

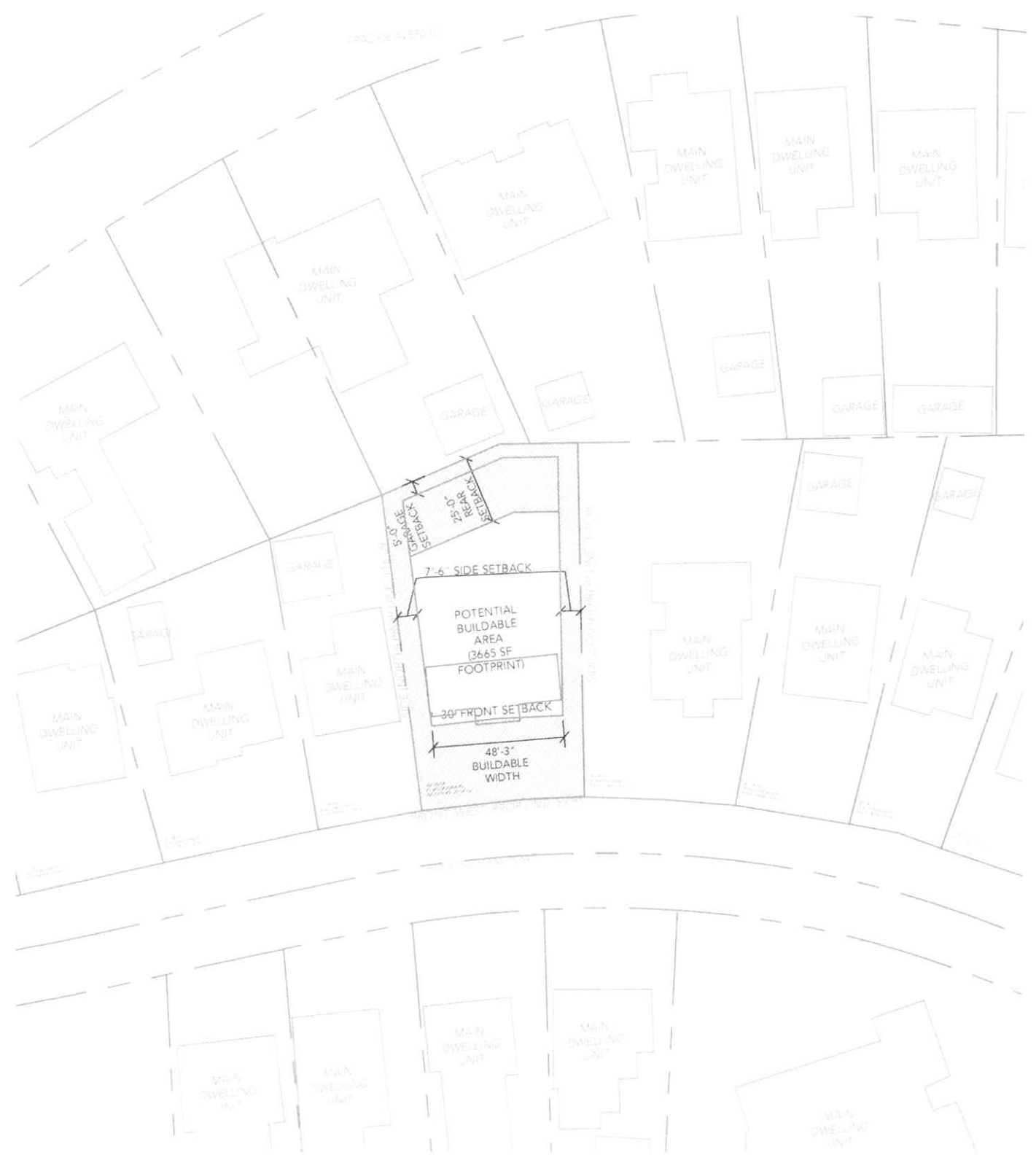


61 buckingham drive

bza presentation

11 Mar 2026

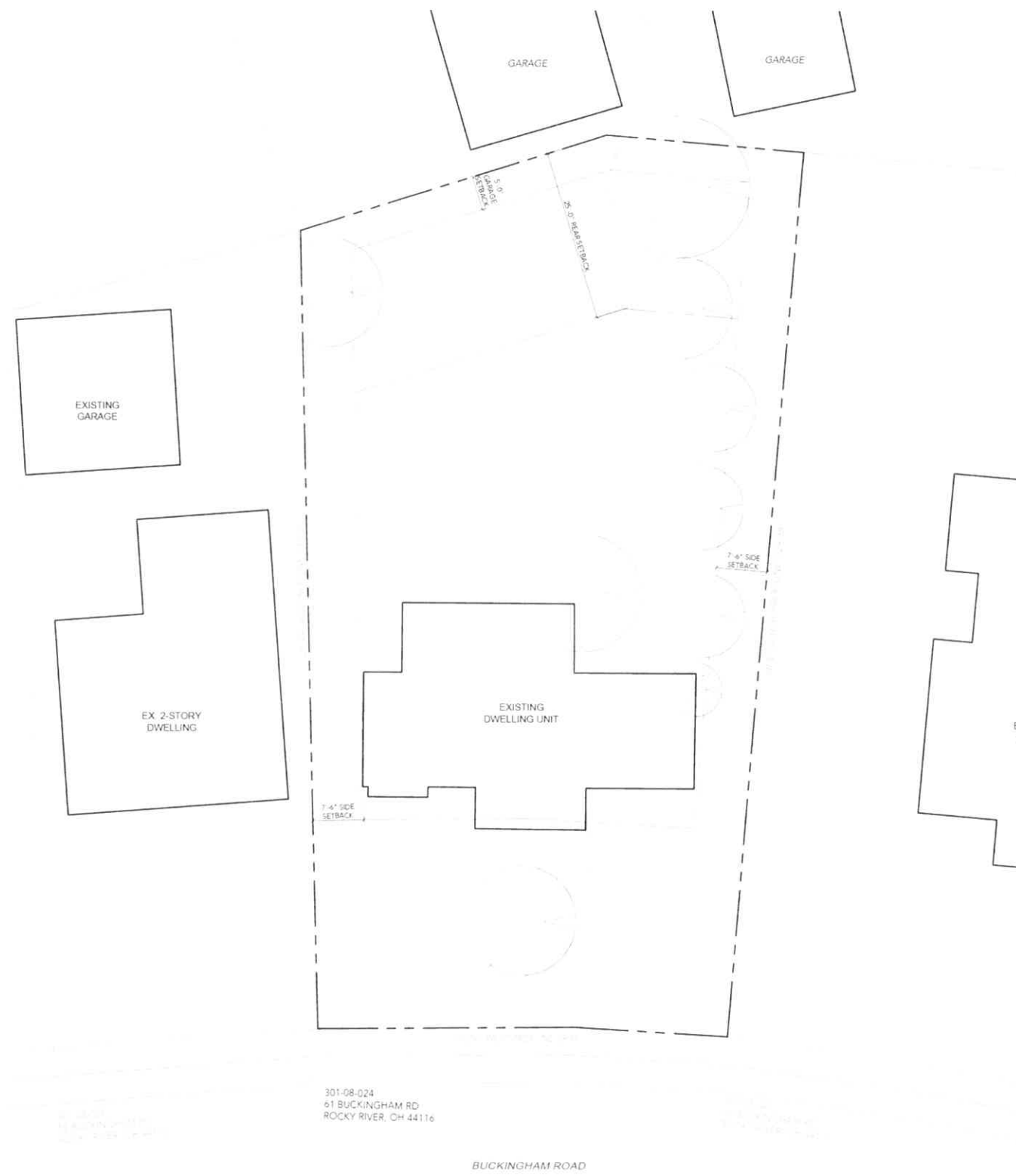
the architetta



61 buckingham drive

site diagram

the architetta



61 buckingham drive

existing site plan

the architetta



site



northern neighbor

southern neighbor

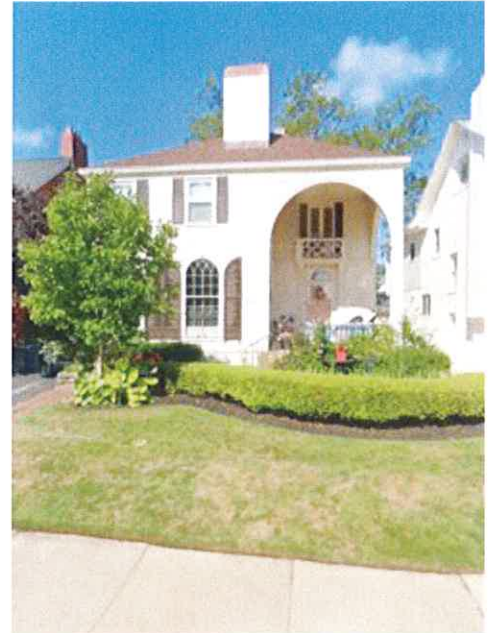


western neighbors

61 buckingham drive

site context

the architetta



frazier drive



buckingham road

frazier drive

61 buckingham drive

neighborhood context

the architetta



61 buckingham drive

existing site conditions

the architetta

- 1) To construct a detached garage with a side setback of **2'-2"** vs the **5'** that is permitted. Per Schedule: 1153.15 (1)
- 2) To construct a detached garage with a rear setback of **3'-1"** vs the **5'** that is permitted. Per Schedule: 1153.15 (1)
