

Burg Residence Addition and Renovation

19670 Telbir Ave.
Rocky River, OH 44116

ISSUANCE NAME:	ZONING AND PERMIT
ISSUANCE DATE:	02/29/2024
PROJECT NUMBER:	190301



LEGEND - STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.C.	AIR CONDITIONING
ALT.	ALTERNATE
C.B.B.	CEMENTITIOUS BACKER BOARD
C.H.	CEILING HEIGHT
C.T.	CERAMIC TILE
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.W.	COLD WATER
COORD.	COORDINATE
DEMO	DEMOLITION
DIA.	DIAMETER
DWG.	DRAWING
EXIST.	EXISTING
E.T.R.	EXISTING TO REMAIN
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
EQ.	EQUAL
FG.	FIBERGLASS
F.D.	FLOOR DRAIN
FURN.	FURNITURE
GALV.	GALVANIZED
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GYP. BD.	GYPSUM BOARD
H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING
H.W.	HOT WATER
MANF.	MANUFACTURER
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MIR.	MIRRORED
MISC.	MISCELLANEOUS
M.T.	MOSAIC TILE
M.R.G.B.	MOISTURE RESISTANT GYPSUM BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPP.	OPPOSITE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
RAD.	RADIUS
R.O.	ROUGH OPENING
SAN.	SANITARY
SIM.	SIMILAR
S.O.G.	SLAB ON GRADE
S.S.M.	SOLID SURFACE MATERIAL
S.F.	SQUARE FEET
S.S.	STAINLESS STEEL
ST.	STORM
STRUCT.	STRUCTURAL
S.A.	SUPPLY AIR
TEMP.	TEMPORARY
T.	THERMOSTAT
TLT.	TOILET
TYP.	TYPICAL
U.C.	UNDER COUNTER
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VIN.	VINYL
W/	WITH
W/O	WITHOUT

LEGEND - GRAPHICS SYMBOLS

NORTH ARROW



GRAPHIC SCALE



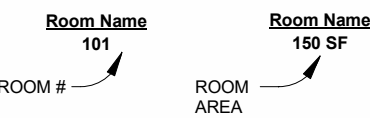
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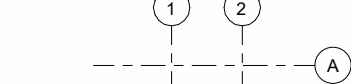
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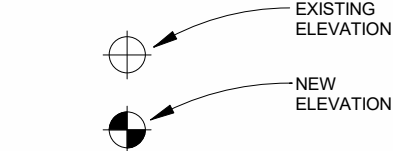
ROOM TAG



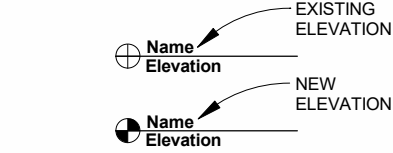
COLUMN GRID



SPOT ELEVATIONS



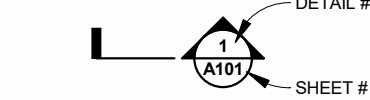
VERTICAL ELEVATIONS



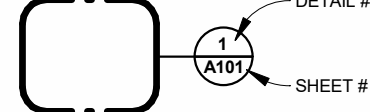
DRAWING REVISION



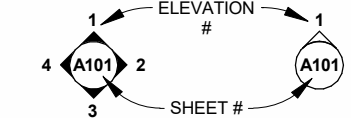
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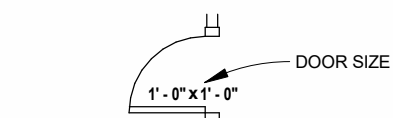
CALLOUT / ENLARGED DETAIL TAG



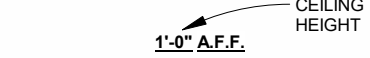
INTERIOR / EXTERIOR ELEVATION TAG



DOOR TAG SYMBOL



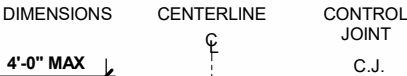
CEILING TAG



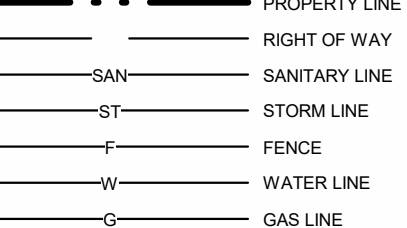
WINDOW TYPE SYMBOL



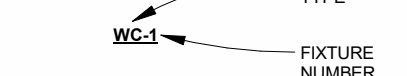
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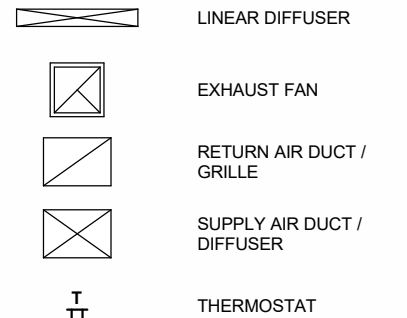
LINETYPE LEGEND



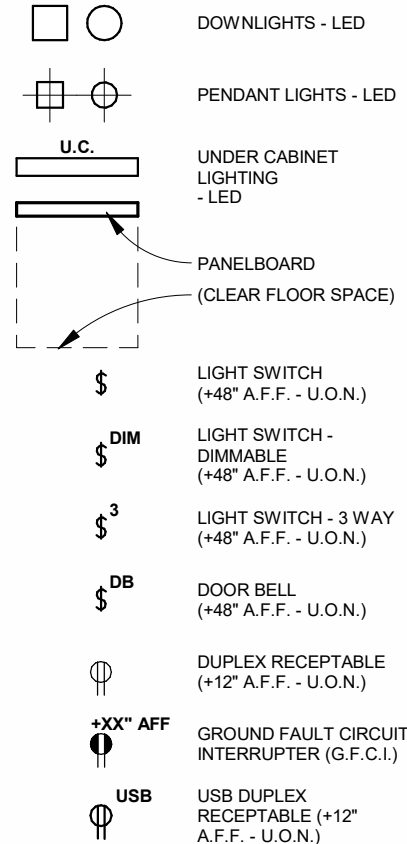
PLUMBING LEGEND



MECHANICAL LEGEND



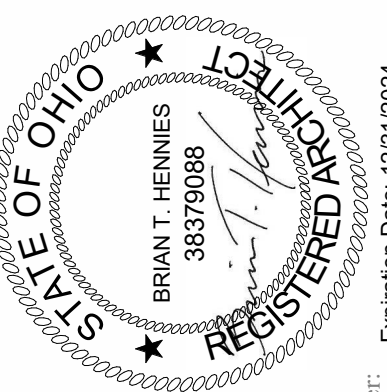
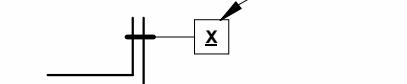
ELECTRICAL LEGEND



FRAMING DIRECTION SYMBOL



PARTITION TAG



Addition and Renovation

Burg Residence
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02/29/2024
02/18/2024
06/28/2023
06/11/2023
05/13/2021

Date:

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Revision:

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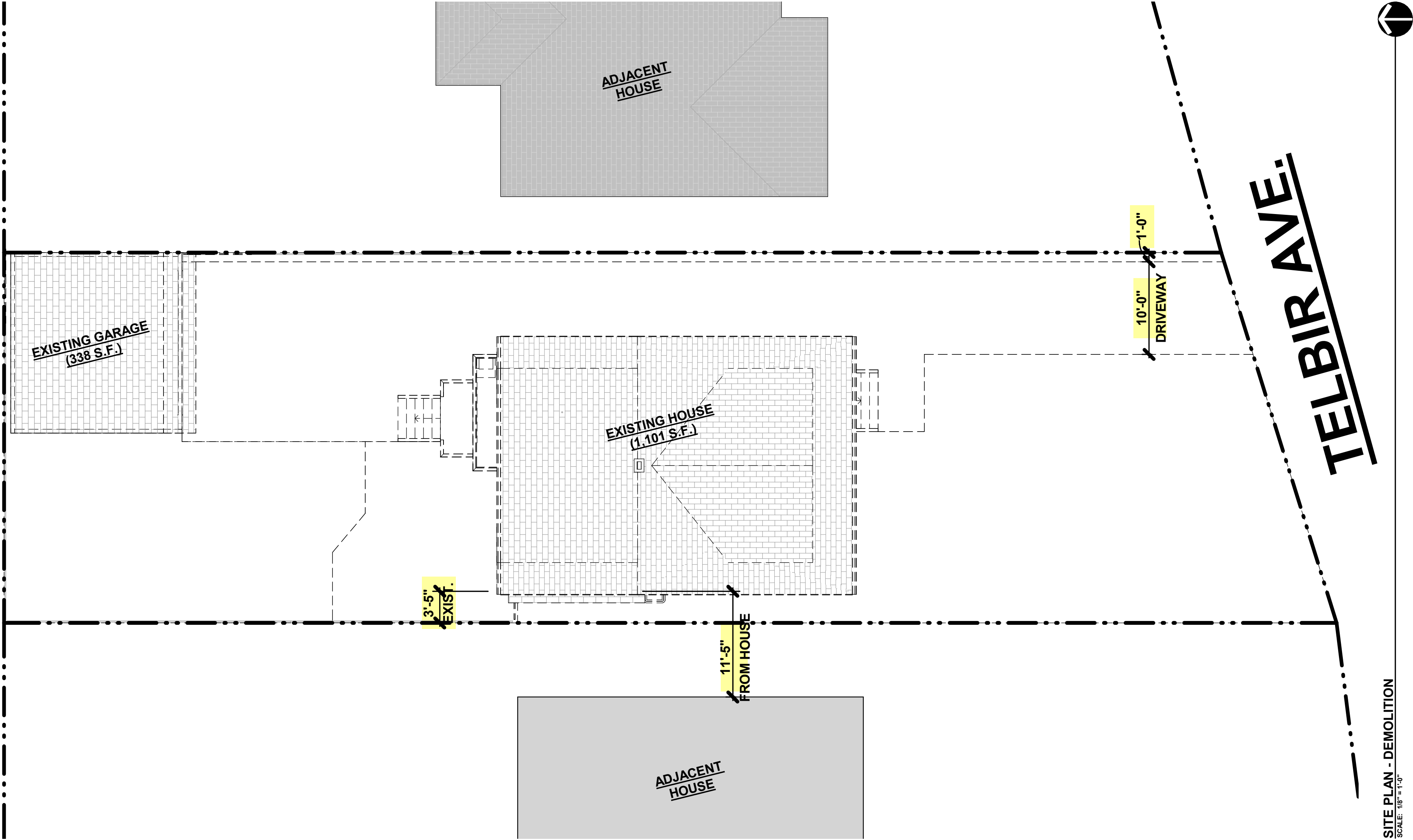
190301

Project Number:

COVER SHEET

A1

Sheet:



SITE PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

LOT COVERAGE - EXISTING	
LOT SQ. FT.	5,440 (PER GIS)
EXISTING HOUSE:	1,101 S.F.
EXISTING GARAGE:	338 S.F.
TOTAL:	1,439 S.F. (26.5%)

NOTE:
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.

