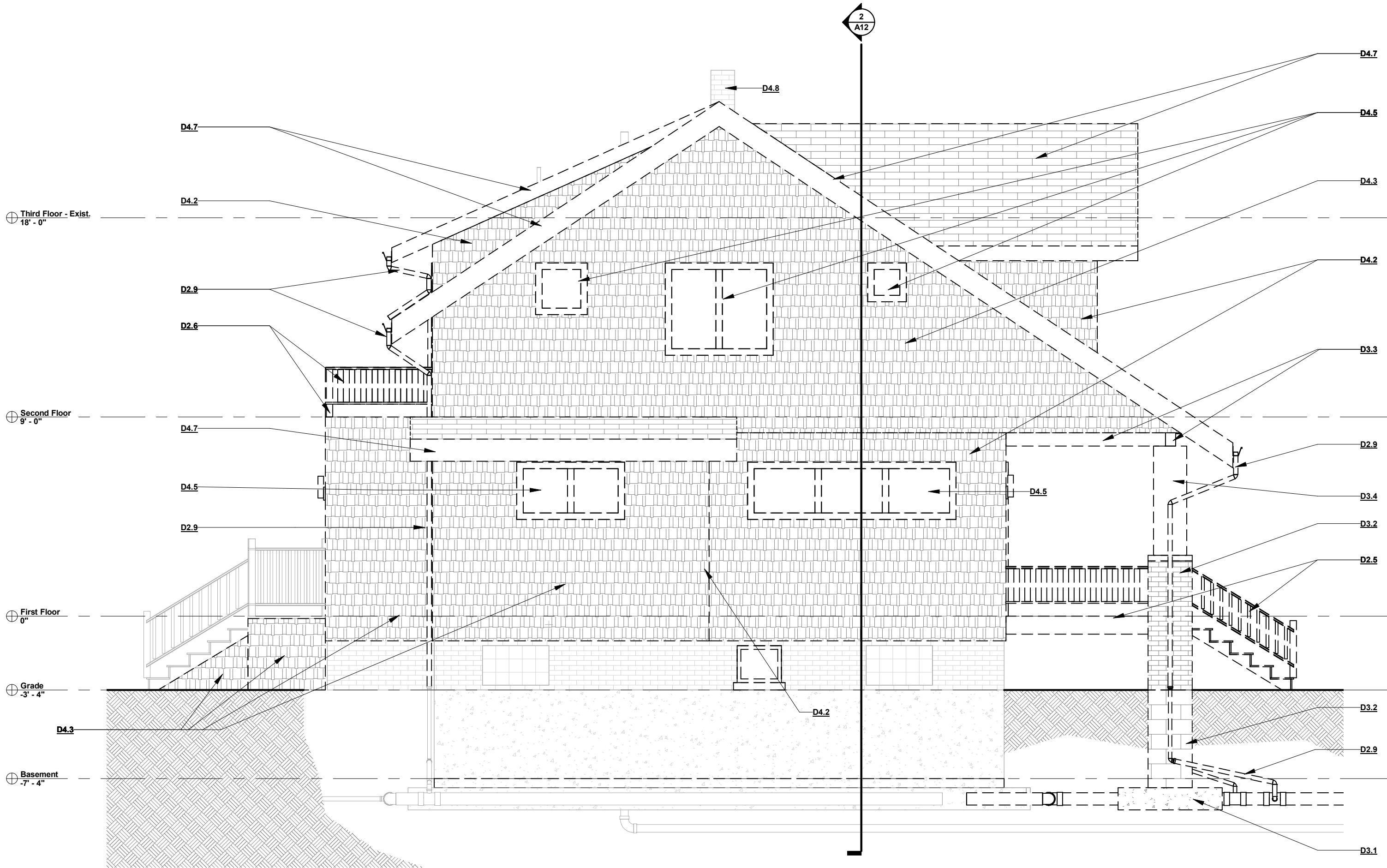
Brian T. Hennies

License #: 38379088

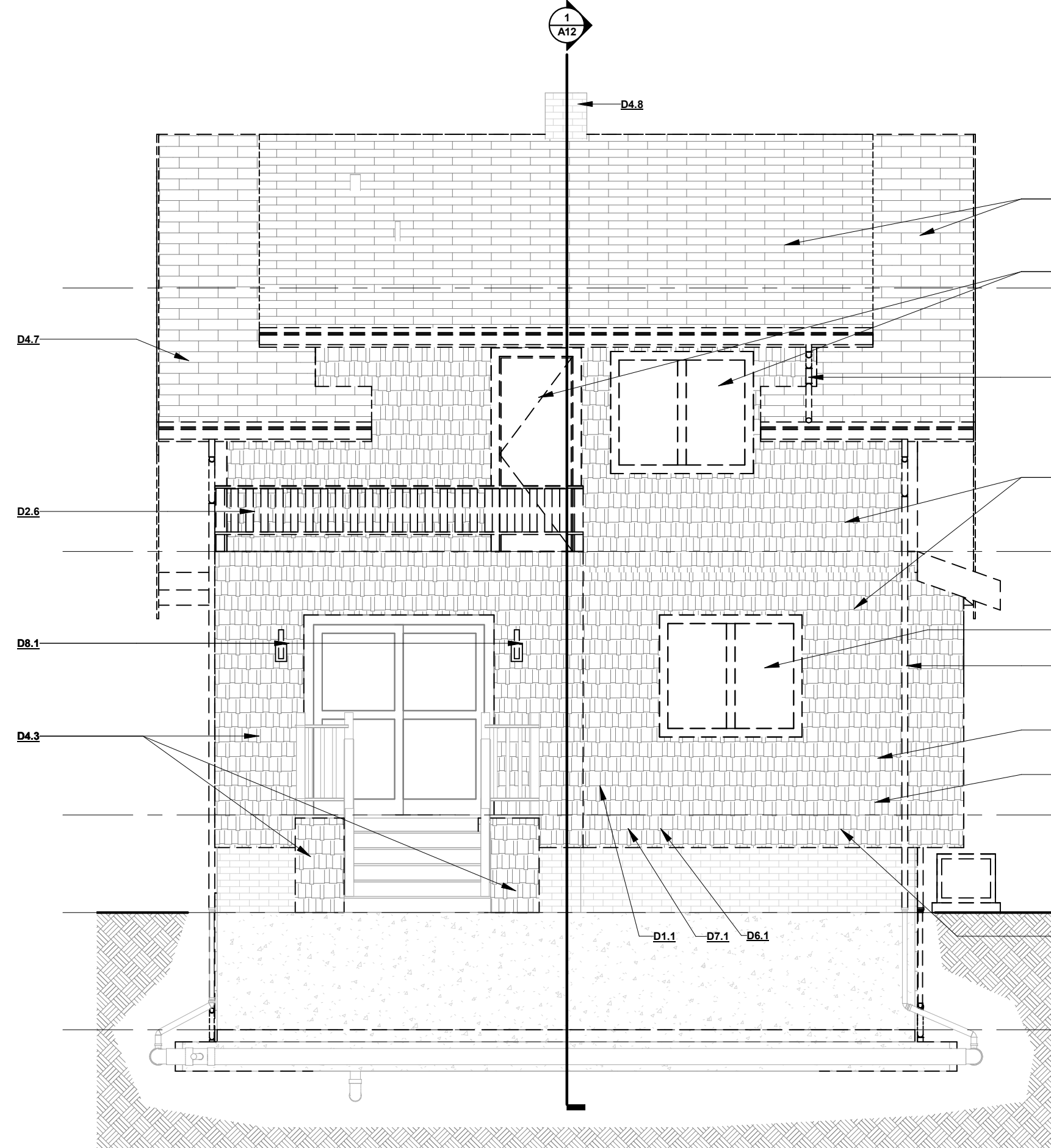
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Decision:

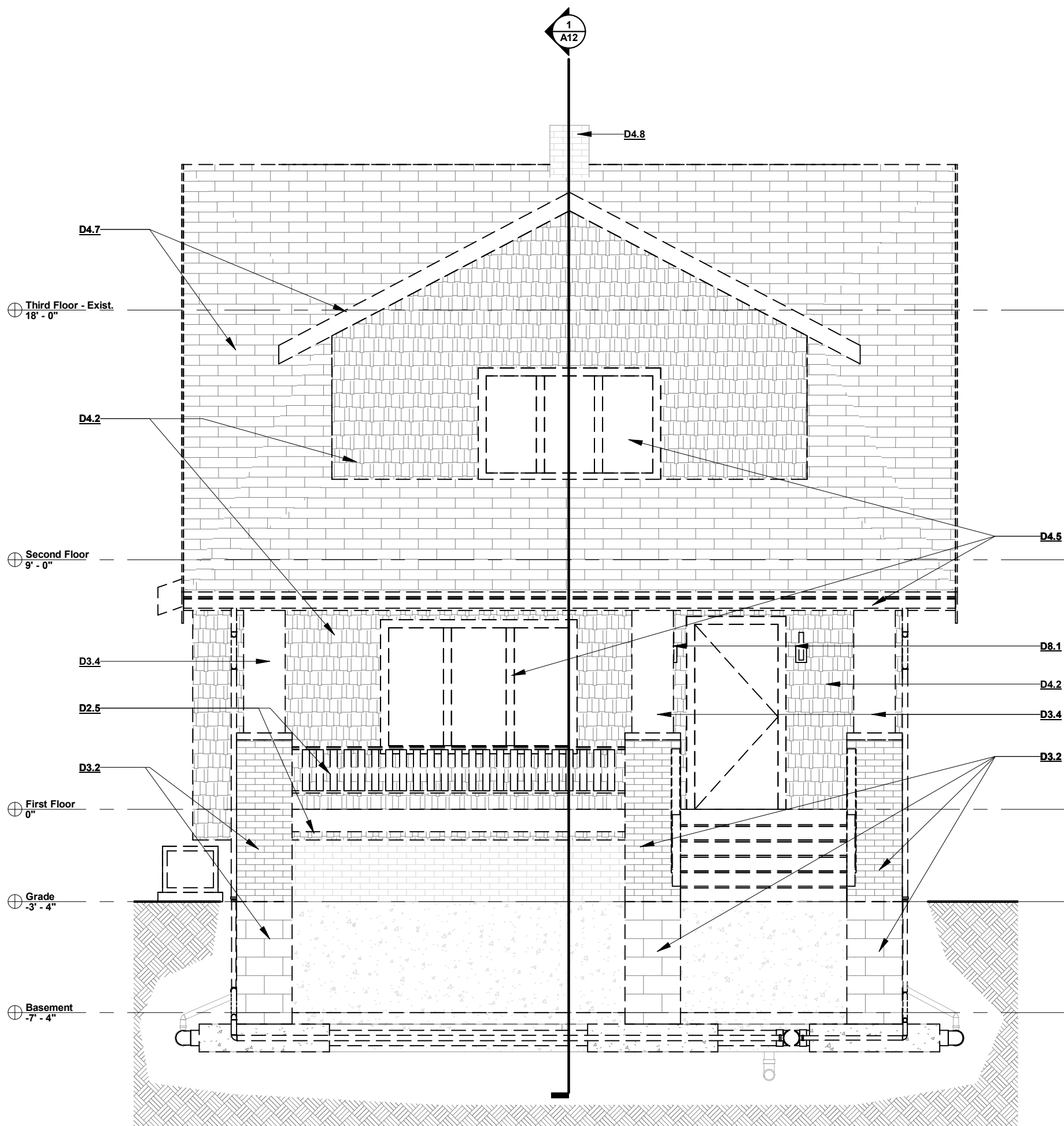
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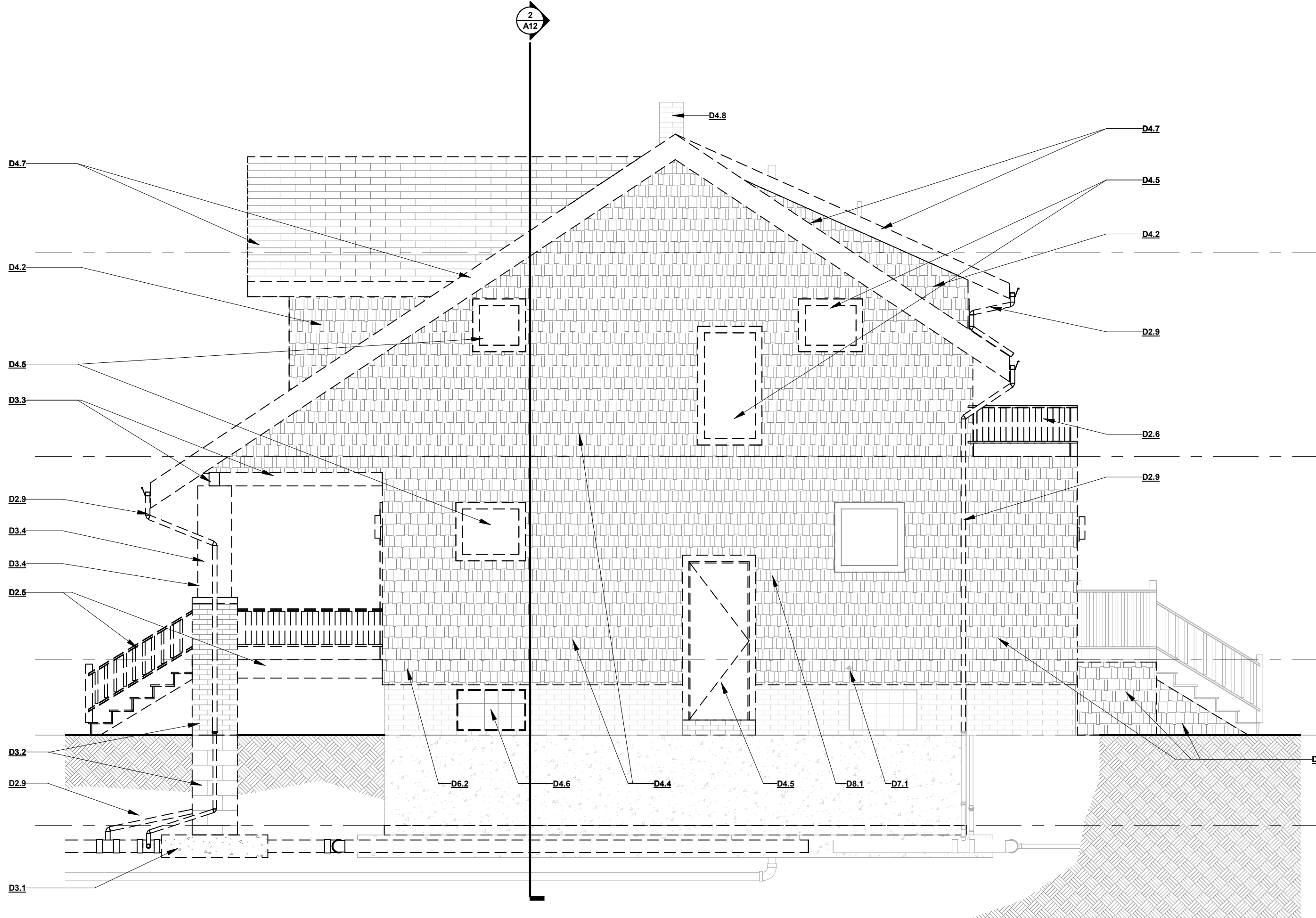
WEST ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



EAST ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

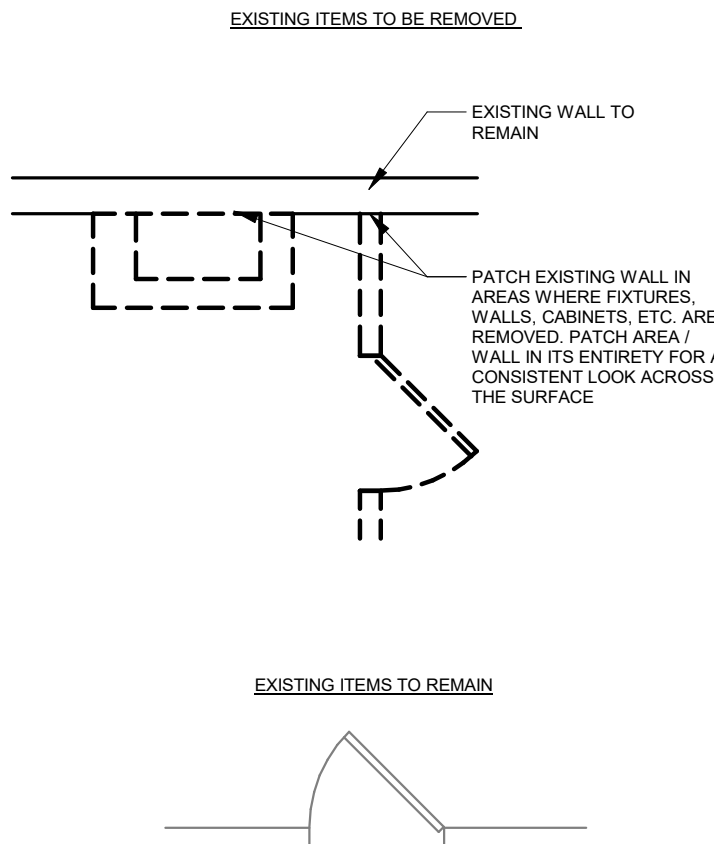
GENERAL NOTES - DEMOLITION

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- LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK. IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

KEYNOTES

#	DESCRIPTION
D1.1	REMOVE EXISTING CABLE LINE AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D1.2	REMOVE EXISTING POWER LINE AND METER AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D1.3	REMOVE EXISTING TELEPHONE LINE AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D2.5	REMOVE PORCH/DECK CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING, ATTACHMENTS, RAILINGS, POSTS AND FOOTERS.
D2.6	REMOVE RAILINGS, POSTS AND ATTACHMENTS.
D2.9	REMOVE EXISTING DOWNSPOUT AND ADAPTER.
D3.1	REMOVE PORTION OF EXISTING FOUNDATION CONCRETE FOOTER.
D3.2	REMOVE EXISTING MASONRY OR CMU WALL.
D3.3	REMOVE EXISTING WOOD FRAMING MEMBER.
D3.4	REMOVE EXISTING WOOD COLUMN.
D4.2	REMOVE EXTERIOR WALL SIDING, SHEATHING, WOOD STUDS AND INTERIOR GYPSUM BOARD IN ITS ENTIRETY. TEMPORARILY PROTECT OPENING FROM WEATHER.
D4.3	REMOVE EXTERIOR WALL SIDING DOWN TO SHEATHING. PREP FOR NEW SIDING. REPAIR / REPLACE EXISTING SHEATHING AS NEEDED PRIOR TO NEW WORK.
D4.4	REMOVE EXTERIOR WALL SIDING AND SHEATHING DOWN TO WOOD STUDS. MAINTAIN STUDS IN PLACE FOR NEW WORK.
D4.5	REMOVE EXTERIOR WINDOW OR DOOR, TRIM AND HARDWARE.
D4.6	REMOVE EXTERIOR GLASS BLOCK WINDOW, INFIL WITH MATCHING ADJACENT MATERIALS.
D4.7	REMOVE EXISTING ROOFING SYSTEM, SOFFITS, FASCIA BOARD AND FRAMING MEMBERS IN ITS ENTIRETY. SEE DWGS FOR NEW ROOF AND LOCATIONS.
D4.8	EXISTING MASONRY CHIMNEY TO REMAIN. TEMPORARILY SUPPORT / BRACE DURING NEW WORK.
D6.1	REMOVE EXISTING SPIGOT AND ASSOCIATED PIPING FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D6.2	REMOVE EXISTING SPIGOT, EXTEND TO NEW LOCATION WITH NEW PIPING AND NEW SPIGOT. SEE DWGS FOR NEW LOCATION.
D7.1	REMOVE BATHROOM EXHAUST VENT COVER FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D8.1	REMOVE EXISTING EXTERIOR LIGHT FIXTURE, WIRING, CONDUIT AND BACK BOX.
D8.2	REMOVE EXISTING EXTERIOR OUTLET AND COVER FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.

LEGEND - DEMOLITION



ZONING & PERMIT

Issuance Name:

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DEMOLITION
ELEVATIONS
AND SECTIONS

A13

Brian T. Hennies

License #: 38379088

Expiration Date: 12/31/2023

Designer:

Addition and
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