

# Hennies Residence Addition and Renovation

19749 Telbir Ave.  
Rocky River, OH 44116

ISSUANCE NAME: ZONING

ISSUANCE DATE: 03/25/2026

PROJECT NUMBER:



## LEGEND - STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.C.	AIR CONDITIONING
ALT.	ALTERNATE
C.B.B.	CEMENTITIOUS BACKER BOARD
C.H.	CERAMIC TILE
C.T.	COAX CABLE
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.W.	COLD WATER
COORD.	COORDINATE
DEMO	DEMOLITION
DIA.	DIAMETER
DWG.	DRAWING
EXIST.	EXISTING
E.T.R.	EXISTING TO REMAIN
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
EQ.	EQUAL
F.D.	FLOOR DRAIN
FURN.	FURNITURE
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GYP. BD.	GYPSUM BOARD
H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING
H.W.	HOT WATER
MANF.	MANUFACTURER
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MIR.	MIRRORED
MISC.	MISCELLANEOUS
M.T.	MOSAIC TILE
M.R.G.B.	MOISTURE RESISTANT GYPSUM BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPP.	OPPOSITE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
RAD.	RADIUS
R.O.	ROUGH OPENING
SAN.	SANITARY
SIM.	SIMILAR
S.O.G.	SLAB ON GRADE
S.S.M.	SOLID SURFACE MATERIAL
S.F.	SQUARE FEET
S.S.	STAINLESS STEEL
ST.	STORM
STRUCT.	STRUCTURAL
S.A.	SUPPLY AIR
TEMP.	TEMPORARY
T.	THERMOSTAT
TLT.	TOILET
TYP.	TYPICAL
U.C.	UNDER COUNTER
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT

## LEGEND - MATERIALS

	UNDISTURBED OR COMPACTED SOIL		CONTINUOUS WOOD FRAMING		BRICK		RIGID INSULATION
	POROUS FILL OR SUBBASE		WOOD BLOCKING		CONCRETE UNIT MASONRY		FIBROUS FIRE SAFING
	DRAINAGE FILL		PLYWOOD		STEEL		GLASS
	CAST-IN-PLACE CONCRETE		PARTICLE BOARD		ALUMINUM		TERRAZZO
	TOPSOIL		FINISHED LUMBER FOR ARCHITECTURAL WORK		GYPSUM BOARD		CERAMIC TILE
	GROUT		BATT INSULATION				

## LEGEND - GRAPHIC SYMBOLS

**NORTH ARROW**

**GRAPHIC SCALE**

SCALE: 1/8" = 1'-0"

**VIEW TITLE**

**1 View Name**  
SCALE: 1/8" = 1'-0"

**ROOM TAG**

Room Name 101  
Room Name 150 SF  
ROOM # ROOM AREA

**COLUMN GRID**

**SPOT ELEVATIONS**

EXISTING ELEVATION  
NEW ELEVATION

**VERTICAL ELEVATIONS**

EXISTING ELEVATION  
NEW ELEVATION

**DRAWING REVISION**

**SECTION / DETAIL TAG**

DETAIL #  
SHEET #

**CALLOUT / ENLARGED DETAIL TAG**

DETAIL #  
SHEET #

**INTERIOR / EXTERIOR ELEVATION TAG**

ELEVATION #  
SHEET #

**DOOR TAG SYMBOL**

DOOR SIZE  
DOOR MARK

**CEILING TAG**

CEILING HEIGHT

**WINDOW TYPE SYMBOL**

**GENERAL ANNOTATION**

DIMENSIONS CENTERLINE CONTROL JOINT  
4'-0" MAX C.J.

**LINETYPE LEGEND**

PROPERTY LINE  
RIGHT OF WAY  
SAN SANITARY LINE  
ST STORM LINE  
F FENCE  
W WATER LINE  
G GAS LINE

**PLUMBING LEGEND**

FIXTURE TYPE  
WC-1 FIXTURE NUMBER

**MECHANICAL LEGEND**

LINEAR DIFFUSER  
EXHAUST FAN  
RETURN AIR DUCT / GRILLE  
SUPPLY AIR DUCT / DIFFUSER  
THERMOSTAT

**ELECTRICAL LEGEND**

DOWNLIGHTS - LED  
PENDANT LIGHTS - LED  
U.C. UNDER CABINET LIGHTING - LED  
PANELBOARD (CLEAR FLOOR SPACE)  
LIGHT SWITCH (+48" A.F.F. - U.O.N.)  
DIM LIGHT SWITCH - DIMMABLE (+48" A.F.F. - U.O.N.)  
3 LIGHT SWITCH - 3 WAY (+48" A.F.F. - U.O.N.)  
DB DOOR BELL (+48" A.F.F. - U.O.N.)  
DUPLX RECEPTABLE (+12" A.F.F. - U.O.N.)  
+XX" AFF GROUND FAULT CIRCUIT INTERRUPTER (G.F.C.I.)  
USB USB DUPLEX RECEPTABLE (+12" A.F.F. - U.O.N.)  
QUAD RECEPTABLE (+12" A.F.F. - U.O.N.)

**FRAMING DIRECTION SYMBOL**

**PARTITION TAG**

PARTITION #

**Addition and Renovation**

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**COVER SHEET**

**G1**

Sheet:

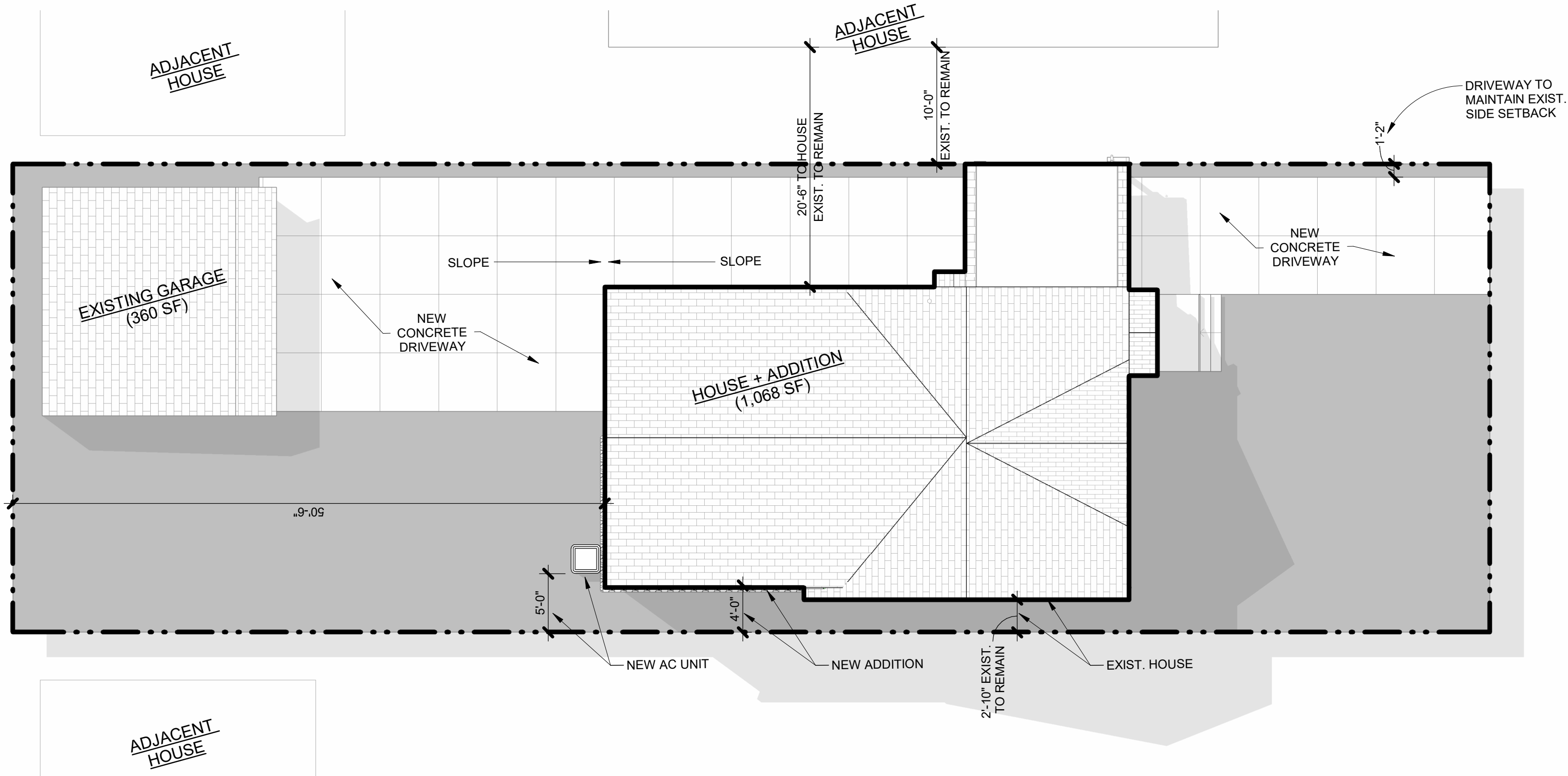
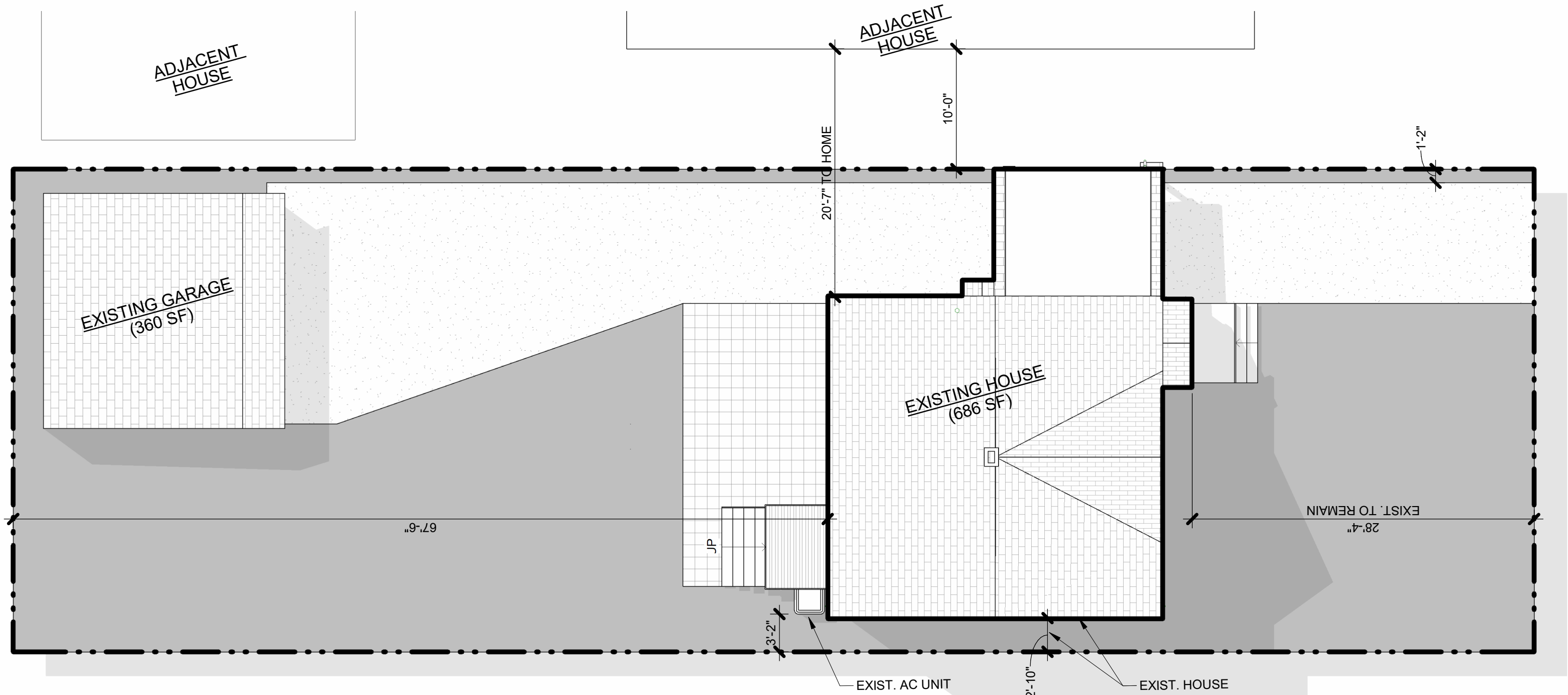
SHEET LIST	
SHEET #	SHEET NAME
G1	COVER SHEET
G2	SITE PLANS
G3	EXISTING IMAGES
D0	BASEMENT DEMO PLAN
D1	FIRST FLOOR DEMO PLAN
D2	SECOND FLOOR DEMO PLAN
D3	THIRD FLOOR DEMO PLAN
A0	BASEMENT FLOOR PLAN
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	THIRD FLOOR PLAN
A4	EXTERIOR ELEVATION - SOUTH
A5	EXTERIOR ELEVATION - WEST
A6	EXTERIOR ELEVATION - NORTH
A7	EXTERIOR ELEVATION - EAST
A8	WALL SECTIONS AND DETAILS
A9	WALL SECTIONS AND DETAILS
A10	FIRST FLOOR REFL. CEILING PLAN
A11	SECOND FLOOR REFL. CEILING PLAN
A12	ENLARGED PLAN - MAIN BATHROOM
A13	ENLARGED PLAN - KIDS BATHROOM
S1	FRAMING PLANS
Grand total: 22	

LOT COVERAGE - EXISTING	
LOT SQ. FT.	5,041 (PER GIS)
EXISTING HOUSE:	686 S.F.
EXISTING GARAGE:	360 S.F.
TOTAL:	1,046 S.F. (20.7%)

NOTE:  
SQUARE FOOTAGES SHOWN ARE THE FOOTPRINTS OF STRUCTURES

LOT COVERAGE - NEW	
LOT SQ. FT.	5,041 (PER GIS)
NEW HOUSE:	1,068 S.F.
EXISTING GARAGE:	360 S.F.
TOTAL:	1,428 S.F. (28.3%)

NOTE:  
SQUARE FOOTAGES SHOWN ARE THE FOOTPRINTS OF STRUCTURES



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# SITE PLANS

# G2

Sheet:



**EXISTING  
IMAGES**

**G3**

ZONING

Issuance Name:

03/25/2026

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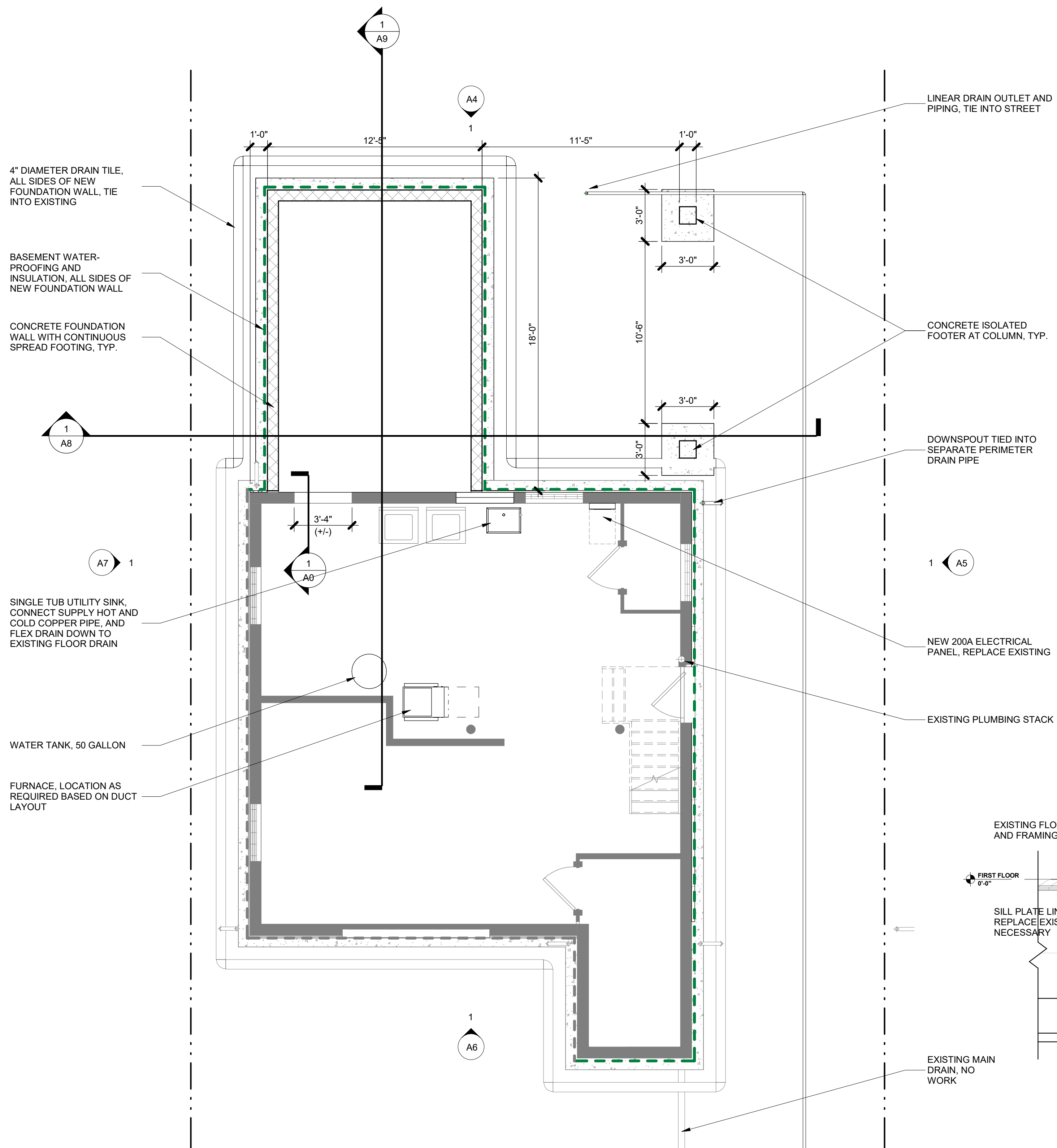
Date:

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**Addition and  
Renovation**

**Hennies Residence**  
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4" DIAMETER DRAIN TILE, ALL SIDES OF NEW FOUNDATION WALL, TIE INTO EXISTING

BASEMENT WATER-PROOFING AND INSULATION, ALL SIDES OF NEW FOUNDATION WALL

CONCRETE FOUNDATION WALL WITH CONTINUOUS SPREAD FOOTING, TYP.

SINGLE TUB UTILITY SINK, CONNECT SUPPLY HOT AND COLD COPPER PIPE, AND FLEX DRAIN DOWN TO EXISTING FLOOR DRAIN

WATER TANK, 50 GALLON

FURNACE, LOCATION AS REQUIRED BASED ON DUCT LAYOUT

LINEAR DRAIN OUTLET AND PIPING, TIE INTO STREET

CONCRETE ISOLATED FOOTER AT COLUMN, TYP.

DOWNSPOUT TIED INTO SEPARATE PERIMETER DRAIN PIPE

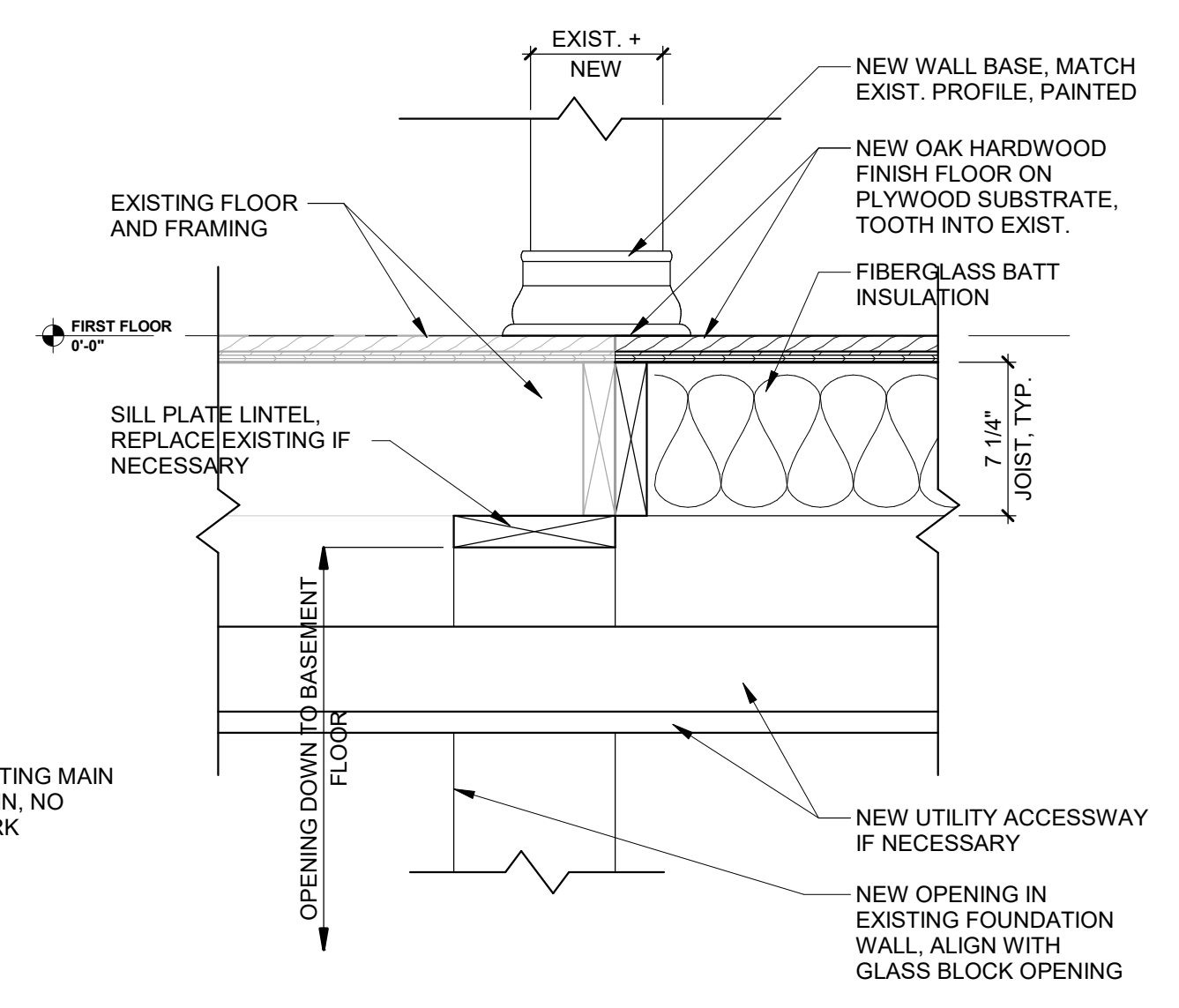
NEW 200A ELECTRICAL PANEL, REPLACE EXISTING