SITE PLAN -
EXISTING

A2

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02/29/2024

Issuance Date:

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02/18/2024

06/28/2023

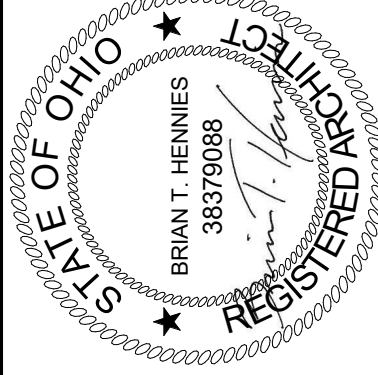
06/11/2023

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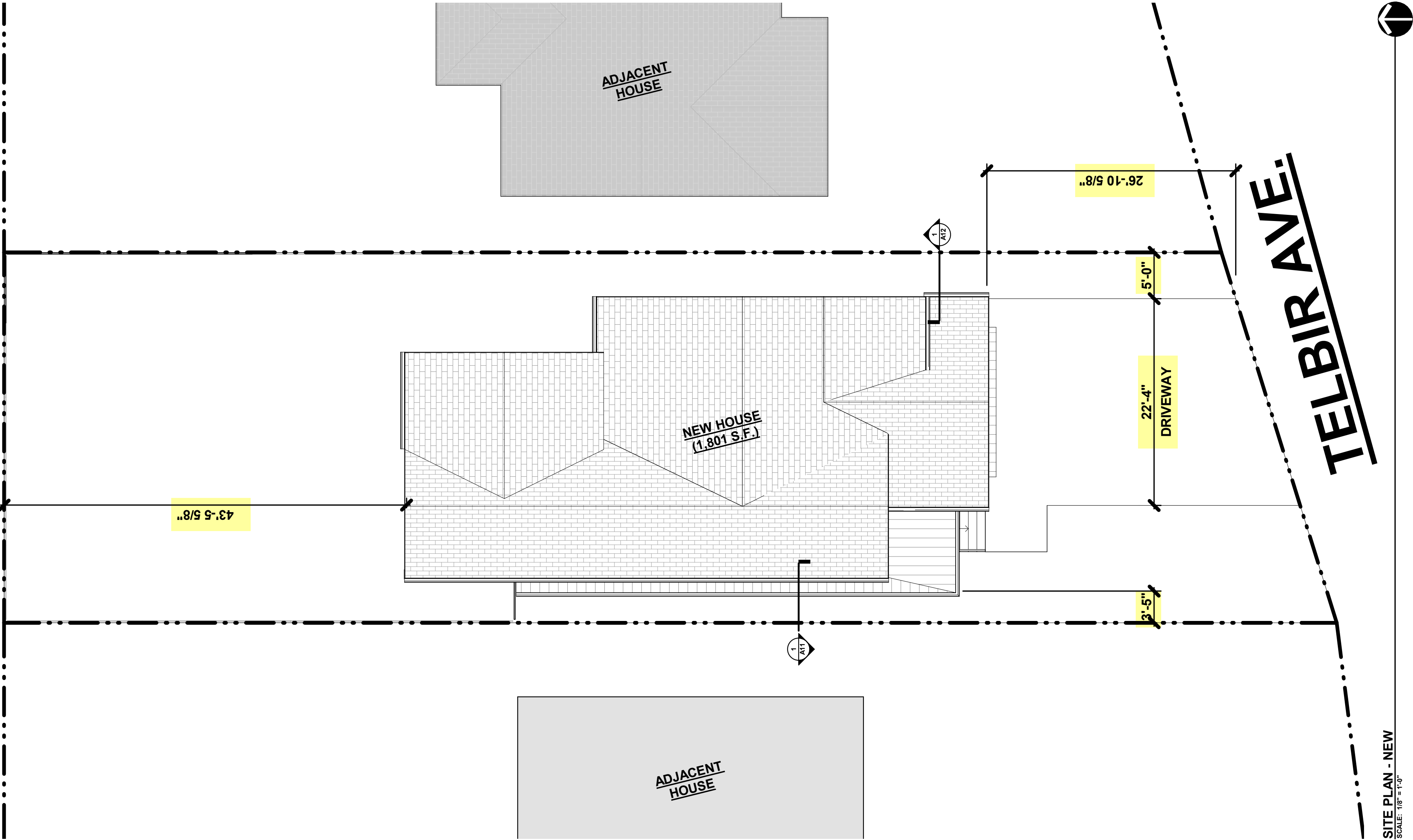
Project Info:



Designer:

Expiration Date: 12/31/2024

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LOT COVERAGE - NEW	
LOT SQ. FT.	5,440 (PER GIS)
NEW HOUSE:	1,801 S.F.
GARAGE (ATTACHED):	0 S.F.
TOTAL:	1,801 S.F. (33.1%)

NOTE:
SQUARE FOOTAGES SHOWN ARE SURFACE AREAS OF ROOFING.

SITE PLAN - NEW

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190301	
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Designer: Expiration Date: 12/31/2024

A3

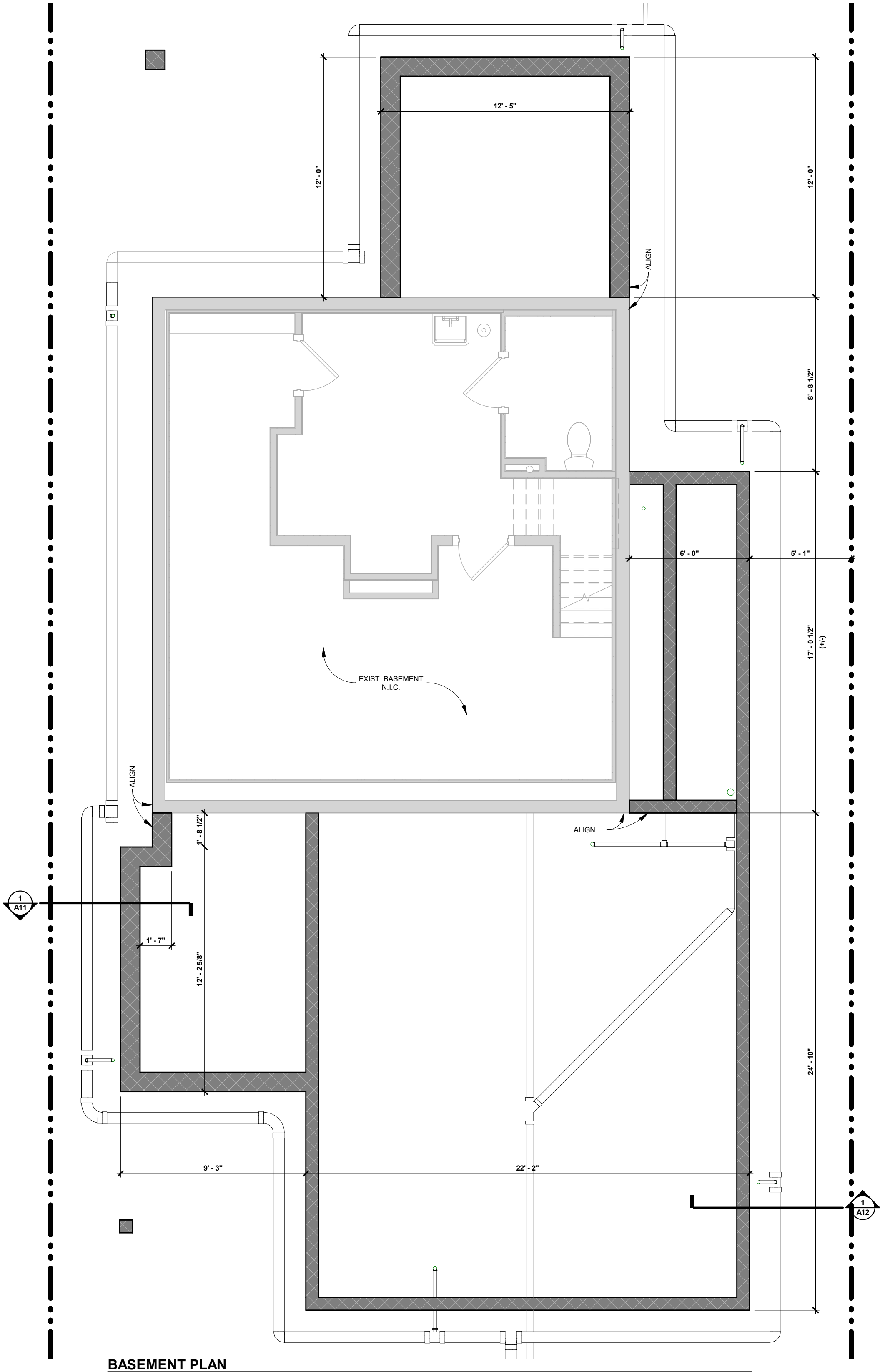
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GENERAL NOTES - SITE PLAN

1. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
2. UTILITY LINE LOCATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. EACH CONTRACTOR WORKING NEAR ANY UTILITY LINE, WHICH MAY OR MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES WHICH ARE IN THE AREA OF WORK.
3. LOCATIONS, SIZES AND DEPTH OF SEWERS TO BE TIED INTO SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES. USE DUE DILIGENCE TO PROTECT SEWER AND UTILITY LINES FROM DAMAGE.
4. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES. BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING OF WATER ON THE SITE. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL IN ACCORDANCE WITH CITY REQUIREMENTS AND OHIO EPA REGULATIONS TO PREVENT POLLUTION PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, AND REMOVE SAME UPON STABILIZATION OF UPSTREAM WATERSHED.
5. BACKFILL MATERIAL SHALL HAVE ONE OF THE FOLLOWING UNIFIED SOIL CLASSIFICATION SYSTEMS (USCS):
- GC - CLAYEY GRAVELS
 - SC - CLAYEY SANDS
 - CL - INORGANIC CLAY OF LOW TO MEDIUM PLASTICITY
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6. EXISTING TREES AND SHRUBS INDICATED TO REMAIN SHALL BE PROTECTED.
7. NEW FINISHED GRADES SHALL MEET AND MATCH EXISTING SITE GRADES AT EXISTING ROADS, PAVEMENT, BUILDING AND ADJACENT LOTS.
8. EXISTING MANHOLES, GAS VALVES, WATER VALVES OR OTHER UTILITY BOXES WITHIN LIMITS OF NEW WORK SHALL BE ADJUSTED TO MEET FINAL ELEVATION.
9. ANY STAGING AREA FOR CONSTRUCTION VEHICLES, EQUIPMENT AND MATERIALS SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR AS DESIGNATED AS A PART OF THE COMPLETION OF WORK.
10. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE MADE OF POLYVINYL CHLORIDE (PVC) SDR-35, CONNECTIONS SHALL HAVE PREMIUM GASKETED JOINTS.
11. ALL NEW STORM SEWERS SHALL BE CONSTRUCTED OF SMOOTH LINED CORRUGATE POLYETHYLENE PIPE, TYPE S. EXISTING STORM PIPE SHOULD BE INSPECTED AND ANY PORTIONS OBSERVED TO BE DAMAGED SHOULD BE REPLACED AS A PART OF THIS WORK.
12. CLEAN-OUTS IN PAVEMENT SHOULD HAVE METAL FRAMES AND CONCRETE COLLARS.
13. CONCRETE PAVEMENT, WALKS AND CURBS SHALL BE STAKED AND APPROVED BY CLIENT PRIOR TO STARTING CONCRETE WORK.
14. SCORE CONCRETE WALKS AND/OR PAVEMENT. PROVIDE AND INSTALL 1/2" PREMOLDED EXPANSION JOINT AT 25'-0" O.C. (MAX.) AND WHERE WALKS ABUT EXISTING OR NEW CONCRETE PAVEMENT, AS WELL AS AROUND EXISTING OR NEW STRUCTURES, WALLS AND COLUMNS.
15. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND SHOULD SUPPLY WATER AS NECESSARY TO CONTROL DUST GENERATOR FROM COSNTRUCTION ACTIVITIES ON SITE, USED SOIL MAY NOT BE USED AS A DUST SUPPRESSANT.

GENERAL NOTES - INTERIOR CONSTRUCTION

1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
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8. EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
9. PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION, TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN CENTER OF OPENING.
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11. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 4" FROM THE ADJACENT WALL.
12. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETRY, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.



BASEMENT PLAN
SCALE: 1/4" = 1'-0"



Designer: Expiration Date: 12/31/2024

Addition and
Renovation

Burg Residence
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Project Info:

02/29/2024
02/18/2024
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Pricing
Pricing

