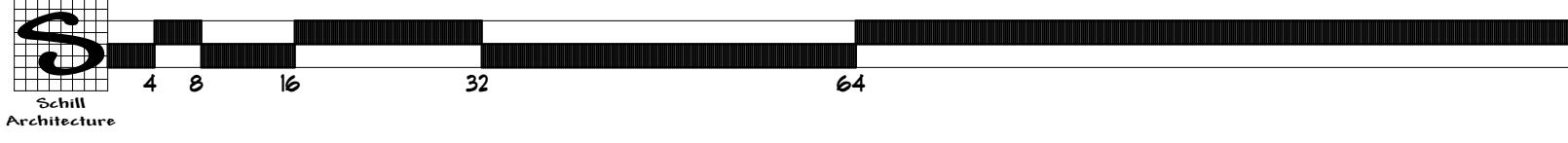
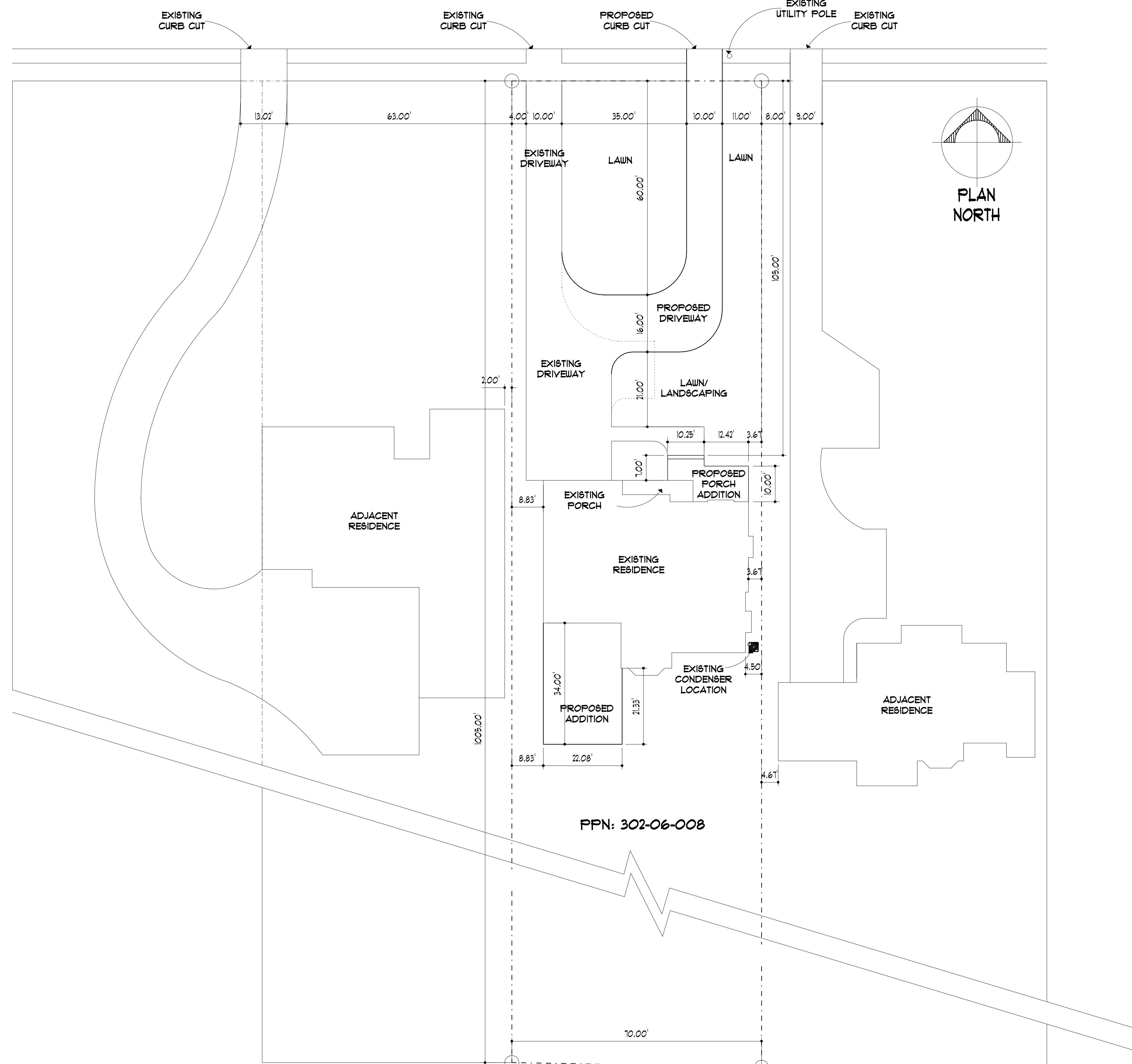