EXISTING PLUMBING STACK

EXISTING MAIN DRAIN, NO WORK

**GENERAL NOTES - INTERIOR CONSTRUCTION**

- ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
- WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
- DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
- EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION, TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASSED OPENINGS SHOULD BE IN CENTER OF OPENING.
- FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
- DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
- PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**1 FLOOR TRANSITION - CRAWLSPACE**  
SCALE: 1 1/2" = 1'-0"

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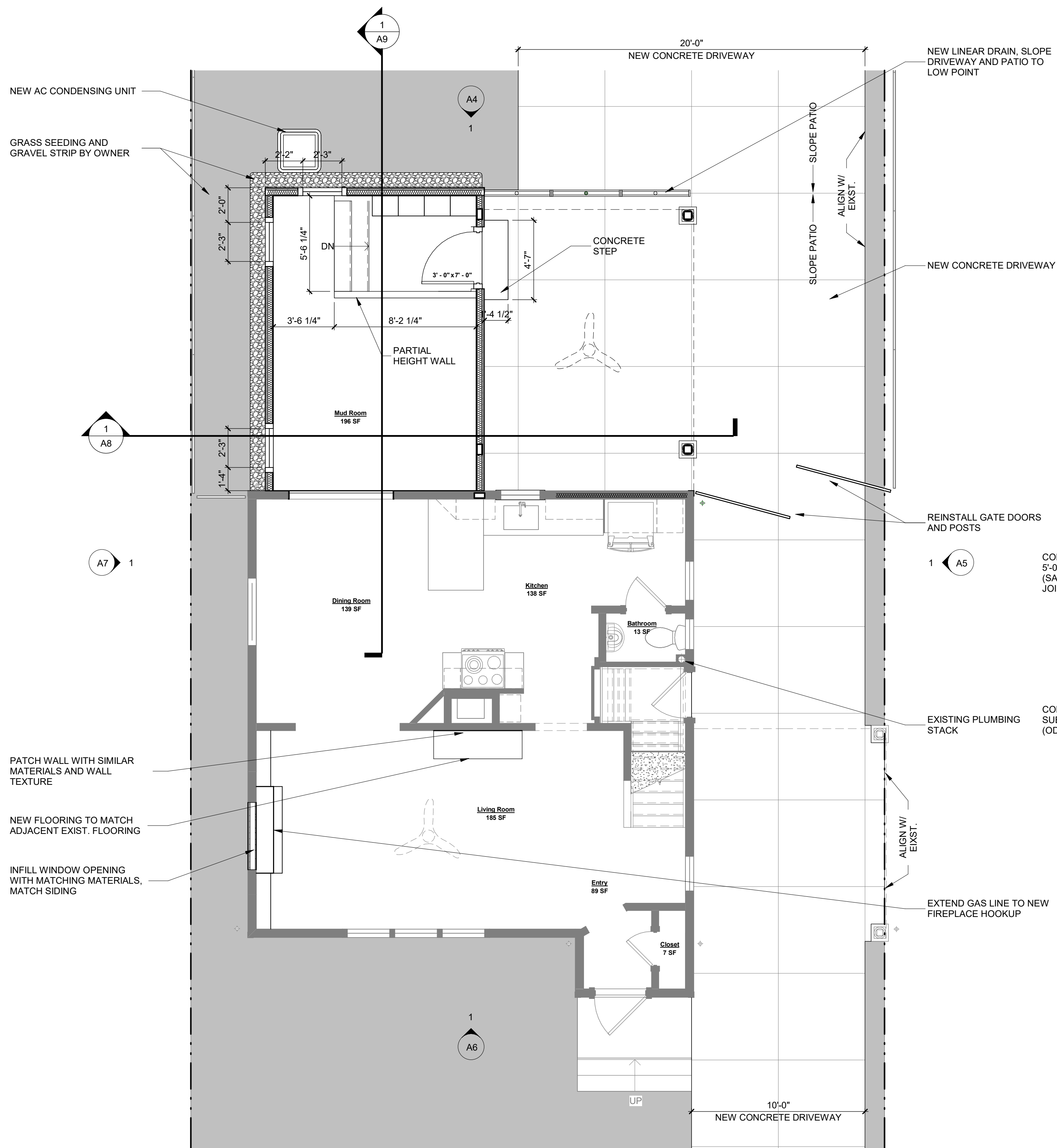
**BASEMENT FLOOR PLAN**

**A0**

Designer:

Project Info:

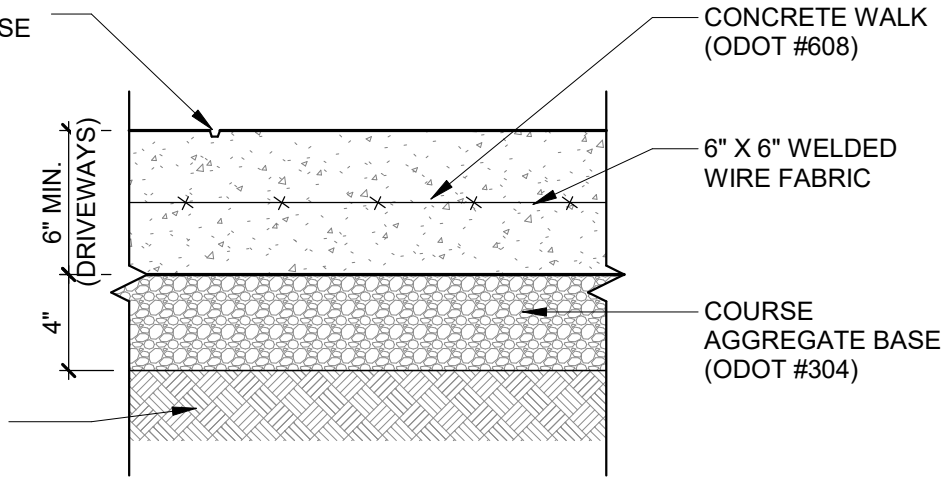
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**GENERAL NOTES - INTERIOR CONSTRUCTION**