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BASEMENT
FLOOR PLAN

A4

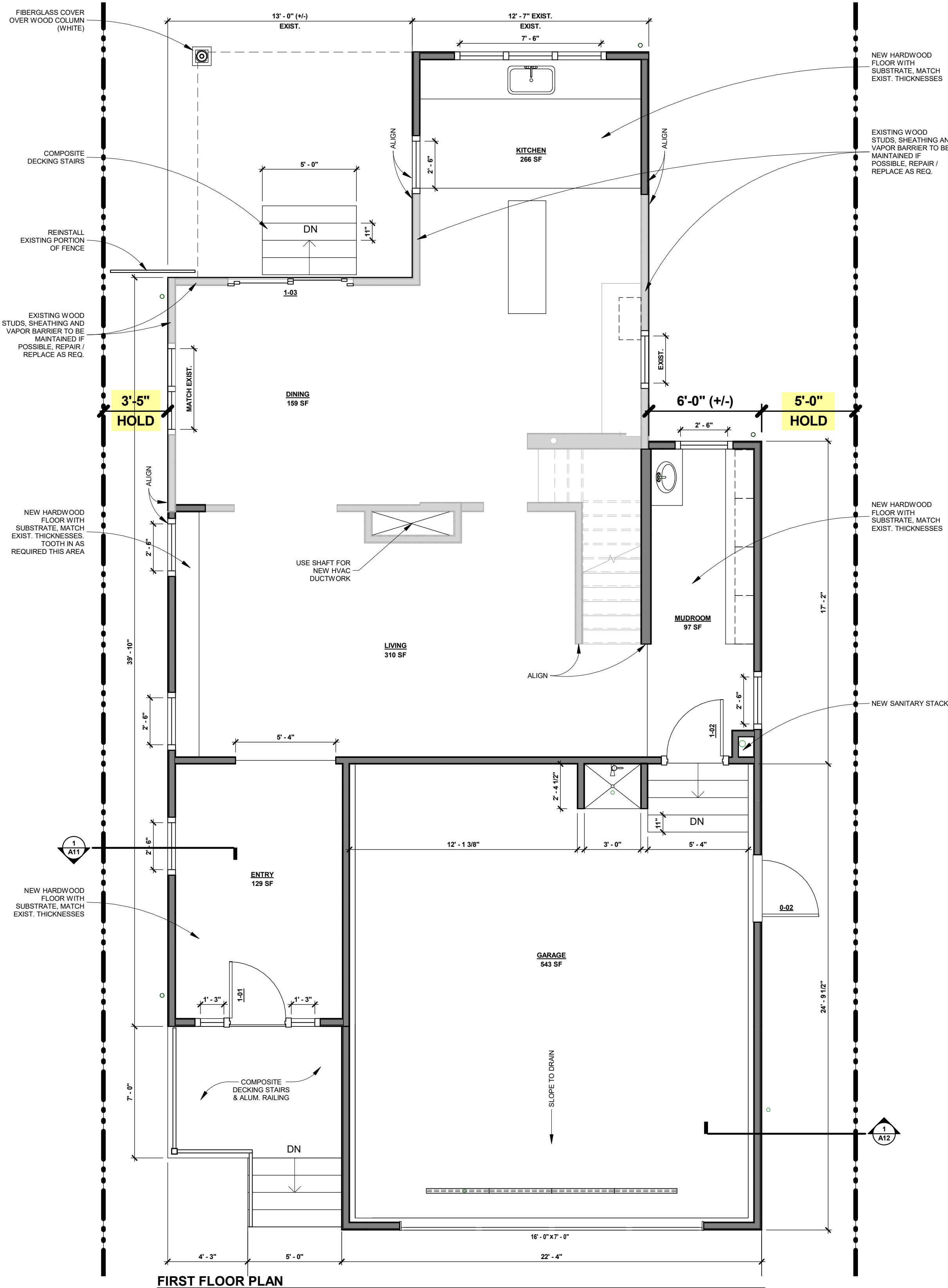
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GENERAL NOTES - SITE PLAN

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Zoning Responses

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FIRST FLOOR PLAN

A5

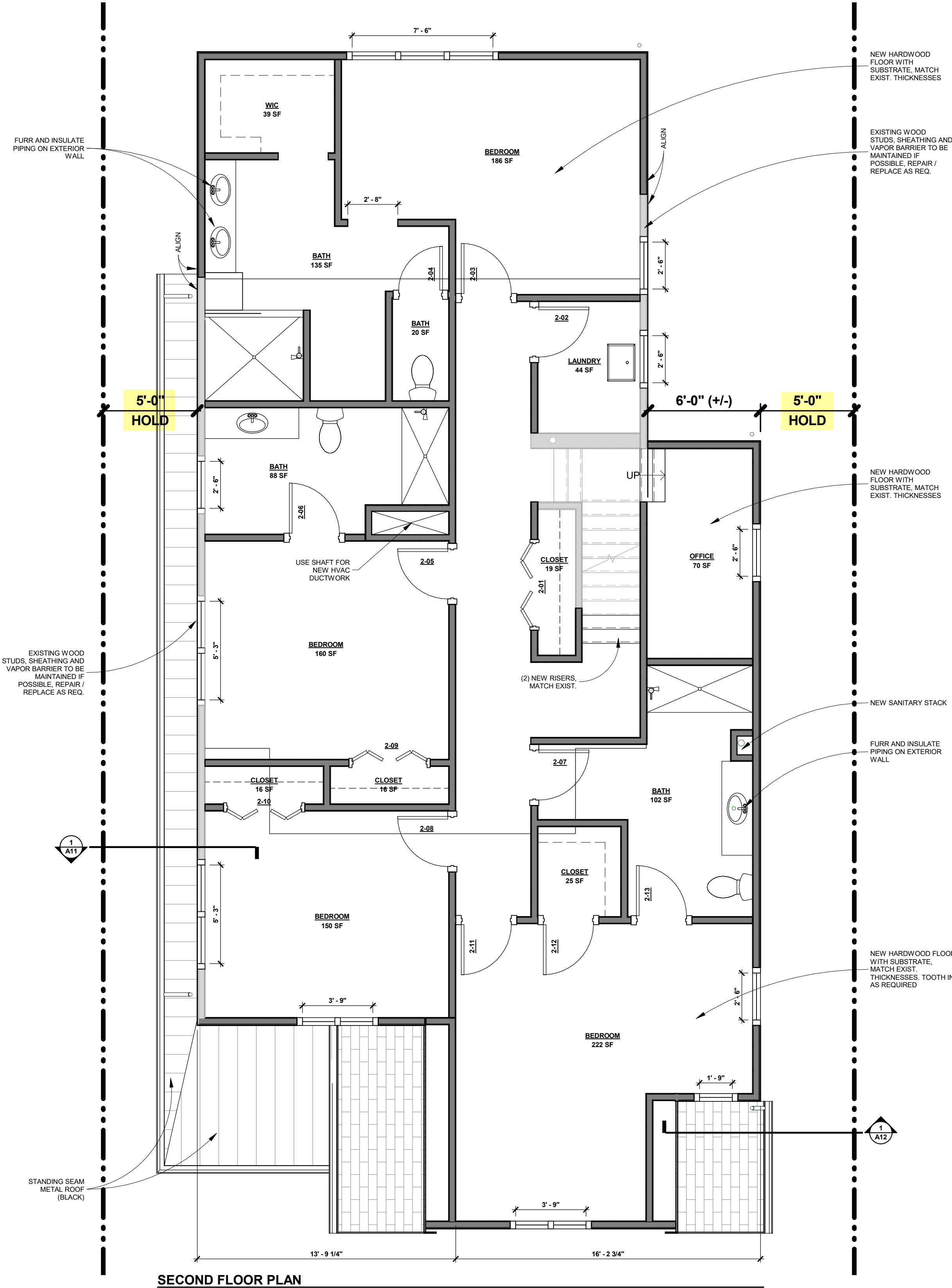
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9. ANY STAGING AREA FOR CONSTRUCTION VEHICLES, EQUIPMENT AND MATERIALS SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR AS DESIGNATED AS A PART OF THE COMPLETION OF WORK.
10. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE MADE OF POLYVINYL CHLORIDE (PVC) SDR-35, CONNECTIONS SHALL HAVE PREMIUM GASKETED JOINTS.
11. ALL NEW STORM SEWERS SHALL BE CONSTRUCTED OF SMOOTH LINED CORRUGATE POLYETHYLENE PIPE, TYPE S. EXISTING STORM PIPE SHOULD BE INSPECTED AND ANY PORTIONS OBSERVED TO BE DAMAGED SHOULD BE REPLACED AS A PART OF THIS WORK.
12. CLEAN-OUTS IN PAVEMENT SHOULD HAVE METAL FRAMES AND CONCRETE COLLARS.
13. CONCRETE PAVEMENT, WALKS AND CURBS SHALL BE STAKED AND APPROVED BY CLIENT PRIOR TO STARTING CONCRETE WORK.
14. SCORE CONCRETE WALKS AND/OR PAVEMENT. PROVIDE AND INSTALL 1/2" PREMOLDED EXPANSION JOINT AT 25'-0" O.C. (MAX.) AND WHERE WALKS ABUT EXISTING OR NEW CONCRETE PAVEMENT, AS WELL AS AROUND EXISTING OR NEW STRUCTURES, WALLS AND COLUMNS.
15. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND SHOULD SUPPLY WATER AS NECESSARY TO CONTROL DUST GENERATOR FROM COSNTRUCTION ACTIVITIES ON SITE, USED SOIL MAY NOT BE USED AS A DUST SUPPRESSANT.

GENERAL NOTES - INTERIOR CONSTRUCTION

1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
4. TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX., HOWEVER REFER TO DIMENSIONS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
5. WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
6. PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
7. DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
8. EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
9. PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION. TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN CENTER OF OPENING.
10. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
11. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 4" FROM THE ADJACENT WALL.
12. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETRY, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



Designer: Brian T. Hennies
Expiration Date: 12/31/2024

Addition and
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SECOND FLOOR
PLAN

A6

Sheet:

GENERAL NOTES - EXTERIOR CONSTRUCTION

GENERAL
ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.

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FIRE RATINGS
PROVIDE CONTINUOUS PERIMETER FIRE SAFING BETWEEN FLOORS AND COORDINATE THE INSTALLATION WITH THE EXTERIOR WALL. FIRE RATING OF SAFING SHALL MATCH FIRE RATING OF FLOOR CONSTRUCTION.

EXTERIOR WALL
REUSE EXISTING SHEATHING WHEREVER POSSIBLE, REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.

INSULATIONS
PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.

ROOFING
DURING CONTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.

ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.

ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.

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PROVIDE THERMAL BATT INSULATION (KRAFT-FACED) WITHING STUD WALLS, FRICTION FIT IN FRAMING CAVITY. PROVIDE THERMAL BATT INSULATION (NON-FACED) AT CRAWL SPACE JOISTS.

ALL DOWNSPOUTS TO DIRECT RAINWATER TO STORM DRAIN THROUGH SEWER INATAKE / STANDPIPE DRAIN.

FOUNDATIONS
DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH

CRAWL SPACE WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
CMU BLOCK WALL - 7 5/8"	1.11
XPS INSULATION - 2"	10.00
R-VALUE: 11.11 TOTAL	✓
U-VALUE: 0.090 TOTAL	

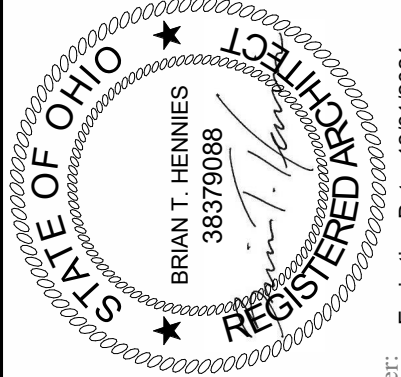
FRAME WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
VINYL SIDING - HOLLOW BACK	0.61
WATER-RESISTIVE BARRIER	0.85
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE - 0"	0.00
FIBERGLASS BATT INSULATION - 3 1/2"	15.00
GYPSUM BOARD - 1/2"	0.45
AIR FILM - INTERIOR WALL	0.69
R-VALUE: 18.7 TOTAL	✓
U-VALUE: 0.0534 TOTAL	

CEILINGS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
ASPHALT SHINGLE	0.44
UNDERLAYMENT	0.00
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE / BAFFLE - 1"	1.00
FIBERGLASS BATT INSULATION - 9 1/2"	40.0
GYPSUM BOARD - 1/2"	0.85
AIR FILM - INTERIOR CEILING	0.61
R-VALUE: 44.01 TOTAL	✓
U-VALUE: 0.0227 TOTAL	

NOTES:
* VALUES ARE BASED ON COMMON BUILDING MATERIALS.
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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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SOUTH
ELEVATION

A7

Sheet:

ASPHALT SHINGLE ROOF
(GRAY)

ALUMINUM GUTTER AND
DOWNSPOUT (BLACK)

Third Floor
18'-0"

FIBERGLASS SIDING -
HORIZONTAL (GRAY)

Second Floor
9'-0"

INSULATED VINYL
WINDOW (BLACK FRAME)

FIBERGLASS SIDING -
HORIZONTAL (GRAY)

First Floor
0"

BRICK VENEER SIDING - TO
MATCH EXIST.

Grade
-3'-4"

FOUNDATION

Basement
-7'-4"

ASPHALT SHINGLE ROOF
(GRAY)

ALUMINUM GUTTER AND
DOWNSPOUT (BLACK)

INSULATED VINYL
WINDOW (BLACK FRAME)

FIBERGLASS SIDING -
HORIZONTAL (GRAY)

STANDING SEAM
METAL ROOF (BLACK)

STONE VENEER SIDING -
STREET FACING

ALUMINUM RAILING
(BLACK)

APRON TO MATCH PORCH
DECKING

BRICK VENEER SIDING - TO
MATCH EXIST.