- 3) To construct an attached porte-cochere with a side setback of **3'-9"** vs the **8'** that is permitted. Per Schedule: 1153.07 (1)A.
- 4) To construct a new single-family home with an egress window that has a **5'** side setback vs the **8'** that is permitted. 1153.07 (1)A.
- 5) To install a generator with a side setback of **4'-7"** vs the **10'** that is permitted. Per Section: 1153.15 (k)(2).
- 6) To install two AC condensers with side setbacks of **5'-5"** and **5'-9"** vs the **10'** that is permitted. Per Section: 1153.15 (k)(1).
- 7) To construct a covered front stoop with a **26'-4"** front setback vs the **30'** as shown on the setback map, City of Rocky River, May 12, 1975. Per Section: 1153.07 (a).
- 8) To construct a new single-family residence with a height of **29'-5"** vs the **25'** that is permitted. Per Section: 1153.09 (a).
- 9) To construct a detached garage with a height of **16' -10"** vs the **15'** that is permitted. Per Section: 1153.09 (b).
- 10) To construct accessory parking directly in front of the dwelling vs accessory off-street parking spaces located in the front yard shall adjoin the driveway between the driveway and the nearest side lot line, provided parking spaces shall not be located directly in front of the dwelling. Per Section: 1153.15 (l)(4)
- 11) To construct accessory parking on a property that has a front setback of 30' vs accessory parking spaces are prohibited in cases of the setback being thirty-five (35) feet or less. Per Section: 1153.15 (l)(4)B.
- 12) To construct accessory parking with a width of **18'** vs the **8'** that is permitted. Per Section: 1153.15 (l)(4)B.
- 13) To construct a new single-family residence with a detached garage that has a lot coverage of **35.6%** vs the **28%** that is permitted. Per Schedule: 1153.05 (3).

61 buckingham drive

summary of variance requests

the architetta



Avalon Drive



Oak Rd



current driveway/parking

61 buckingham drive

auto court - inspiration and local examples

the architetta

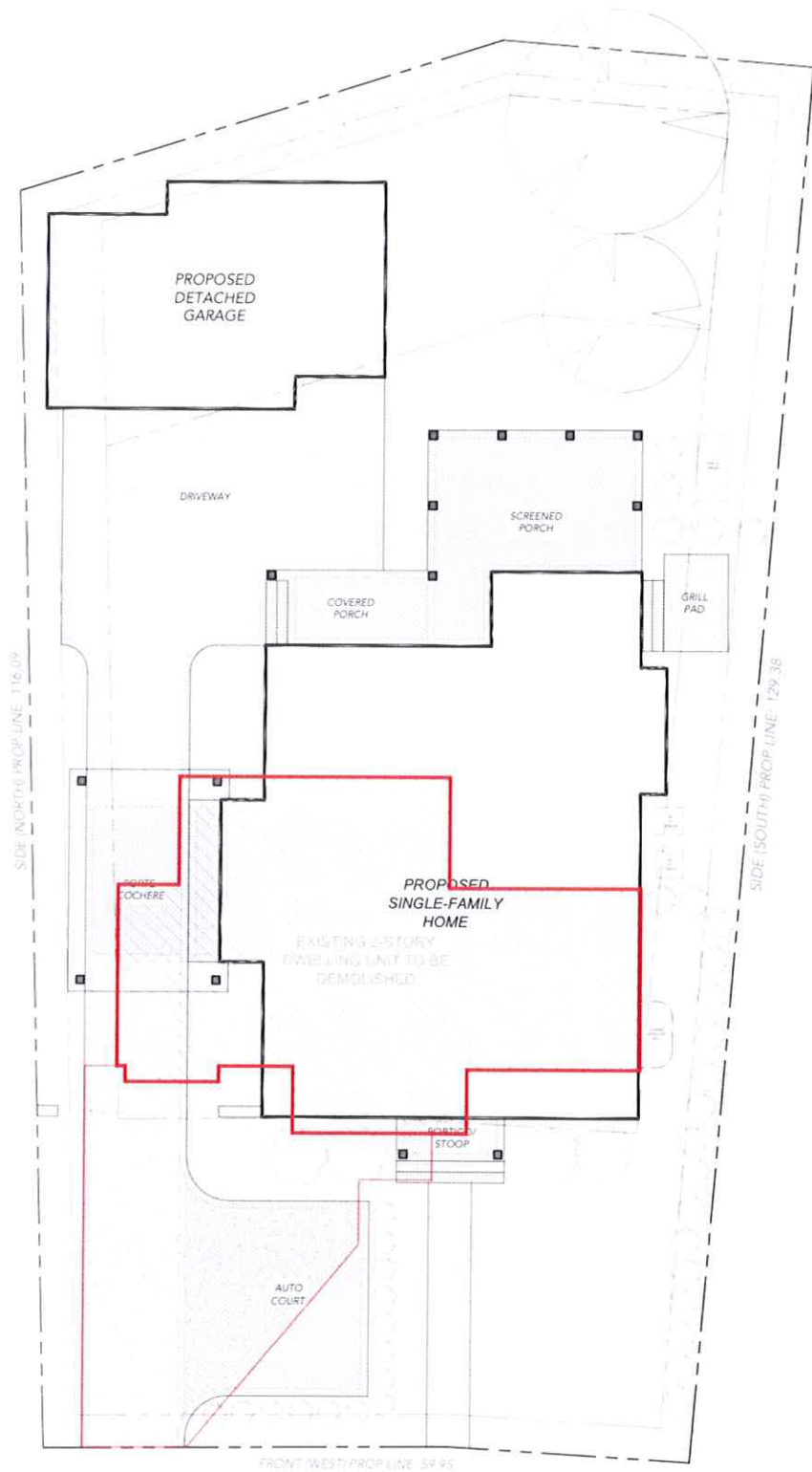


Oak Rd

61 buckingham drive

inspiration - porte-cochere and hardscape

the architetta



61 buckingham drive

existing v proposed site plan overlay and garage setback illustration

the architetta



61 buckingham drive

existing v proposed front elevation overlay and neighborhood context

the architetta



1 PROPOSED WEST (FRONT) ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH (SIDE) ELEVATION
1/4" = 1'-0"

61 buckingham drive

schematic elevations

the architetta



1 PROPOSED EAST (REAR) ELEVATION
1" = 1'-0"

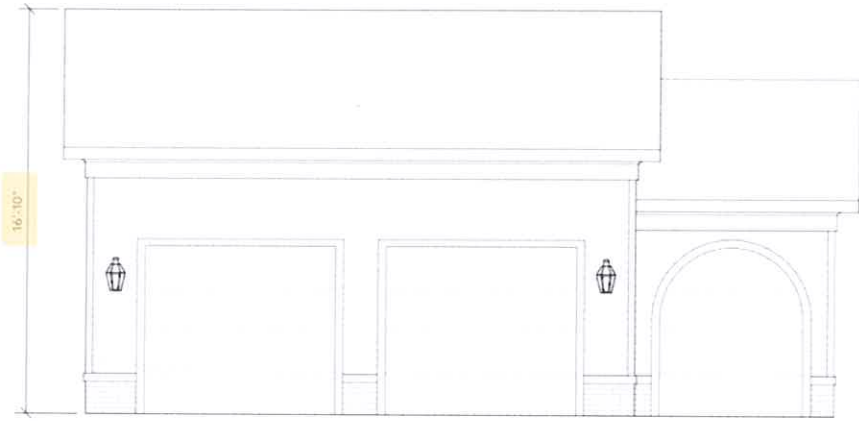


2 PROPOSED SOUTH (SIDE) ELEVATION
1" = 1'-0"

61 buckingham drive

schematic elevations

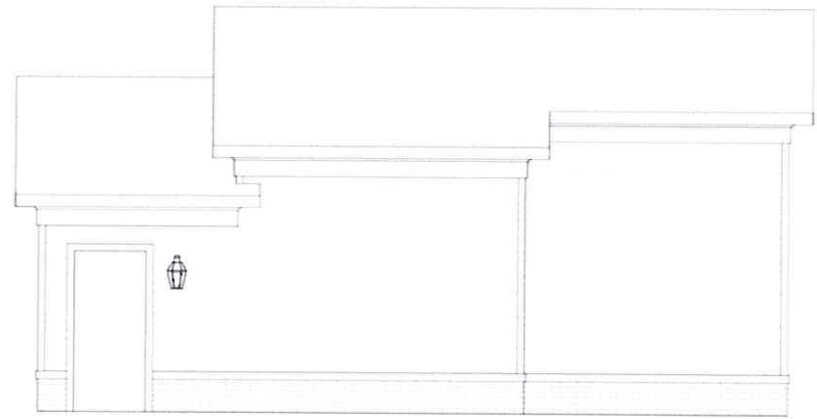
the architetta



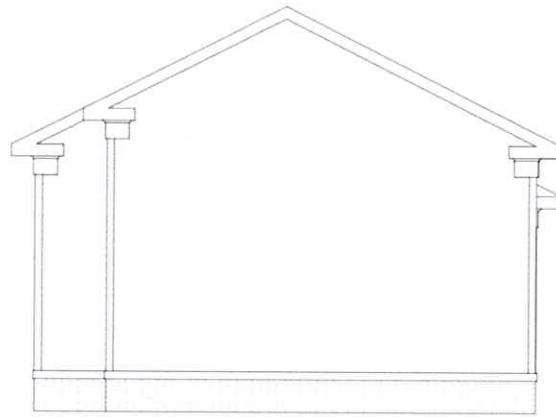
1 PROPOSED WEST (FRONT) ELEVATION
 $\frac{1}{4}'' = 1'-0''$



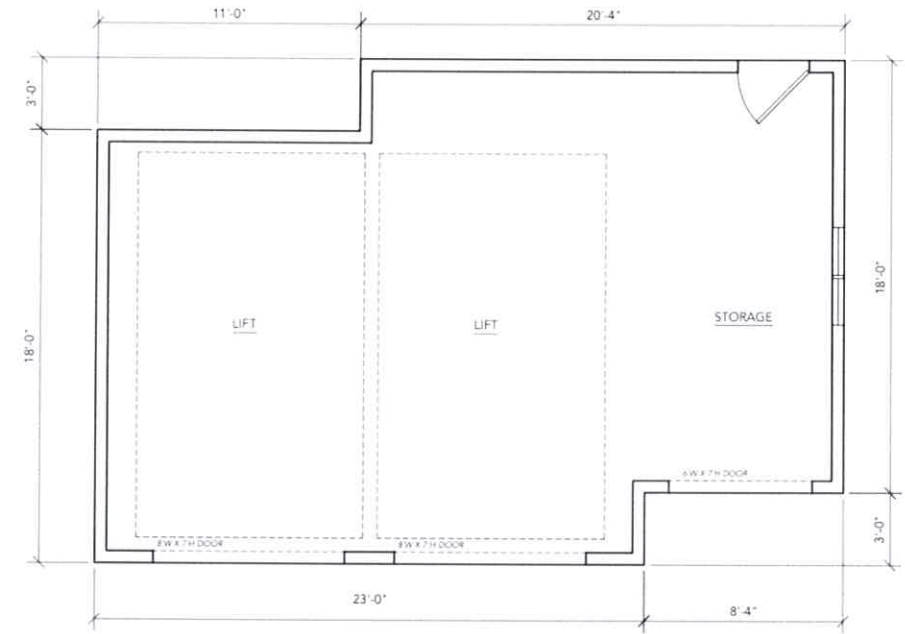
2 PROPOSED SOUTH (SIDE) ELEVATION
 $\frac{1}{4}'' = 1'-0''$



3 PROPOSED EAST (REAR) ELEVATION
 $\frac{1}{4}'' = 1'-0''$



4 PROPOSED NORTH (SIDE) ELEVATION
 $\frac{1}{4}'' = 1'-0''$



5 PROPOSED GARAGE FLOOR PLAN
 $\frac{1}{4}'' = 1'-0''$

61 buckingham drive

proposed garage

the architetta