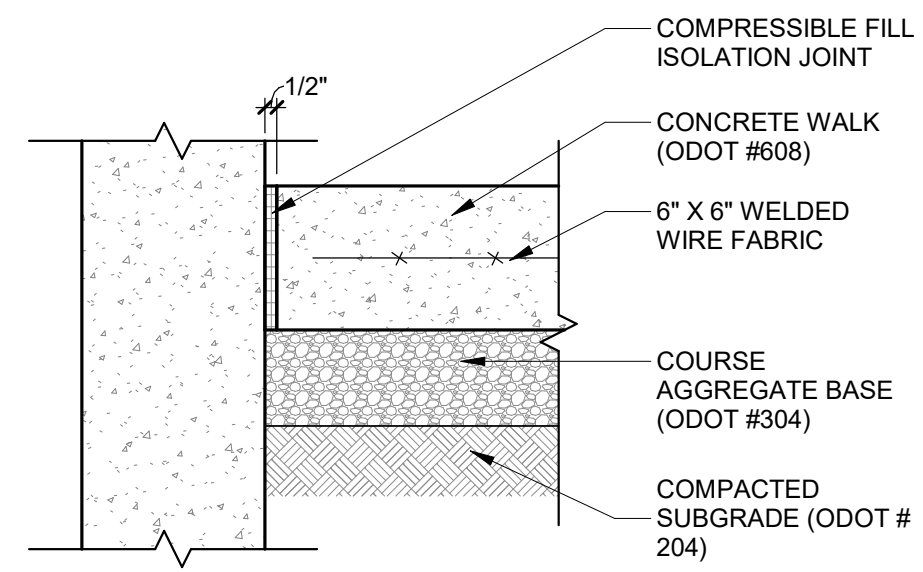
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**CONTROL JOINT - 5'-0" O.C. MAX (SAW CUT OR USE JOINT TOOL)**



**NOTE: SLOPE 1/4" PER FOOT TOWARD FOR DRAINAGE**

**S.O.G. W CONTROL JOINT**



**ISOLATION JOINT**

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**1 SLAB ON GRADE DETAILS**  
SCALE: 1 1/2" = 1'-0"

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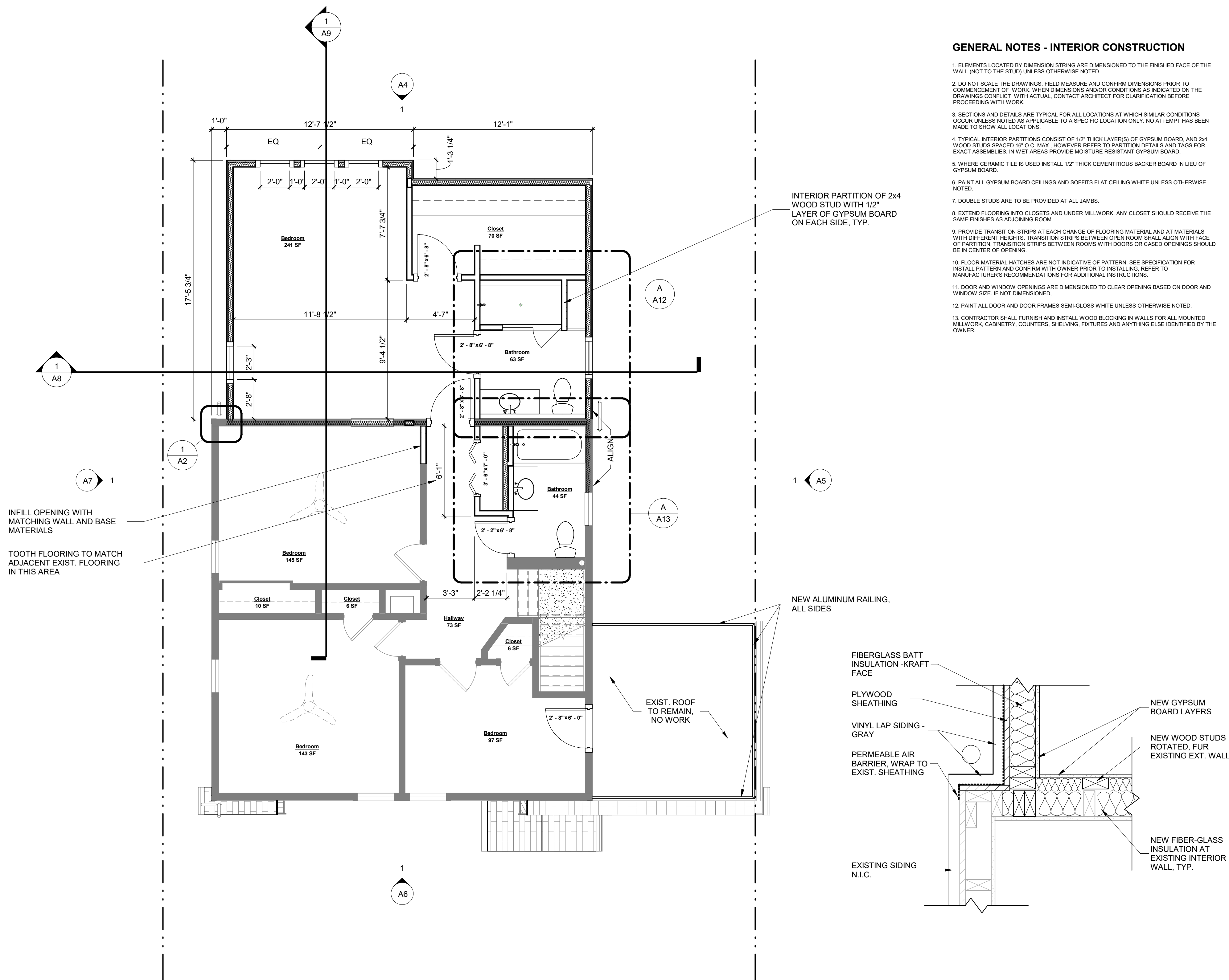
**FIRST FLOOR PLAN**

**A1**

Sheet:

**GENERAL NOTES - INTERIOR CONSTRUCTION**

1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
4. TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX., HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
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10. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
11. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
12. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