FOUNDATION

ISOLATED FOOTER

WEST ELEVATION
SCALE: 1/4" = 1'-0"



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190301

Project Number:

WEST ELEVATION

A8

Sheet:

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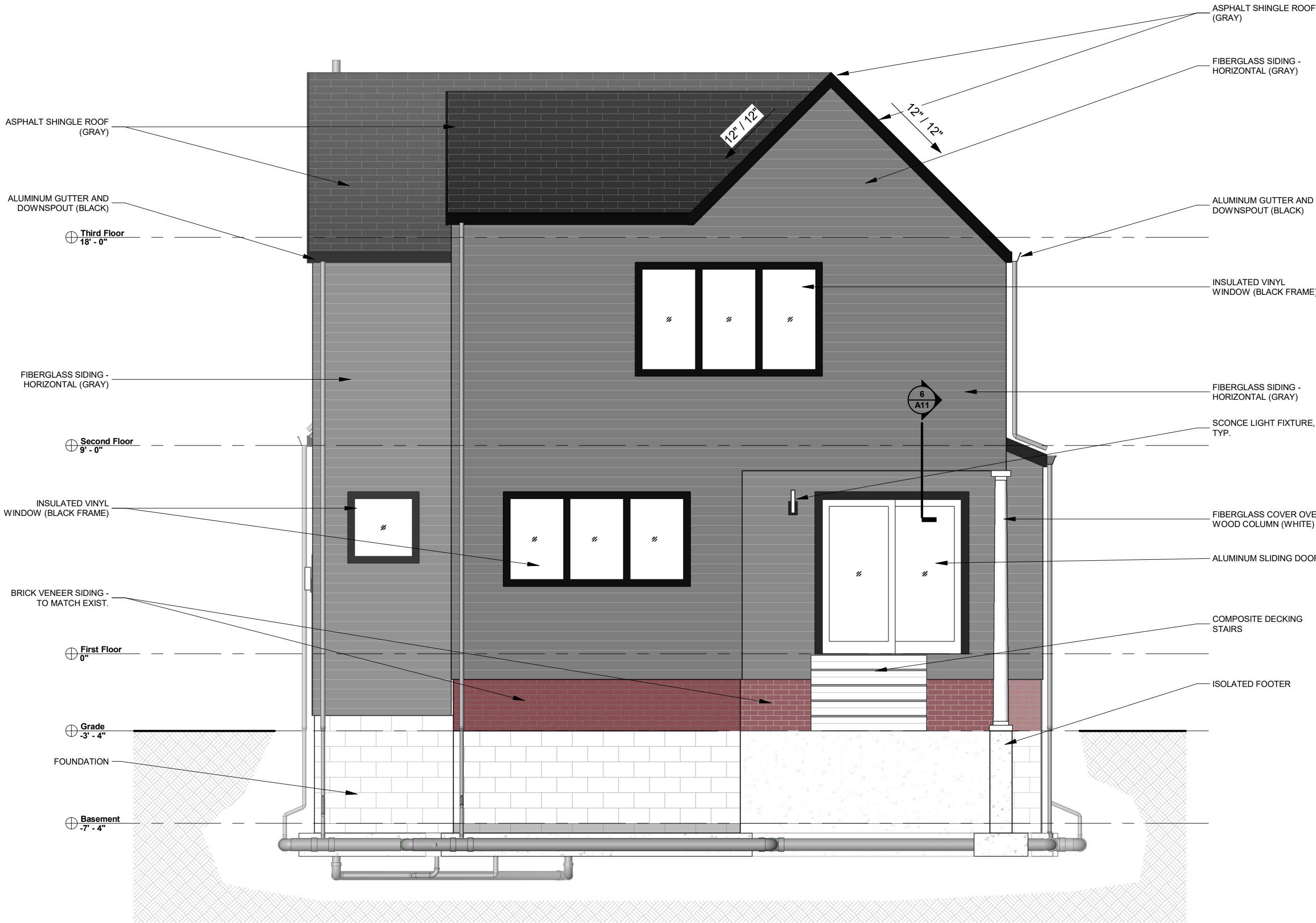
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U-VALUE: 0.090 TOTAL	

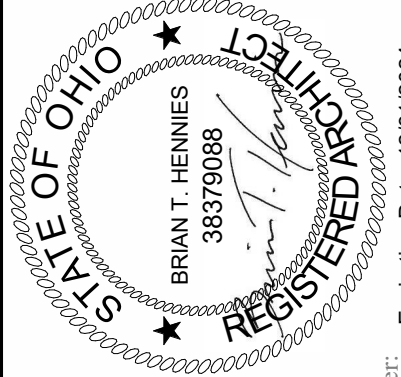
FRAME WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
VINYL SIDING - HOLLOW BACK	0.61
WATER-RESISTIVE BARRIER	0.85
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FIBERGLASS BATT INSULATION - 3 1/2"	15.00
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U-VALUE: 0.0534 TOTAL ✓	

CEILINGS	
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



Designer: Expiration Date: 12/31/2024

Addition and
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190301

Project Number:

NORTH
ELEVATION

A9

Sheet:



EAST ELEVATION
SCALE: 1/4" = 1'-0"



Designer: Brian T. Hennies
Expiration Date: 12/31/2024

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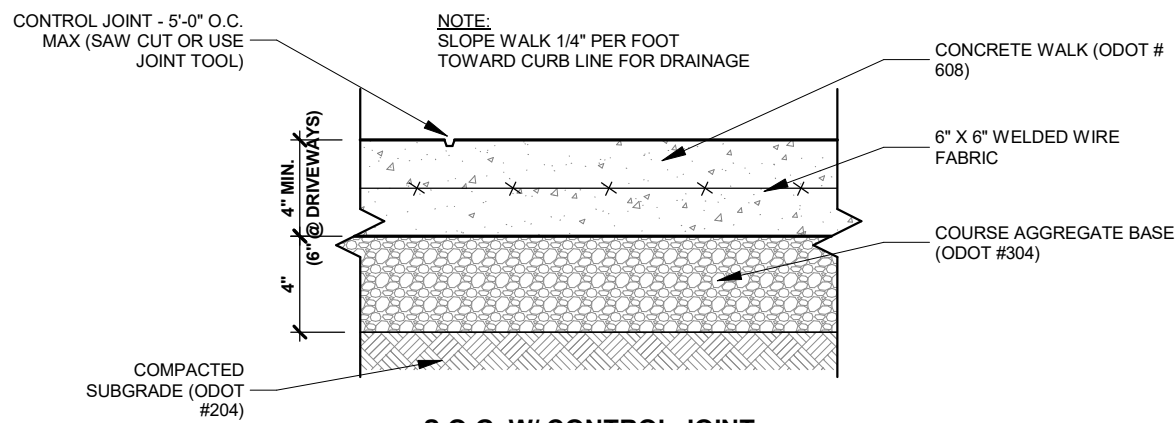
190301

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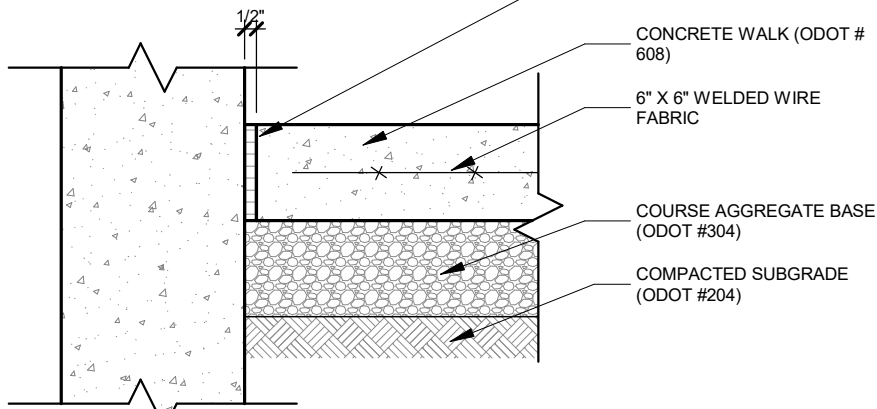
EAST ELEVATION

A10

Sheet:



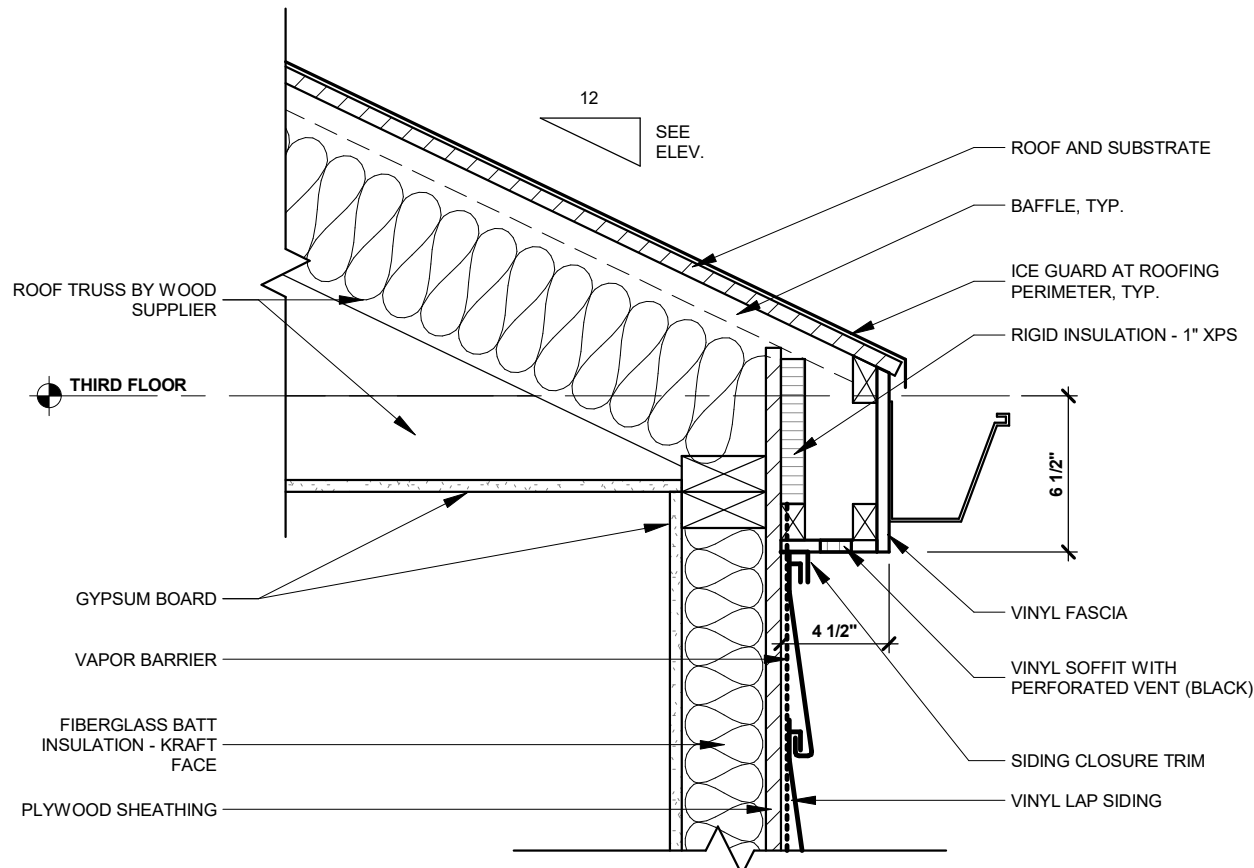
S.O.G. W/ CONTROL JOINT



ISOLATION JOINT

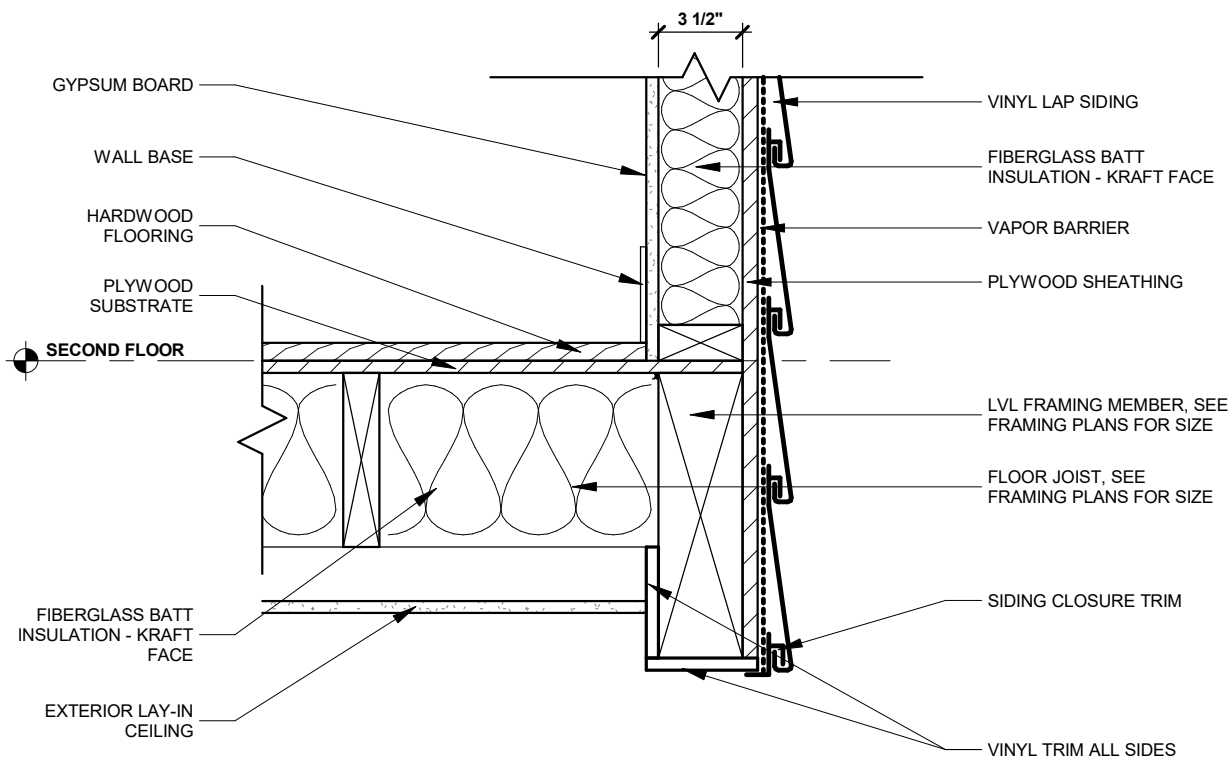
7 CONCRETE SLAB DETAILS

SCALE: 1 1/2" = 1'-0"



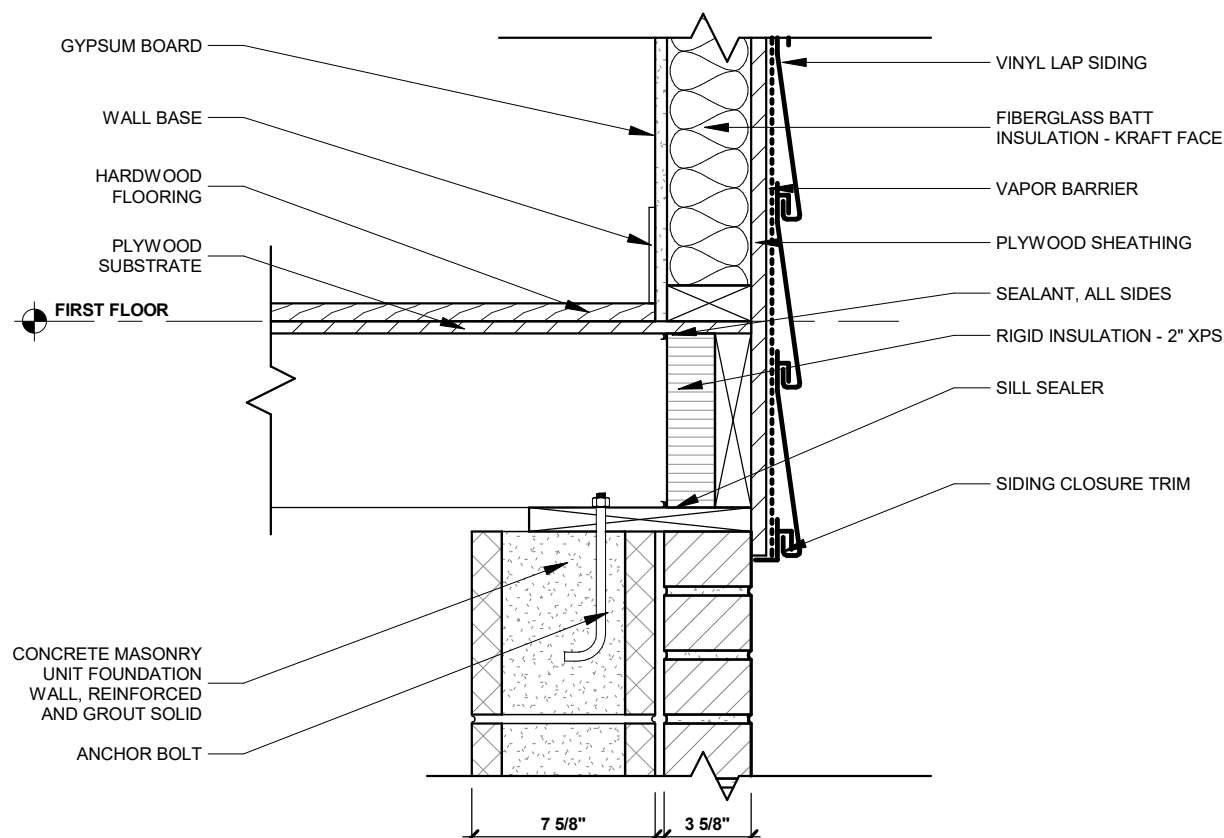
4 SOFFIT @ ROOF LINE - CEILING

SCALE: 1 1/2" = 1'-0"



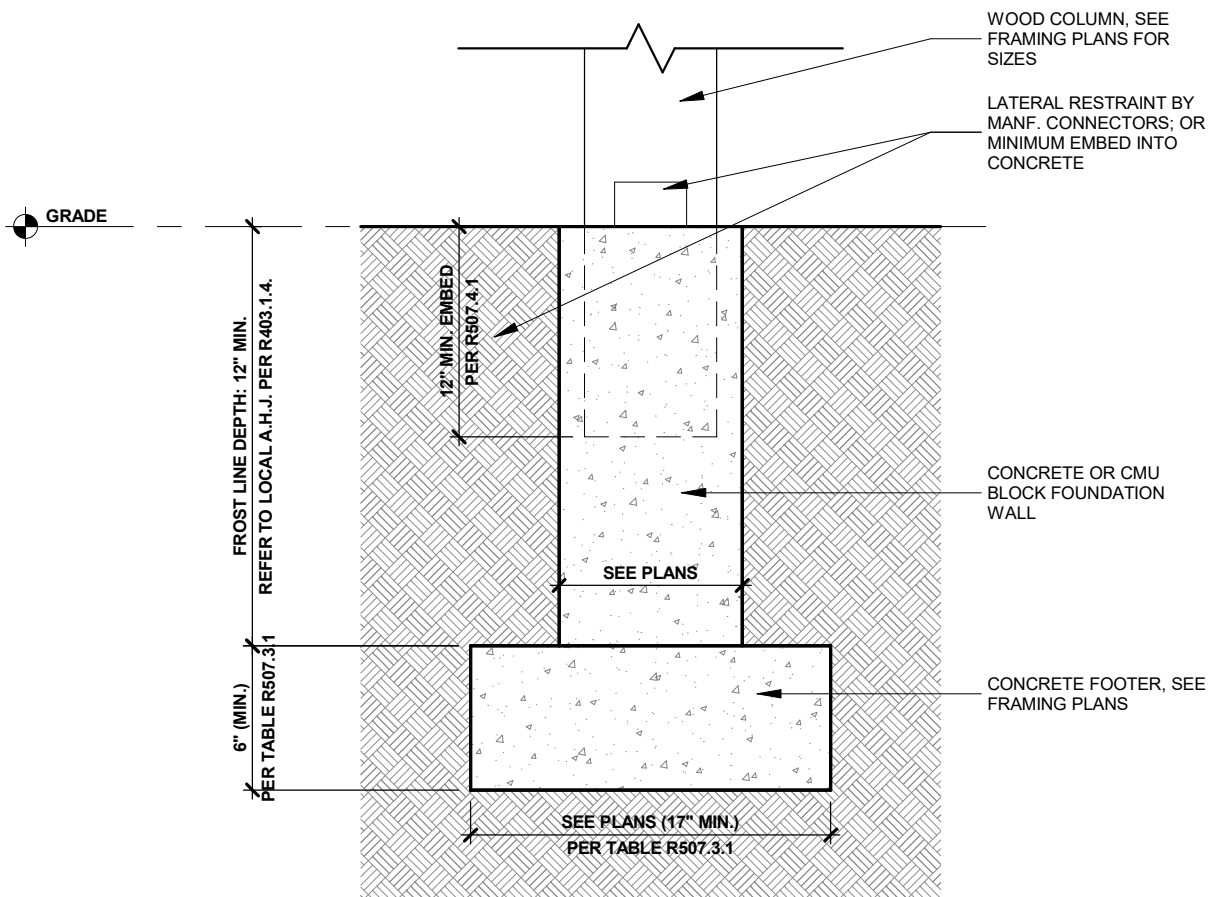
6 SILL PLATE @ COVERED PATIO

SCALE: 1 1/2" = 1'-0"



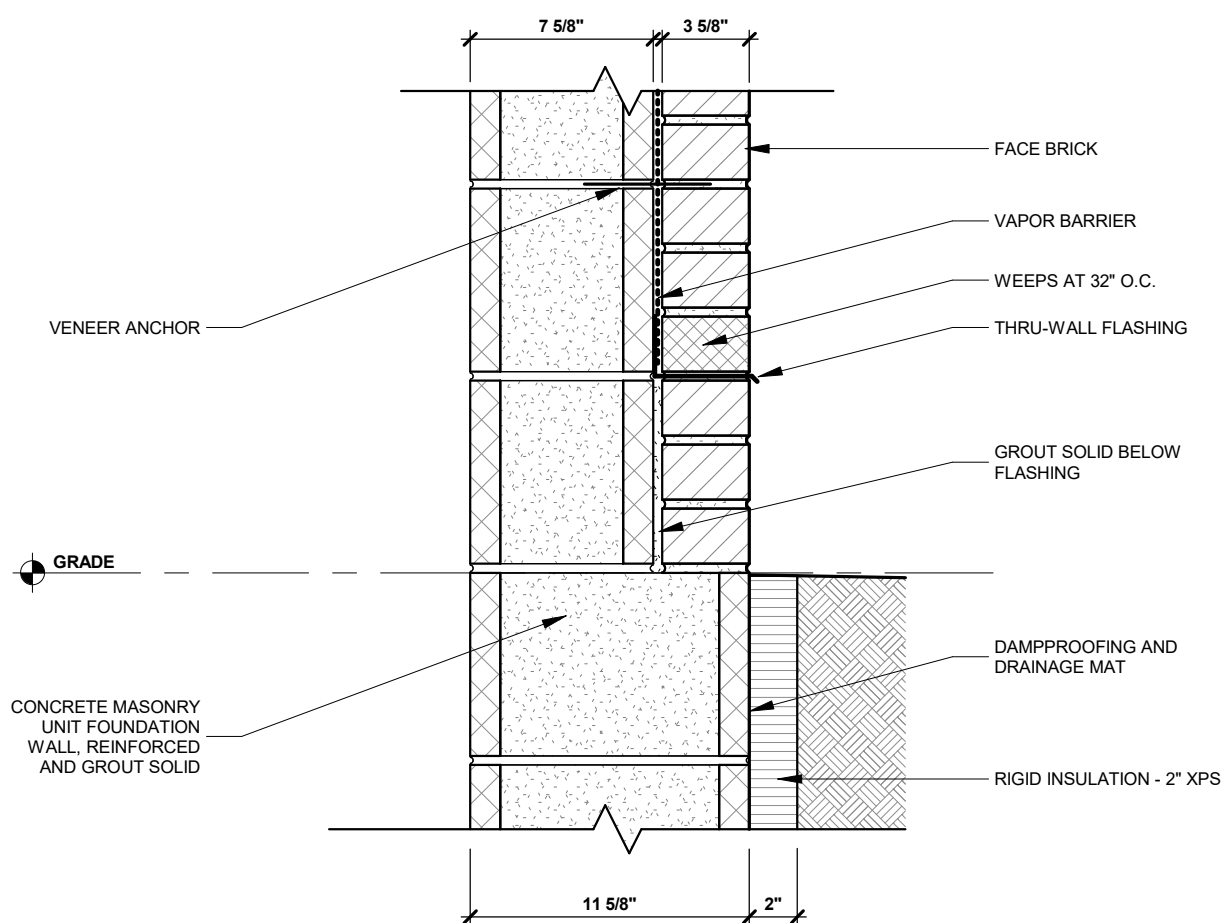
3 ENLARGED DETAIL

SCALE: 1 1/2" = 1'-0"