ARCHITECTURAL SITE PLAN ONLY- NOT A SURVEY
OR TOPOGRAPHICAL MAP. ALL EXISTING CONDITIONS
TAKEN FROM OWNER SUPPLIED SURVEY. VERIFY GRADING
PLAN AND UTILITIES WITH PROFESSIONAL CIVIL ENGINEER

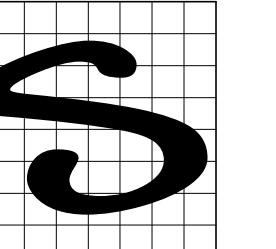
LAKE ROAD (60')



S SITE DEVELOPMENT PLAN

SCALE: 1" = 16'-0"

ALL CONSTRUCTION SHALL COMPLY
WITH THE REQUIREMENTS OF THE 2019
RESIDENTIAL CODE OF OHIO



Schill
Architecture

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1650 CROSSINGS PARKWAY SUITE E
WESTLAKE, OHIO 44145

DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:
1. ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL
ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE
NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.
2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.
3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
BASEMENT	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD- 2"x4"	8' 0"
UPPER FLOOR	WOOD- 2"x4"	8' 0"

AREA SUMMARY

AREA	SIZE
UNFINISHED BASEMENT	0,000 SQ.FT.
FINISHED BASEMENT AREA	0,000 SQ.FT.
MAIN FLOOR ADDITION	146 SQ.FT.
UPPER FLOOR ADDITION	241 SQ.FT.
THIRD FLOOR ADDITION	85 SQ.FT.
TOTAL HEATED AREA	0,000 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	312 SQ.FT.
FRINEDS/ FAMILY PORCH	0,000 SQ.FT.
REAR PORCH	0,000 SQ.FT.
TOTAL AREA UNDER ROOF	0,000 SQ.FT.

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF
EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED
ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR
PORCHES ARE NOT INCLUDED IN THESE FIGURES, THEY ARE
SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE

	ISSUED FOR PERMIT & BIDDING	21 JULY 2023
	ISSUED FOR PERMIT & BIDDING	06 JULY 2023
	ISSUED FOR PERMIT & BIDDING	22 JUNE 2023
	ISSUED FOR PERMIT & BIDDING	21 JAN 2023
	ISSUED FOR REVIEW	5 DEC 2022

REV. NO. DESCRIPTION DATE

PROJECT:
ADDITION & RENOVATION
TO PRIVATE RESIDENCE

LOCATION: 22105 LAKE ROAD
ROCKY RIVER, OHIO 44116
CUYAHOGA COUNTY
PERMANENT PARCEL NUMBER: 302-06-008

SITE DEVELOPMENT PLAN

SCALE: AS NOTED	JOB NUMBER: 22 ENROH
CAD FILE NAME: C:\DRAWINGS\CENTRAL\ARCHITECTURE\ SCHILL\RESIDENCE\BLO.CAD	DATE: 02 DECEMBER 2022



SD-1

DRAWING NUMBER