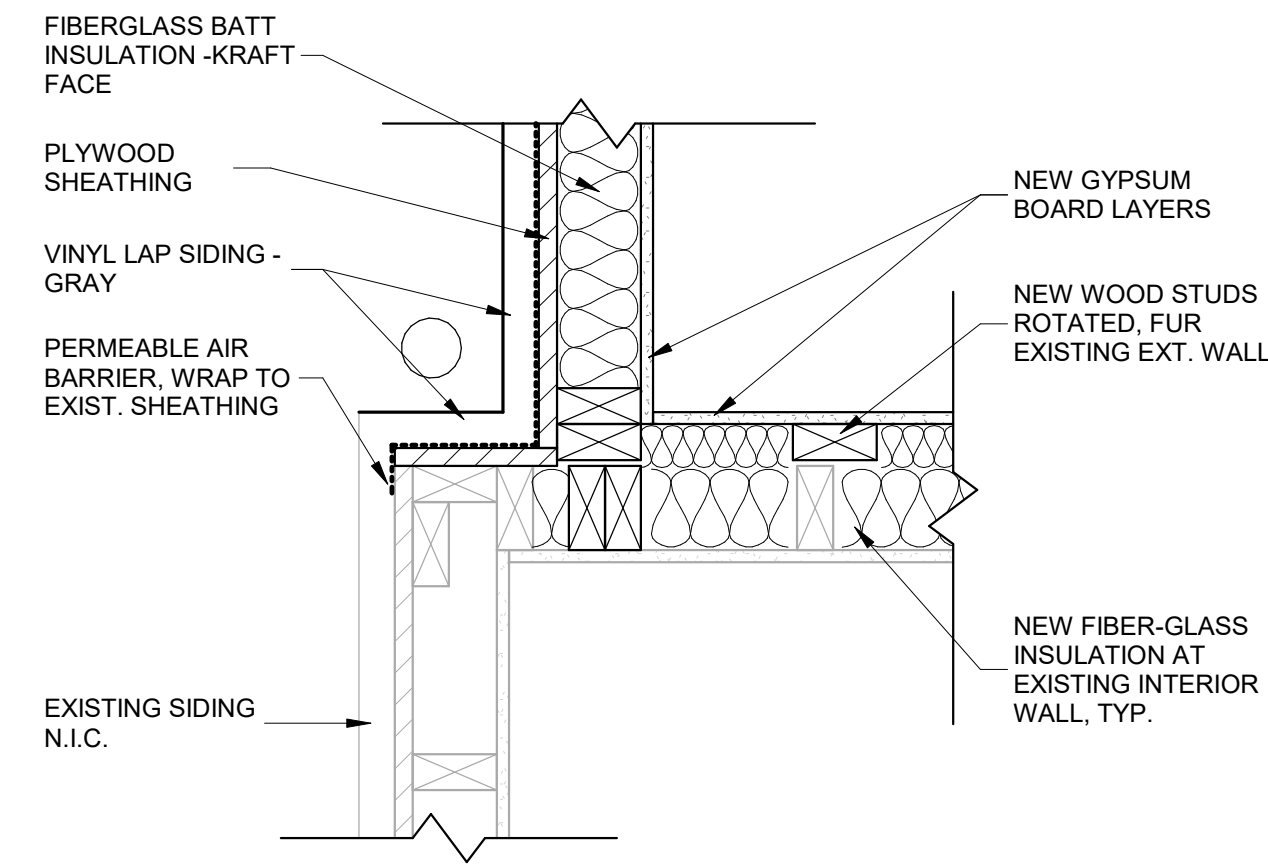


INTERIOR PARTITION OF 2x4 WOOD STUD WITH 1/2" LAYER OF GYPSUM BOARD ON EACH SIDE, TYP.

NEW ALUMINUM RAILING, ALL SIDES

EXIST. ROOF TO REMAIN, NO WORK

INFILL OPENING WITH MATCHING WALL AND BASE MATERIALS  
TOOTH FLOORING TO MATCH ADJACENT EXIST. FLOORING IN THIS AREA



**1 EXTERIOR WALL OUTSIDE CORNER**  
SCALE: 1 1/2" = 1'-0"

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**SECOND FLOOR PLAN**  
**A2**

Designer:

Project Info:

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**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.
- INSULATIONS**  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- ROOFING**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE  
 11. PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 12. RECOMMENDATIONS AND DETAILS
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH

**CHAPTER 11 ENERGY EFFICIENCY**

**1101.14 Certificate (Mandatory)**  
 A permanent certificate shall be completed by the owner or the owner's representative and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall indicate the predominant R-values of insulation installed in or on ceilings, roofs, walls, foundation components such as slabs, basement walls, crawl space walls and floors, and ducts outside conditioned spaces; U-factors of fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing performed on the building. Where there is more than one value for each component, the certificate shall indicate the value covering the largest area. The certificate shall indicate the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace, or baseboard electric heater is installed in the residence, the certificate shall indicate "gas-fired unvented room heater," "electric furnace," or "baseboard electric heater," as appropriate. An efficiency shall not be indicated for gas-fired unvented room heaters, electric furnaces and electric baseboard heaters.

**TABLE 1102.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**

**1102.1.3 R-value computation**  
 Insulation material used in layers, such as framing cavity insulation or continuous insulation, shall be summed to compute the corresponding component R-value.

**TABLE 1102.1.4 EQUIVALENT U-FACTORS**

**1102.1.4 U-factor alternative.**  
 An assembly with a U-factor equal to or less than that specified in Table 1102.1.4 shall be permitted as an alternative to the R-value in Table 1102.1.2.

**1102.2.2 Ceilings without attic spaces.**  
 Where Section 1102.1.2 requires insulation R-values greater than R-30 in the ceiling and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R-30.  
 This reduction shall not apply to the U-factor alternative approach in Section 1102.1.4

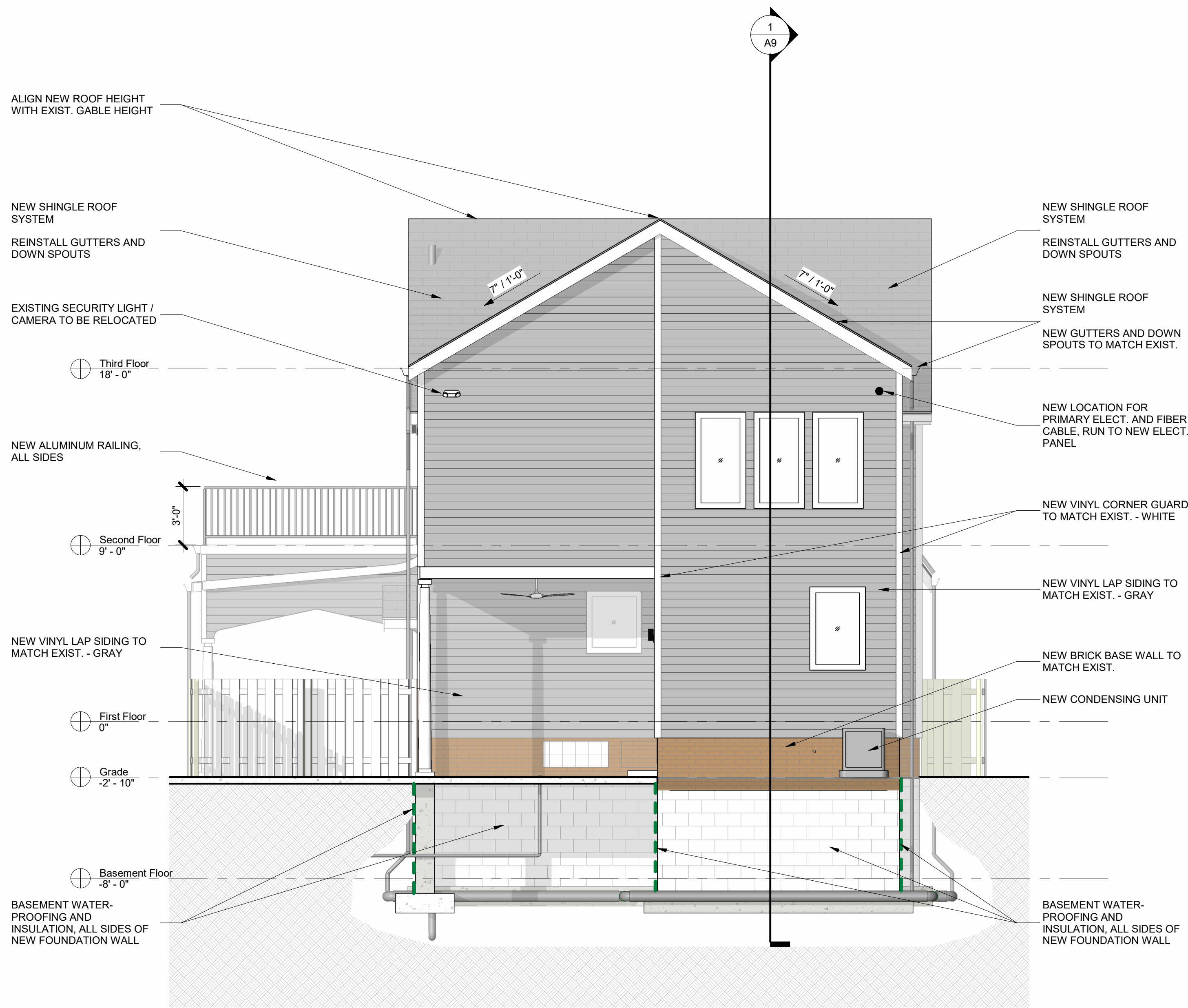
**TABLE 1101.7 CUYAHOGA COUNTY = 5A**

BASEMENT WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
CONCRETE WALL - 7 5/8"	1.11
XPS INSULATION - 2"	10.00
	<b>R-VALUE: 11.11 TOTAL ✓</b>
	<b>U-VALUE: 0.090 TOTAL</b>
	<b>CODE ALLOWABLE R-VALUE: 10/13</b>