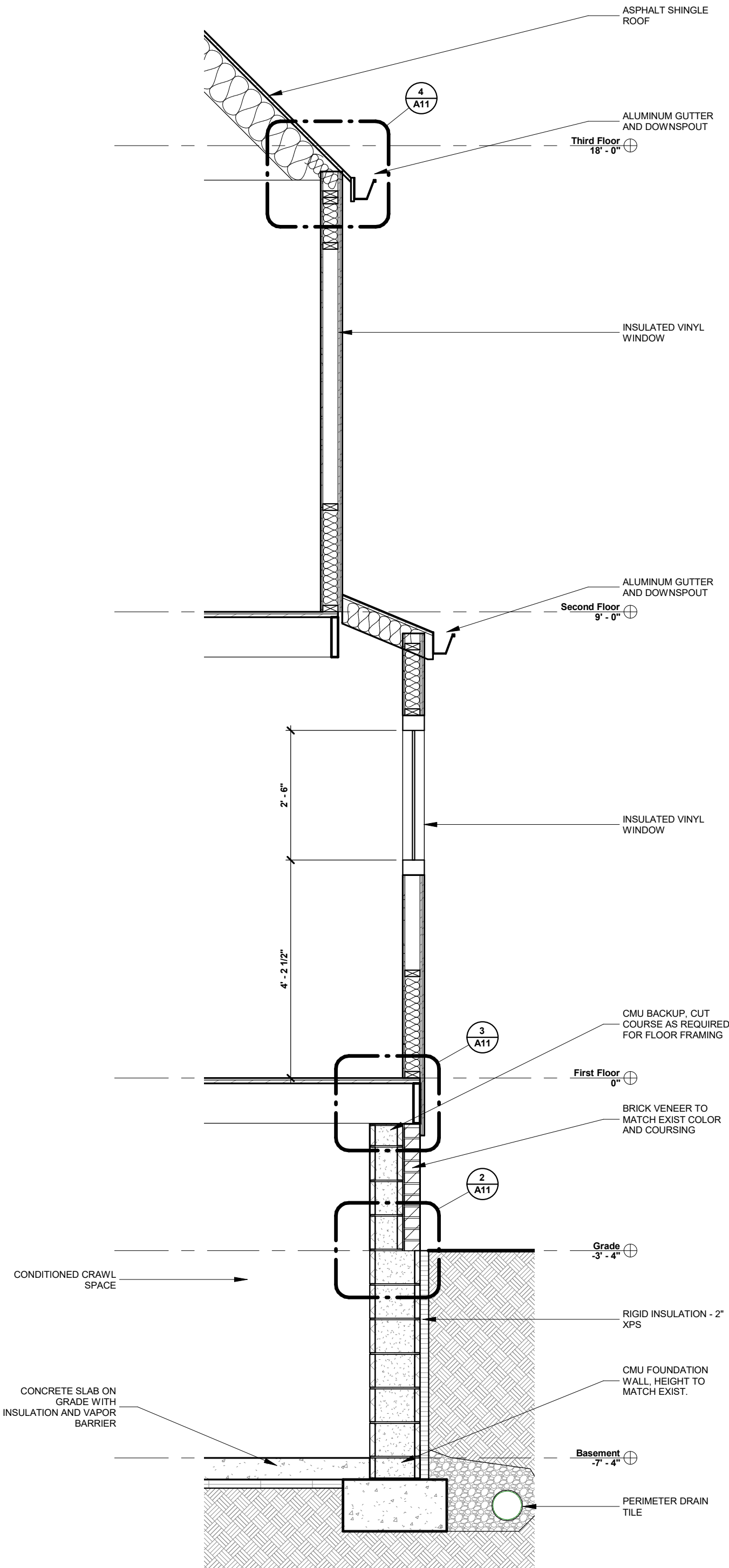
5 ISOLATED FOOTER

SCALE: 1 1/2" = 1'-0"



2 FOUNDATION AND BRICK @ GRADE

SCALE: 1 1/2" = 1'-0"



Section 3

SCALE: 1/2" = 1'-0"



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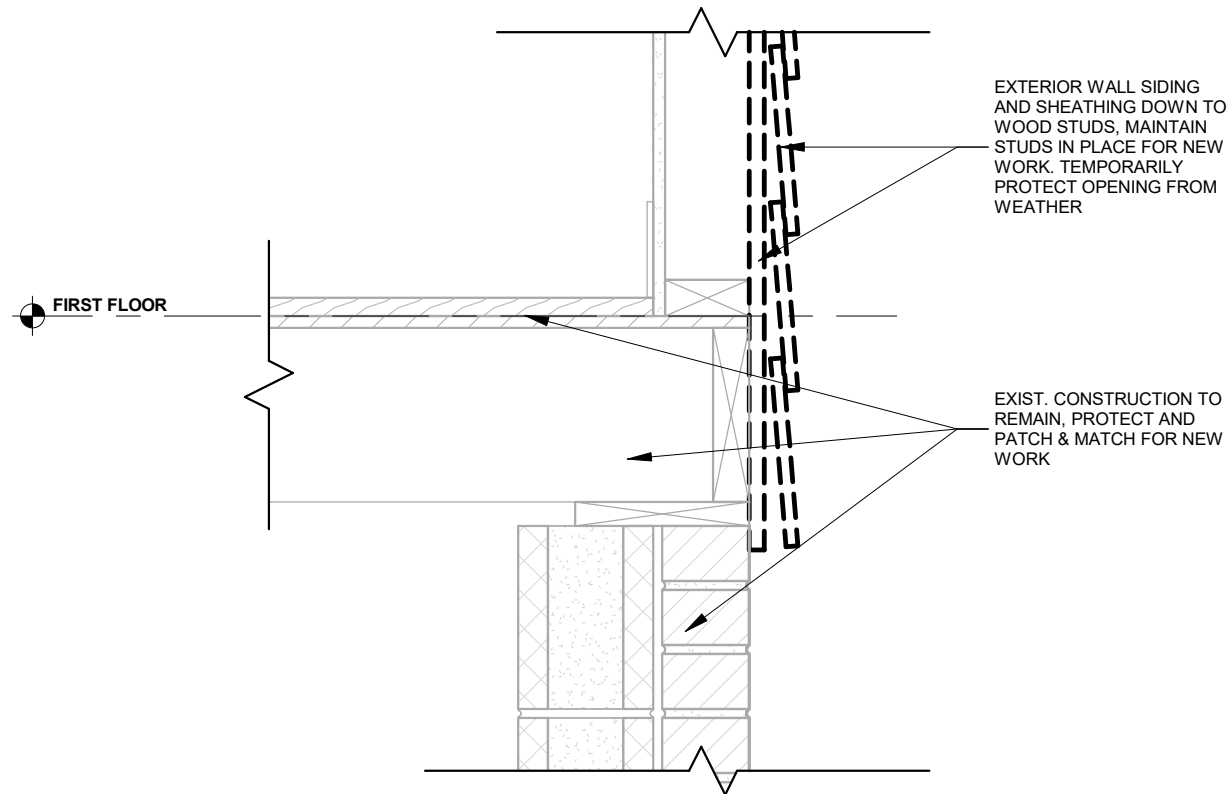
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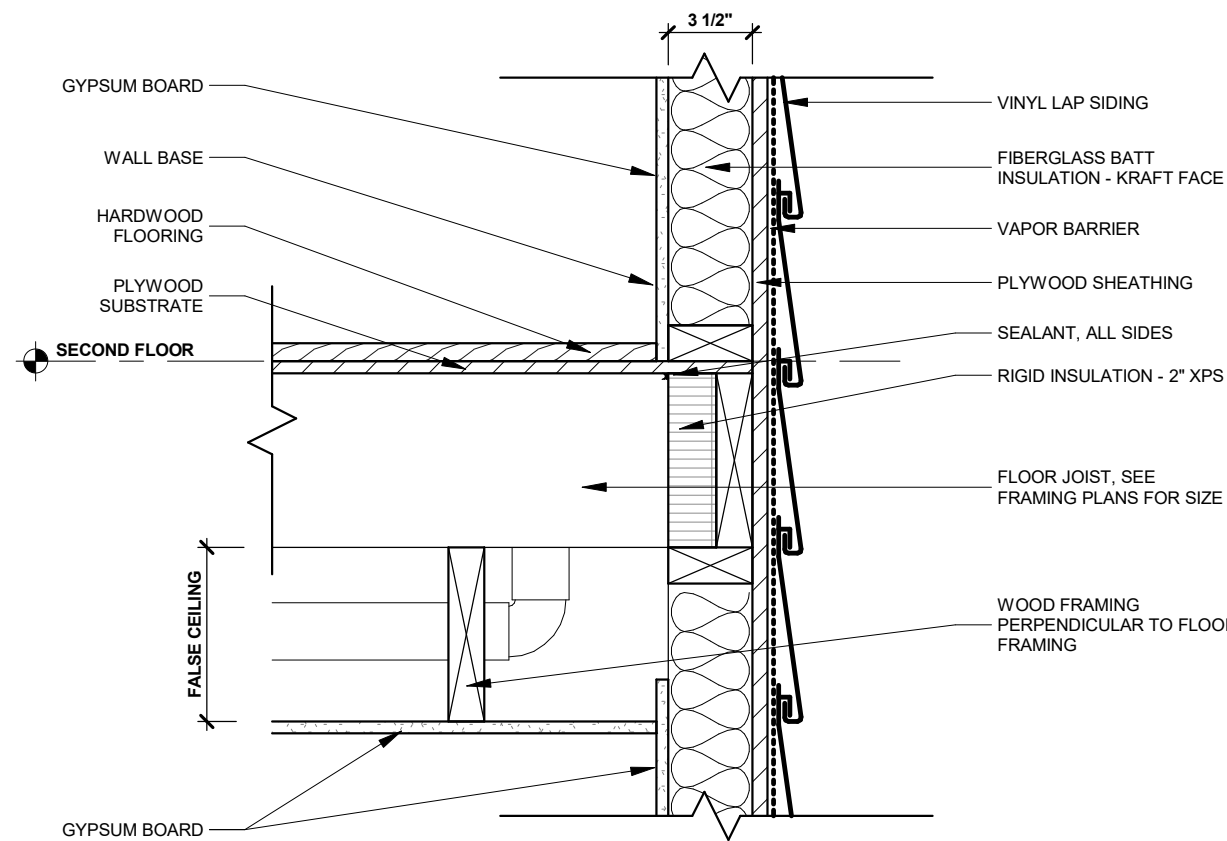
WALL SECTION
AND ENLARGED
DETAILS

A11

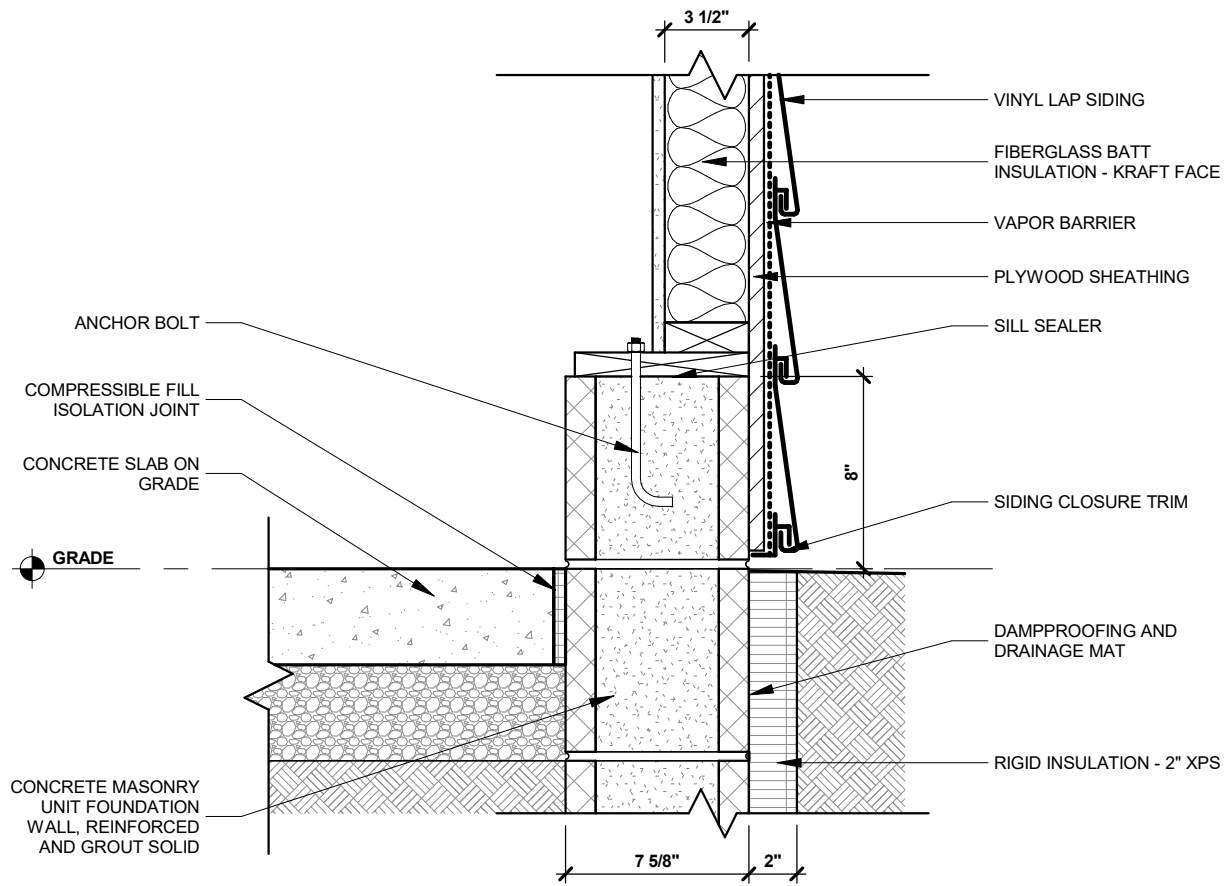
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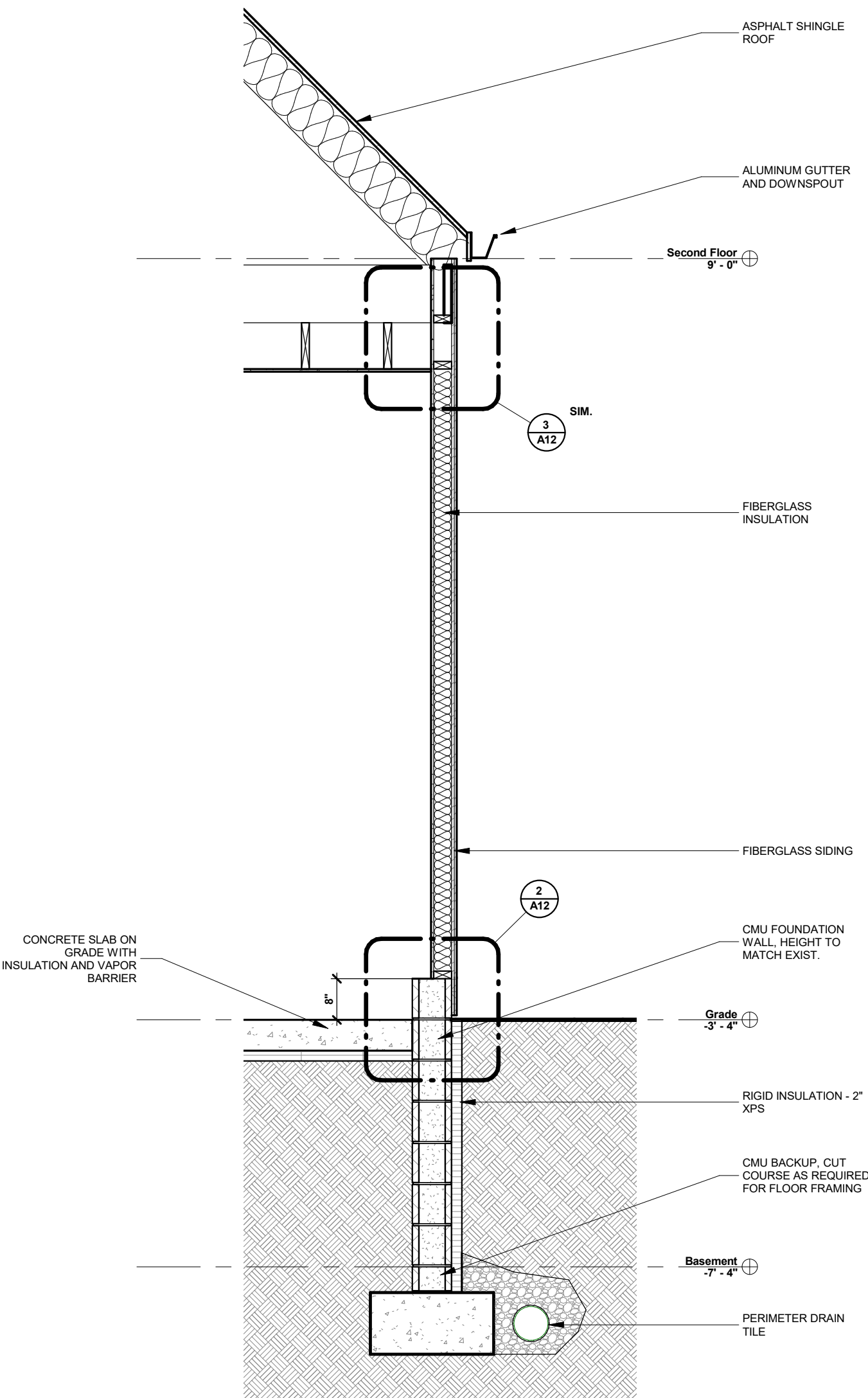
4 ENLARGED DETAIL @ EXIST. WALL
SCALE: 1 1/2" = 1'-0"



3 SILL PLATE @ FALSE CEILING
SCALE: 1 1/2" = 1'-0"



2 SILL PLATE @ GARAGE BASE
SCALE: 1 1/2" = 1'-0"



1 Section 4
SCALE: 1/2" = 1'-0"



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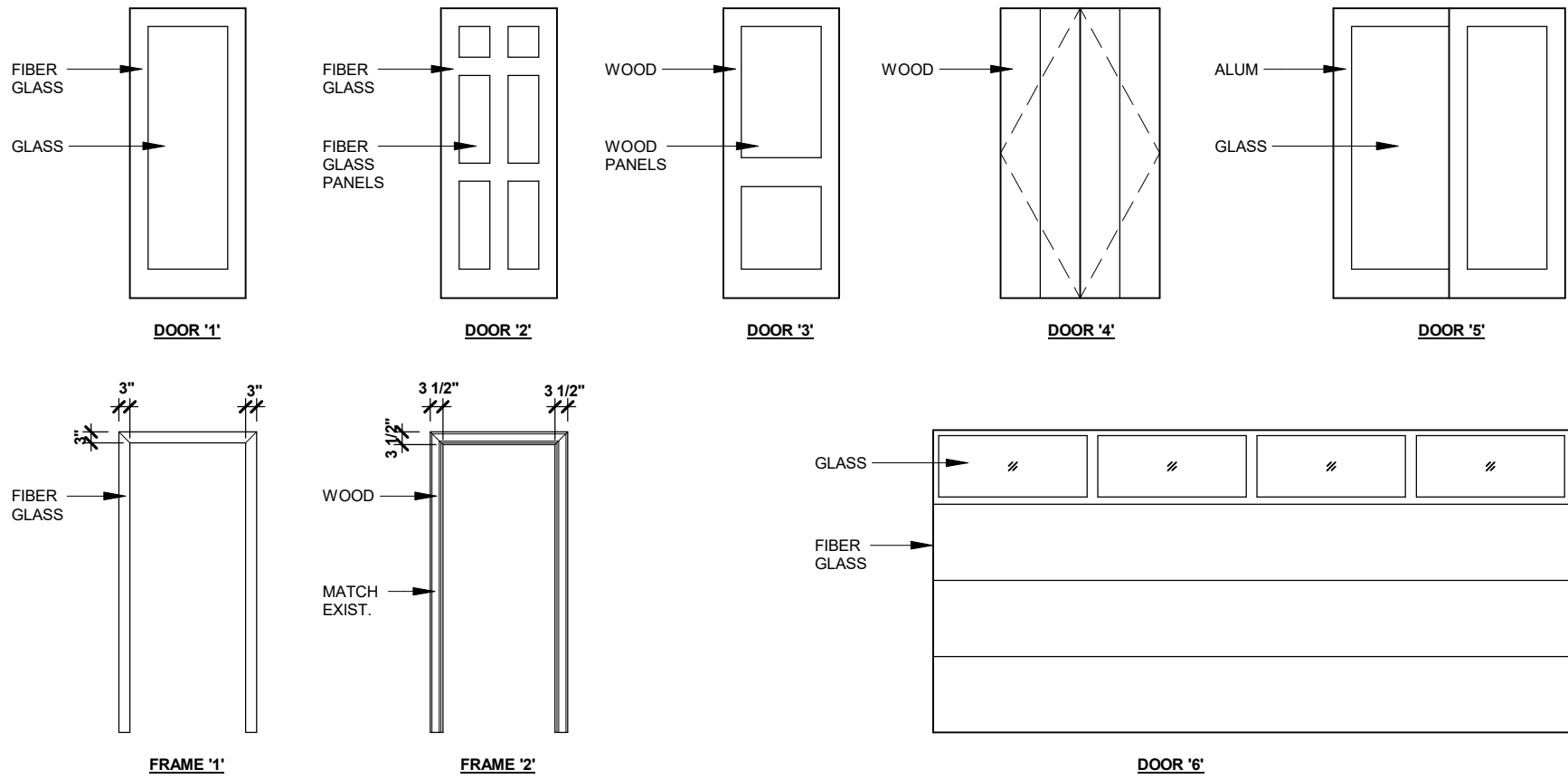
Project Number:

WALL SECTION
AND ENLARGED
DETAILS

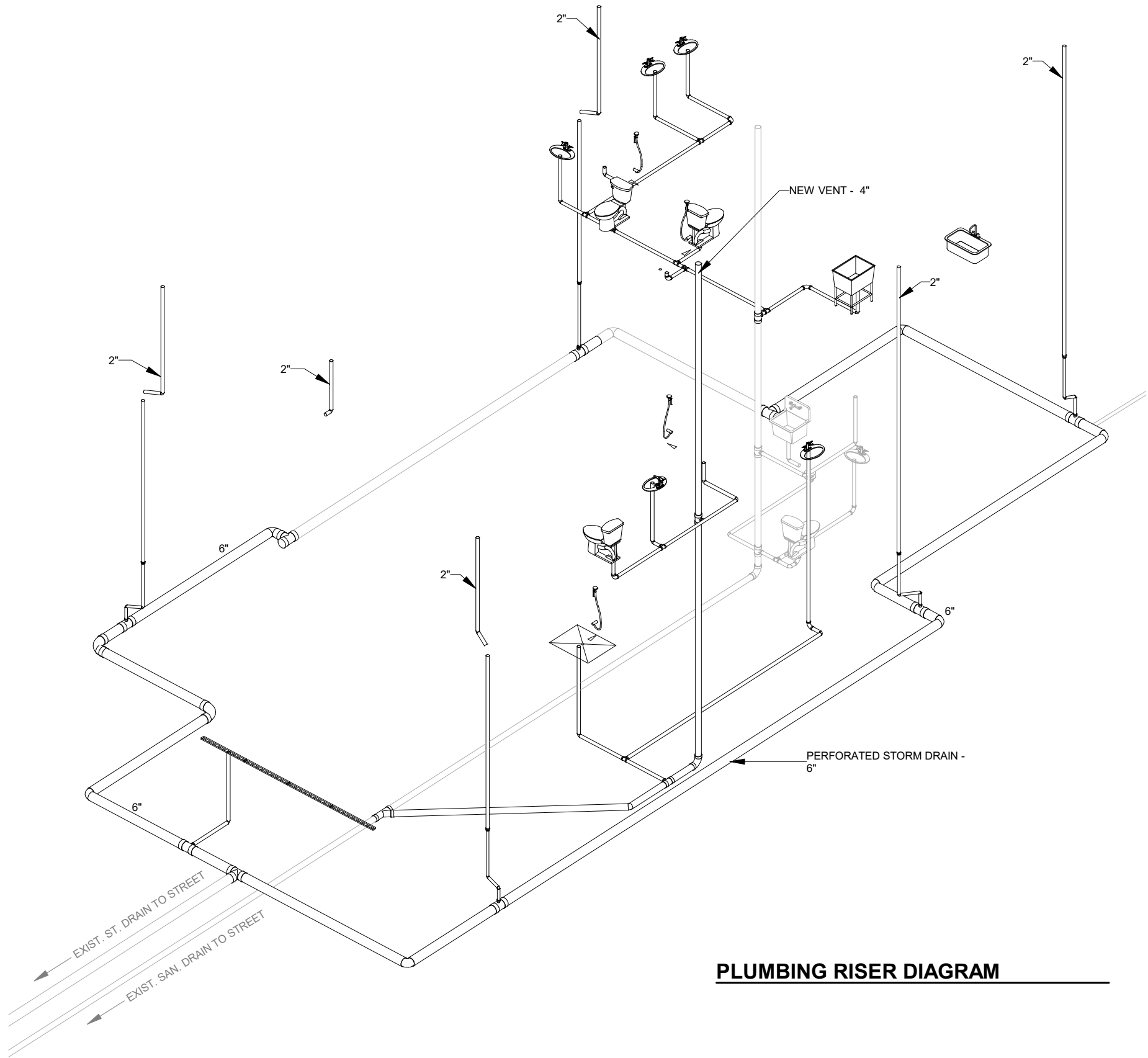
A12

Sheet:

DOOR SCHEDULE							
MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	COMMENTS
Grade							
0-01	16' - 0"	7' - 0"	6	FG	-	FG	
0-02	3' - 0"	6' - 8"	3	FG	1	FG	INSULATED
First Floor							
1-01	3' - 0"	7' - 0"	1	FG	1	FG	INSULATED
1-02	3' - 0"	6' - 8"	3	FG	1	FG	INSULATED
1-03	6' - 0"	6' - 8"	5	ALUM	1	ALUM	INSULATED
Second Floor							
2-01	4' - 6"	6' - 8"	4	WD	2	WD	
2-02	2' - 8"	6' - 8"	2	WD	2	WD	
2-03	2' - 8"	6' - 8"	2	WD	2	WD	
2-04	2' - 4"	6' - 8"	2	WD	2	WD	
2-05	2' - 8"	6' - 8"	2	WD	2	WD	
2-06	2' - 8"	6' - 8"	2	WD	2	WD	
2-07	2' - 8"	6' - 8"	2	WD	2	WD	
2-08	2' - 8"	6' - 8"	2	WD	2	WD	
2-09	4' - 0"	6' - 8"	4	WD	2	WD	
2-10	4' - 0"	6' - 8"	4	WD	2	WD	
2-11	2' - 8"	6' - 8"	2	WD	2	WD	
2-12	2' - 8"	6' - 8"	2	WD	2	WD	
2-13	2' - 8"	6' - 8"	2	WD	2	WD	



DOORS AND FRAMES ELEVATIONS
SCALE: 1/4" = 1'-0"



PLUMBING RISER DIAGRAM



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SCHEDULES, PLUMBING RISER & DETAILS

A13

Sheet:

GENERAL
BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND
FUNCTIONING AS THE DESIGNED UNIT

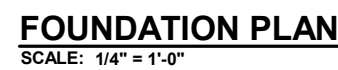
CONCRETE STRENGTH AT 28 DAYS SHALL BE:
FOOTING AND FOUNDATIONS: 3,000 PSI
INTERIOR SLAB ON GRADE: 4,000 PSI
BACKFILL (LEAN) CONCRETE: 1,500 PSI

REINFORCING OF CONCRETE SLABS ON GRADES SHALL BE 6x6-W4.0xW4.0 (58#) WWF. PROVIDE REQUIRED CLEARANCES BETWEEN REINFORCING STEEL AND CONCRETE SURFACES.

PLACE NO PERMANENT LOAD SUCH AS MASONRY WALLS, ON SUPPORTED SLABS UNTIL CONCRETE HAS REACHED SPECIFIED STRENGTH AND ALL SHORING HAS BEEN REMOVED.

LOOSE LINTELS SHALL BE GALVANIZED AFTER FABRICATIONS AND SIZED BASED ON:

WOOD FRAMING
UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.



Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116

Project Info:

02/29/2024
02/18/2024
08/24/2023

Date:

Zoning & Permit
Pricing
Zoning Responses

Revision:

Issuance Name:

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Issuance Date:

190301

A14

Sheet:

GENERAL
BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND
FUNCTIONING AS THE DESIGNED UNIT

CONCRETE

CONCRETE STRENGTH AT 28 DAYS SHALL BE:
FOOTING AND FOUNDATIONS: 3,000 PSI
INTERIOR SLAB ON GRADE: 4,000 PSI
BACKFILL (LEAN) CONCRETE: 1,500 PSI

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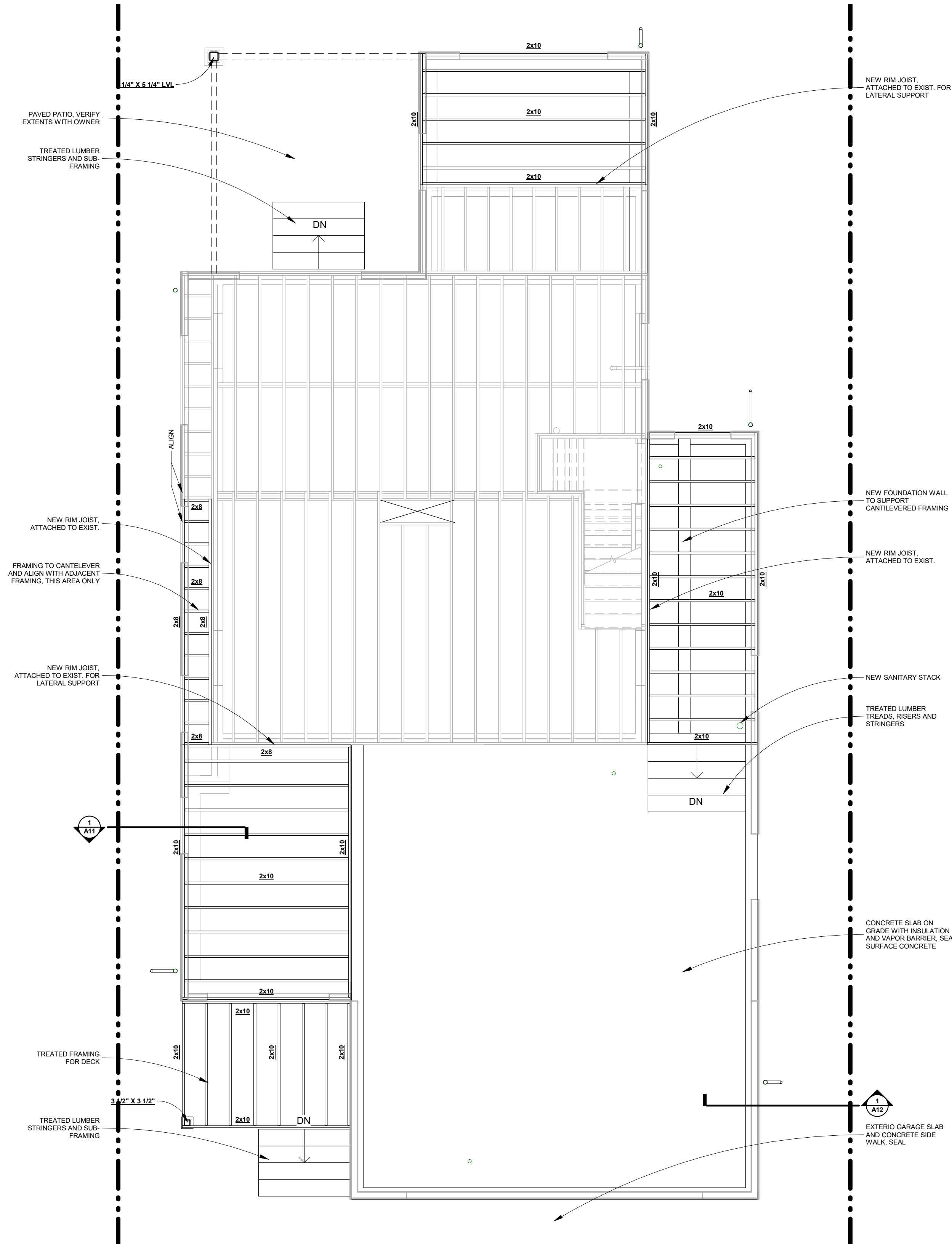
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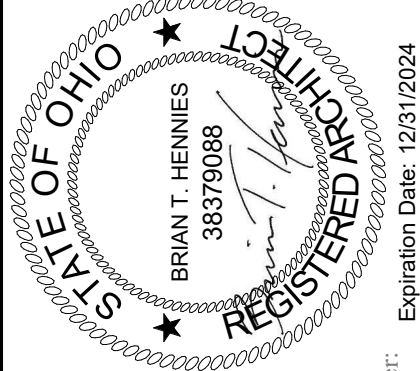
OPENING (CLEAR)	LINTEL SIZE	BEARING
UP TO 5'-0"	L3-1/2 x 3-1/2 x 5/16	4"
5'-1 - 7'-0"	L5 x 3-1/2 x 5/16	6"
7'-1 - 9'-0"	L6 x 3-1/2 x 3/8	8"

WOOD FRAMING

UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.



FIRST FLOOR FRAMING PLAN



Designer:

Addition and Renovation

Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116

Project Info:

Expiration Date: 12/31/2024

02/29/2024
02/18/2024
08/24/2023

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Pricing
Zoning Responses

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Project Number:

FIRST FLOOR FRAMING & SYSTEMS PLAN

A15

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GENERAL NOTES - STRUCTURAL

GENERAL
BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT

CONCRETE
CONCRETE STRENGTH AT 28 DAYS SHALL BE:
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INTERIOR SLAB ON GRADE: 4,000 PSI
BACKFILL (LEAN) CONCRETE: 1,500 PSI

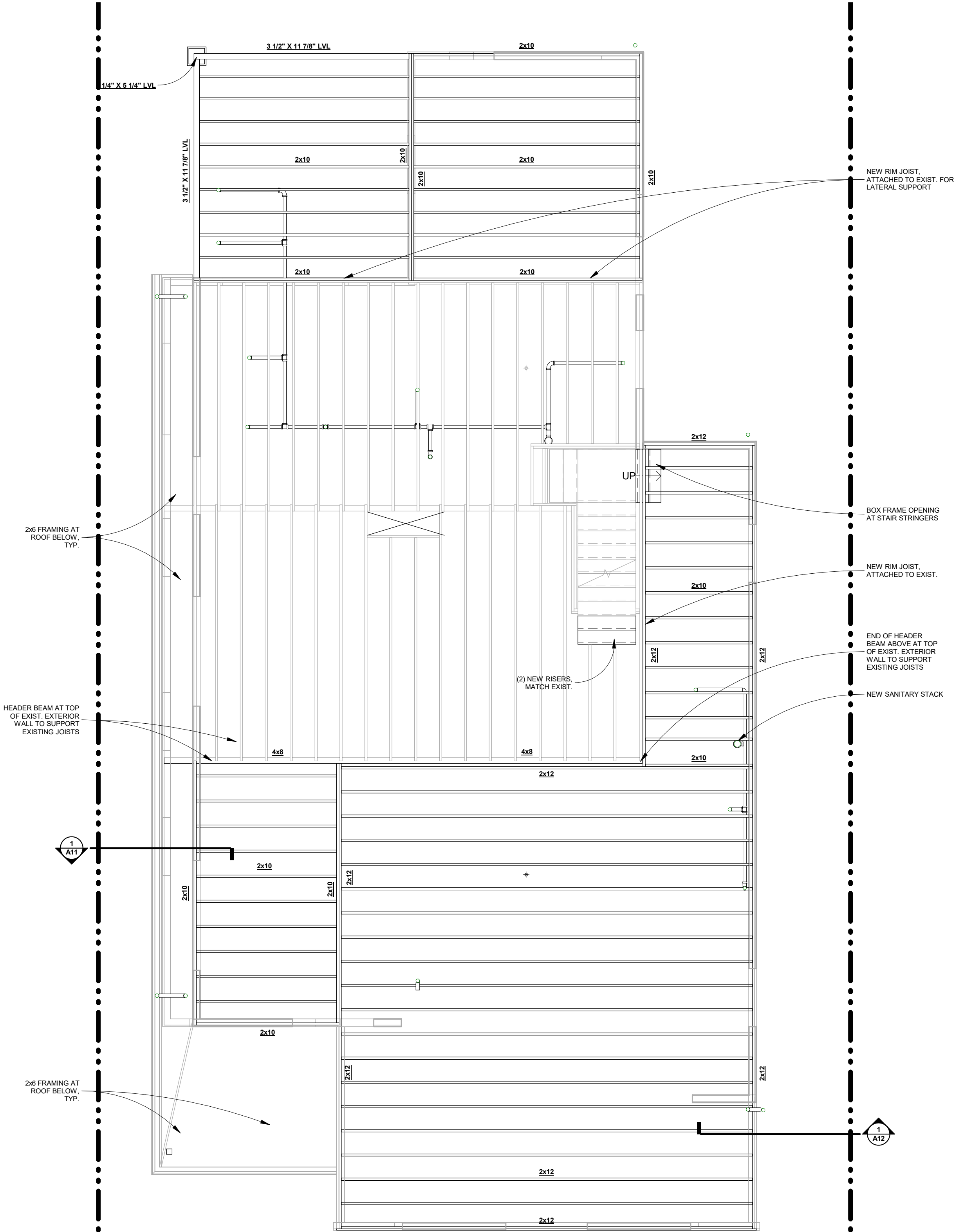
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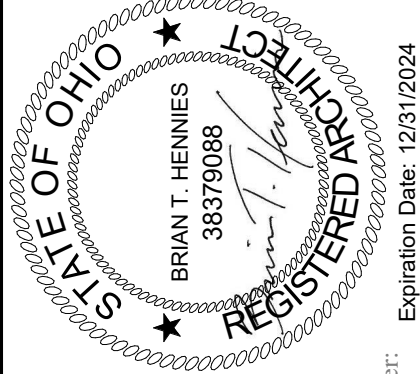
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WOOD FRAMING
UNDIMENSIONED MEMBERS TYPICALLY ARE EQUALLY SPACED BETWEEN DIMENSIONED MEMBERS.



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



Designer: Brian T. Hennies
Expiration Date: 12/31/2024

Addition and
Renovation

Burg Residence
19670 Telbir Ave.
Rocky River, OH 44116

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SECOND FLOOR
FRAMING &
SYSTEMS PLAN

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