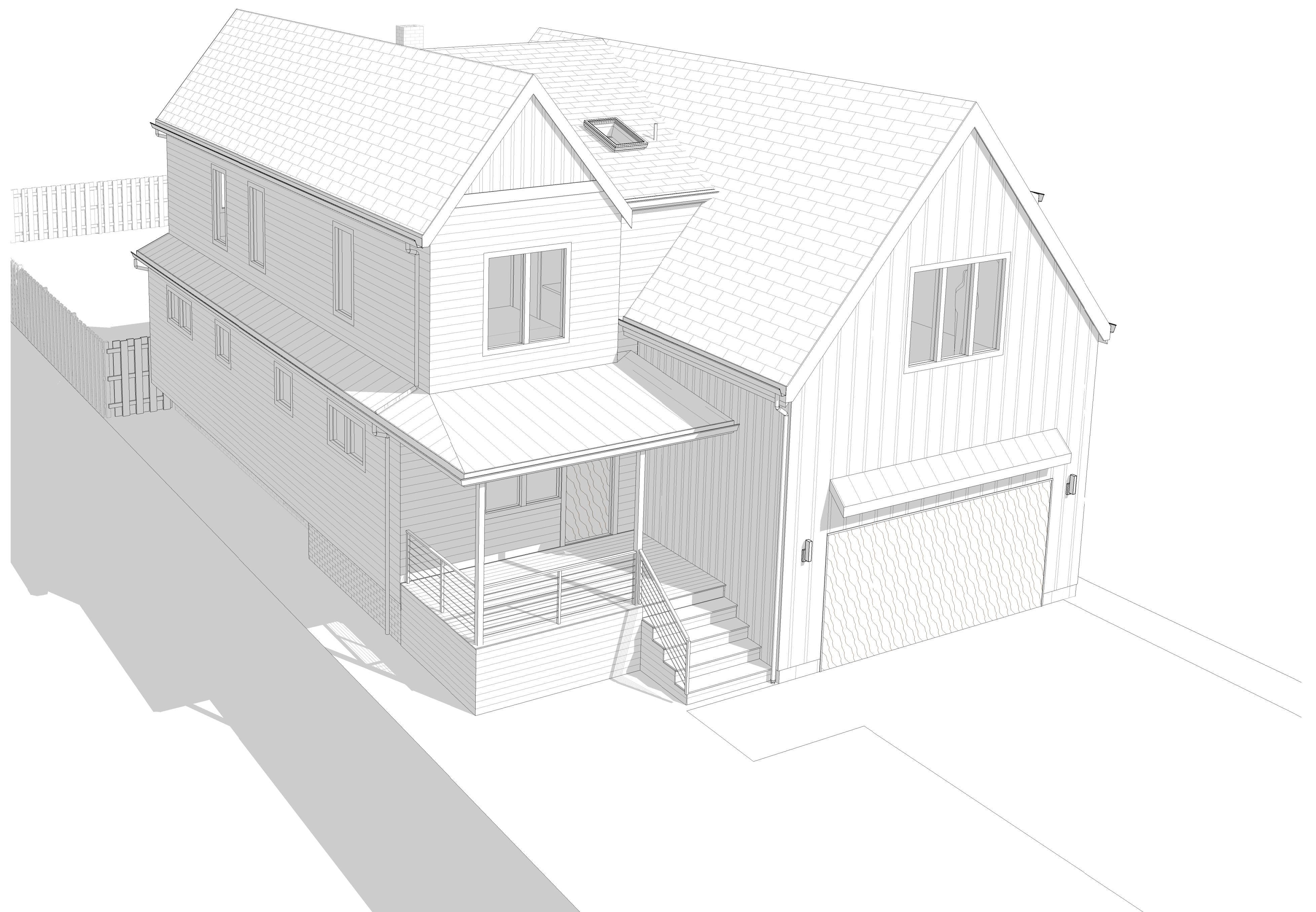


# Burg Residence Addition and Renovation

19670 Telbir Ave.  
Rocky River, OH 44116

ISSUANCE NAME: ZONING & PERMIT  
ISSUANCE DATE: 06/28/2023  
PROJECT NUMBER: 190301



LEGEND - MATERIALS	
UNDISTURBED OR COMPACTED SOIL	CONTINUOUS WOOD FRAMING
POROUS FILL OR SUBBASE	WOOD BLOCKING
DRAINAGE FILL	PLYWOOD
CAST-IN-PLACE CONCRETE	PARTICLE BOARD
TOPSOIL	FINISHED LUMBER FOR ARCHITECTURAL WORK
GROUT	BATT INSULATION
BRICK	RIGID INSULATION
CONCRETE UNIT MASONRY	FIBROUS FIRE SAFING
STEEL	GESS
ALUMINUM	TERRAZZO
GYPSUM BOARD	CERAMIC TILE

## LEGEND - STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.C.	AIR CONDITIONING
ALT.	ALTERNATE
C.B.B.	CEILING BACKER BOARD
C.H.	CEILING HEIGHT
C.T.	CERAMIC TILE
C.O.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.W.	COLD WATER
COORD.	COORDINATE
DEMO.	DEMOLITION
DIA.	DIAMETER
DWG.	DRAWING
EXIST.	EXISTING
E.T.R.	EXISTING TO REMAIN
E.J.	JOINT
EXT.	EXTERIOR
EQ.	EQUAL
F.G.	FIBERGLASS
F.D.	FLOOR DRAIN
FURN.	FURNITURE
GALV.	GALVANIZED
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GYP. BD.	GYPSUM BOARD
H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING
H.W.	HOT WATER
MANF.	MANUFACTURER
M.D.	MANUFACTURED OPENING
M.ECH.	MECHANICAL
MIR.	MIRRORED
MISC.	MISCELLANEOUS
M.T.	MOSAIC TILE
M.R.G.B.	MOISTURE RESISTANT GYPSUM BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
RAD.	RADIUS
R.O.	ROUGH OPENING
SAN.	SANITARY
SIM.	SIMILAR
S.G.G.	SOLID ON GRADE
S.S.M.	SOLID SURFACE MATERIAL
S.G.	SOLID SURFACE
S.S.	STAINLESS STEEL
ST.	STORM
STRUCT.	STRUCTURAL
S.A.	SUPPLY AIR
TEMP.	TEMPORARY
T.	THERMOSTAT
T.L.T.	TOILET
TY.P.	TYPE
U.C.	UNDER COUNTER
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VIN.	VINYL
W/	WITH
W/O	WITHOUT

## LEGEND - GRAPHICS SYMBOLS

NORTH ARROW		GENERAL ANNOTATION
GRAPHIC SCALE	0 5' 10' 15'	DIMENSIONS CENTERLINE CONTROL
	SCALE: 1/8" = 1'-0"	
VIEW TITLE	1 View Name	J.C. MAX
	SCALE: 1/8" = 1'-0"	
ROOM TAG	Room Name	PROPERTY LINE
	Room #	
COLUMN GRID	Room Name	RIGHT OF WAY
	Room #	
PLUMBING LEGEND	Room Name	SANITARY LINE
	Room #	
MECHANICAL LEGEND	Room Name	STORM LINE
	Room #	
SPOT ELEVATIONS	Room Name	FENCE
	Room #	
VERTICAL ELEVATIONS	Room Name	WATER LINE
	Room #	
DRAWING REVISION	Room Name	GAS LINE
	Room #	
SECTION / DETAIL TAG	Room Name	LINEAR DIFFUSER
	Room #	
CALLOUT / ENLARGED DETAIL TAG	Room Name	EXHAUST FAN
	Room #	
INTERIOR / EXTERIOR ELEVATION TAG	Room Name	RETURN AIR DUCT /
	Room #	
DOOR TAG SYMBOL	Room Name	GRILLE / DIFFUSER
	Room #	
CEILING TAG	Room Name	THERMOSTAT
	Room #	
WINDOW TYPE SYMBOL	Room Name	DOWNLIGHTS - LED
	Room #	
PARTITION TAG	Room Name	PENDANT LIGHTS - LED
	Room #	
LOCATION / MAP	Room Name	UNDER CABINET LIGHTING
	Room #	

C0

COVER SHEET

ZONING & PERMIT

Issuance Name:

06/28/2023

Issuance Date:

06/11/2023

Pricing:

05/13/2021

Revision:

05/13/2021

Zoning & Permit  
Pricing  
Pricing  
Revision:

06/28/2023  
06/11/2023  
05/13/2021

Date:

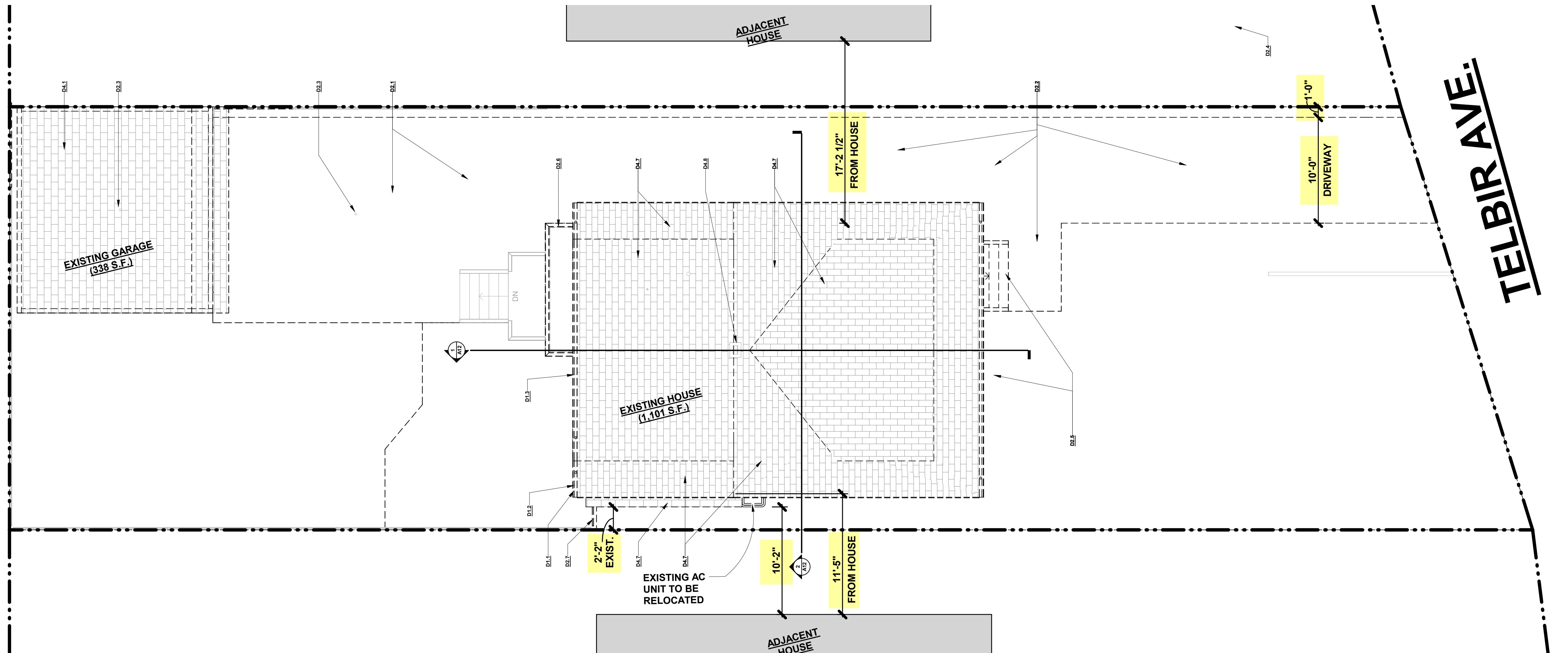
Brian T. Hennies  
License #: 38379088  
Expiration Date: 12/31/2023  
Designer:

Burg Residence  
19670 Telbir Ave.  
Rocky River, OH 44116

Project Info:

LOT SQ. FT.	5,440 (PER GIS)
EXISTING HOUSE:	1,101 S.F.
EXISTING GARAGE:	338 S.F.
<b>TOTAL:</b>	<b>1,439 S.F. (26.5%)</b>

**NOTE:**  
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.



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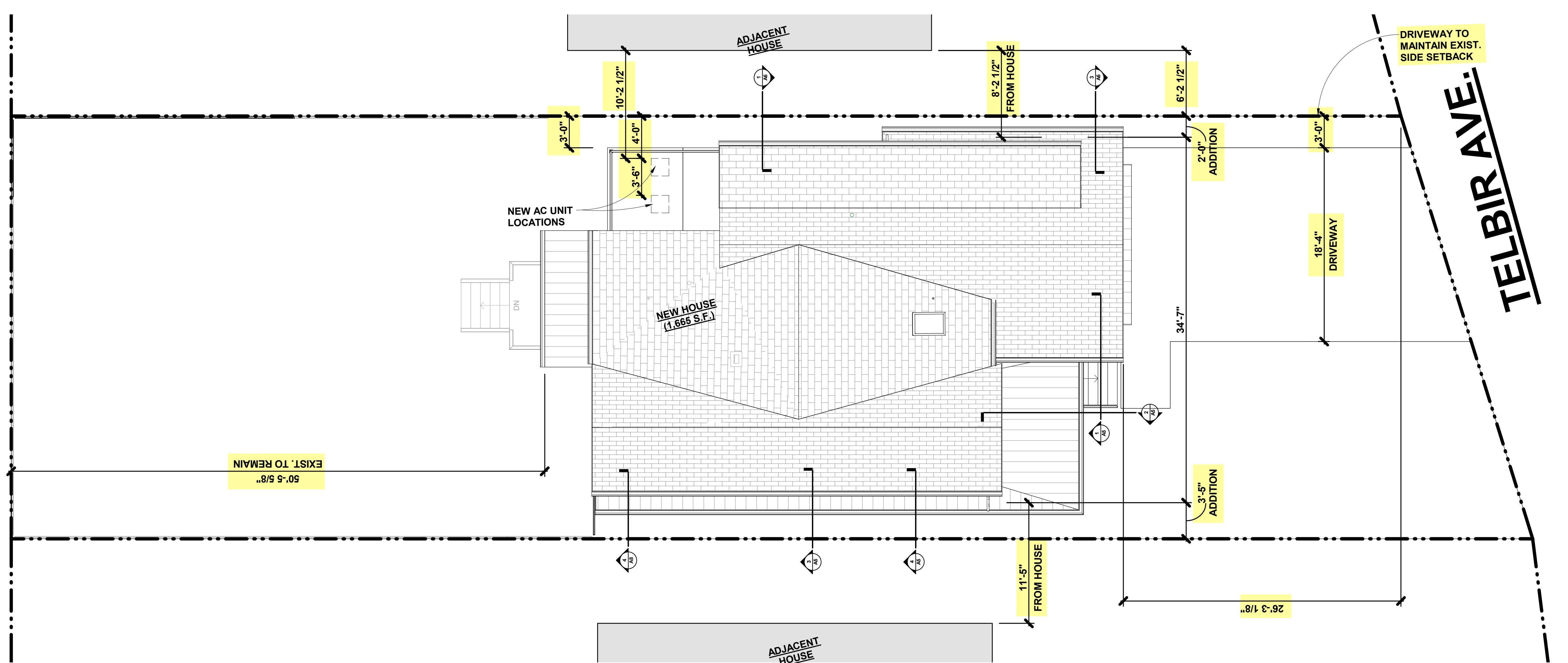
**NOTE:**  
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.

LOT SQ. FT.	5,440 (PER GIS)</

## LOT COVERAGE - NEW

LOT SQ. FT.	5,440 (PER GIS)
NEW HOUSE:	1,665 S.F.
GARAGE (ATTACHED):	0 S.F.
<b>TOTAL:</b>	<b>1,665 S.F. (30.6%)</b>

**NOTE:**  
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.



**A0.2**

**SITE PLAN - NEW**

**SITE PLAN - NEW**

**SITE PLAN - NEW**

**Brian T. Hennies**

License #: 38379088

Expiration Date: 12/31/2023

Designer:

**Addition and Renovation**

Burg Residence

19670 Telbir Ave.

Rocky River, OH 44116

Project Info:

Date:

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Revision:

190301

Project Number:

Sheet Name:

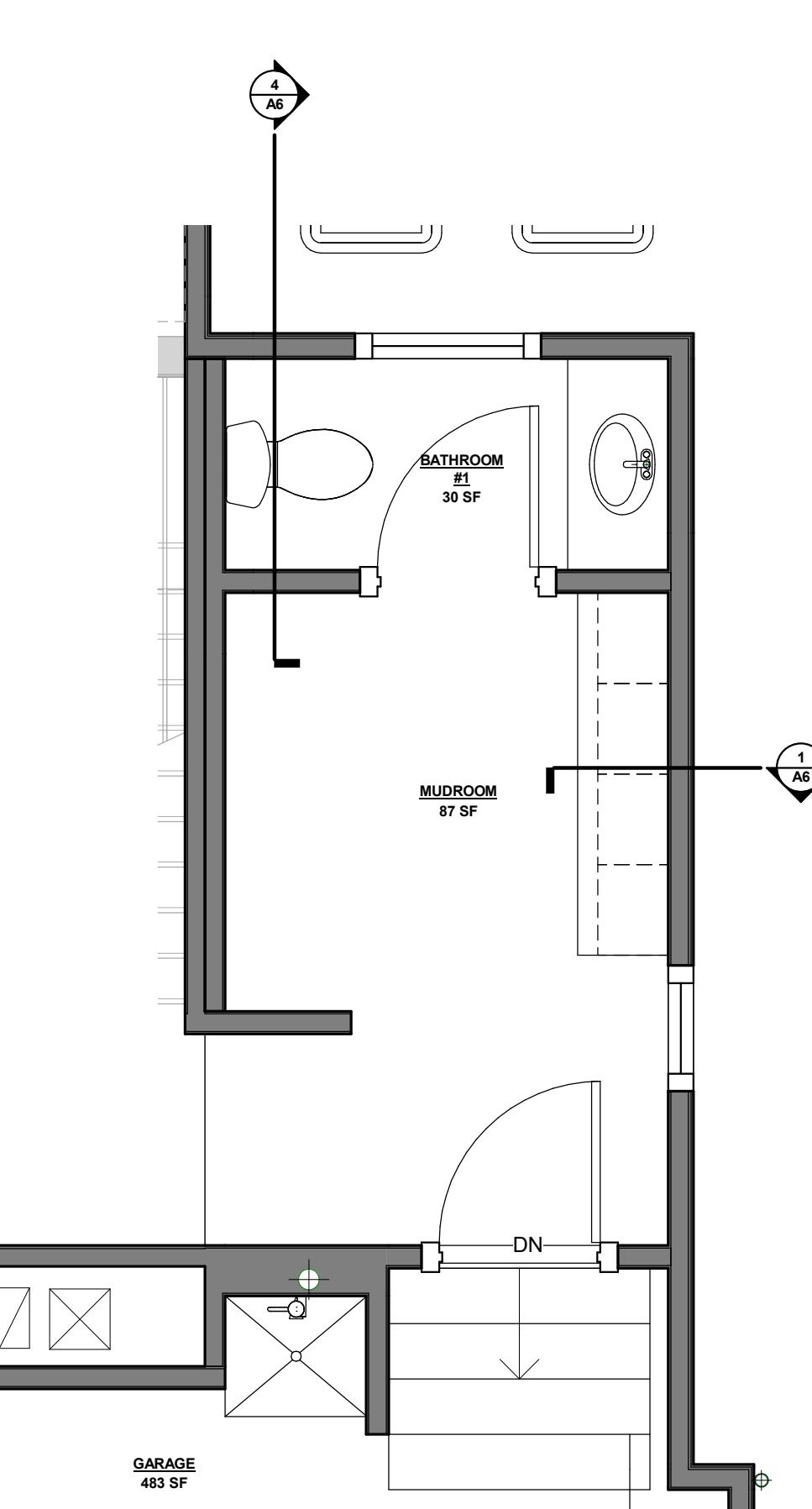
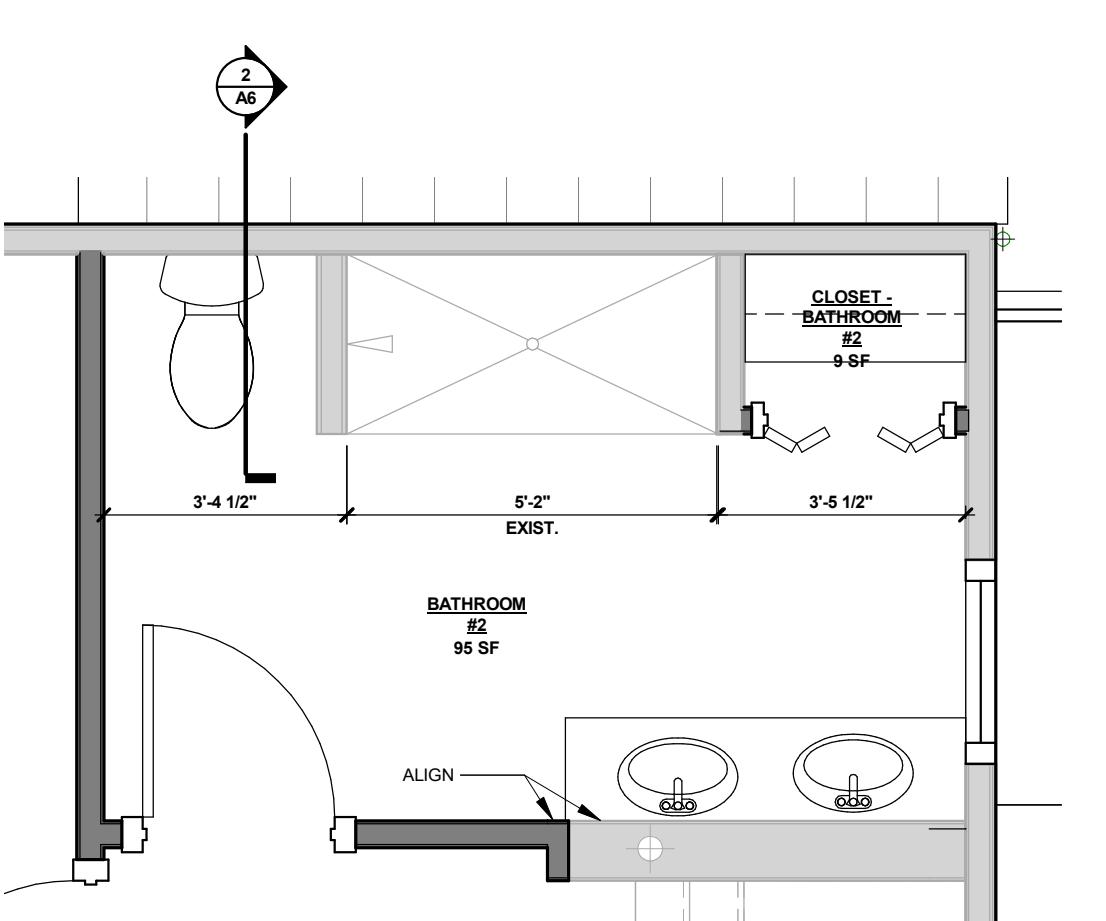
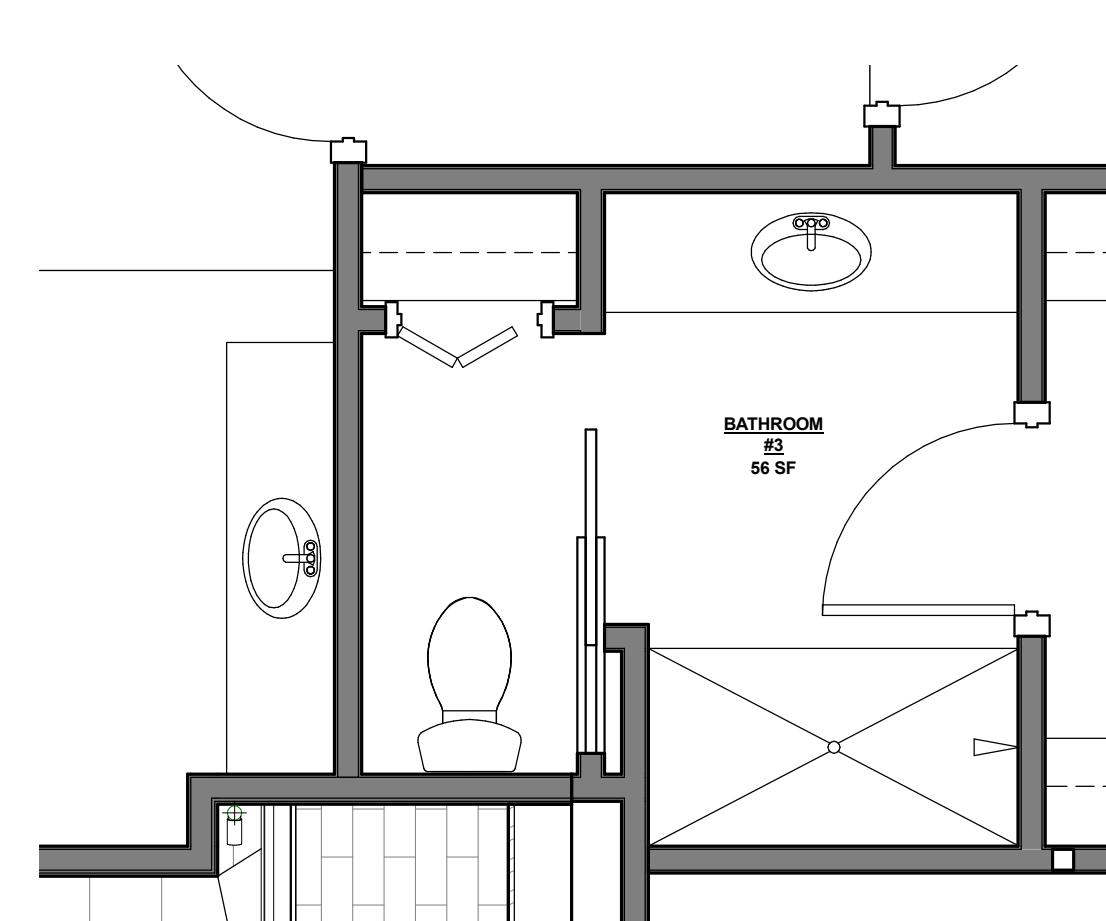
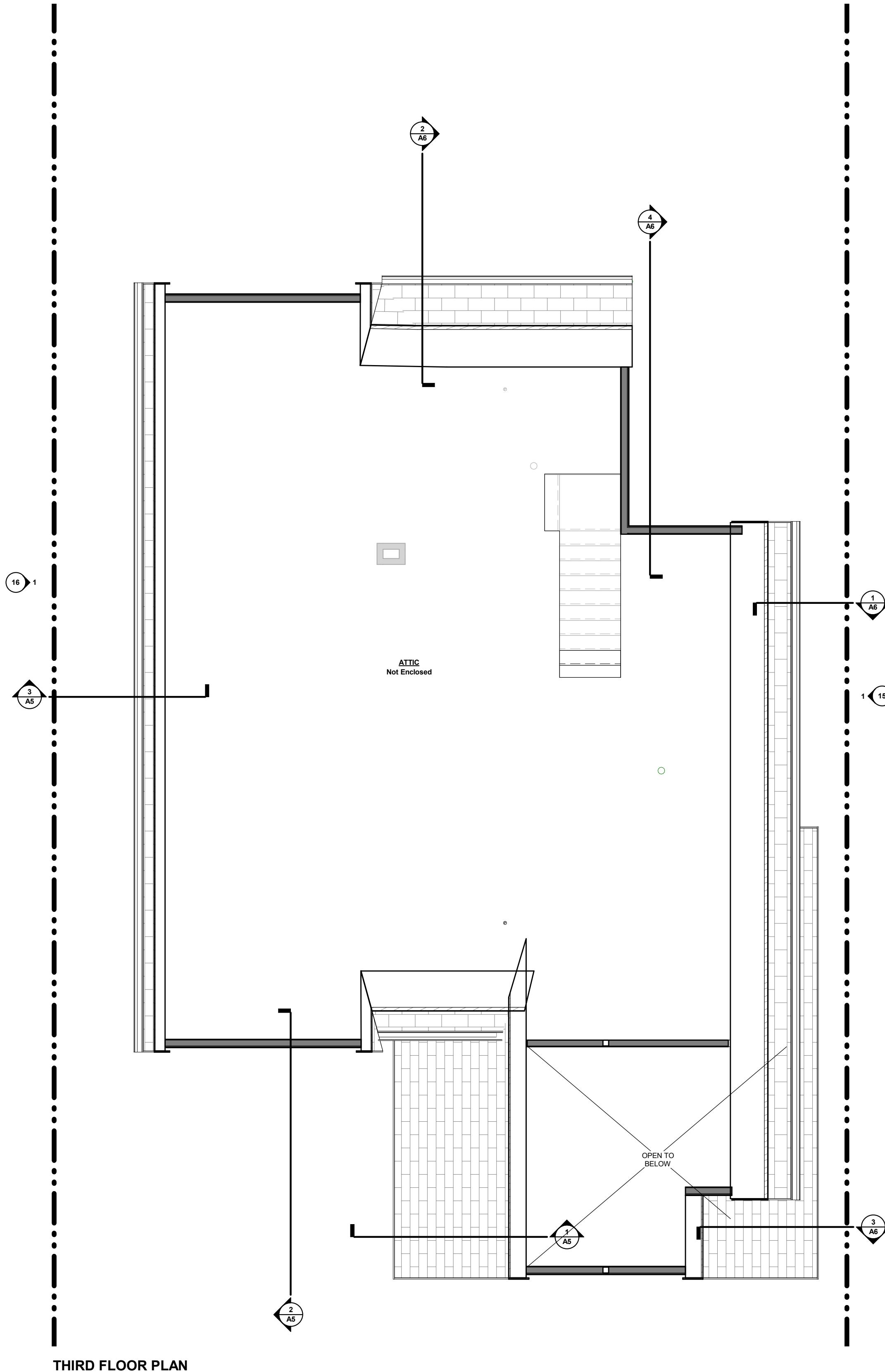
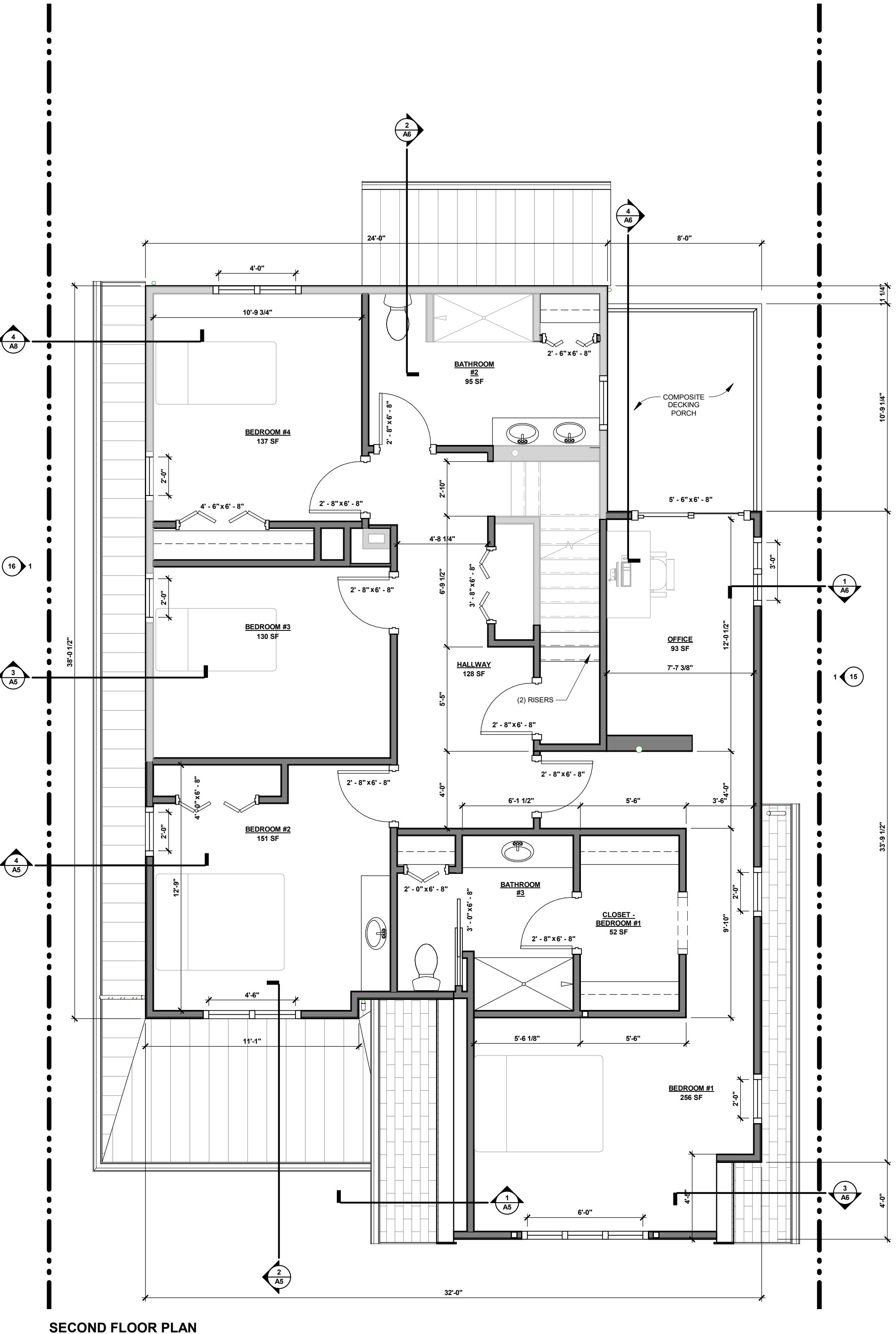
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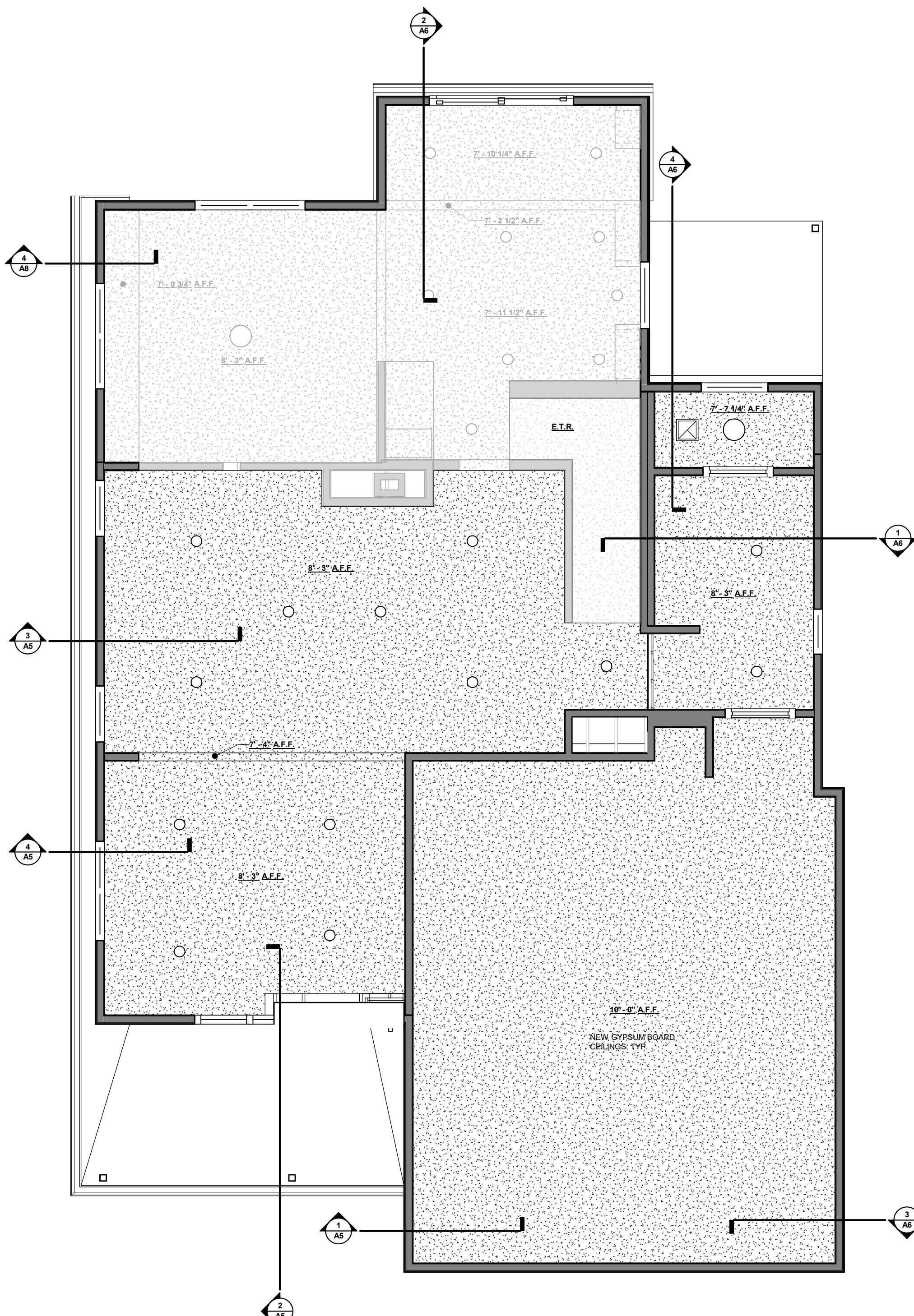
**FLOOR PLANS**

**A2**

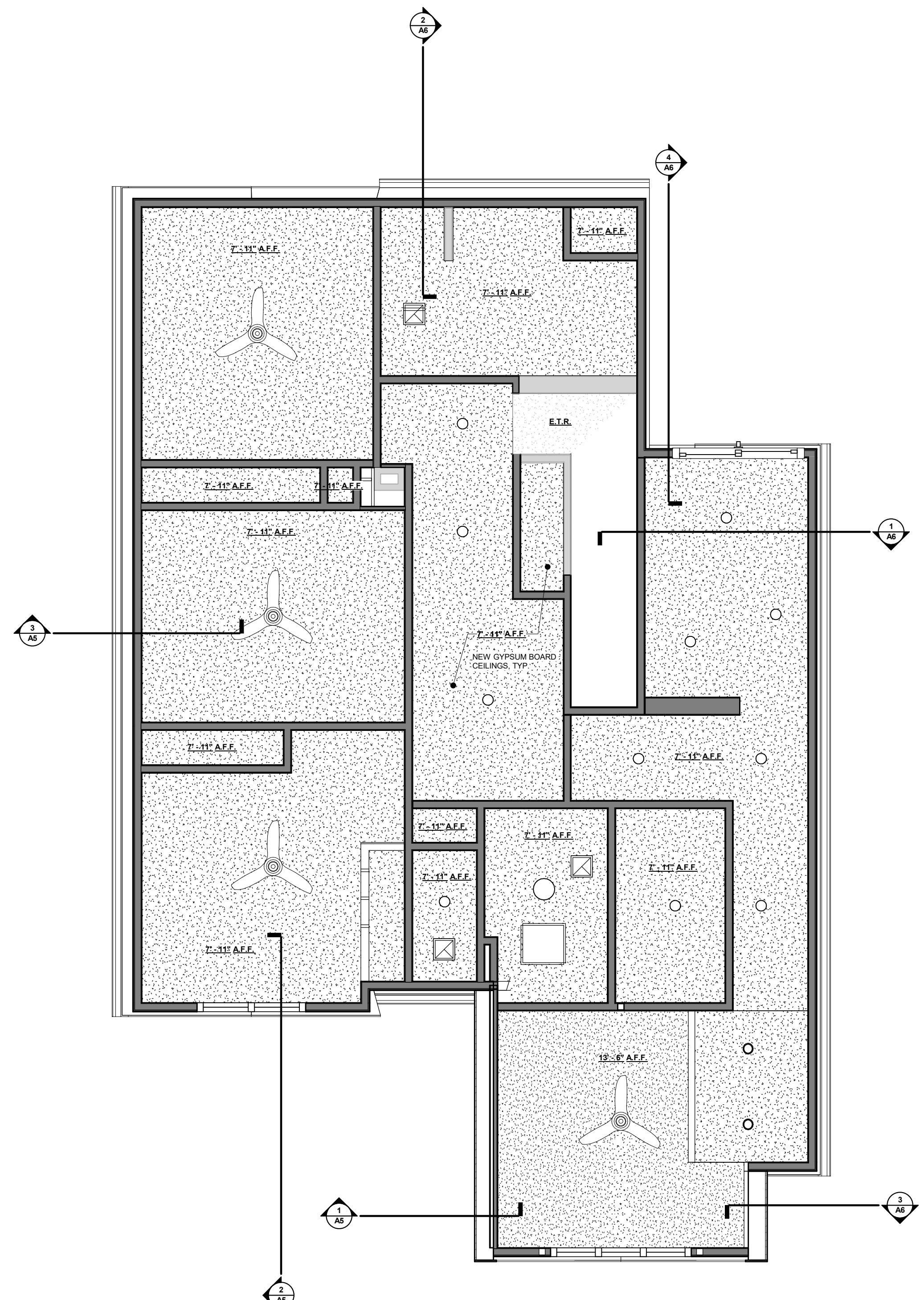


REFLECTED  
CEILING PLANS

FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

Addition and  
Renovation

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19670 Teibor Ave.  
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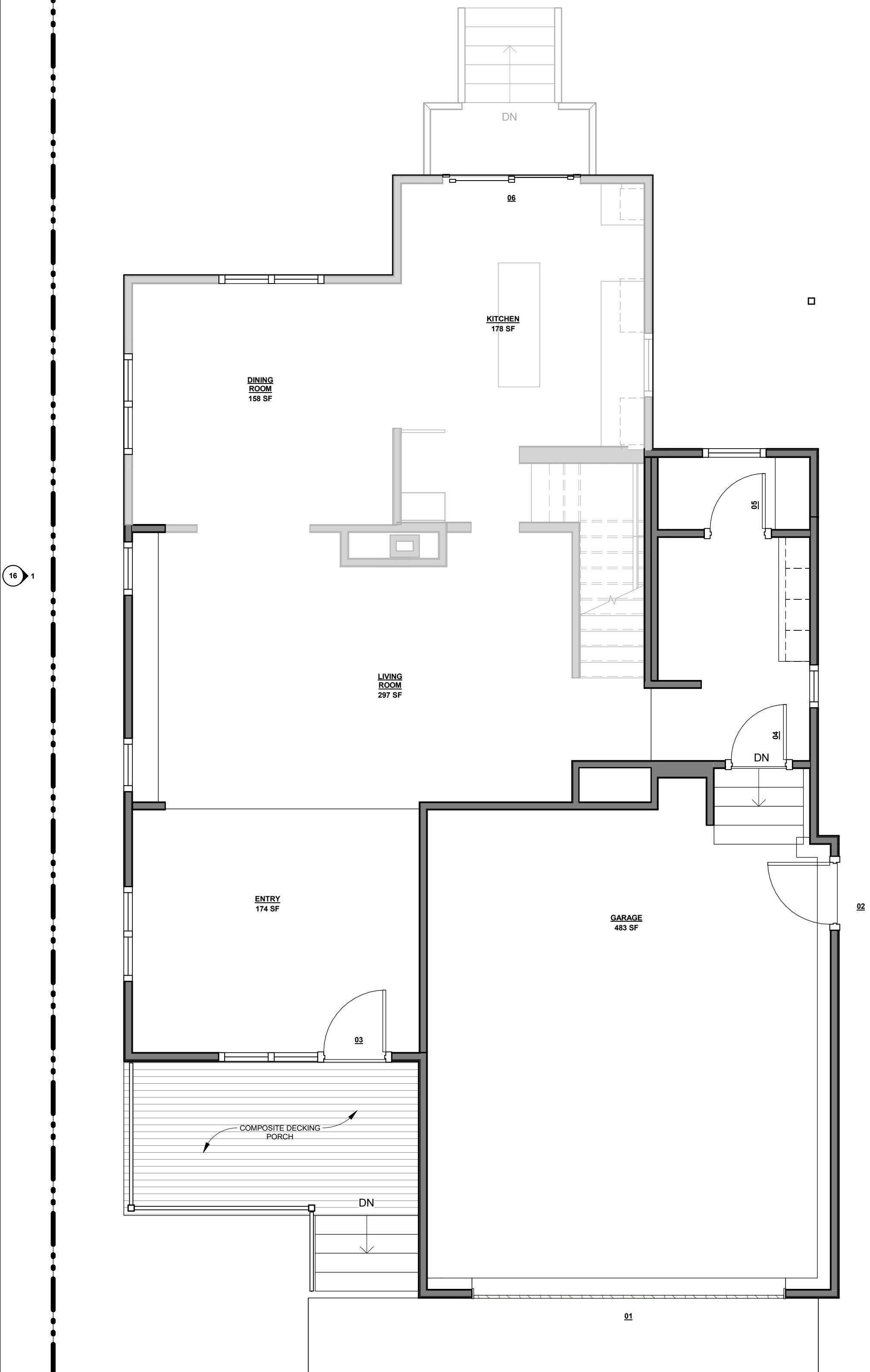
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**Addition and  
Renovation**

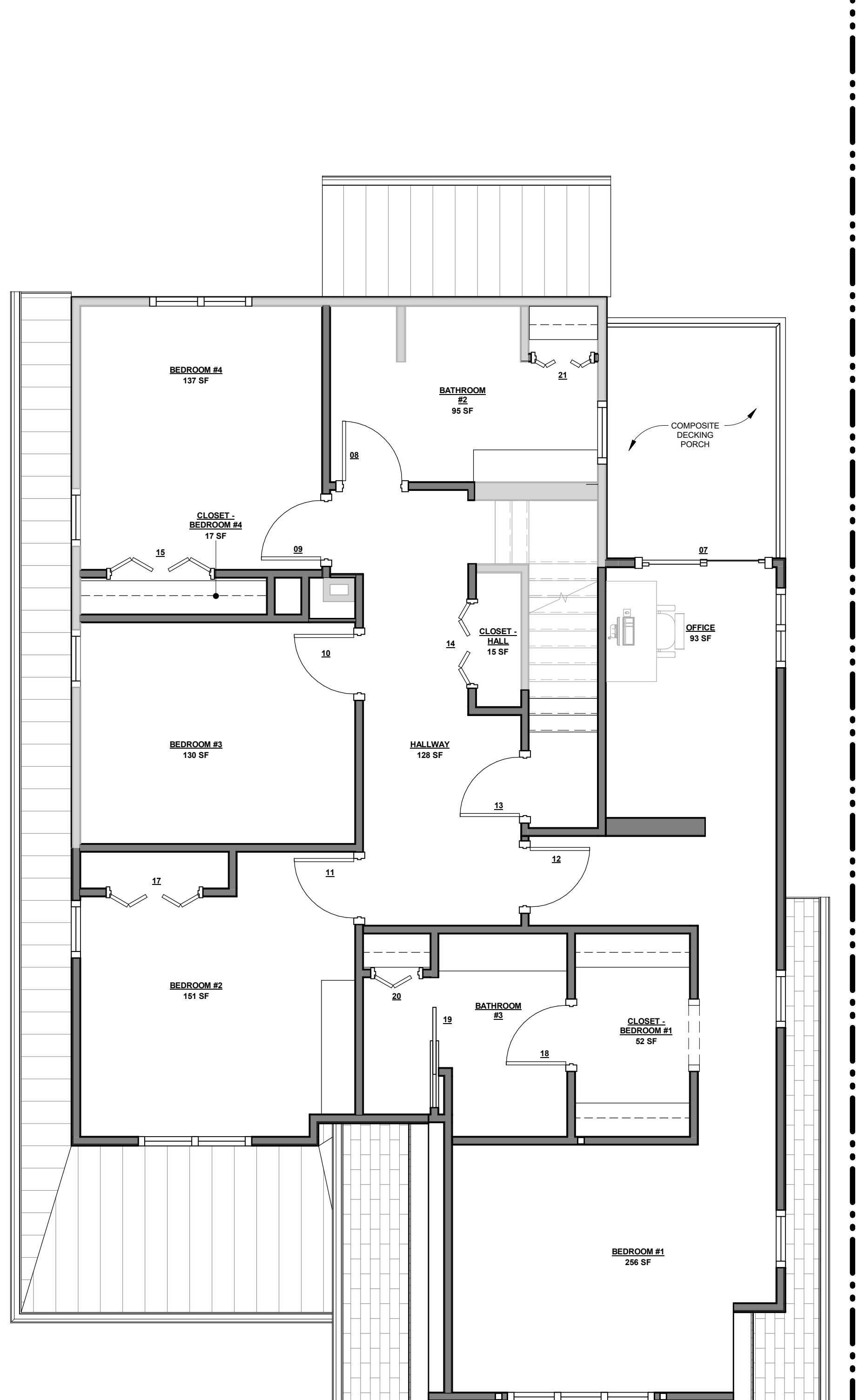
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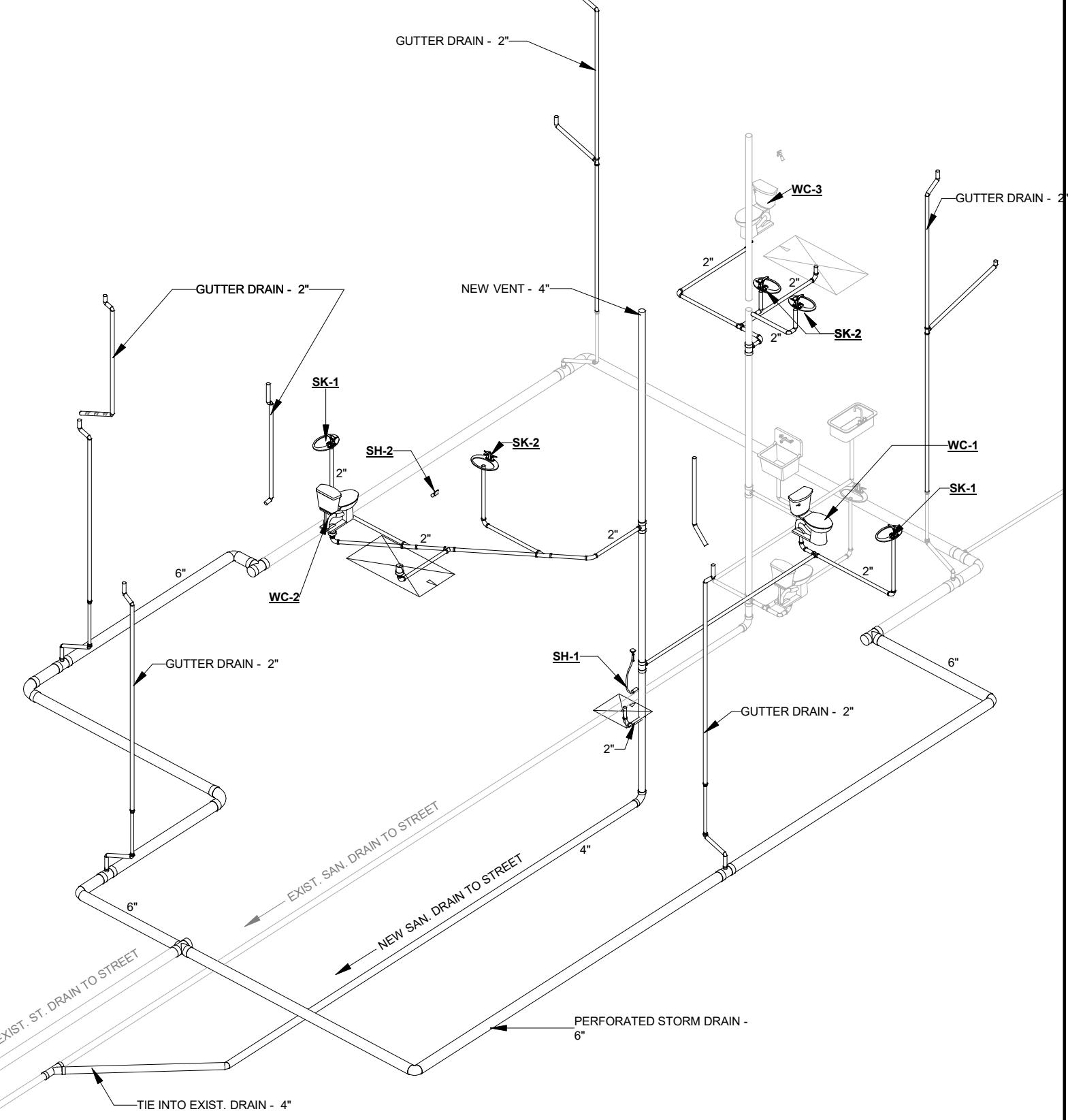
**FIRST FLOOR FINISH PLAN**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR FINISH PLAN**

SCALE: 1/4" = 1'-0"



**PLUMBING RISER DIAGRAM**

**PLUMBING FIXTURE SCHEDULE**

MARK	DESCRIPTION	MANUFACTURER	MODEL	CV	HW	DRAIN	VENT	COMMENTS
SH-1	HOSE SPRAY AND CONTROLS	T.B.D.	T.B.D.	1/2"	1/2"	2"	2"	
SH-2	SHOWER HEAD AND CONTROLS	T.B.D.	T.B.D.	1/2"	1/2"	2"	2"	
SK-1	PORCELAIN SINK APART OF VANITY	T.B.D.	T.B.D.	1/2"	1/2"	2"	2"	
SK-2	PORCELAIN SINK APART OF VANITY	T.B.D.	T.B.D.	1/2"	1/2"	2"	2"	O.F.C.I.
WC-1	FLOOR MOUNT, FLOOR DISCHARGE	T.B.D.	T.B.D.	1/2"	1/2"	2"	2"	
WC-2	FLOOR MOUNT, FLOOR DISCHARGE	T.B.D.	T.B.D.	1/2"	-	2"	2"	
WC-3	FLOOR MOUNT, FLOOR DISCHARGE	EXIST.	EXIST.	-	-	-	-	EXIST. RELOCATED

**DOOR SCHEDULE**

MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	COMMENTS
01	15'-0"	7'-0"	8	FG	1	FG	HARDWARE: GARAGE DOOR SYSTEM WITH KEYPAD
02	3'-0"	7'-0"	2	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
<b>First Floor</b>							
03	3'-0"	7'-0"	1	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
04	2'-8"	6'-8"	2	FG	3	FG	HARDWARE: CYLINDRICAL LOCKET
05	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL PRIVACY SET
06	6'-0"	6'-8"	3	WD	1	WD	RELOCATE EXIST.
<b>Second Floor</b>							
07	5'-6"	6'-8"	7	FG	1	FG	HARDWARE: LOCKET
08	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL PRIVACY SET
09	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
10	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
11	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
12	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
13	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: CYLINDRICAL LATCHSET
14	3'-0"	6'-8"	5	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
15	4'-6"	6'-8"	5	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
16	2'-8"	6'-8"	3	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
17	3'-0"	6'-8"	3	WD	2	WD	HARDWARE: SLOWING PRIVACY LATCHSET
18	3'-0"	6'-8"	3	WD	2	WD	HARDWARE: SLOWING PRIVACY LATCHSET
19	3'-0"	6'-8"	3	WD	2	WD	HARDWARE: SLOWING PRIVACY LATCHSET
20	2'-8"	6'-8"	6	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS
21	2'-6"	6'-8"	5	WD	2	WD	HARDWARE: PIVOT SET WITH LEVERS

**FINISH PLANS  
AND DETAILS**

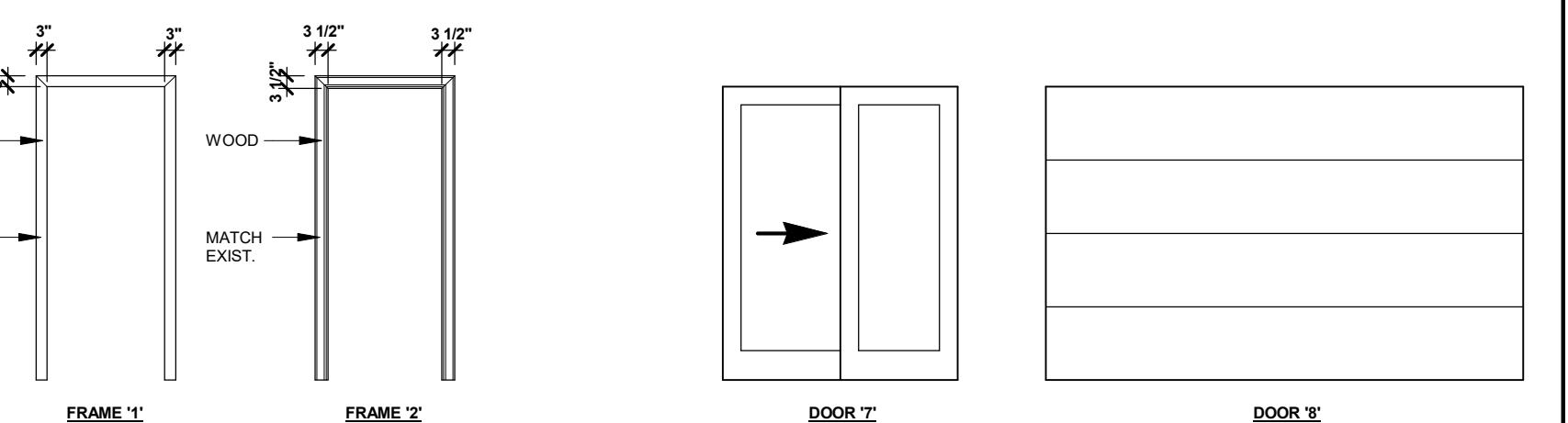
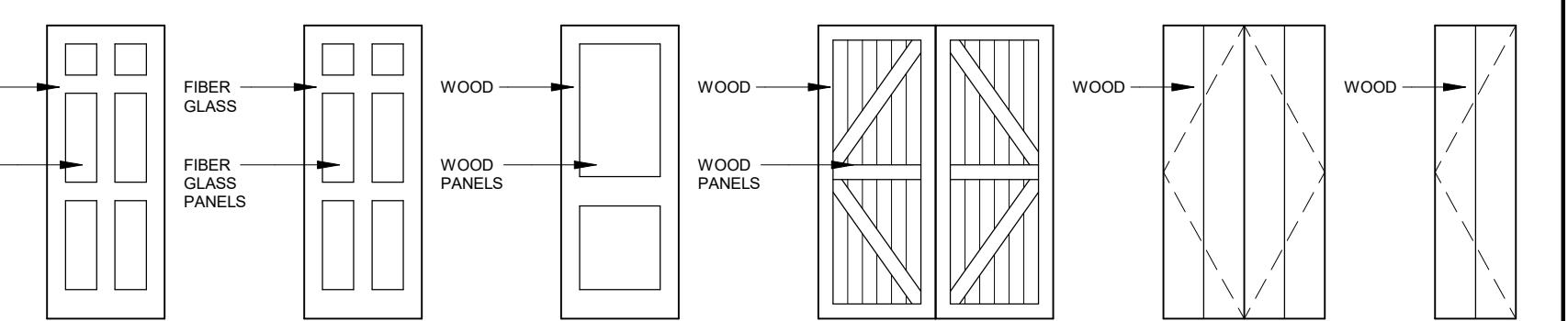
Issue Date:  
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190301

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Pricing  
Revision:

06/28/2023  
06/11/2023  
05/13/2021

Date:



**DOORS AND FRAMES ELEVATIONS**

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A4

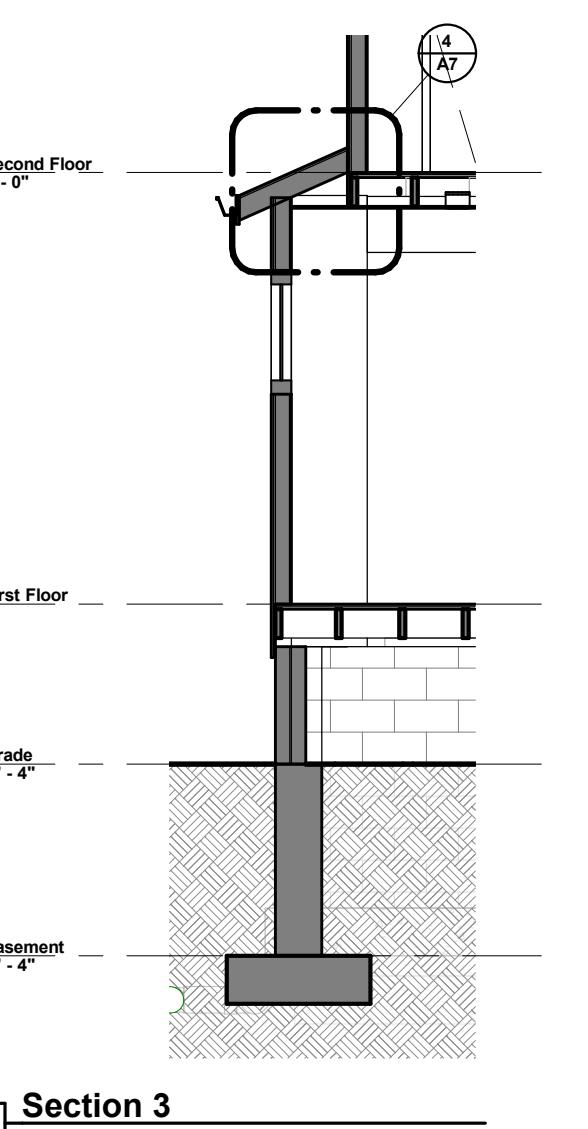
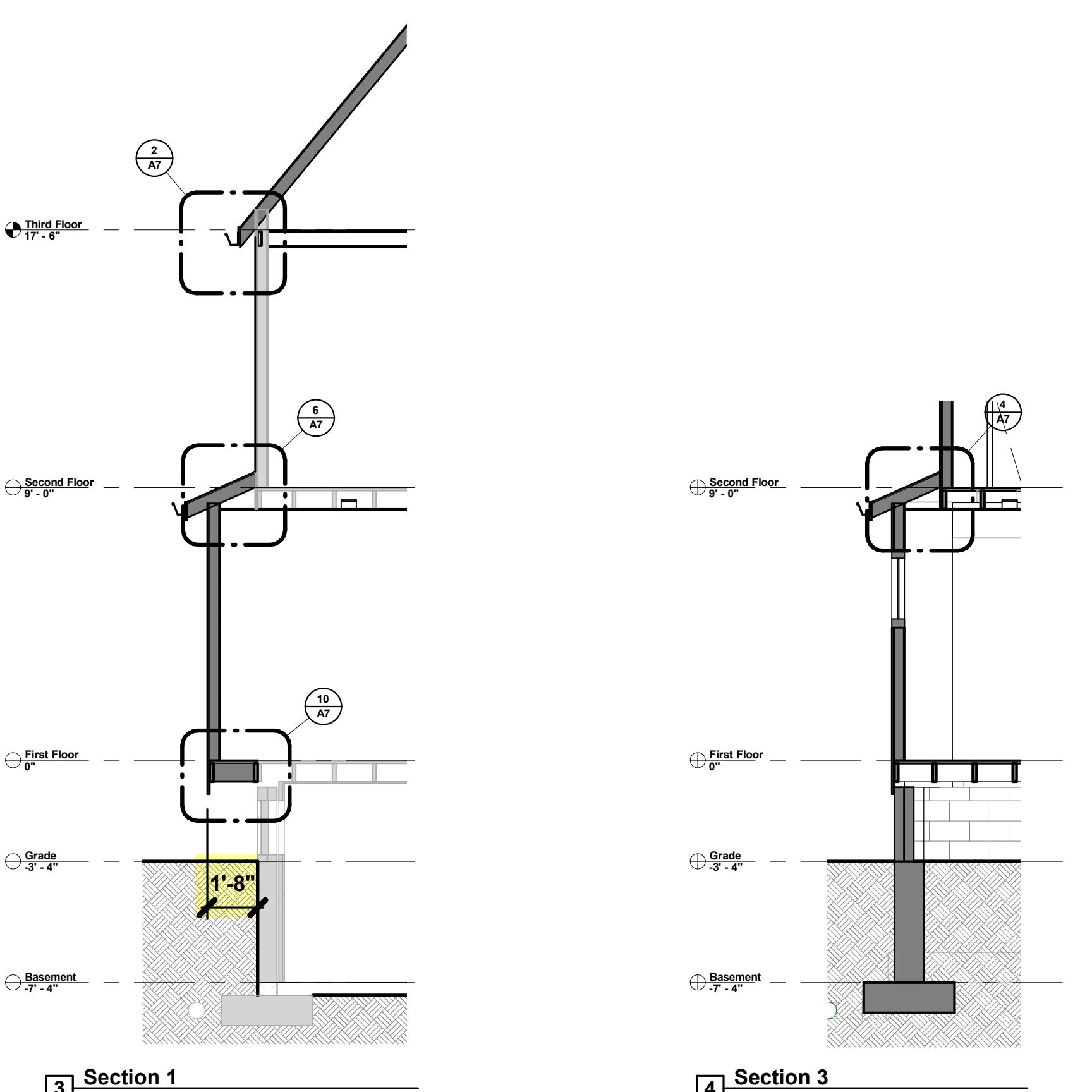
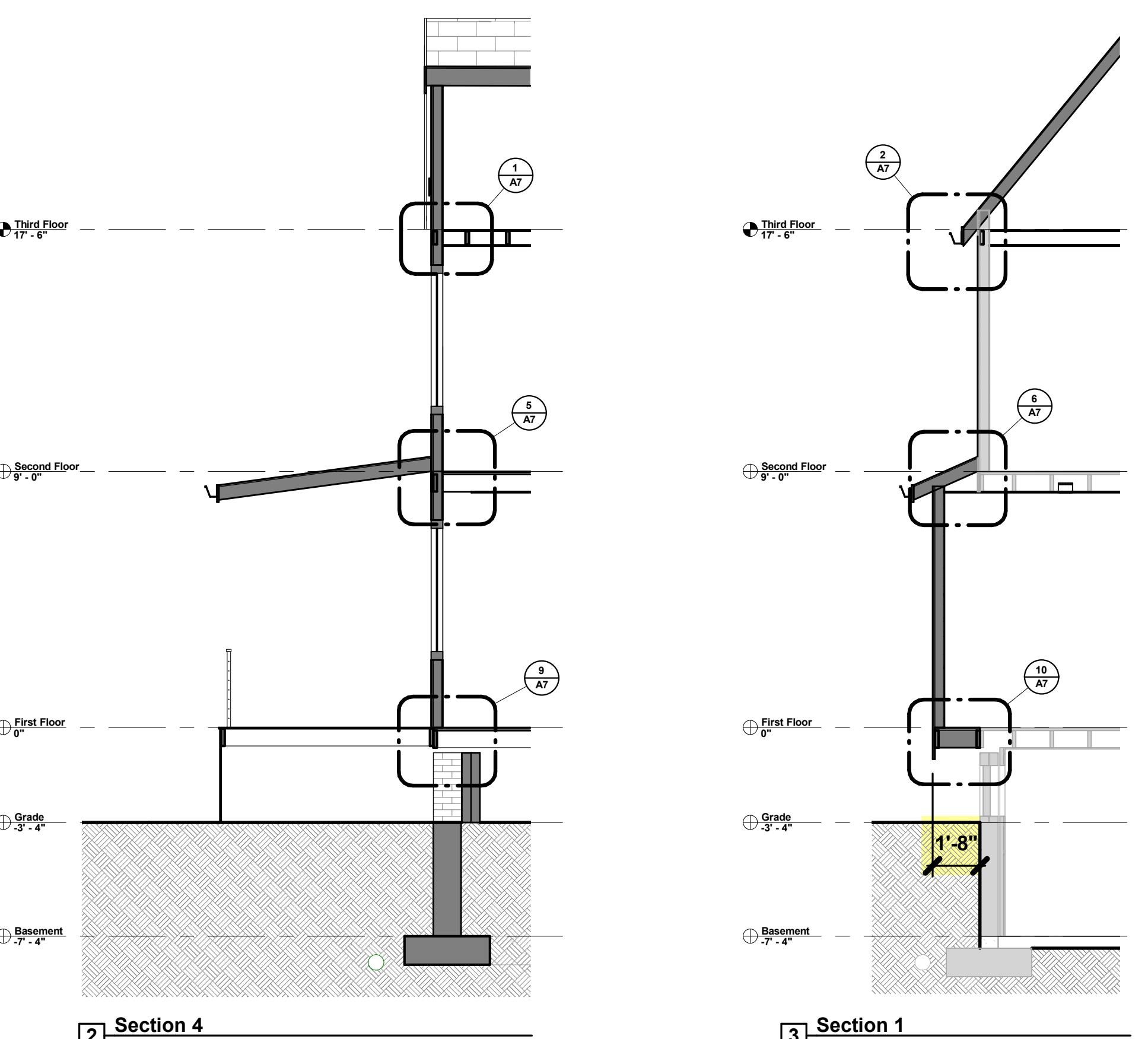
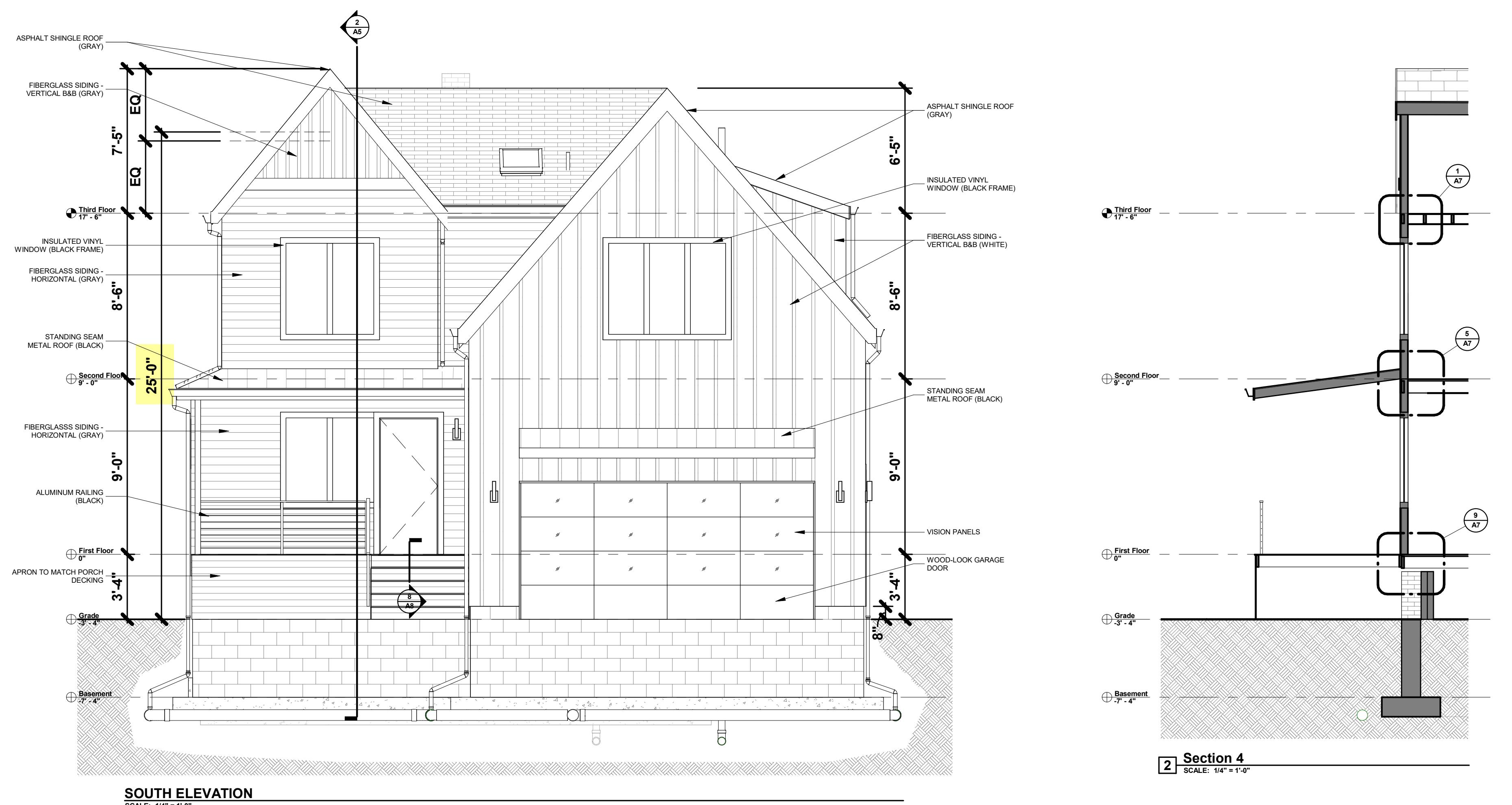
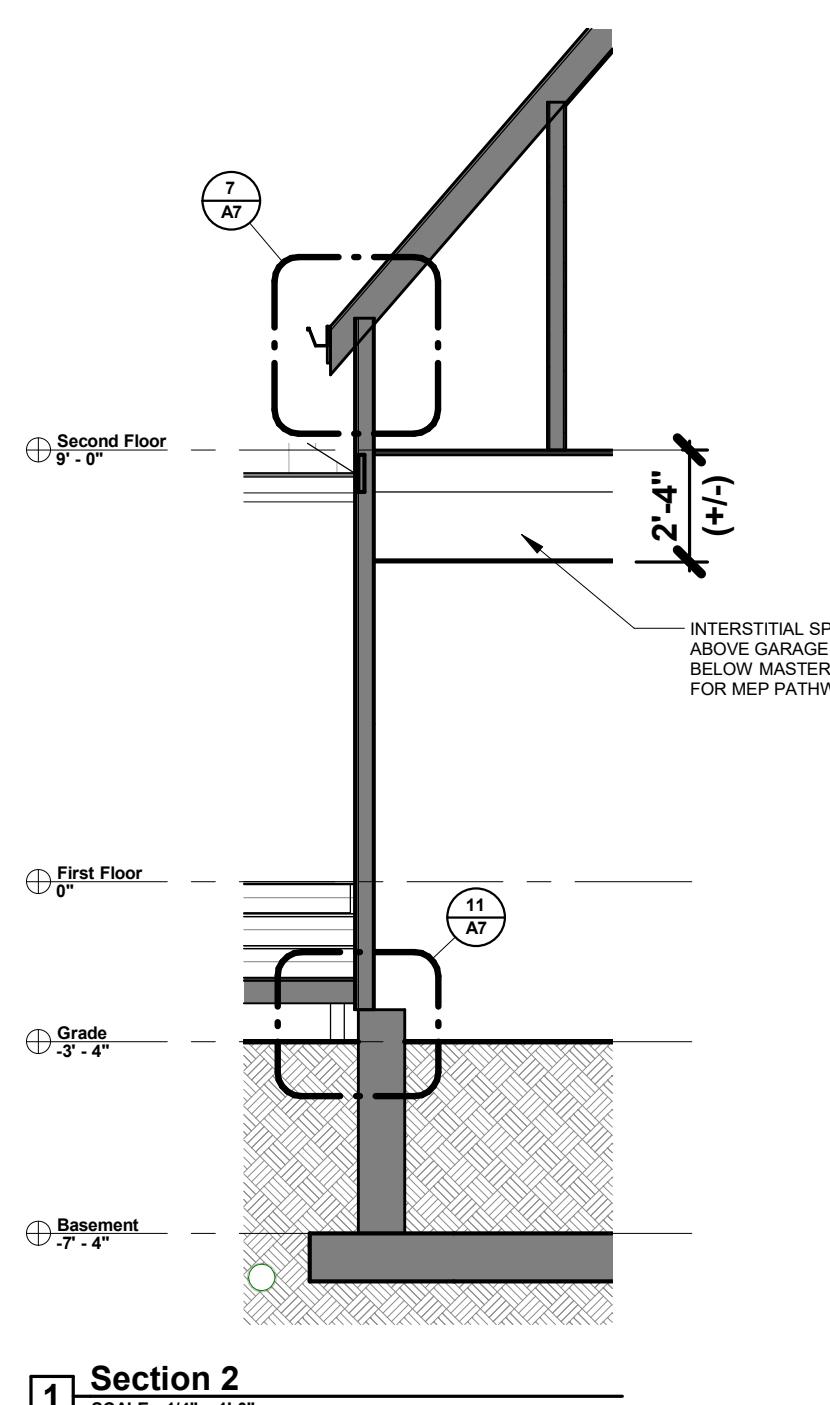
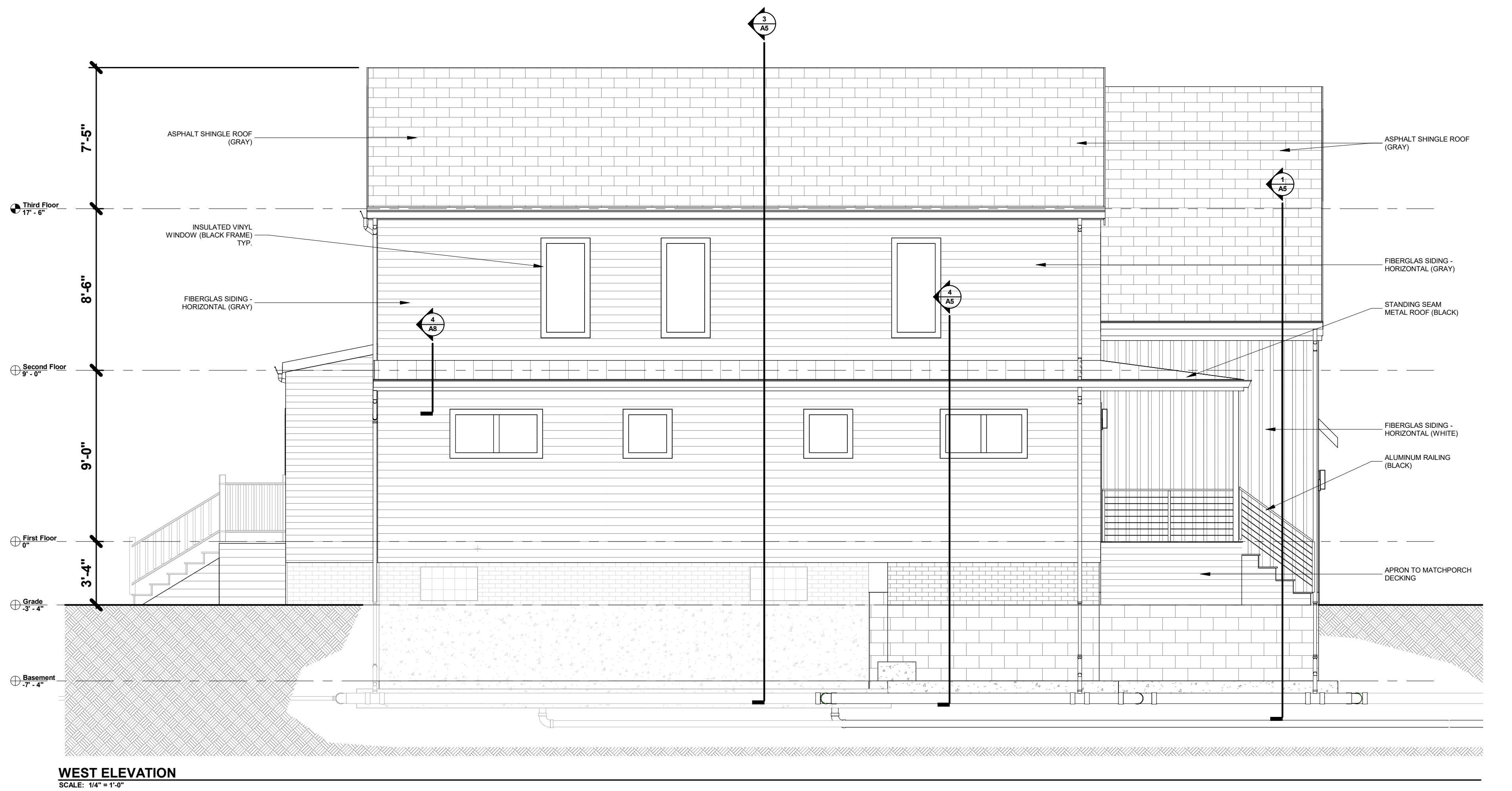
## EXTERIOR ELEVATIONS AND WALL SECTIONS

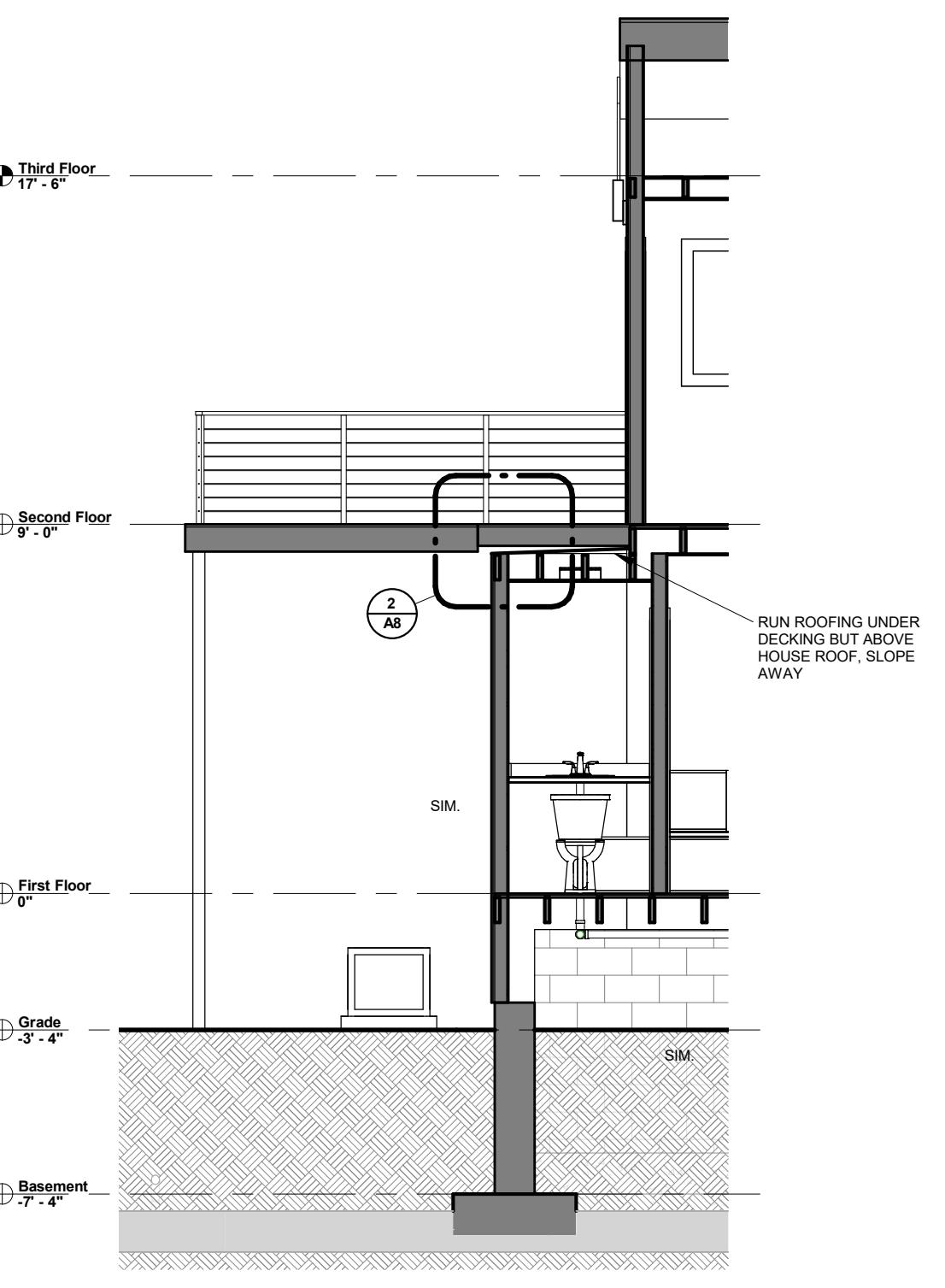
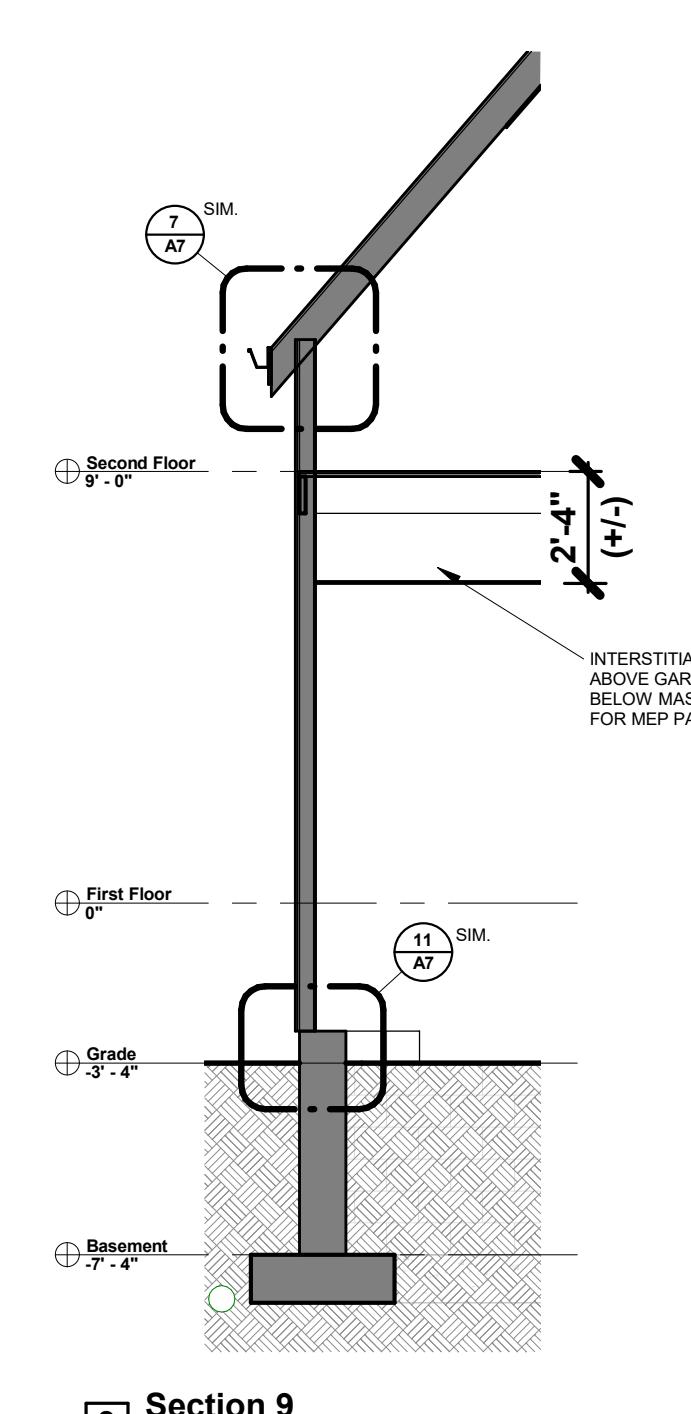
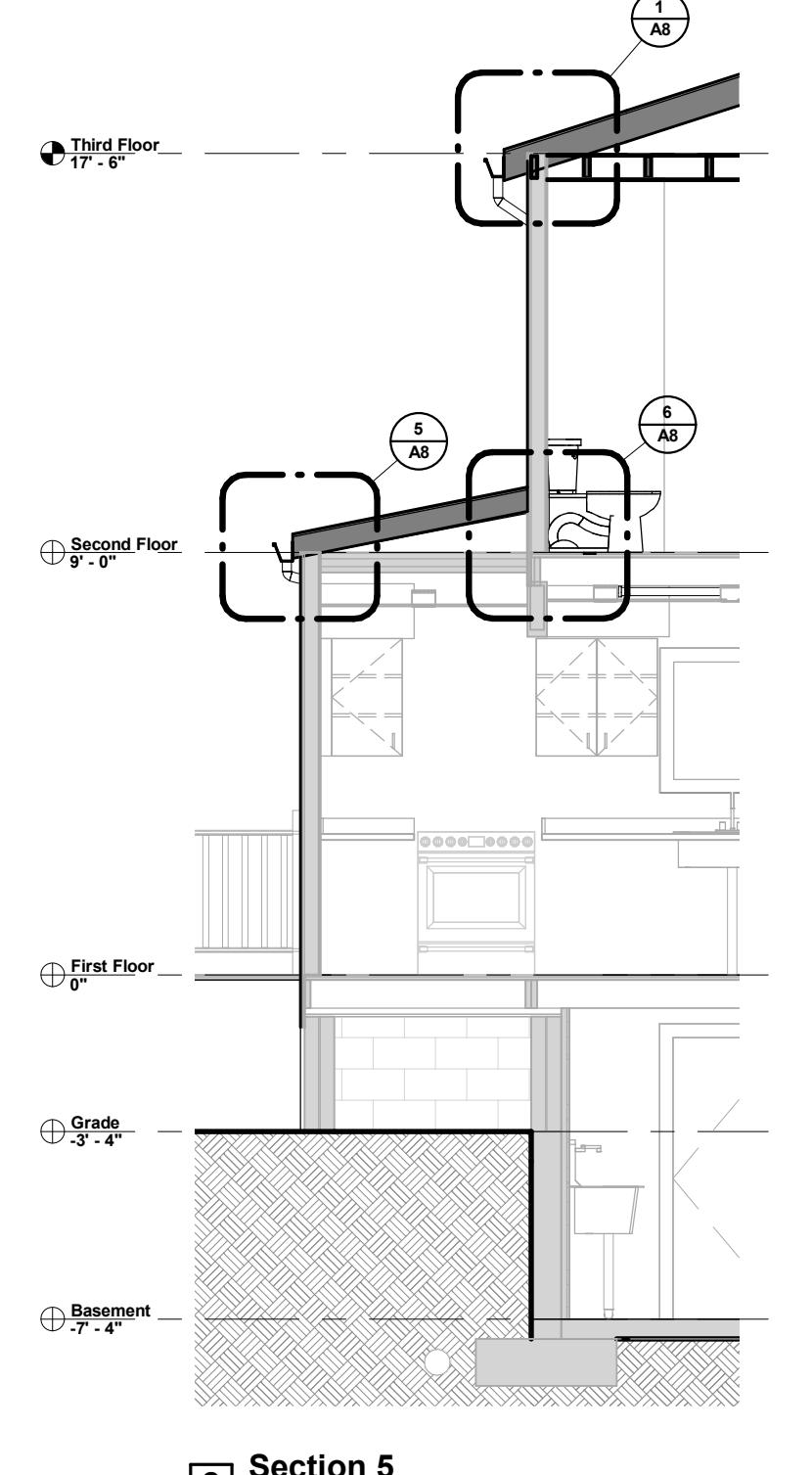
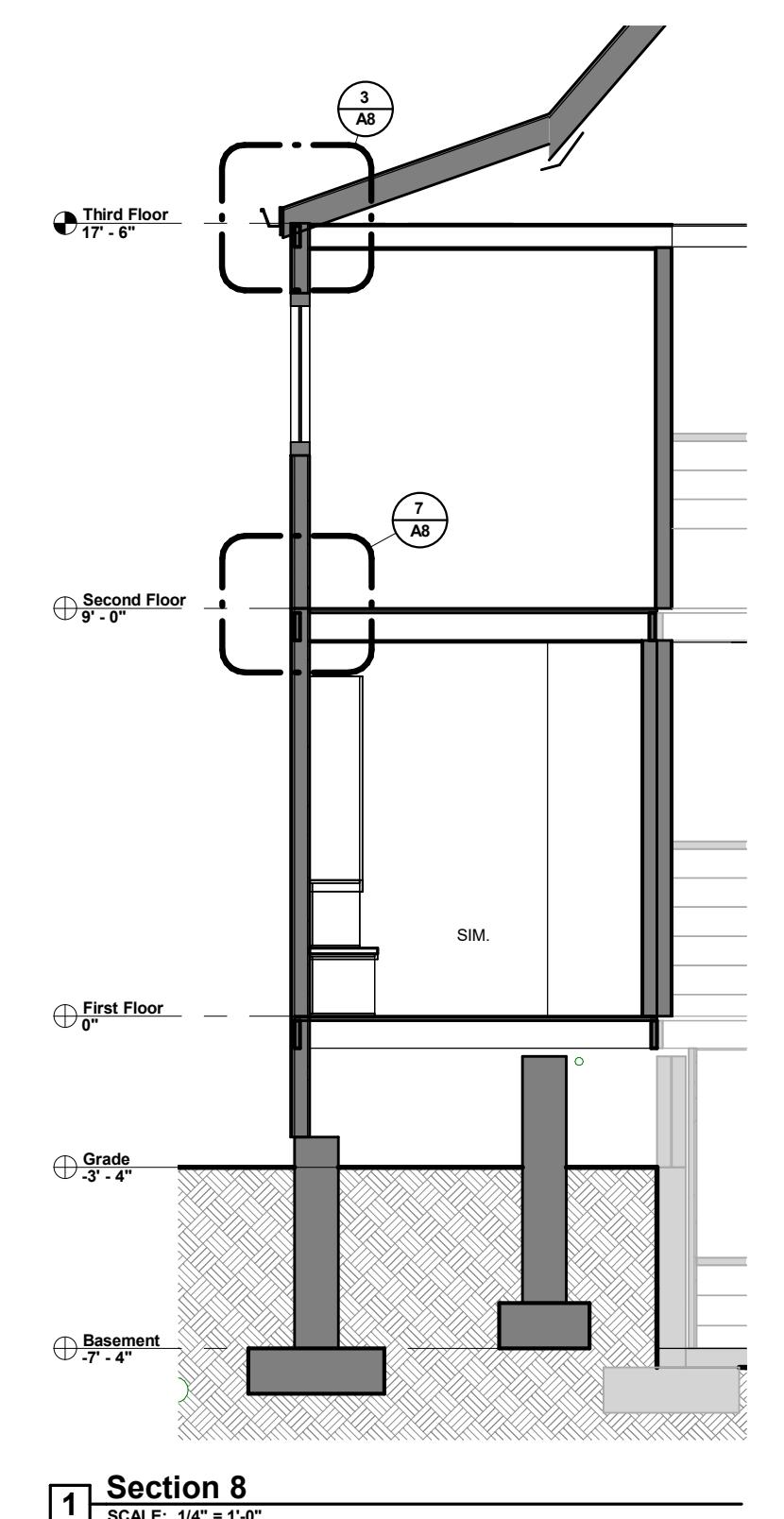
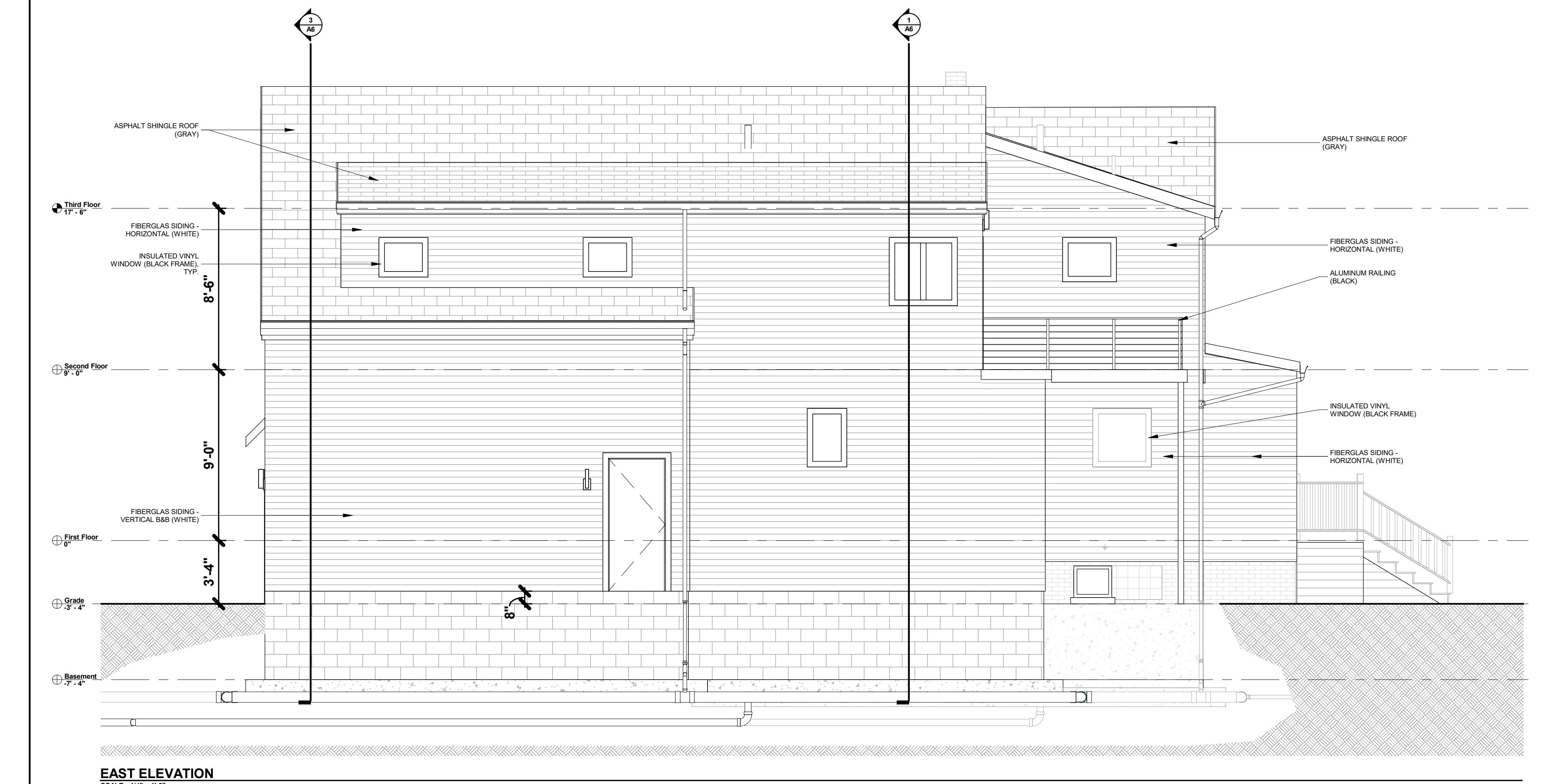
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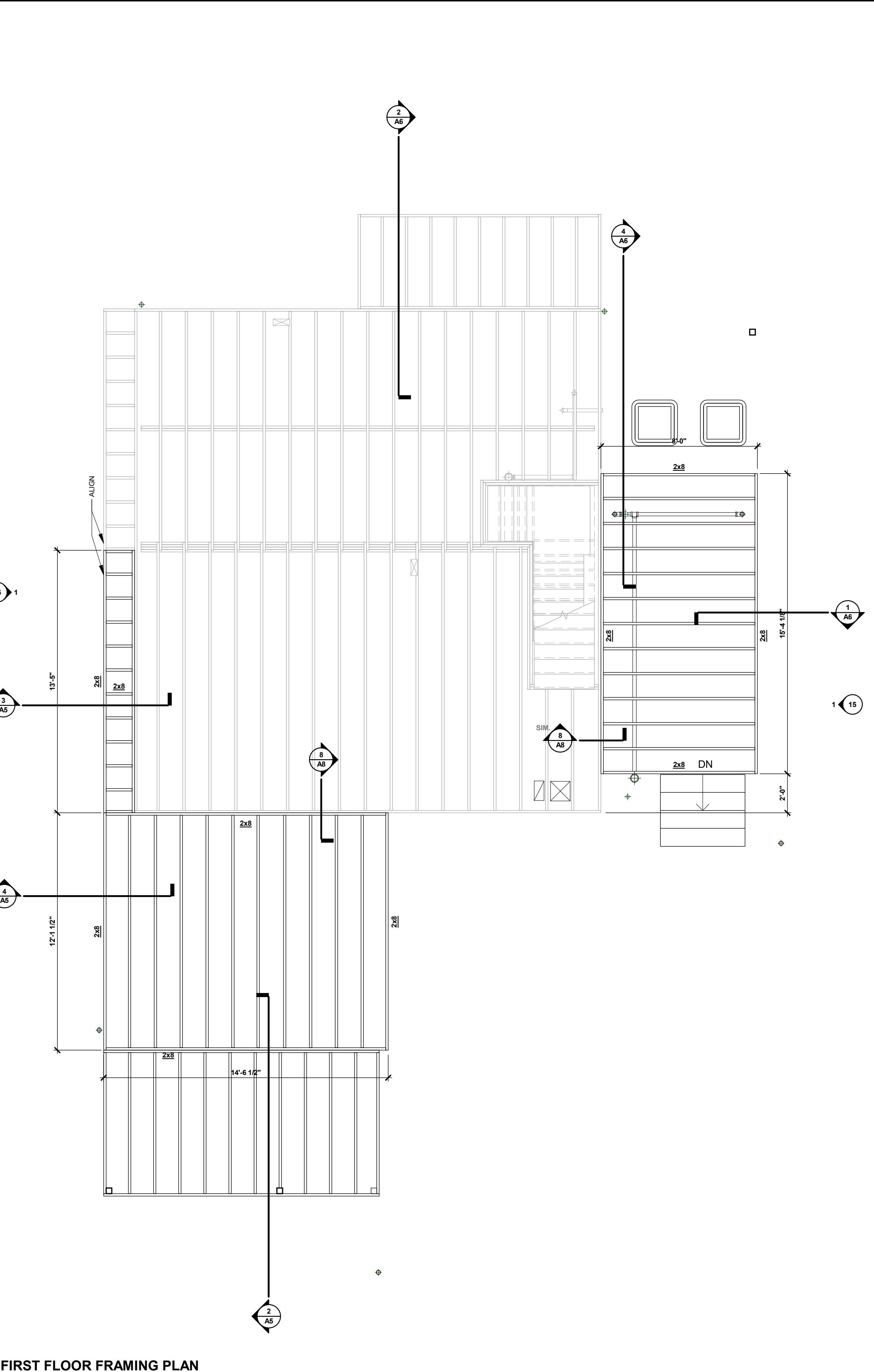
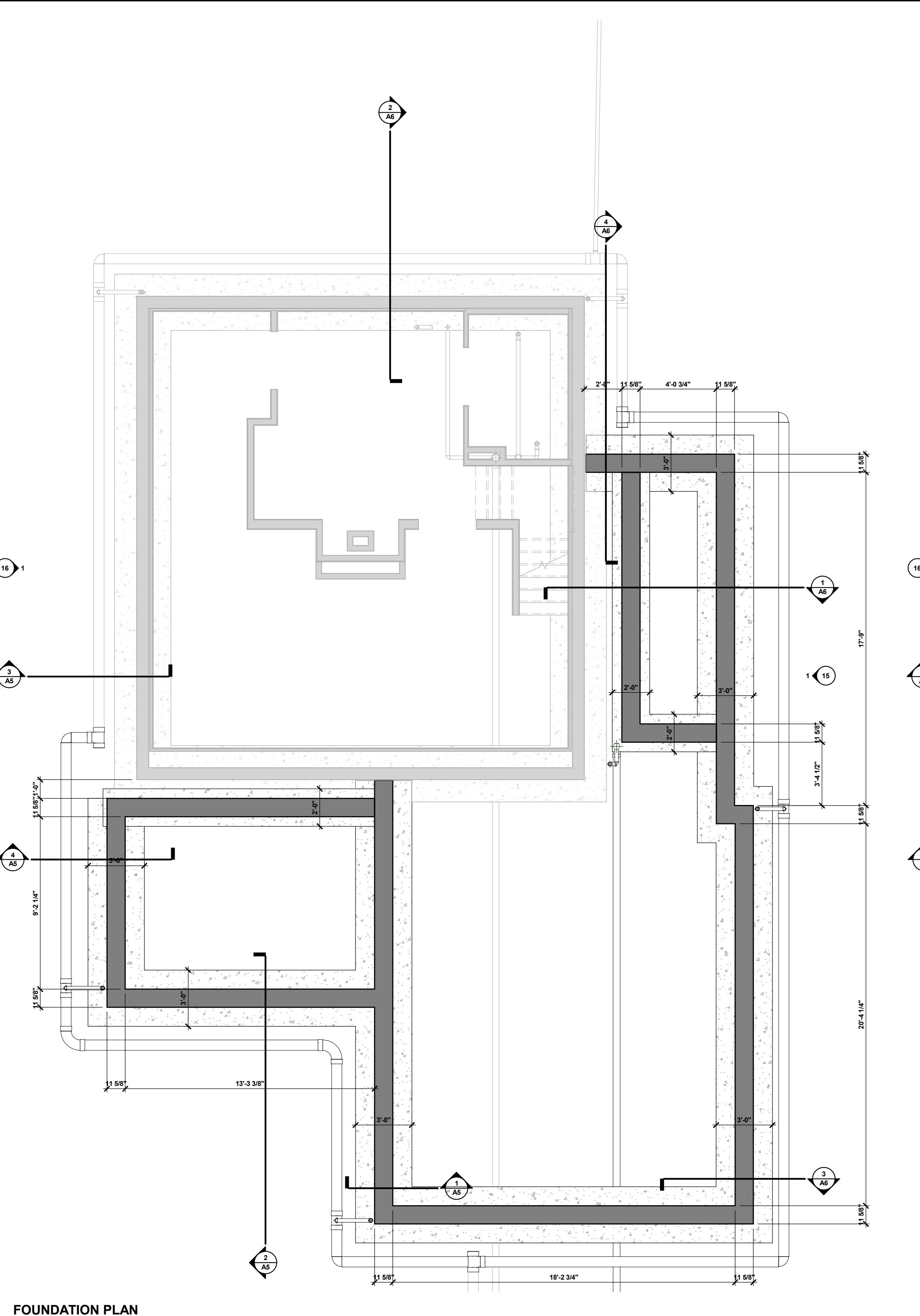
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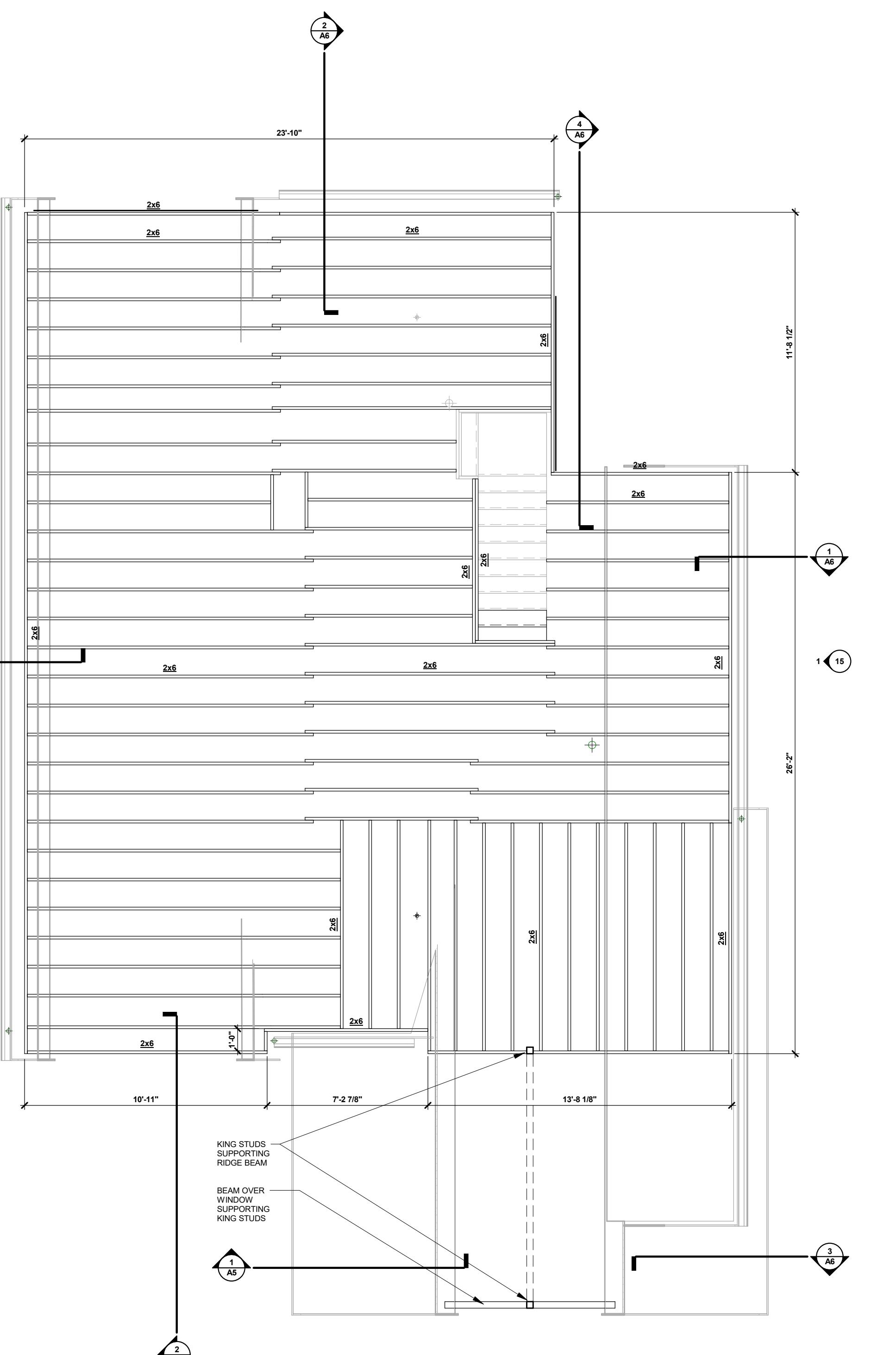
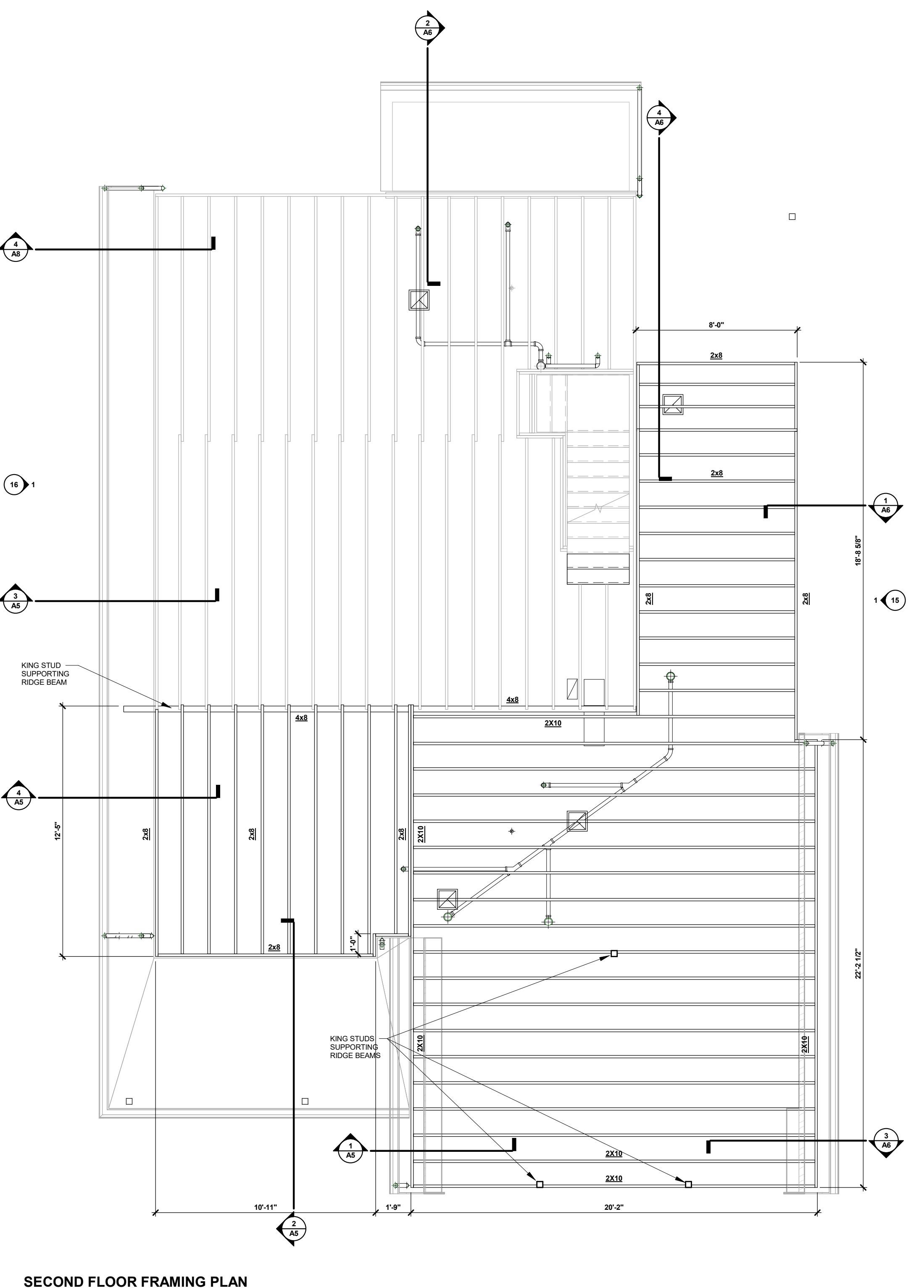




**Brian T. Hennies**

GENERAL  
 BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT  
 CONCRETE  
 CONCRETE STRENGTH AT 28 DAYS SHALL BE  
 FOOTING AND FOUNDATIONS: 3,000 PSI  
 INTERIOR SLAB ON GRADE: 4,000 PSI  
 BACKFILL (LEAN CONCRETE): 1,300 PSI  
 REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE 6x6-W4.0WW4.0 (58#) WWF. PROVIDE REQUIRED CLEARANCES BETWEEN REINFORCING STEEL AND CONCRETE SURFACES.  
 PLACE NO PERMANENT LOAD SUCH AS MASONRY WALLS, ON SUPPORTED SLABS UNTIL CONCRETE HAS REACHED SPECIFIED STRENGTH AND ALL SHORING HAS BEEN REMOVED.  
 LOOSE LINTELS SHALL BE GALVANIZED AFTER FABRICATIONS AND SIZED BASED ON  
 OPENING (CLEAR) Lintel Size BEARING  
 UP TO 5'-0" L3-1/2 x 3-1/2 x 5/16" 4"  
 5'-1" - 7'-0" L5 x 3-1/2 x 5/16" 6"  
 7'-1" - 9'-0" L6 x 3-1/2 x 3/8" 8"  
 WOOD FRAMING  
 UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.

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 INTERIOR SLAB ON GRADE: 4,000 PSI  
 BACKFILL (LEAN CONCRETE): 1,300 PSI  
 REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE 6x6-W4.0WW4.0 (58#) WWF. PROVIDE REQUIRED CLEARANCES BETWEEN REINFORCING STEEL AND CONCRETE SURFACES.  
 PLACE NO PERMANENT LOAD SUCH AS MASONRY WALLS, ON SUPPORTED SLABS UNTIL CONCRETE HAS REACHED SPECIFIED STRENGTH AND ALL SHORING HAS BEEN REMOVED.  
 LOOSE LINTELS SHALL BE GALVANIZED AFTER FABRICATIONS AND SIZED BASED ON  
 OPENING (CLEAR) Lintel Size BEARING  
 UP TO 5'-0" L3-1/2 x 3-1/2 x 5/16" 4"  
 5'-1" - 7'-0" L5 x 3-1/2 x 5/16" 6"  
 7'-1" - 9'-0" L6 x 3-1/2 x 3/8" 8"  
 WOOD FRAMING  
 UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.



GENERAL  
BRIDGE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING  
AS THE DESIGNED UNIT

CONCRETE  
CONCRETE STRENGTH AT 28 DAYS SHALL BE  
FOOTING AND FOUNDATIONS: 3,000 PSI  
INTERIOR SLAB ON GRADE: 4,000 PSI  
BACKfill (LEAN CONCRETE): 1,300 PSI

REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE 6x6-W4.0KW4.0 (58#) WWF. PROVIDE  
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7'-1" - 9'-0" L-6 x 3-1/2 x 3/8 8"

WOOD FRAMING  
UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.

GENERAL  
License #: 38379088  
Expiration Date: 12/21/2023

Designer:

Brian T. Hennies  
Burg Residence  
19670 Felber Ave.  
Rocky River, OH 44116

Project Info:

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Rocky River, OH 44116

Project Info:



## DEMOLITION PLANS AND SECTIONS

ZONING &amp; PERMIT

Issuance Name:

06/28/2023

Issuance Date:

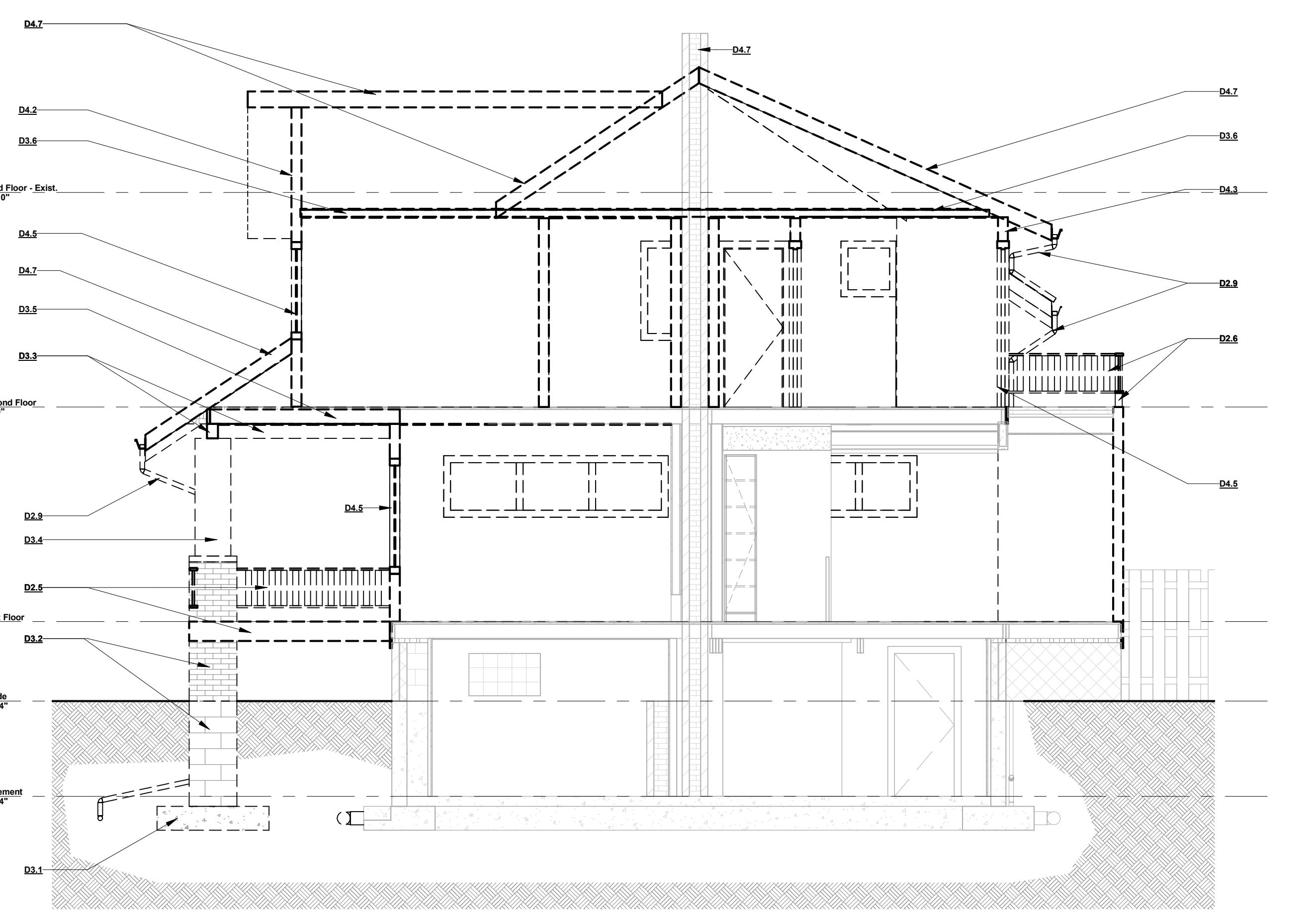
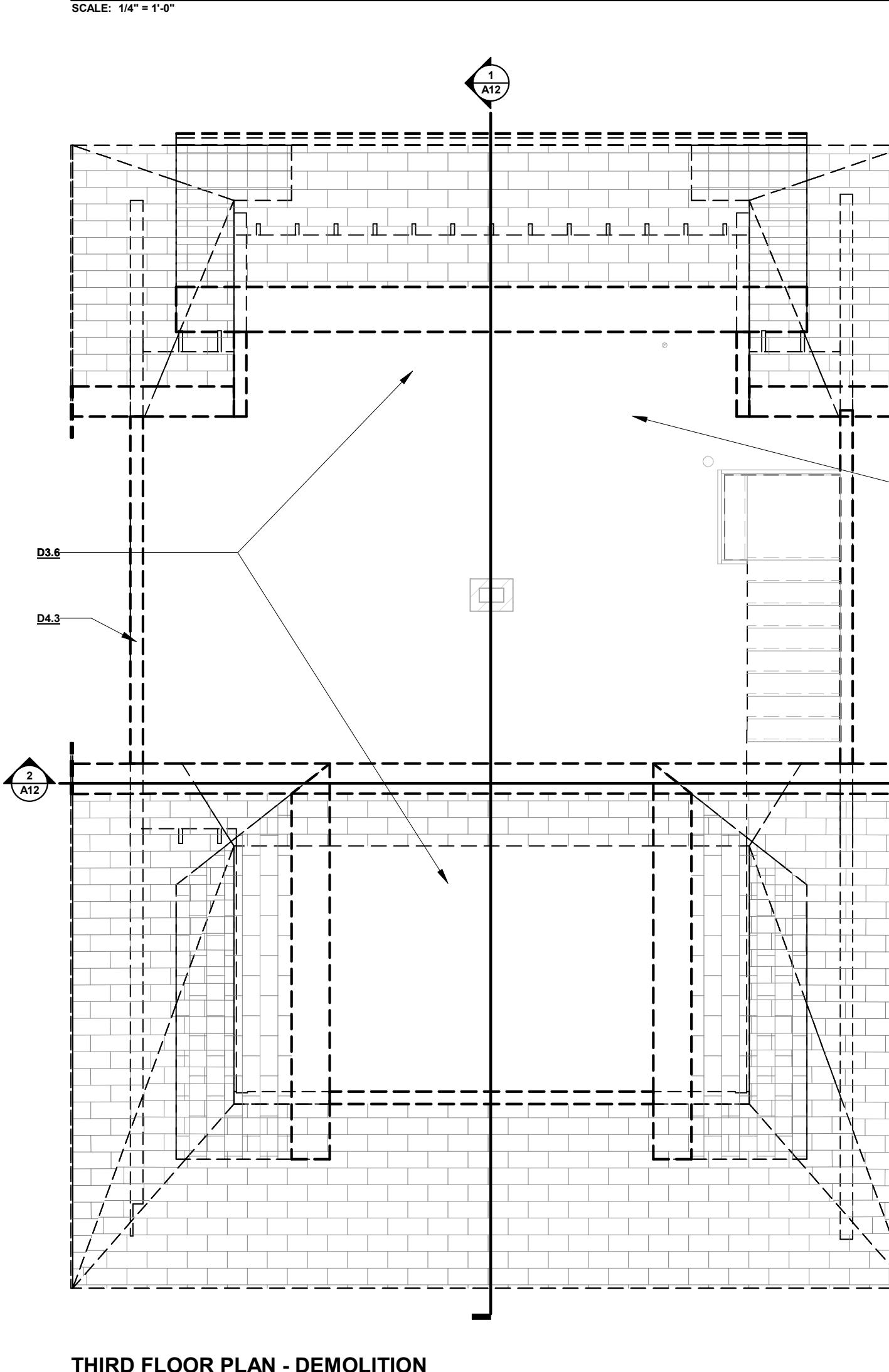
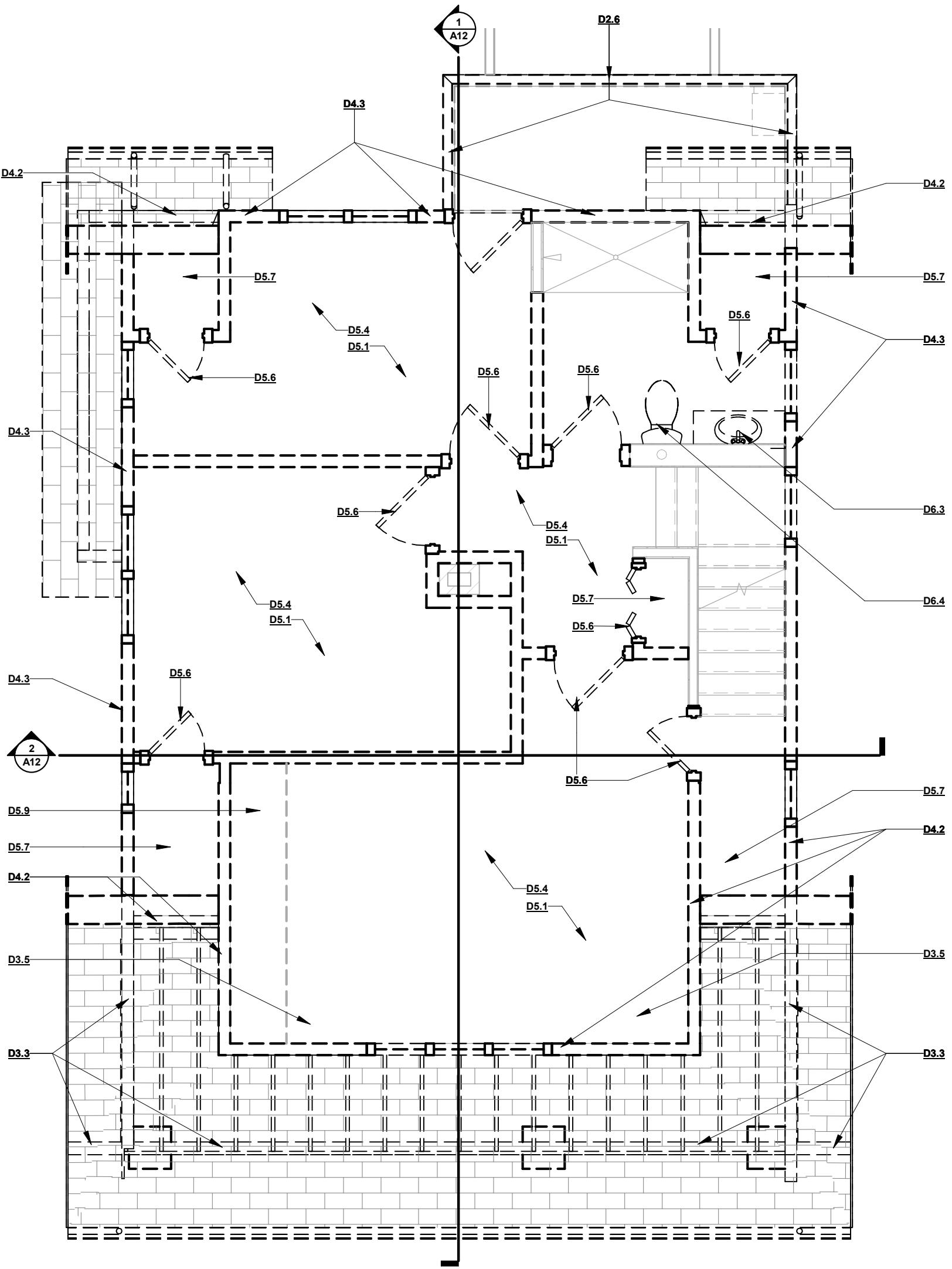
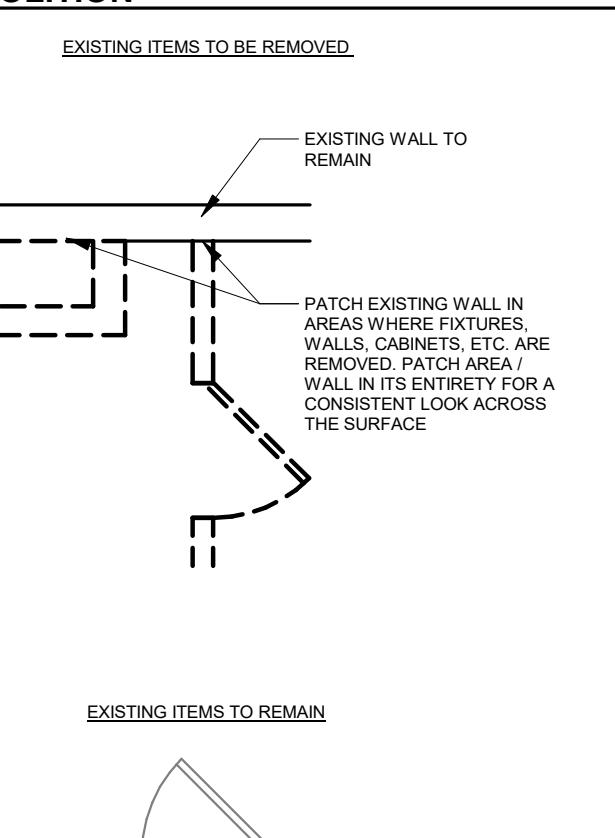
190301

Project Number:

Sheet Name:

Sheet #: 1

## LEGEND - DEMOLITION



**GENERAL NOTES - DEMOLITION**

1. COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID. FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.

2. SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.

3. COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION. CONSTRUCTION DEBRIS AND OTHER MATERIALS ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.

4. REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS IDENTIFIED TO BE REMOVED DURING DEMOLITION. COORDINATE WITH LOCAL AND STATE LAW. BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.

5. INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.

6. MAINTAIN SECURITY AND PROTECTION FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.

7. NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.

8. INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.

9. PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.

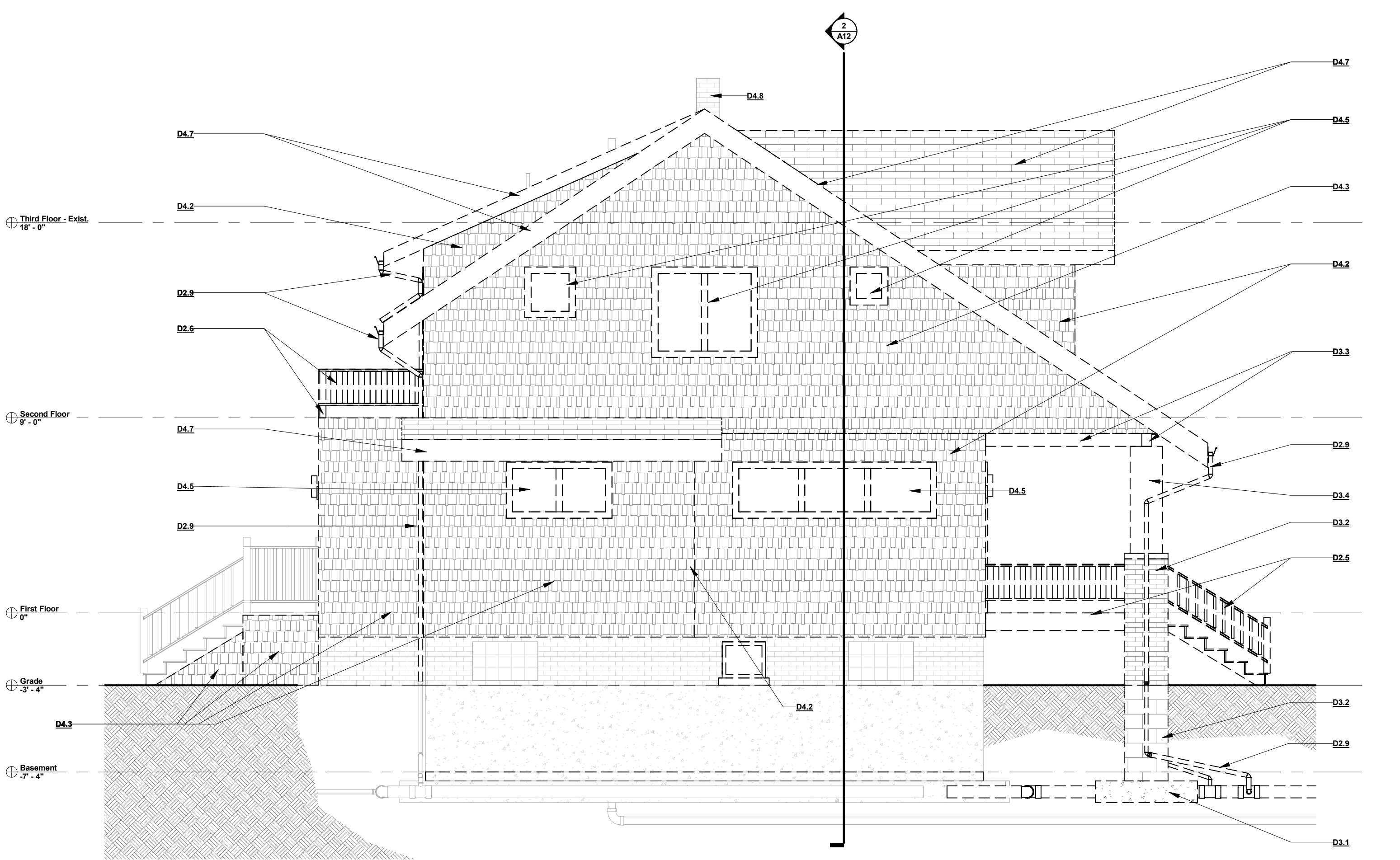
10. DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.

11. LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK. IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

**Brian T. Hennies**  
License #: 38379088  
Expiration Date: 12/31/2023

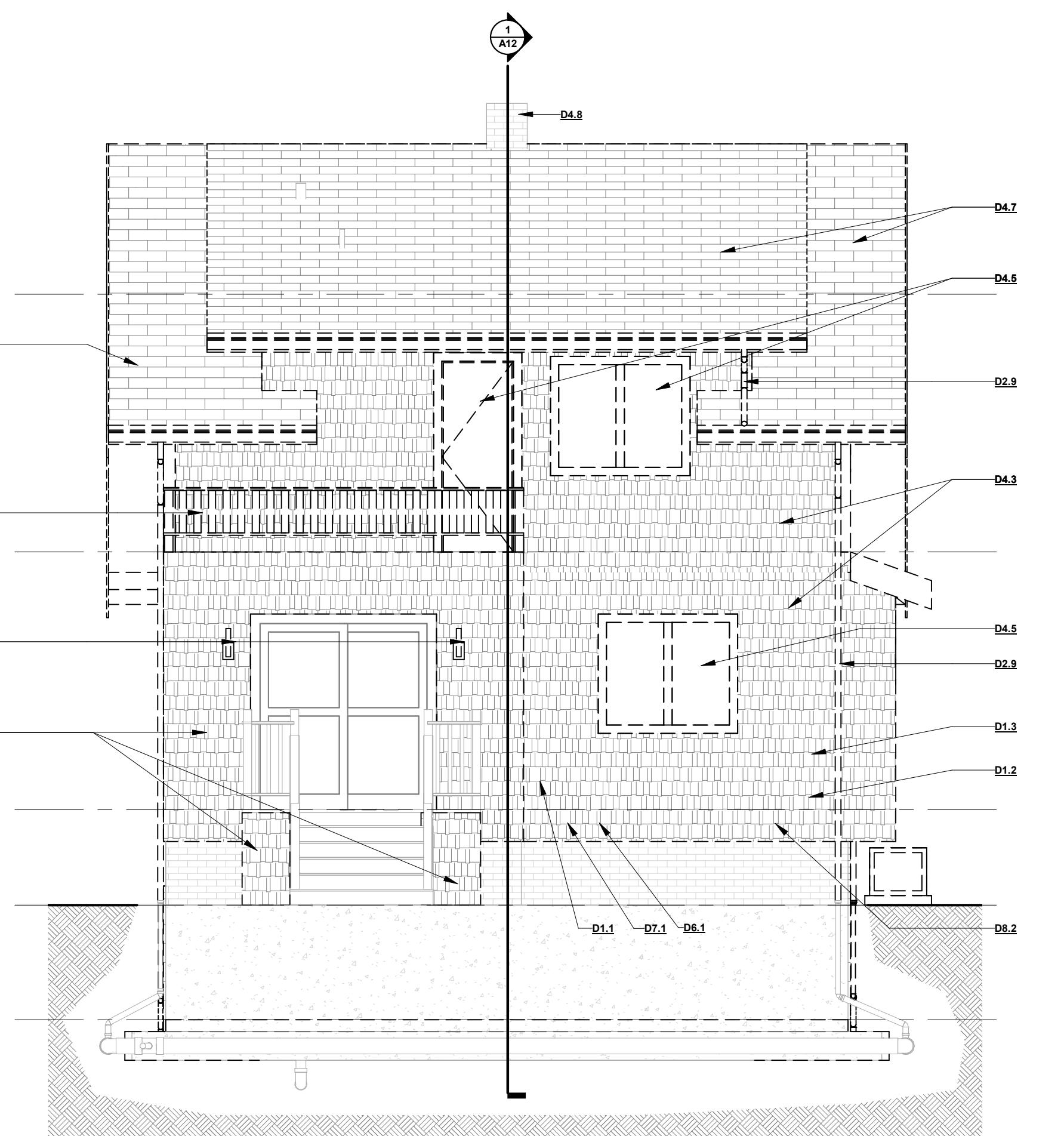
**Renovation**  
Burg Residence  
19670 Teibor Ave.  
Rocky River, OH 44116

Designer:  
Project Info:



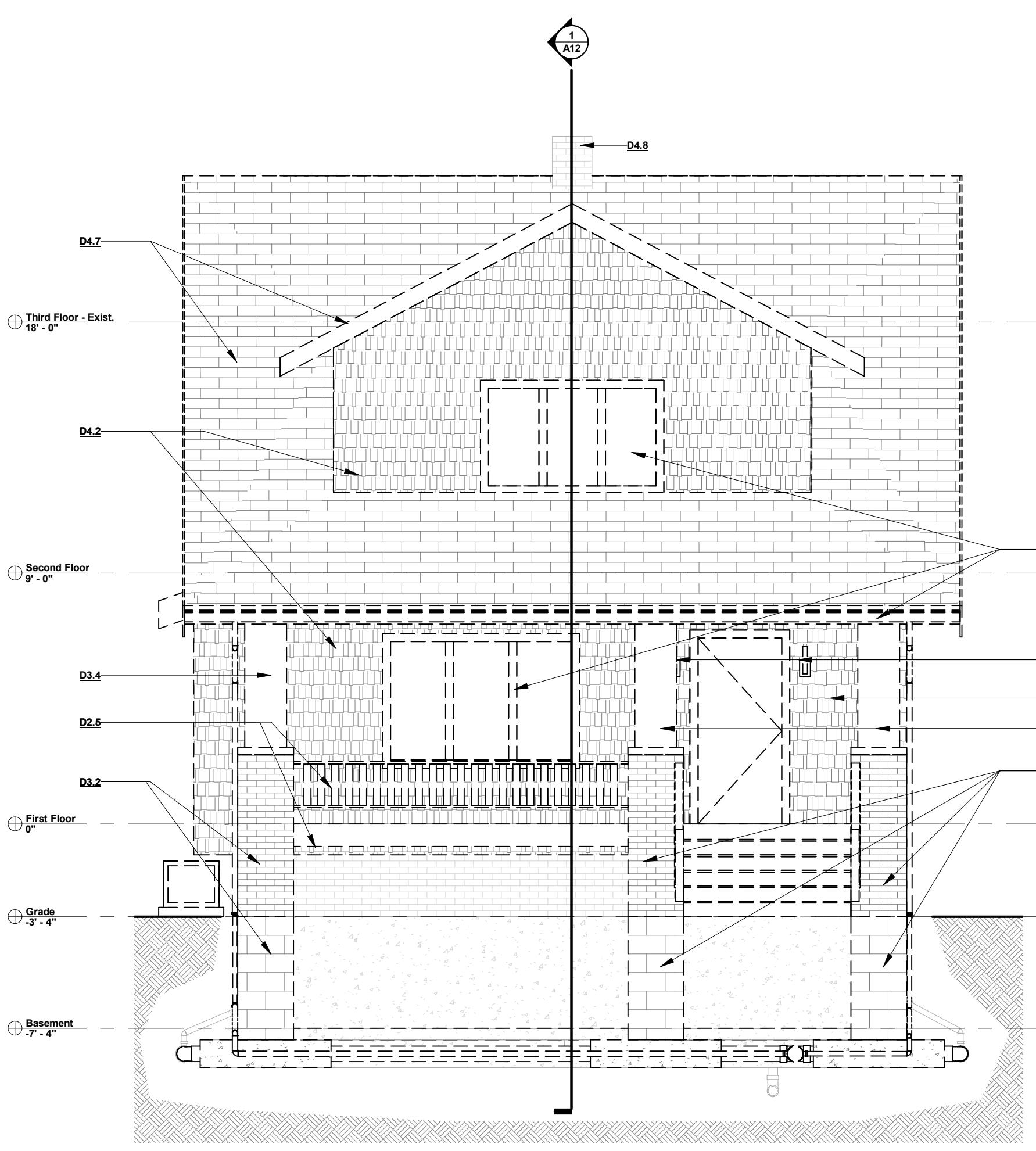
WEST ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"



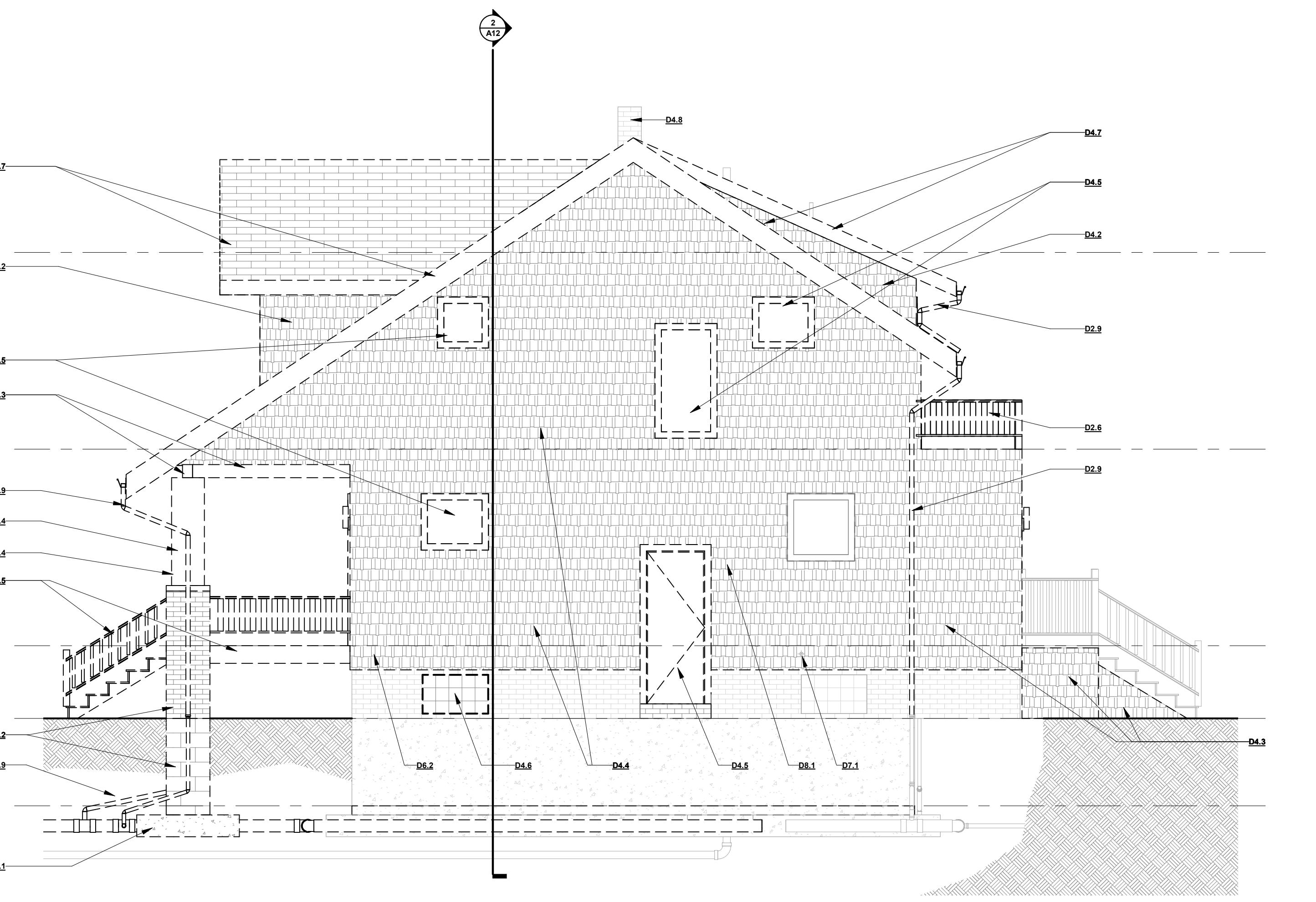
NORTH ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"



EAST ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"

KEYNOTES	
D1.1	REMOVE EXISTING CABLE LINE AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D1.2	REMOVE EXISTING POWER LINE AND METER AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL, REINSTALL IN SAME LOCATION.
D1.3	REMOVE EXISTING TELEPHONE LINE AT HOUSE TEMPORARILY FOR NEW SIDING INSTALLATION, REINSTALL, REINSTALL IN SAME LOCATION.
D2.5	REMOVE EXISTING PORCH/DECK CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING, ATTACHMENTS, POSTS AND ADAPTERS.
D2.9	REMOVE EXISTING DOWNSPOUT AND ADAPTER.
D3.1	REMOVE PORTION OF EXISTING FOUNDATION CONCRETE FOOTER.
D3.2	REMOVE EXISTING CONCRETE FOOTER.
D3.3	REMOVE EXISTING WOOD FRAMING MEMBER.
D3.4	REMOVE EXISTING WOOD COLUMN.
D4.2	REMOVE EXTERIOR WALL SIDING, SHEATHING, WOOD STUDS AND INTERIOR GYPSUM BOARD IN THE EXTERIOR WALLS. REPAIR OPENINGS FROM WEATHER.
D4.3	REMOVE EXTERIOR WALL SIDING DOWN TO SHEATHING. PREP FOR NEW SIDING. REPLACE EXISTING SHEATHING AS NEEDED PRIOR TO NEW WORK.
D4.4	REPAIR EXISTING SHEATHING AND SHEATHING DOWN TO WOOD STUDS. MAINTAIN STUDS IN PLACE FOR NEW WORK.
D4.5	REMOVE EXTERIOR WALL SIDING DOWN TO SHEATHING.
D4.6	REPLACE EXISTING SHEATHING AND SHEATHING DOWN TO WOOD STUDS. MAINTAIN STUDS IN PLACE FOR NEW WORK.
D4.7	REMOVE EXISTING ROOFING SYSTEM, SOFFITS, FASCIA BOARD AND FRAMING MEMBERS IN ITS ENTIRETY. SEE DWGS FOR NEW ROOF LOCATIONS.
D4.8	REMOVE EXISTING CHIMNEY TO REMAIN TEMPORARILY SUPPORT / BRACE DURING NEW WORK.
D5.1	REMOVE EXISTING SPIGOT AND ASSOCIATED PIPING FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D6.2	REPLACE EXISTING SPIGOT, EXTEND TO NEW LOCATION WITH NEW PIPING AND NEW SPIGOT. SEE DWGS FOR NEW LOCATION.
D7.1	REMOVE BATHROOM EXHAUST VENT COVER FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.
D8.1	REMOVE EXISTING EXTERIOR LIGHT FIXTURE, WIRING, CONDUIT AND BACK BOX.
D8.2	REMOVE EXISTING EXTERIOR OUTLET AND COVER FOR NEW SIDING INSTALLATION, REINSTALL IN SAME LOCATION.

**LEGEND - DEMOLITION**