FRAME WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
VINYL SIDING - HOLLOW BACK	0.61
WATER-RESISTIVE BARRIER	0.85
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE - 0"	0.00
FIBERGLASS BATT INSULATION - 3 1/2"	15.00
GYPSUM BOARD - 1/2"	0.45
AIR FILM - INTERIOR WALL	0.68
	<b>R-VALUE: 18.7 TOTAL</b>
	<b>U-VALUE: 0.0534 TOTAL ✓</b>
	<b>CODE ALLOWABLE U-VALUE: 0.060</b>

CEILINGS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
ASPHALT SHINGLE	0.44
UNDERLAYMENT	0.00
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE / BAFFLE - 1"	1.00
POLYURETHANE SPRAY INSULATION - 6 1/4"	42.00
GYPSUM BOARD - 1/2"	0.85
AIR FILM - INTERIOR CEILING	0.61
	<b>R-VALUE: 48.01 TOTAL</b>
	<b>U-VALUE: 0.0217 TOTAL ✓</b>
	<b>CODE ALLOWABLE U-VALUE: 0.026</b>

**NOTES:**  
 VALUES ARE BASED ON COMMON BUILDING MATERIALS.  
 VALUES ARE BASED ON THE 2019 RESIDENTIAL CODE OF OHIO (RCO).



**1 SOUTH ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
 Hennies Residence  
 19749 Telbir Ave.  
 Rocky River, OH 44116

Project Info: 03/25/2026  
 Date: 03/25/2026

**ZONING**  
 Revision: 03/25/2026

Issue Name: 03/25/2026  
 Issue Date: 03/25/2026  
 Project Number: 03/25/2026

**EXTERIOR - ELEVATION - SOUTH**  
**A4**

Designer:

Project Info:

Date:

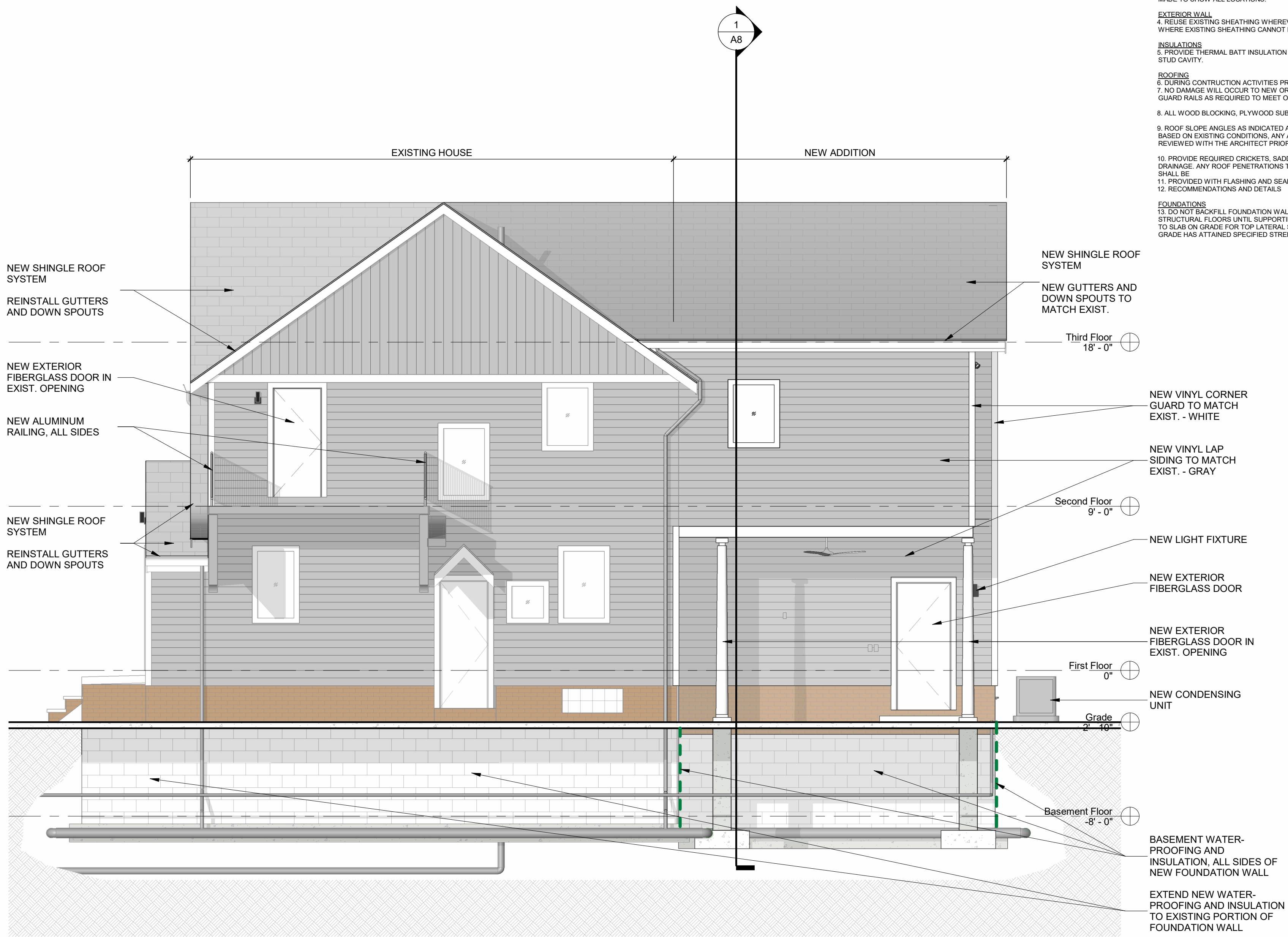
ZONING

Project Number:

Sheet:

**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.
- INSULATIONS**  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- ROOFING**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE  
 11. PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 12. RECOMMENDATIONS AND DETAILS
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH



**1 WEST ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

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 03/25/2026  
 Issuance Date:  
 Project Number:

**EXTERIOR - ELEVATION - WEST**  
**A5**

Designer:

Project Info:

Date:

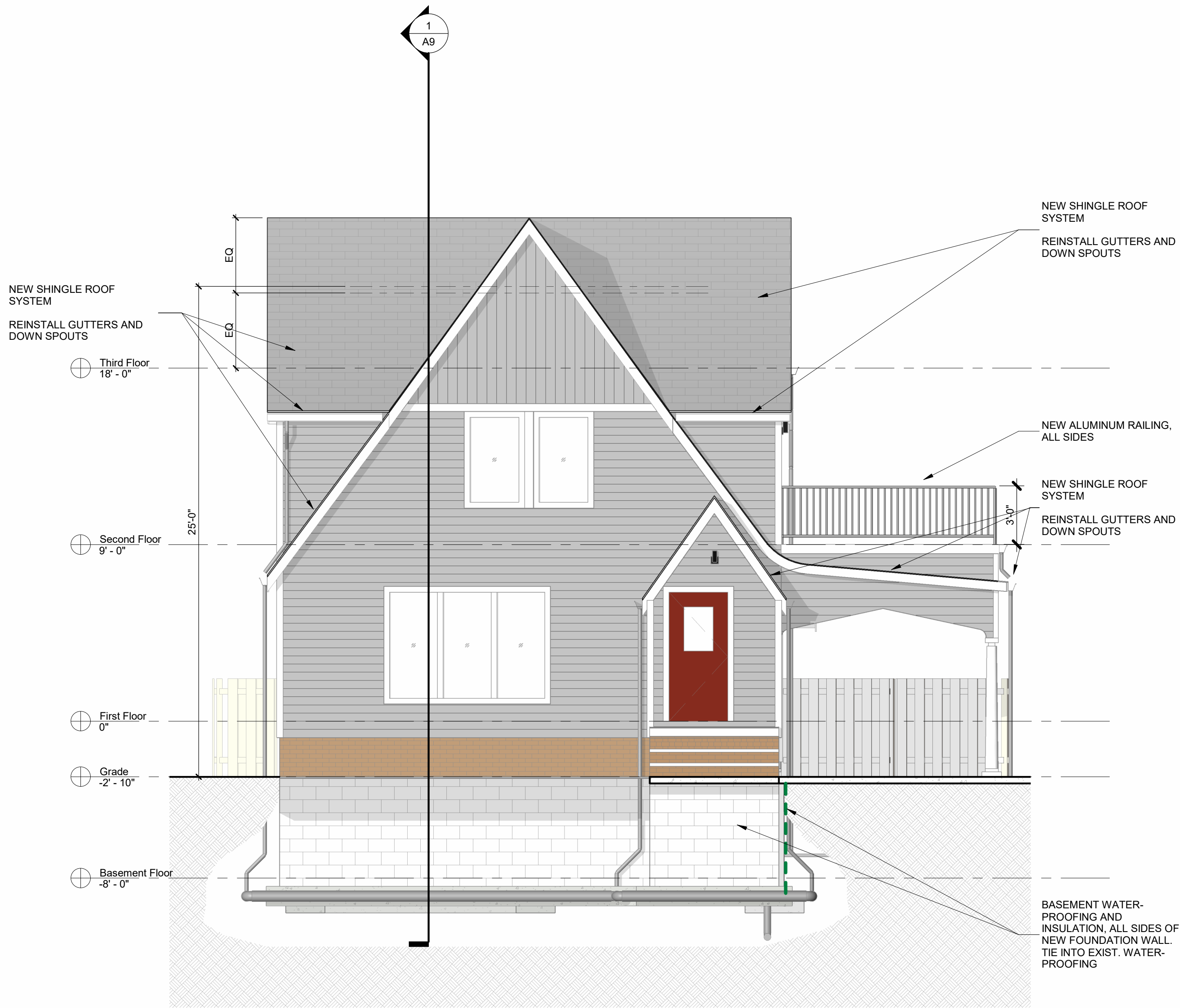
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**1 NORTH ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
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ZONING  
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 03/25/2026  
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**EXTERIOR - ELEVATION - NORTH**  
**A6**

Designer:

Project Info:

Date:

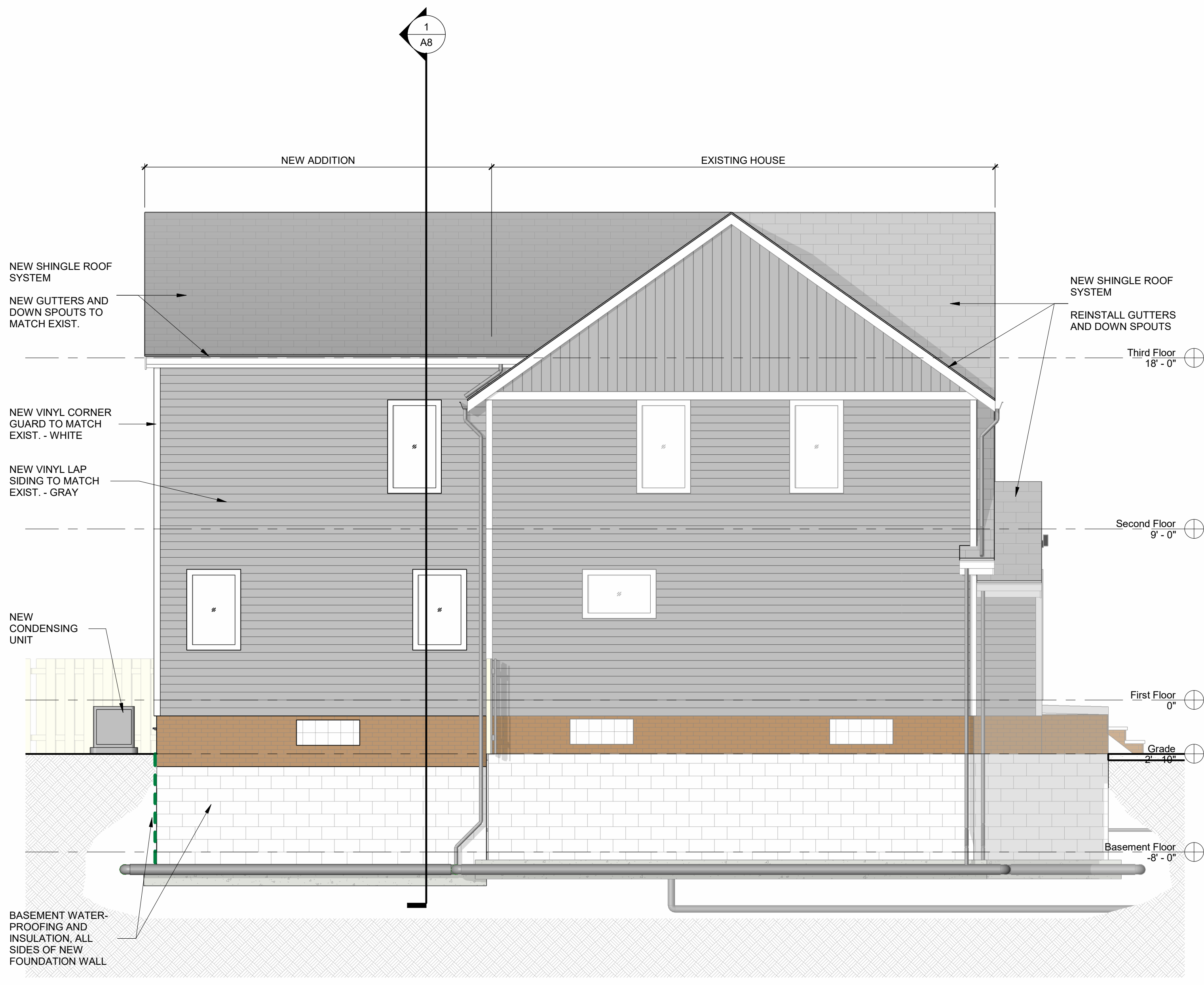
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**1 EAST ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

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**EXTERIOR ELEVATION - EAST**  
**A7**

Designer:

Project Info:

Date:

ZONING

Project Number:

Sheet: