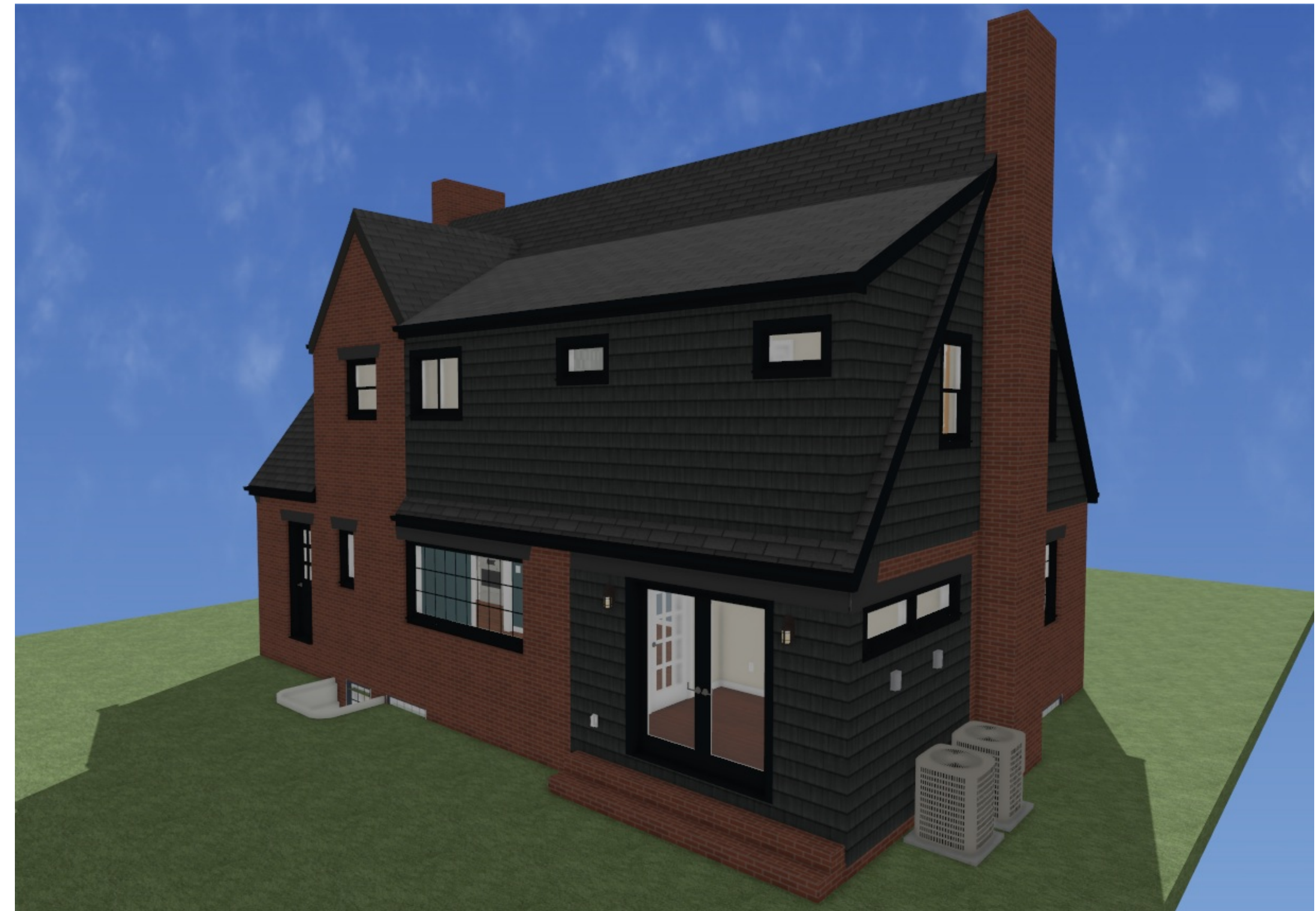


NORTHEAST RENDERING VIEW



NORTHWEST RENDERING VIEW

NUMBER	DATE	REVISION	BY
1	12-12-25	CONCEPT DRAWINGS	KH
2	1-21-26	PRELIMINARY PLANS	KH
3	2-19-26	PROGRESS PLANS	KH
4	3-13-26	FOR PERMITS	KH
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW	KH
6	3-23-26	DESIGN BOARD RECORD UPDATE	KH

**PROPERTY PROFILE:**

ADDRESS:  
21580 LAKE ROAD  
ROCKY RIVER, OH 44116

PARCEL: 302-10-025  
ZONING: 5100 - 1-FAMILY PLATTED LOT  
NEIGHBORHOOD CODE: 03205  
LOT SIZE (RECTANGULAR): 60' EFFECTIVE FRONTAGE X 124.0' AVERAGE DEPTH = 7,440 SF = 0.171 ACRES

EXISTING HOME DETAILS:  
EXISTING UNFINISHED BASEMENT AREA: 1,047 SF  
EXISTING FINISHED BASEMENT AREA: 0 SF  
EXISTING FIRST FLOOR LIVING AREA: 1,047 SF  
EXISTING SECOND FLOOR LIVING AREA: 523 SF  
TOTAL EXISTING LIVING AREA: 1,570 SF

PROPOSED ADDITION DETAILS:  
PROPOSED ADDITION BASEMENT AREA: 0 SF  
PROPOSED FINISHED BASEMENT AREA TO BE FINISHED: 647 SF  
PROPOSED FIRST FLOOR ADDITION AREA: 117 SF  
PROPOSED SECOND FLOOR ADDITION AREA: 110 SF  
TOTAL PROPOSED ADDITIONAL LIVING AREA: 874 SF

TOTAL PROPOSED HOME DETAILS:  
PROPOSED UNFINISHED BASEMENT AREA: 400 SF  
PROPOSED FINISHED BASEMENT LIVING AREA: 647 SF  
PROPOSED FIRST FLOOR LIVING AREA: 1,164 SF  
PROPOSED SECOND FLOOR LIVING AREA: 633 SF  
TOTAL PROPOSED LIVING AREA: 2,444 SF

SETBACK INFORMATION:  
ALL PROPERTY SETBACKS WILL REMAIN UNCHANGED BY THE PROPOSED SCOPE OF WORK.

**DESIGN CRITERIA:**

GROUND SNOW LOAD: 20 PSF  
WIND DESIGN SPEED: 115 MPH (RCO 301.2(1))  
SEISMIC DESIGN CATEGORY: B (RCO 301.2(2))  
WINTER DESIGN TEMPERATURE: 5° F (RCO 301.2(1)E)  
ICE BARRIER UNDERLAYMENT: REQUIRED (RCO 301.2(1))  
FLOOD HAZARD: N/A  
AIR FREEZING INDEX: 1500 (RCO 403.3(2))

DEAD LOAD:  
FLOOR CONSTRUCTION: 12 PSF  
ROOF CONSTRUCTION: 15 PSF  
EXTERIOR STUD WALL CONSTRUCTION  
VINYL SIDING: 12 PSF  
BRICK VENEER: 48 PSF  
INTERIOR WALL CONSTRUCTION  
GYPSUM BOARD: 8 PSF  
PLASTER: 20 PSF

LIVE LOAD (RCO 301.5)  
SLEEPING ROOM: 30 PSF  
ROOMS OTHER THAN SLEEPING: 40 PSF  
PASSENGER VEHICLE GARAGES: 50 PSF  
STAIRS: 40 PSF  
BALCONIES AND DECKS: 40 PSF

MIN. ROOF LIVE LOAD (RCO 301.6)  
FLAT TO < 4:12 PITCH: 20 PSF  
4:12 PITCH TO < 12:12 PITCH: 16 PSF  
12:12 PITCH OR GREATER: 12 PSF

DESIGN CODE REFERENCE:  
2019 RESIDENTIAL CODE OF OHIO  
2023 NATIONAL ELECTRIC CODE  
2024 OHIO PLUMBING CODE

**ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS**

**PROJECT DESCRIPTION:**

- 2ND STORY REAR DORMER ADDITION, INCLUDING: ADDING A PRIMARY BATHROOM, ADDING 2ND FLOOR LAUNDRY
- ENCLOSURE OF EXISTING 1ST FLOOR COVERED PORCH TO CONVERT TO AN OFFICE / FLEX SPACE
- BASEMENT REMODEL, INCLUDING: COSMETIC UPDATES TO EXISTING FINISHED FAMILY ROOM AND HALL/STAIRWAY, RE-FACING OF FIREPLACE, ADDITION OF A WET BAR, ADDITION OF A BASEMENT FULL BATHROOM, ADDITION OF A BASEMENT BEDROOM WITH EGRESS WINDOW
- PARTIAL 1ST FLOOR REMODEL, INCLUDING: COSMETIC UPDATES TO KITCHEN, PARTIAL REMODEL OF DINING ROOM, RE-FACING OF FIREPLACE, REPLACEMENT OF STAIR RAILINGS, MINOR COSMETIC UPDATES THROUGHOUT
- PARTIAL 2ND FLOOR REMODEL, INCLUDING: RECONFIGURATION OF PRIMARY BEDROOM AND WALK-IN CLOSET, REPLACEMENT OF STAIR RAILING, MINOR COSMETIC UPDATES THROUGHOUT
- REPLACEMENT AND RELOCATION OF HVAC SYSTEM TO CONVERT FROM BOILER TO FORCED AIR
- REPLACEMENT AND RELOCATION OF WATER HEATER, CONVERTING TO TANKLESS
- REPLACEMENT AND RELOCATION OF ELECTRICAL PANEL

Layout Page Table	
Label	Title
T-1	TITLE PAGE
S-1	SITE PLAN
D-1	DEMOLITION PLANS
D-2	DEMOLITION PLANS
A-1	PROPOSED PLANS
A-2	PROPOSED PLANS
A-3	PROPOSED EXTERIOR ELEVATIONS
A-4	CROSS SECTION AND DETAILS
E-1	BASEMENT ELECTRICAL PLAN
E-2	FIRST FLOOR ELECTRICAL PLAN
E-3	SECOND FLOOR ELECTRICAL PLAN
INT-1	BASEMENT INTERIOR DETAILS
INT-2	BASEMENT RENDERINGS
INT-3	FIRST FLOOR INTERIOR DETAILS
INT-4	FIRST FLOOR RENDERINGS
INT-5	SECOND FLOOR INTERIOR DETAILS
INT-6	SECOND FLOOR RENDERINGS

**GENERAL NOTES:**

**General Notes:**

- The work shall conform with all applicable local, state, and national codes. Plans have been drawn to conform with 2019 Residential Code of Ohio.
- Local (municipal or county) building code regulations to supersede 2019 Residential Code of Ohio where they conflict.
- Contractor shall field-verify existing conditions prior to performing any demolition, fabrication, or construction work.
- Contractor shall report any existing conditions that are not documented or are different than those on these drawings to the designer, architect, or engineer of record prior to commencing any work.
- Permit and Architecture Review Board applications and fees shall be the responsibility of the contractor.
- Contractor shall determine construction procedures and sequencing, and provide any necessary shoring or bracing required to complete the work.
- Contractor and sub-contractors shall be responsible to provide, maintain, and oversee all safety requirements necessary to complete the work in compliance with applicable safety regulations.
- Written dimensions take precedent over scaled dimensions. If scaling dimensions is necessary during the course of construction best practice is to inquire and verify dimensions with the designer, architect, or engineer of record.

**Site and Property:**

- Before work commences, it is the responsibility of the contractor or owner to obtain the services of a surveyor or engineer to verify and mark all applicable property lines and verify setbacks for zoning regulation compliance.
- Contractor to verify existing site conditions, grading, and location of all utilities.
- Final grade around new structures shall be sloped to drain surface water away from all foundations. Finish grade shall fall a minimum of 1/2" per foot for a minimum of 10'.
- Provide troweled or sawn control joints at maximum 10' O.C. in each direction for all poured concrete surfaces such as driveways, walkways, and patios.
- Existing site topography outside the construction area shall remain unchanged.
- Soil excavated from foundation area shall be hauled offsite unless contractor and owner agree otherwise.
- Contractor or owner to be responsible to obtain proper approval from appropriate local authority for any changes to grading or topography outside the construction area.

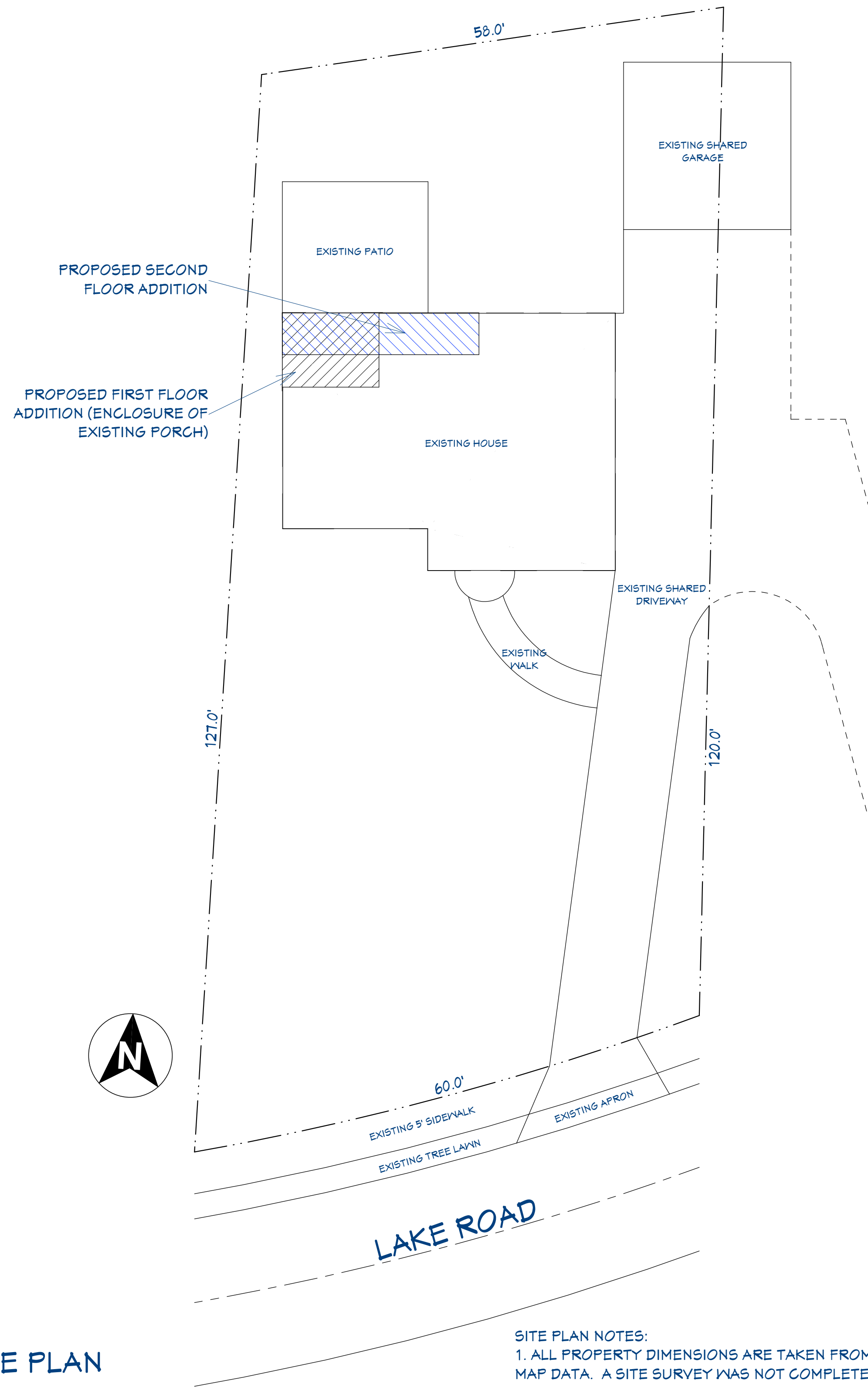
DATE:

3/23/26

SCALE:

SHEET:

T-1

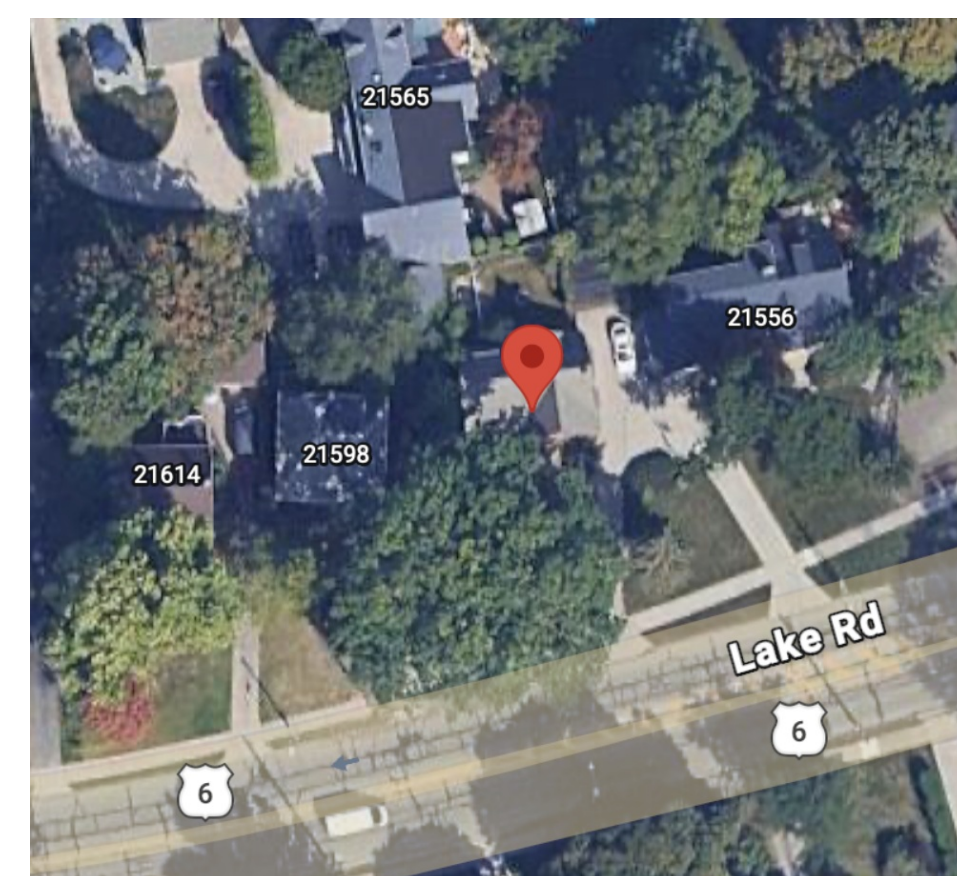


**SITE PLAN**

**SITE PLAN NOTES:**  
 1. ALL PROPERTY DIMENSIONS ARE TAKEN FROM COUNTY GIS MAP DATA. A SITE SURVEY WAS NOT COMPLETED TO VERIFY SETBACK DIMENSION AS NO CHANGES IN EXISTING SETBACKS ARE PROPOSED IN THESE CONSTRUCTION DOCUMENTS.



CUYAHOGA COUNTY GIS IMAGE



PROPERTY SATELITE IMAGE

**Foundation and Concrete:**

1. Assumed soil bearing capacity is 1,500 PSF. The contractor is responsible to verify soil bearing capacity.
2. The services of a geotechnical engineer shall be obtained by the contractor or owner as necessary.
3. All footing concrete shall be 3,000 psi (28-day compressive strength).
4. All slab-on-grade concrete shall be 4,000 psi (28-day compressive strength).
5. Provide 6 mil vapor barrier under all interior and garage slab floors.
6. All footings to bear on undisturbed soil of adequate bearing capacity.
7. The bottom of all footings shall be minimum 42" below grade.
8. Top of all foundation walls to be minimum 6" above finish grade.

**Framing, Carpentry and Building Envelope:**

1. Unless otherwise noted:
  - a. All framing lumber shall be Spruce-Pine-Fir #2 grade or better and shall be stamped with a grade mark of an approved testing agency.
  - b. Double all header joists and trimmers at all floor openings.
  - c. Double floor joists under parallel partition walls.
  - d. Include one row of 1x3 cross bridging at mid span for all floor and ceiling joists.
  - e. Subfloors to be 23/32" APA rated T&G OSB or plywood.
  - f. Roof sheathing to be 5/8" CDX plywood or exterior grade OSB.
  - g. Exterior wall sheathing to be 7/16" OSB.
  - h. Provide solid bearing to foundation for all beams and headers.
  - i. All guard rails to be 36" high with openings such that prevent a 4" sphere from passing thru.
  - j. Provide 34"-38" high handrails at all stairs, as measured from the nose of the treads.
  - k. Return all handrails into a wall or terminate into a newel post.
  - l. Handrails to be maximum 2-1/4" diameter or 2-1/4" diagonal and grip-able.
2. Verify all rough openings of doors and windows against manufacturer specifications prior to framing.
3. Provide minimum 2x4 collar ties @ 4' O.C. for all rafters unless supported by a ridge beam or otherwise noted. Collar ties to be placed in the upper 1/3 of the rafter.
4. All cuts, holes, or notches in framing members to be in accordance with local building code limitations.
5. Cuts, notches, and holes in engineered trusses, structural composite lumber, laminate veneer lumber, structural glue-laminated members, cross-laminated timbers, or I-joists are prohibited unless specifically permitted by the manufacturer.
6. Pressure treated wood shall be used for: all framing members that rest on concrete, sills and sleepers over concrete slabs, ends of wood girders entering exterior masonry walls, roof sheathing, exterior wall sheathing within 6" of grade or within 2" of concrete steps or slabs, all wood in ground contact, all exterior deck framing, and all exterior columns or posts.
7. Provide fire-blocking consisting of 2-inch nominal lumber (or other materials as listed in RCO 302.11.1) in the following locations:
  - a. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs both: vertically at the ceiling and floor levels, and horizontally at intervals not exceeding 10 feet.
  - b. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and coved ceilings.
  - c. In concealed spaces between stair stringers at the top and bottom of the run.
  - d. At openings around vents, pipes, ducts, cables, and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion.
  - e. In buildings or structures with more than one dwelling unit, fire-blocking of cornices is required at the line of dwelling unit separation.
8. Provide tempered glass in: all windows where glazing is less than 18" above finished floor, all glass within doors, all windows within a full bathroom, all windows within 24" of a door, all glass within railings or guards, all glass shower enclosures, and all glass located within 60" of the bottom of a stair run or landing.
9. Minimum head space at all stairs shall be 6'-8" as measured from the nose of the treads.
10. Provide roof saddles or crickets where necessary at chimneys or other vertical surfaces that would otherwise impede water shed from the roof.
11. Provide all necessary unspecified flashing.
12. Provide step flashing at all roof-to-wall intersections.
13. Provide kick-out flashing at all gutter-to-wall intersections.
14. Provide downspouts for all gutters and connect to downspout drain risers at the ground. All downspout drain risers to connect to local storm sewer system.
15. Attic and rafter spaces shall have ventilation with net free area not less than 1/300 of the area to be vented. 40-50% of the ventilation provided shall be in the upper portion of the attic or rafter space. 50-60% of the ventilation provided shall be in the eaves or soffits.
16. Provide ventilation baffles @ 48" O.C. for all attic spaces where insulation meets the rafters and roof sheathing.
17. All attic ventilation openings shall be protected from intrusion of weather and pests.
18. Ensure that all exterior joints, seams and penetrations are caulked, sealed and/or gasketed.
19. All interior walls and ceilings to be covered with 1/2" gypsum board with reinforcing corner bead and tape. Finish all gypsum with level 4 float & sand, unless otherwise noted.
20. All gypsum board used in restrooms with a shower or bath, and used in basement or other areas below grade to be mold-resistant (MR) type.
21. Provide backer board approved for use as a tile substrate for all tiled walls in wet areas.
22. Provide cement backer board, uncoupling membrane, or approved equal for all floors that are to be tiled.
23. Insulation shall not be compressed in any cavity, and shall be installed in accordance with manufacturer specifications.
24. Provide foam insulation between jambs and framing of all exterior windows and doors.
25. Insulation at the exterior of the structure shall have kraft paper facing or vapor barrier on the warm side of the insulation.
26. Bedrooms shall have an emergency means of egress in the form a window that meets the following criteria:
  - a. Minimum 5.7 SF clear opening
  - b. 24" minimum clear opening height
  - c. 20" minimum clear opening width

**ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS**

**HVAC:**

1. All HVAC work to be completed in accordance with local building code.
2. It is the responsibility of the contractor to have all HVAC systems designed and installed by a licensed mechanical specialist.
3. It is the responsibility of the contractor to submit any required mechanical descriptions, designs, and engineering to the appropriate local authority for approval, if required.
4. All air conditioning condensing units shall be placed in the rear or side yard in accordance with local zoning code.

**Plumbing:**

1. All plumbing work to be completed in accordance with local building code.
2. It is the responsibility of the contractor to have all plumbing systems designed and installed by a licensed plumbing specialist.
3. It is the responsibility of the contractor to submit any required plumbing descriptions, designs, and engineering to the appropriate local authority for approval, if required.
4. All toilets and bath/shower areas shall have an exhaust fan vented to the exterior of the home.

**Electrical:**

1. All electrical work to be in accordance with the 2023 National Electric Code or superseding local building code.
2. Provide all branch circuitry for general lighting and receptacles and each of the following that applies:
  - a. Two 20-amp circuits for kitchen receptacles
  - b. One 20-amp circuit for laundry receptacles
  - c. One 20-amp circuit for bathroom receptacles
  - d. One 20-amp circuit for garage receptacles
  - e. One dedicated circuit for central heating equipment
3. All new branch circuitry supplying 125-volt, 15- or 20-amp outlets in kitchens, family rooms, dining rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, laundry rooms, closets, hallways, or other habitable living spaces shall be protected by a listed AFCI device. AFCI protection is also required in these areas wherever existing branch circuit wiring is modified, replaced, or extended.
4. Any receptacle within 6' of a sink to be GFCI protected.
5. All kitchen countertop and backsplash receptacles to be GFCI protected.
6. Countertop or backsplash receptacles to be provided in kitchen within 24" of all countertop spaces as measured horizontally, and at all countertops that measure at least 12" in width.
7. Kitchen island receptacle, if present, to be placed above or within the countertop surface. If kitchen island receptacles are not provided, provide means for future addition of kitchen island receptacles.
8. Provide minimum one GFCI-protected receptacle at all bathroom lavatory sinks. In bathrooms with 2 sinks within the same countertop surface, provide either: one GFCI-protected receptacle at each sink, or one GFCI-protected receptacle between the two sinks.
9. Receptacles to be provided in habitable rooms within 6' of doorways and on all walls measuring at least 2' in width, with maximum spacing of 12' O.C.
10. Provide lighting in stairways of 6 risers or more with a switch at each floor level or landing that includes an entrance to the stairway.
11. Provide a GFCI protected receptacle within 25' and within the same room or space as HVAC equipment.
12. Provide as least one wall-switch-controlled light fixture or lighting receptacle in every habitable room, kitchen, bathroom, hallway, stairway, garage, and basement space.
13. Provide a wall switch to control at least one light fixture or lighting receptacle within 5' of each entrance to any habitable room, kitchen, bathroom, hallway, stairway, garage, and basement space.
14. All exterior receptacle or receptacles located within wet locations shall be rated and listed as weather-resistant (WR) and shall have a cover labeled "extra duty" that is weatherproof even with the cord inserted.
15. Provide a switched light for any accessible attic, crawlspace, or unfinished basement area.
16. Provide smoke detectors that are hardwired with battery backup and interconnected such that if one sounds, all will sound, at each floor level, in each bedroom, and outside each sleeping area in the adjacent hallway.
17. Provide carbon monoxide detectors in the immediate vicinity of bedrooms and within any bedroom that contains a fuel-burning appliance.
18. All underground electrical shall be sheathed with properly rated conduit and embedded in sand.



NUMBER	DATE	REVISION TABLE	REVISION
1	12-12-25	CONCEPT DRAWINGS	CH
2	1-21-26	PRELIMINARY PLANS	CH
3	2-19-26	PROGRESS PLANS	CH
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW	CH
5	3-23-26	DESIGN BOARD RECORD UPDATE	CH

**SITE PLAN**

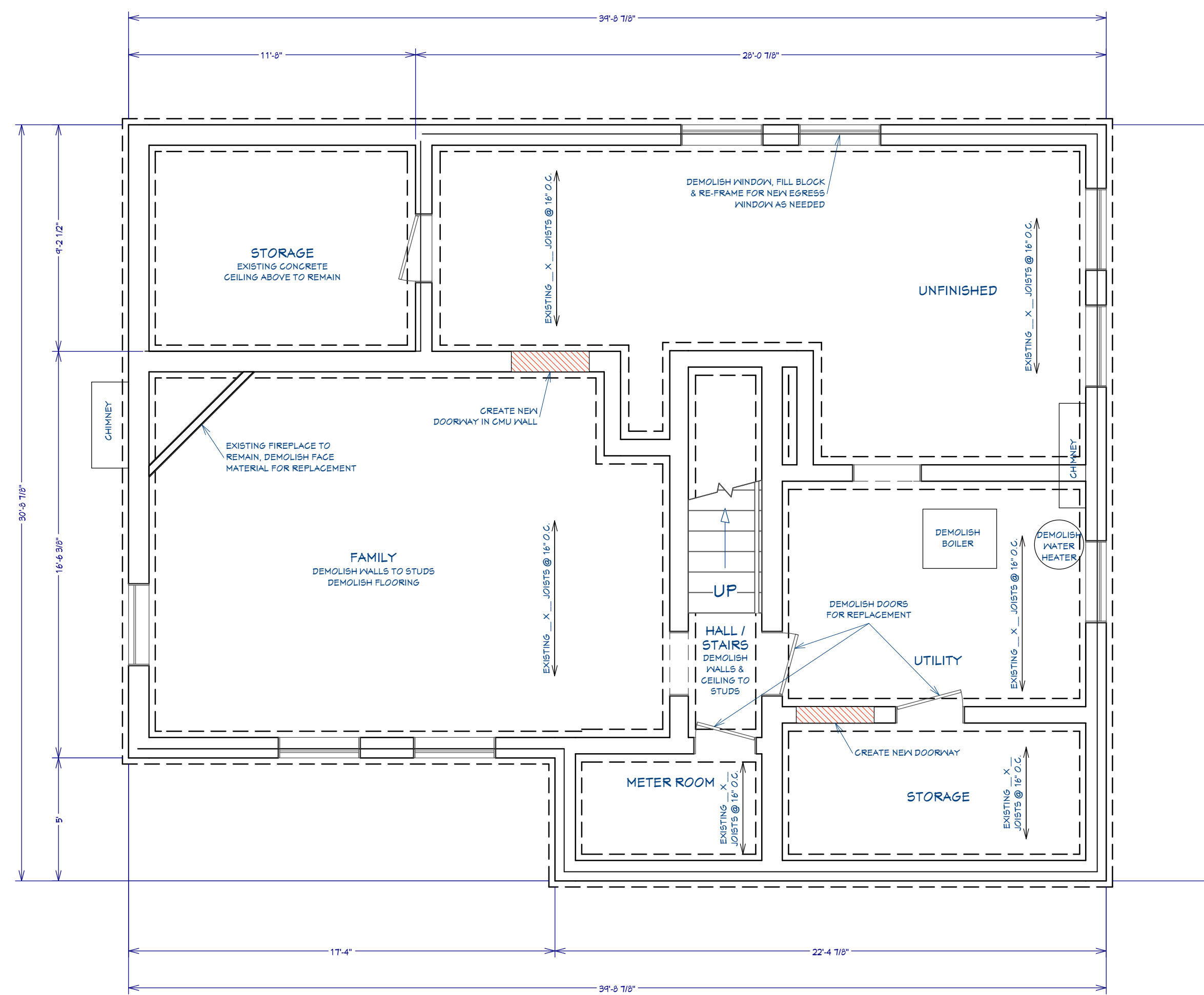
PETERSON RESIDENCE  
 21580 LAKE ROAD  
 ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
 KIRK HARTUNG

DATE:  
 3/23/26

SCALE:  
 1" = 10'

SHEET:  
 S-1



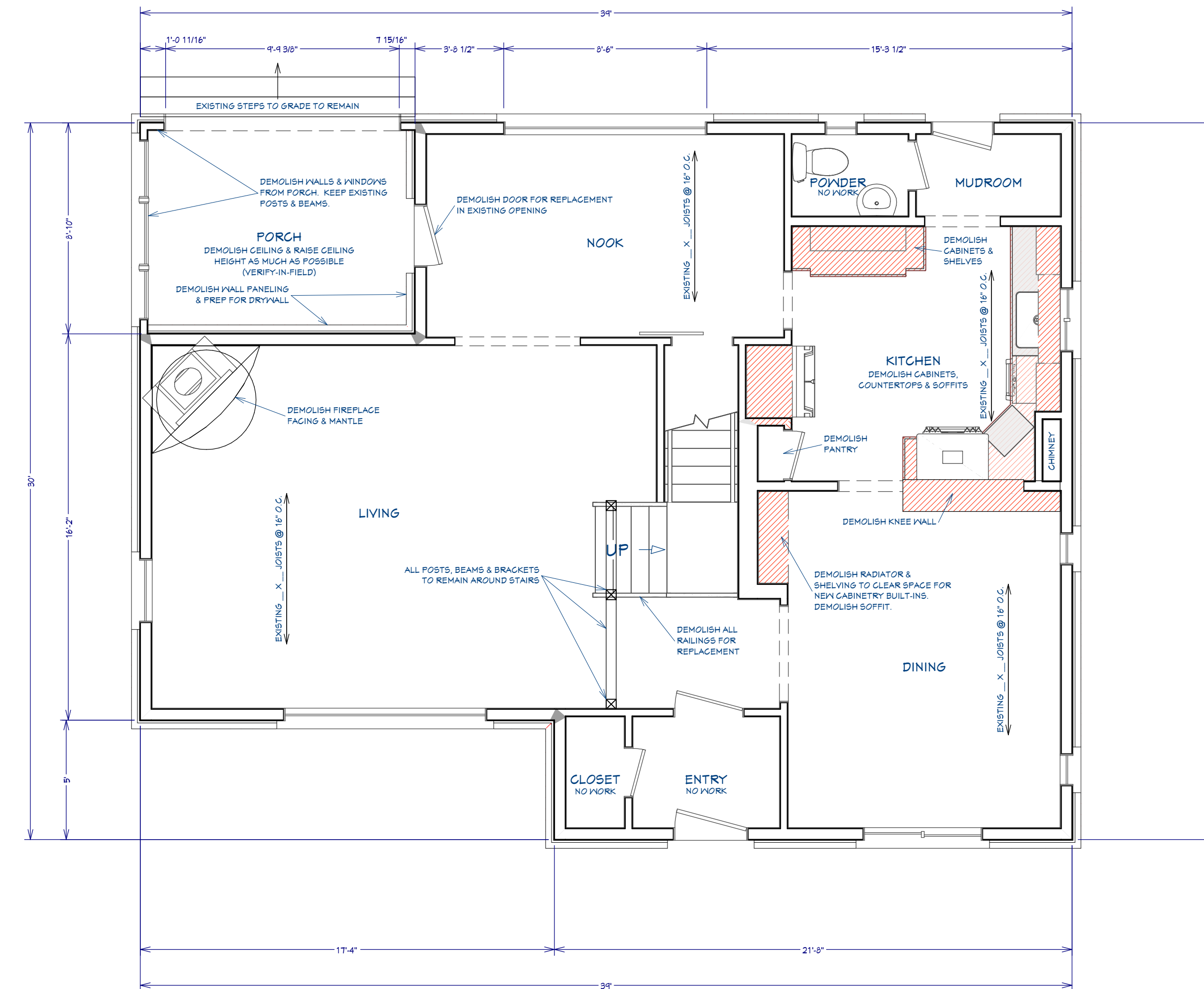
**NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
3. DEMOLISH ALL WALL & CEILING FINISHES IN THE FAMILY ROOM & STAIRWAY/HALL OF THE BASEMENT FOR REPLACEMENT.
4. DEMOLISH BOILER & ALL ACCESSIBLE BOILER PIPES THROUGHOUT THE BASEMENT. HVAC SYSTEM TO BE CONVERTED TO FORGED AIR IN NEW LOCATION.
5. DEMOLISH ALL RADIATORS.
6. DEMOLISH WATER HEATER FOR REPLACEMENT IN NEW LOCATION.
7. DEMOLISH ALL FINISHED FLOORING IN THE BASEMENT DOWN TO CONCRETE SLAB.
8. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
9. ALL EXISTING INTERIOR DOORS TO REMAIN EXCEPT AS NOTED.
10. ELIMINATE EXISTING FLOOR DRAINS IN PROPOSED FINISHED AREAS OF THE BASEMENT.
11. LEVEL BASEMENT FLOOR IN ALL PROPOSED FINISHED AREAS TO WITHIN FLOORING MANUFACTURER SPECIFICATIONS.

**BASEMENT DEMOLITION PLAN**

**ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS**

WALL TYPE SCHEDULE	
	EXISTING CMU FOUNDATION WALL W/ FOOTER
	EXISTING 2X FRAMED WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW 2X6 STUD EXT. WALL, 16" O.C. W/ 7/16" OSB EXT. SHEATHING, MIN. R-20 INSULATION, 1/2" GYPSUM BOARD
	NEW 2X4 STUD INTERIOR WALL, 16" O.C., 1/2" GYPSUM BOARD



**NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
3. DEMOLISH ALL ACCESSIBLE BOILER PIPES & RADIATORS.
4. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
5. ALL EXISTING DOORS TO REMAIN EXCEPT AS NOTED.
6. ALL EXISTING HARDWOOD FLOORS TO REMAIN AS IS THROUGHOUT THE FIRST FLOOR.
7. PATCH EXISTING HARDWOOD FLOORING AS NEEDED WITH MATCHING WOOD SPECIES, PLANK SIZE, STAIN COLOR & FINISH WHERE BOILER PIPES & RADIATORS ARE REMOVED.
8. DEMOLISH ALL STAIR AND LEDGE/LANDING RAILING FOR REPLACEMENT.
9. SAVE ALL GUTTERS & DOWNSPOUTS FOR RE-USE WHERE POSSIBLE.

**FIRST FLOOR DEMOLITION PLAN**



NUMBER	DATE	REVISION TABLE
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

**DEMOLITION PLANS**

**PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116**

DRAWINGS PROVIDED BY:  
**KIRK HARTUNG**

DATE:

3/23/26

SCALE:

1/4" = 1'-0"

SHEET:

**D-1**

NUMBER	DATE	REVISION
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

# DEMOLITION PLANS

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
KIRK HARTUNG

DATE:

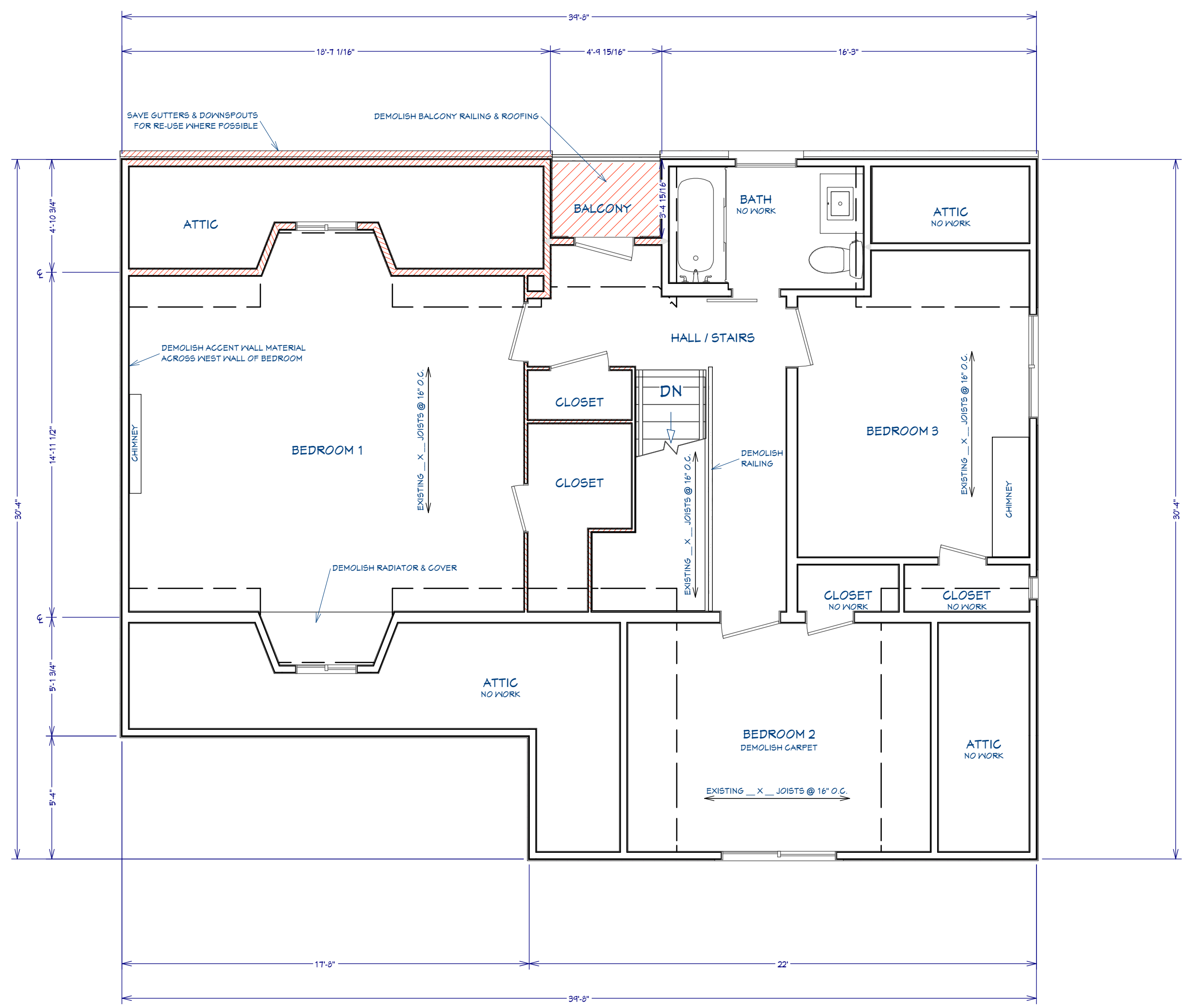
3/23/26

SCALE:

1/4" = 1'-0"

SHEET:

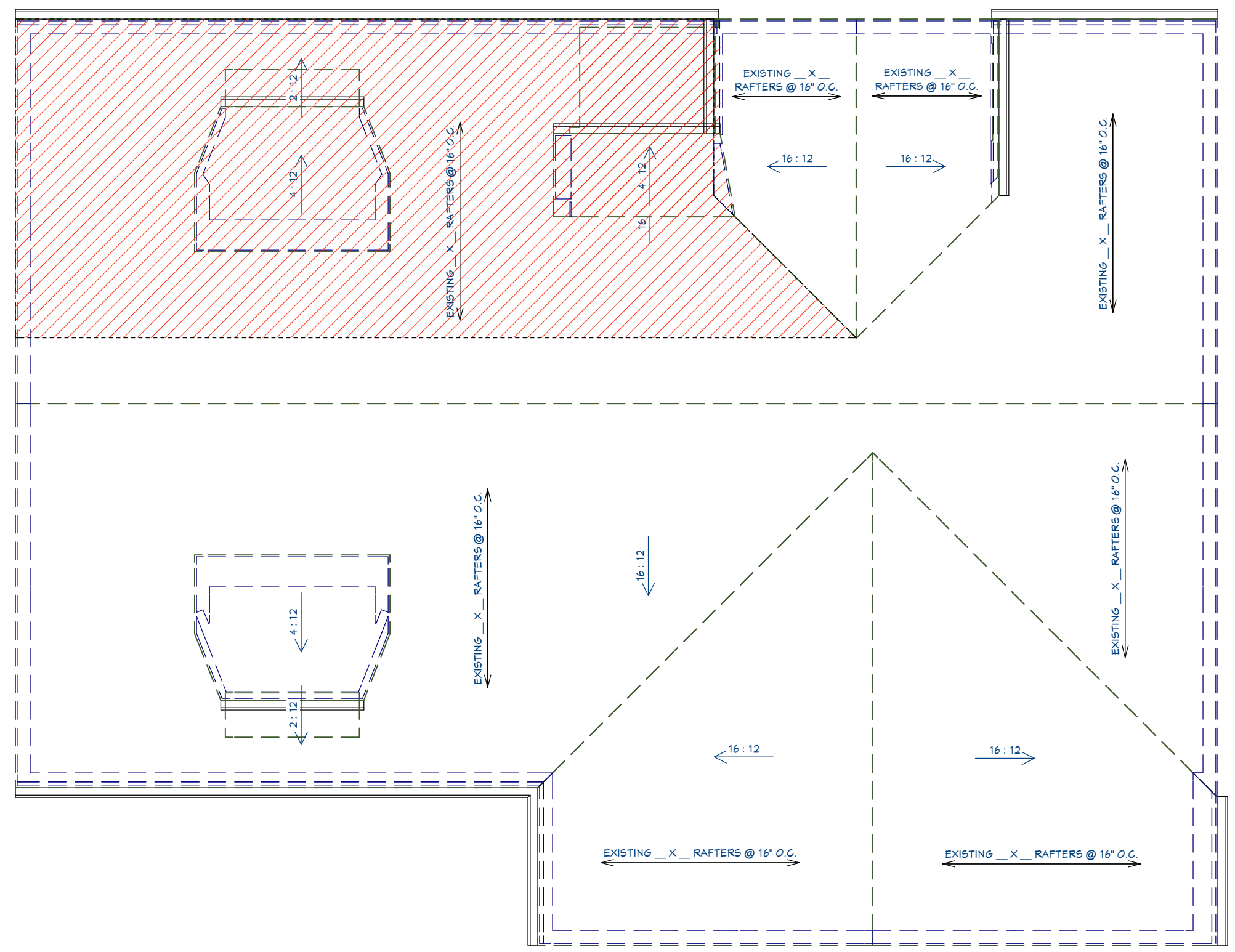
D-2



- NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
  2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
  3. DEMOLISH ALL ACCESSIBLE BOILER PIPES & RADIATORS.
  4. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
  5. ALL EXISTING INTERIOR DOORS TO REMAIN EXCEPT AS NOTED.
  6. ALL EXISTING HARDWOOD FLOORS TO REMAIN.
  7. PATCH EXISTING HARDWOOD FLOORING AS NEEDED WITH MATCHING WOOD SPECIES, PLANK SIZE, STAIN COLOR & FINISH WHERE BOILER PIPES & RADIATORS ARE REMOVED.
  8. DEMOLISH ALL STAIR AND LEDGE/LANDING RAILING FOR REPLACEMENT.
  9. SAVE ALL GUTTERS & DOWNSPOUT FOR RE-USE WHERE POSSIBLE.

SECOND FLOOR DEMOLITION PLAN

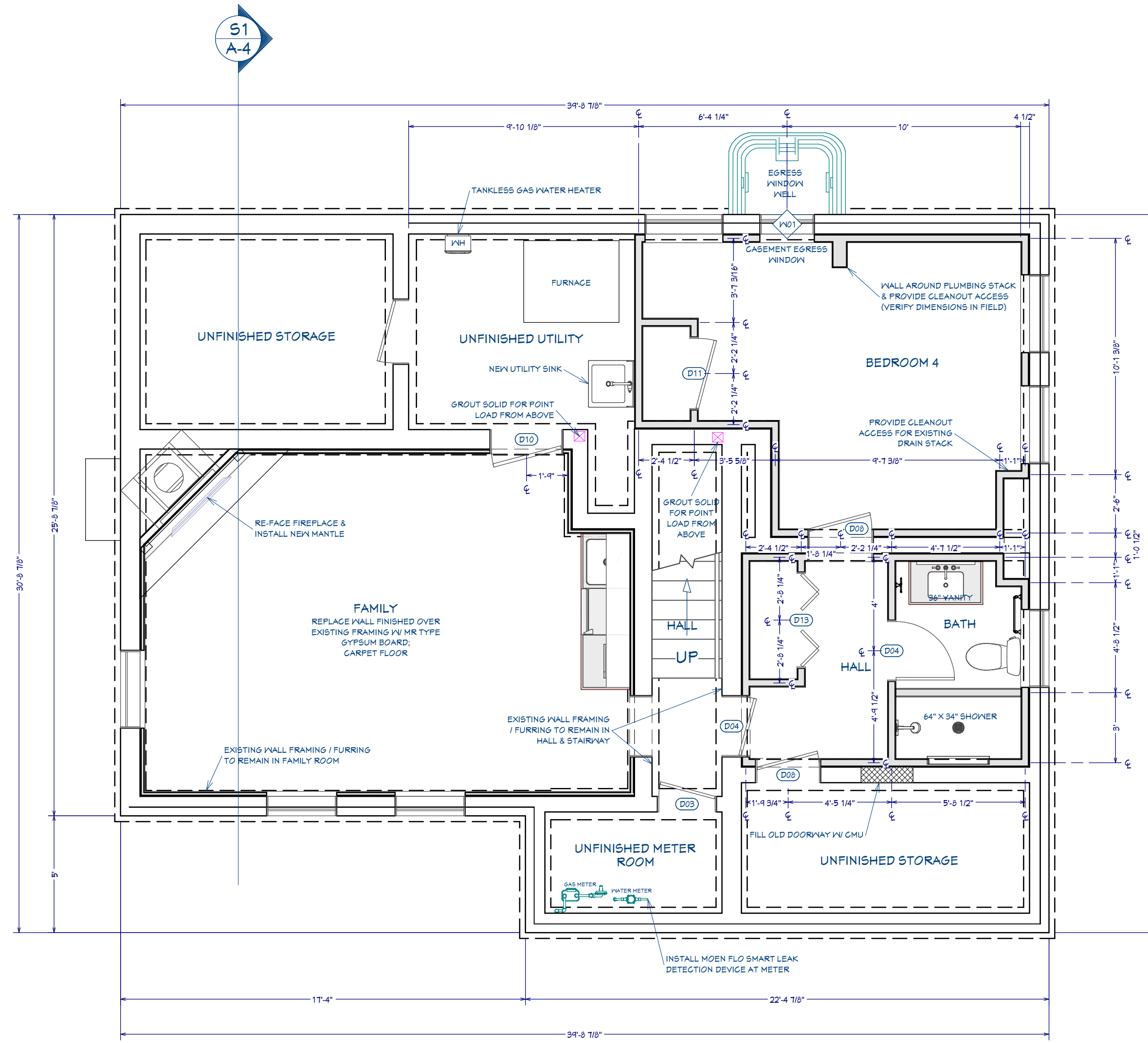
ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS



- NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
  2. DEMOLISH REAR BALCONY ROOFING MATERIALS DOWN TO JOISTS.
  3. DEMOLISH ALL ROOFING MATERIALS DOWN TO BARE SHEATHING AT DORMER ADDITION ROOF OVERBUILD AREA.
  4. ALL EXISTING ROOFING MATERIALS TO REMAIN EXCEPT AS NOTED.

ROOF DEMOLITION PLAN

WALL TYPE SCHEDULE	
	EXISTING CMU FOUNDATION WALL W/ FOOTER
	EXISTING 2X FRAMED WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW 2X6 STUD EXT. WALL, 16" O.C. W/ 7/16" OSB EXT. SHEATHING, MIN. R-20 INSULATION, 1/2" GYPSUM BOARD
	NEW 2X4 STUD INTERIOR WALL, 16" O.C., 1/2" GYPSUM BOARD



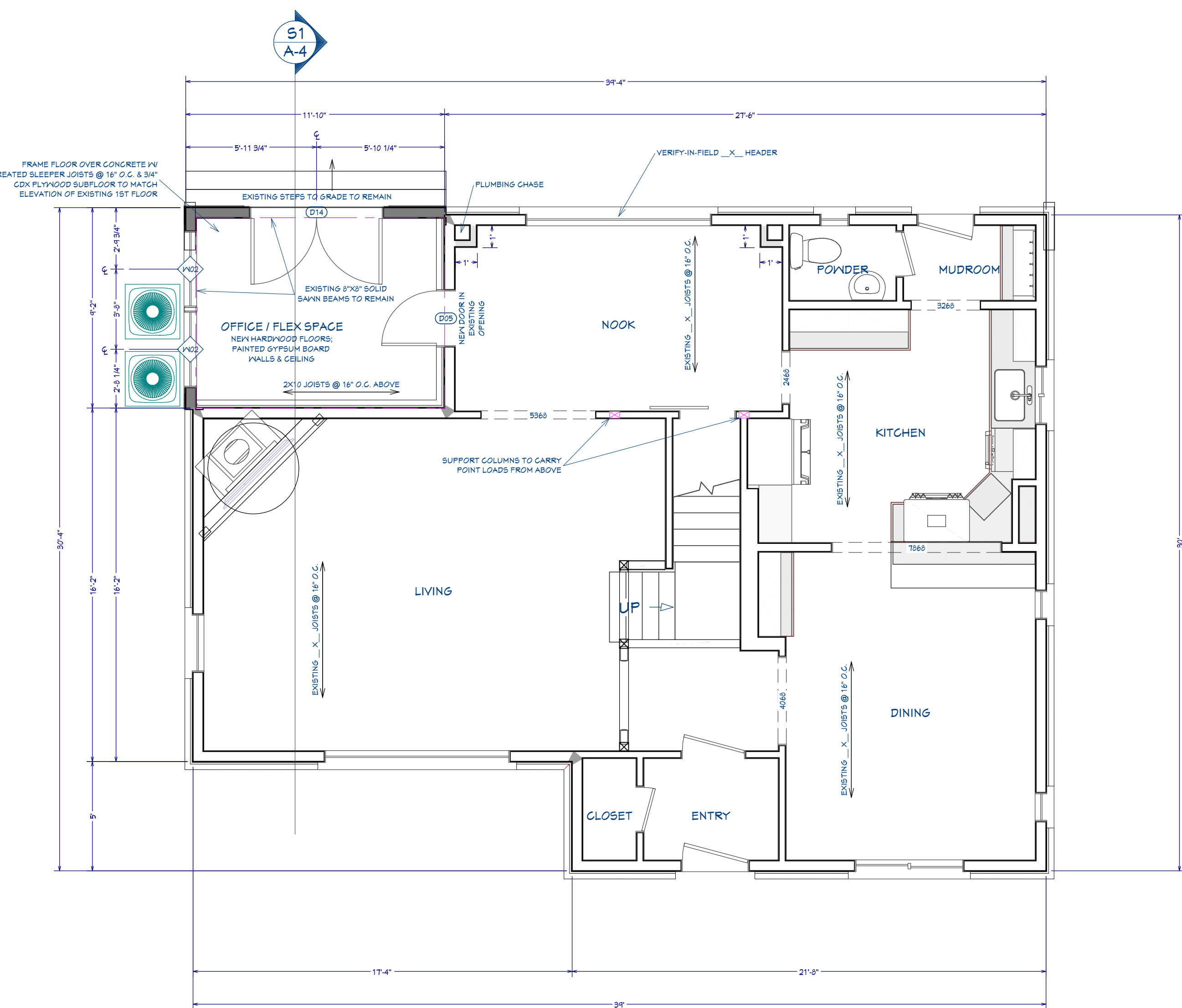
**NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
3. USE TREATED BOTTOM PLATES FOR ALL WALLS BELOW GRADE.
4. INSTALL NEW GYPSUM BOARD WALLS IN ALL FINISHED ROOMS OF THE BASEMENT. ALL NEW GYPSUM BOARD BELOW GRADE TO BE MOLD-RESISTANT (MR-TYPE).
5. NEW LOCATION OF HVAC SYSTEM AND WATER HEATER TO BE VERIFIED BY LICENSED TRADESPEOPLE.
6. NEW HVAC SYSTEM IN BASEMENT TO SERVICE BASEMENT & FIRST FLOOR ONLY. ADDITIONAL HVAC SYSTEM TO BE ADDED TO ATTIC TO SERVICE SECOND FLOOR.
7. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
8. ALL EXISTING INTERIOR DOORS TO REMAIN EXCEPT AS NOTED.

**BASEMENT PROPOSED PLAN**

WALL TYPE SCHEDULE	
	EXISTING CMU FOUNDATION WALL W/ FOOTER
	EXISTING 2X FRAMED WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW 2X6 STUD EXT. WALL, 16" O.C. W/ 7/16" OSB EXT. SHEATHING, MIN. R-20 INSULATION, 1/2" GYPSUM BOARD
	NEW 2X4 STUD INTERIOR WALL, 16" O.C., 1/2" GYPSUM BOARD

**ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS**



**NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
3. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
4. ALL EXISTING INTERIOR DOORS TO REMAIN EXCEPT AS NOTED.
5. ALL EXISTING HARDWOOD FLOORS TO REMAIN.
6. PATCH EXISTING HARDWOOD FLOORING AS NEEDED WITH MATCHING WOOD SPECIES, PLANK SIZE, STAIN COLOR & FINISH WHERE BOILER PIPES & RADIATORS ARE REMOVED.
7. INSTALL NEW RAILINGS FOR STAIRS AND LANDINGS/LEDGES. ALL RAILINGS TO MEET CODE REQUIREMENTS.

**FIRST FLOOR PROPOSED PLAN**

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	COMMENTS
D01	1	2	2040 L EX	26"X51"	EXT. HINGED-SLAB	2"X6"X24" (2)	
D02	1	2	2462 L	28"X74"	SHOWER-GLASS SLAB		
D03	1	0	2568 R IN	30 7/8"X82 1/2"	HINGED-DOOR F04	2"X6"X33 7/8" (2)	
D04	2	0	2668 R IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)	
D05	1	1	2668 L IN	32"X82 1/2"	HINGED-DOOR F07	2"X6"X35" (2)	
D06	1	2	2668 L IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)	
D07	1	2	2668 R IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)	
D08	2	0	2868 L IN	34"X82 1/2"	HINGED-DOOR F04	2"X6"X37" (2)	
D09	1	2	2868 R	65 1/4"X82 1/2"	POCKET-DOOR P04	2"X6"X68 1/4" (2)	
D10	1	0	3068 L EX	38"X83"	EXT. HINGED-PANEL	2"X6"X41" (2)	
D11	1	0	3068 R IN	38"X82 1/2"	HINGED-PANEL	2"X6"X41" (2)	
D12	1	2	3068 R	73 1/4"X82 1/2"	POCKET-DOOR P04	2"X6"X76 1/4" (2)	
D13	1	0	4068 L/R	50"X82 1/2"	4 DR. BIFOLD-PANEL	2"X6"X53" (2)	
D14	1	1	6068 L/R EX	74"X83"	EXT. DOUBLE HINGED-GLASS PANEL	2"X10"X77" (2)	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	HEADER	COMMENTS
W01	1	0	2440SC	24"X44"	YES	SINGLE CASEMENT-HL	2"X6"X32" (2)	TEMPERED
W02	2	1	3614FX	43"X17"		FIXED GLASS	2"X6"X46" (2)	
W03	2	2	2439DH	24"X46"		DOUBLE HUNG	2"X6"X32" (2)	
W04	2	2	2414FX	24"X17"		FIXED GLASS	2"X6"X32" (2)	TEMPERED
W05	1	2	3629LS	43"X34"		LEFT SLIDING	2"X6"X46" (2)	

NUMBER	DATE	REVISION TABLE
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

**PROPOSED PLANS**

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
KIRK HARTUNG

DATE:

3/23/26

SCALE:

1/4" = 1'-0"

SHEET:

A-1

NUMBER	DATE	REVISION TABLE	REVISION DESCRIPTION
1	12-12-25	CH	CONCEPT DRAWINGS
2	1-21-26	CH	PRELIMINARY PLANS
3	2-19-26	CH	PROGRESS PLANS
4	3-13-26	CH	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	CH	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	CH	DESIGN BOARD RECORD UPDATE

# PROPOSED PLANS

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
KIRK HARTUNG

DATE:

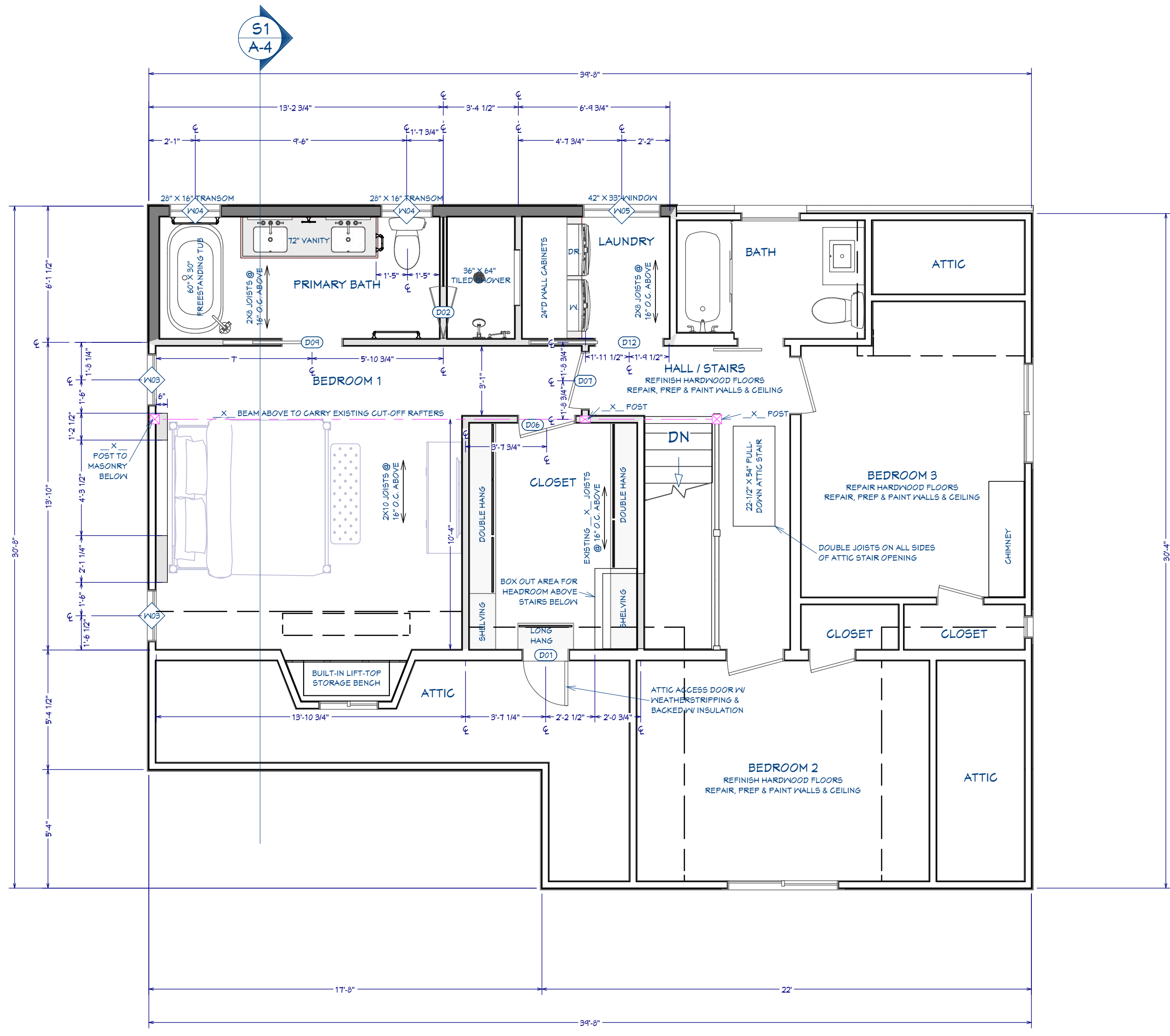
3/23/26

SCALE:

1/4" = 1'-0"

SHEET:

A-2

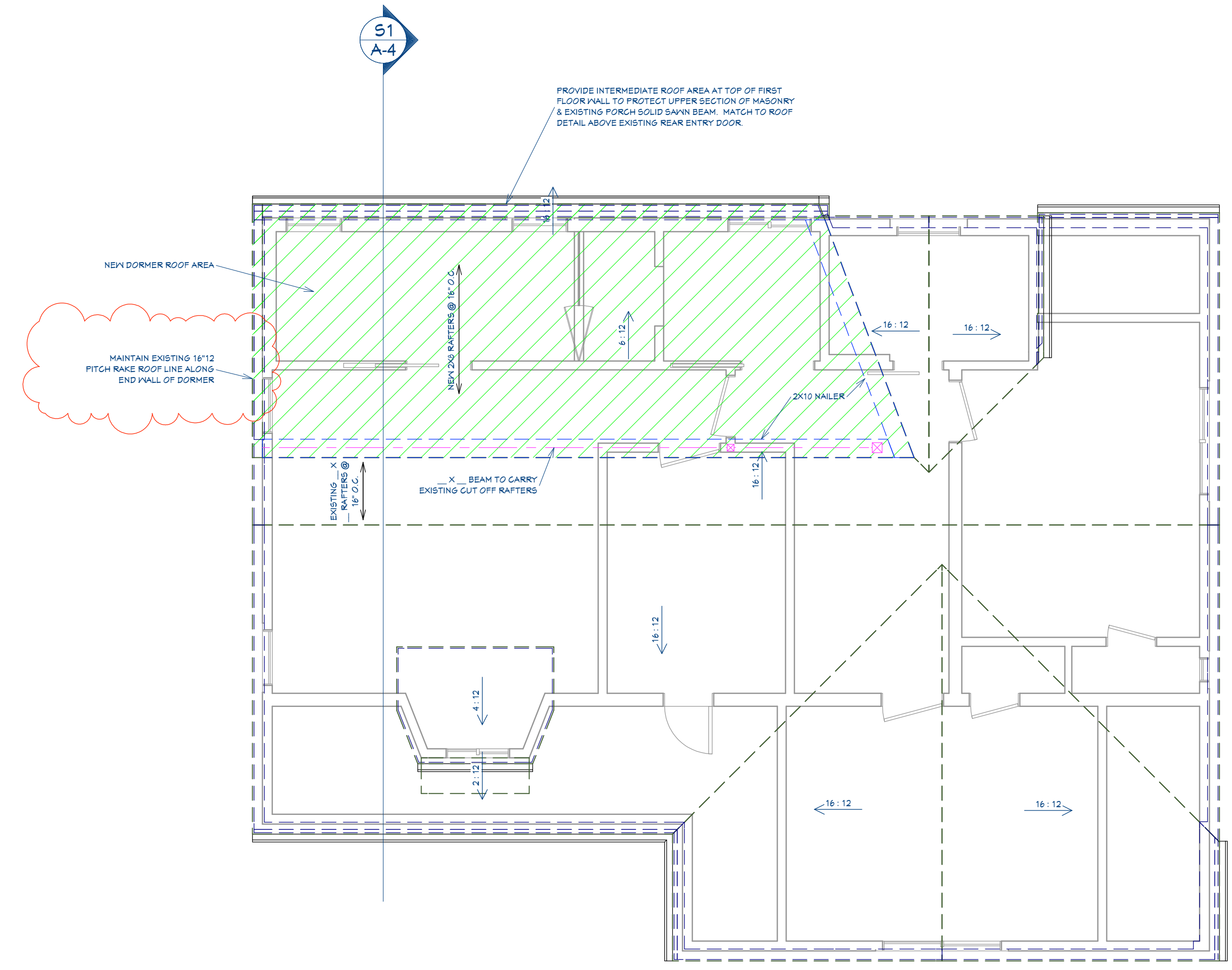


- NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
  2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
  3. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
  4. ALL EXISTING INTERIOR DOORS TO REMAIN EXCEPT AS NOTED.
  5. ALL EXISTING HARDWOOD FLOORS TO REMAIN.
  6. PATCH EXISTING HARDWOOD FLOORING AS NEEDED WITH MATCHING WOOD SPECIES, PLANK SIZE, STAIN COLOR & FINISH WHERE BOILER PIPES & RADIATORS ARE REMOVED AND WHERE WALLS ARE REMOVED OR RELOCATED.
  7. REPLACE ALL STAIR & LEDGE/LANDING RAILINGS. ALL NEW RAILINGS TO MEET CODE REQUIREMENTS.
  8. PROVIDE HVAC SYSTEM IN ATTIC TO SERVE SECOND FLOOR.
  9. PROVIDE GAS LINE TO ATTIC FURNACE.

SECOND FLOOR PROPOSED PLAN

ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS

WALL TYPE SCHEDULE	
	EXISTING CMU FOUNDATION WALL W/ FOOTER
	EXISTING 2X FRAMED WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW 2X6 STUD EXT. WALL, 16" O.C. W/ 7/16" OSB EXT. SHEATHING, MIN. R-20 INSULATION, 1/2" GYPSUM BOARD
	NEW 2X4 STUD INTERIOR WALL, 16" O.C., 1/2" GYPSUM BOARD



- NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
  2. ALL EXISTING ROOFING MATERIALS TO REMAIN EXCEPT AS NOTED.
  3. ALL NEW ROOFING TO MATCH EXISTING.
  4. CONNECT ALL RAFTERS TO TOP PLATE OF WALLS W/ HIMPSON H2.5A HURRICANE TIES.
  5. PROVIDE (2) ROWS OF ICE & WATER SHIELD AT ALL ROOF EDGES & VALLEYS.
  6. PROVIDE FULL COVERAGE ICE & WATER SHIELD FOR ALL ROOF PLANES OF 4:12 PITCH OR LESS.
  7. PROVIDE 30# ROOFING FELT.
  8. PROVIDE ALL NECESSARY VALLEY, HEADWALL, KICKOUT & CHIMNEY FLASHING FOR THE AFFECTED AREA OF THE ROOF.
  9. PROVIDE ALUMINUM DRIP EDGE AT EDGES OF NEW ROOF AREA AND AFFECTED EXISTING ROOF AREA.
  10. FOLLOW ALL MANUFACTURER SPECIFICATIONS & INSTRUCTIONS FOR PROPER PREPARATION OF ROOF.

ROOF PROPOSED PLAN

NUMBER	DATE	REVISION
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

**PROPOSED EXTERIOR ELEVATIONS**

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
**KIRK HARTUNG**

DATE:

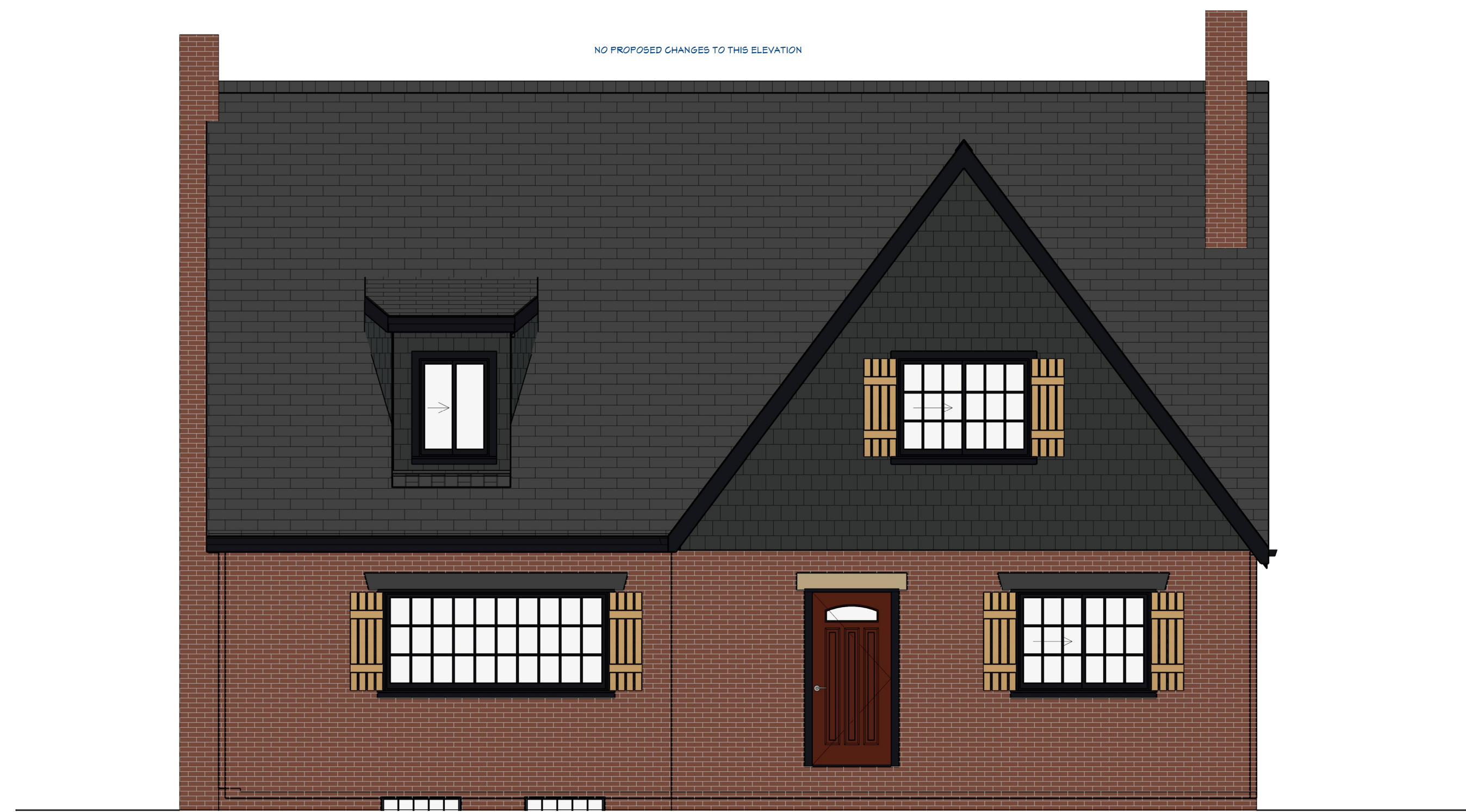
3/23/26

SCALE:

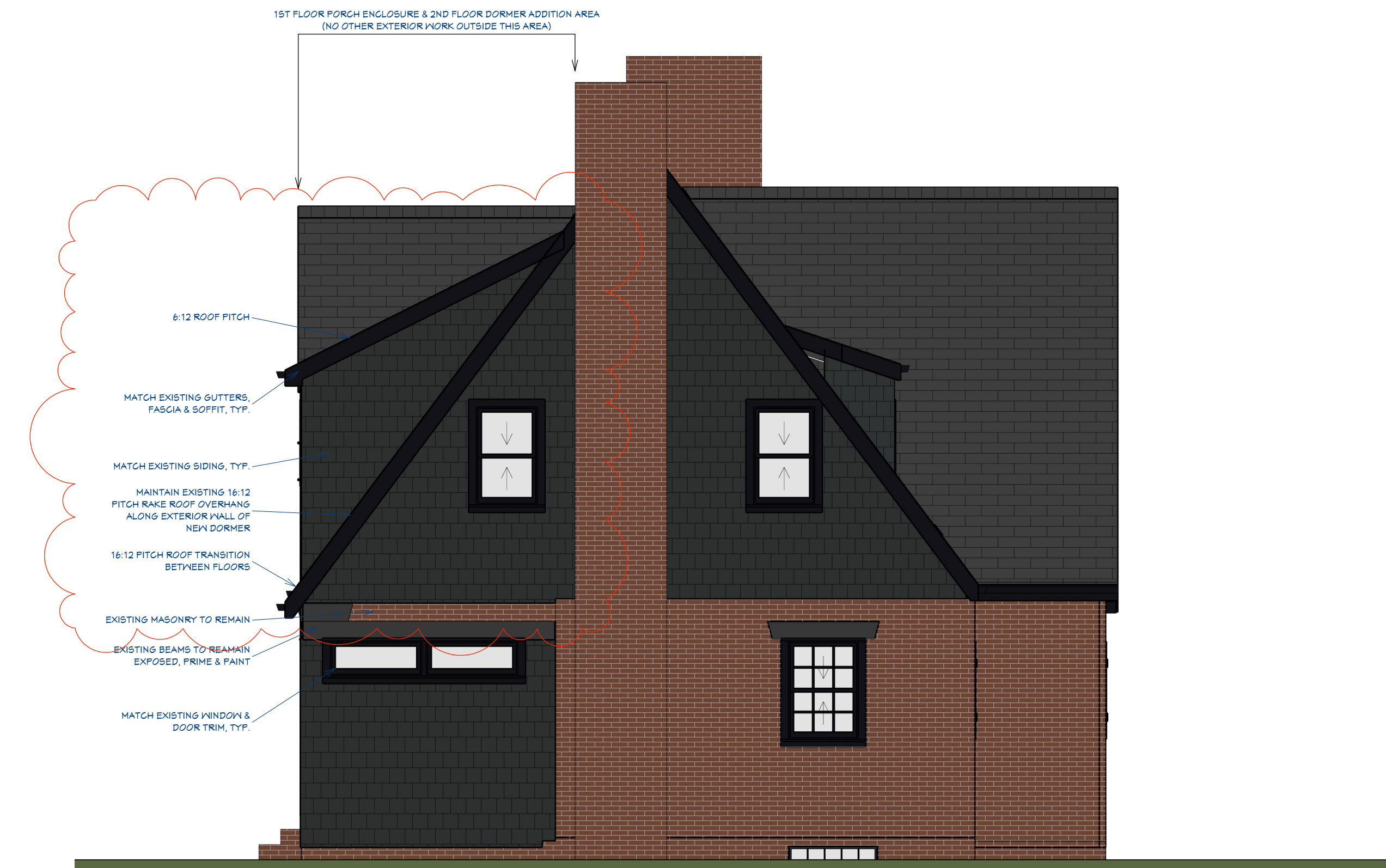
1/4" = 1'-0"

SHEET:

**A-3**



**SOUTH (FRONT) ELEVATION**



**WEST (LEFT SIDE) ELEVATION**

ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS



**NORTH (REAR) ELEVATION**



**EAST (RIGHT SIDE) ELEVATION**

REVISION TABLE	DATE	REVISION
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

# CROSS SECTION AND DETAILS

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
KIRK HARTUNG

DATE:

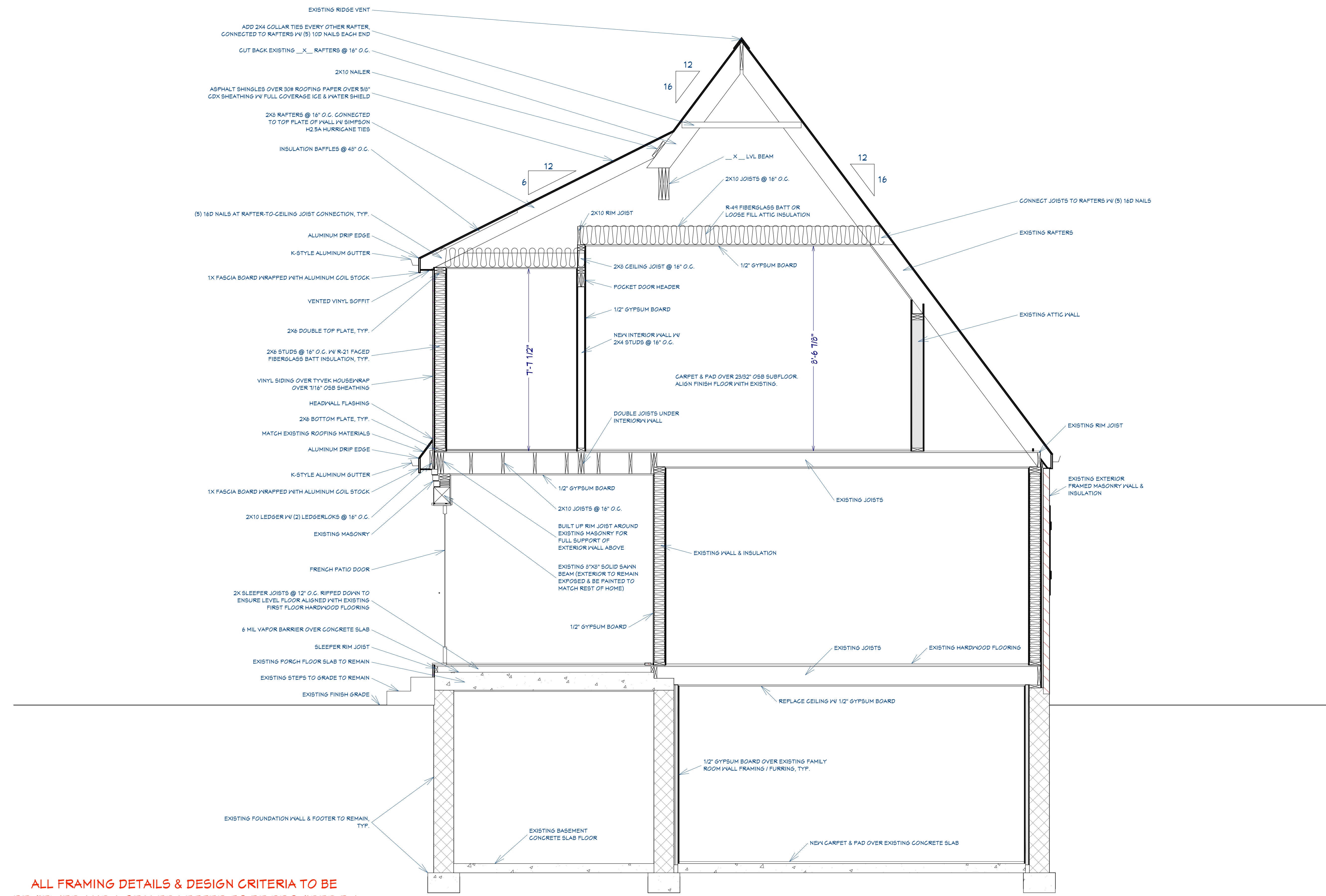
3/23/26

SCALE:

AS SHOWN

SHEET:

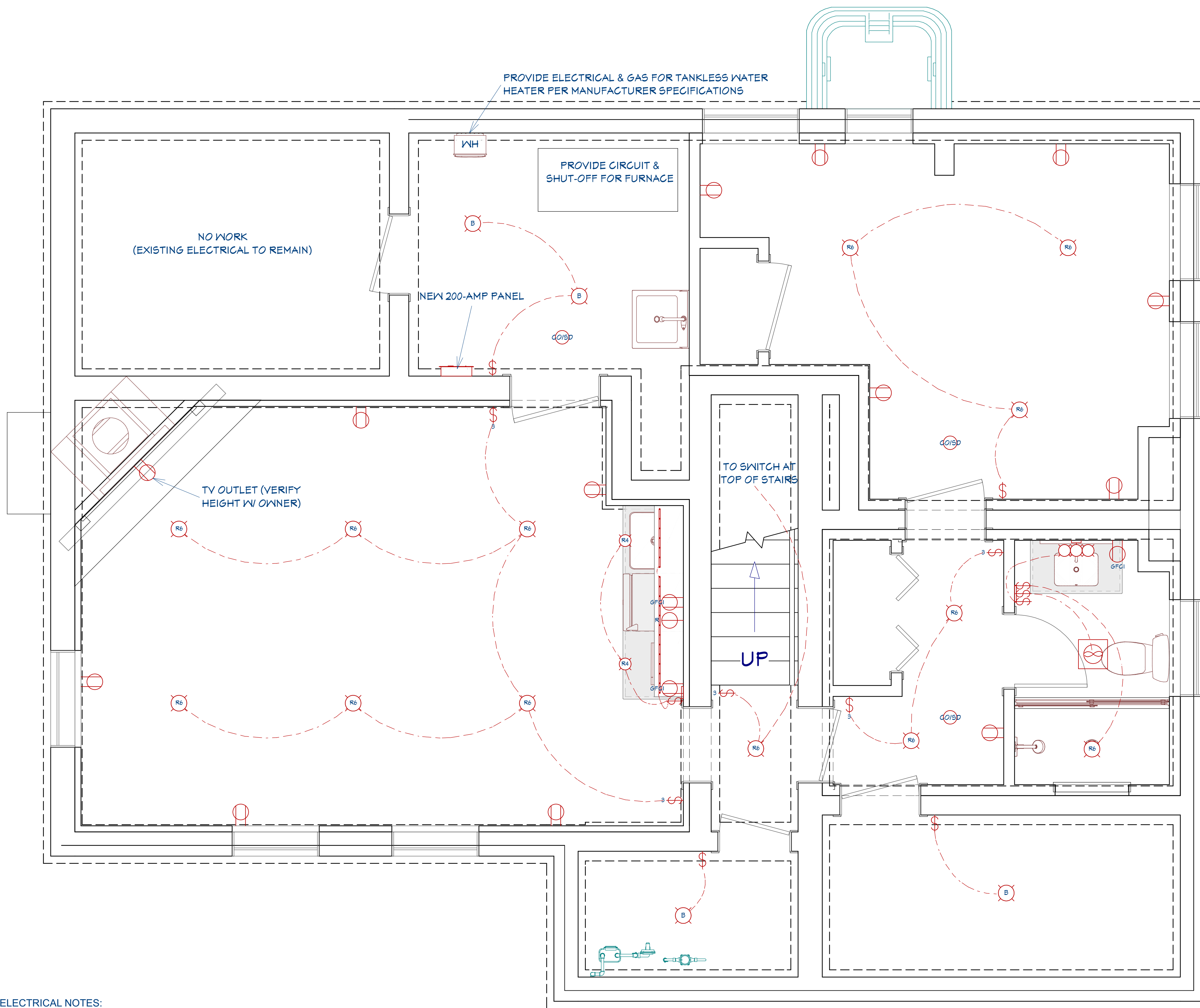
A-4



ALL FRAMING DETAILS & DESIGN CRITERIA TO BE REVIEWED AND A SEALED LETTER TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER PRIOR TO ISSUING PLANS FOR PERMITS

TYPICAL CROSS SECTION

1/2" = 1'-0"



PROVIDE ELECTRICAL & GAS FOR TANKLESS WATER HEATER PER MANUFACTURER SPECIFICATIONS

PROVIDE CIRCUIT & SHUT-OFF FOR FURNACE

NO WORK (EXISTING ELECTRICAL TO REMAIN)

NEW 200-AMP PANEL

TV OUTLET (VERIFY HEIGHT W/ OWNER)

TO SWITCH AIR TOP OF STAIRS

UP

**ELECTRICAL NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.
2. CONFIRM LOCATION OF ALL LIGHT FIXTURES W/ OWNER AT TIME OF ROUGH-IN.
3. ALL EXISTING ELECTRICAL IN THE HOME TO REMAIN AS IS EXCEPT AS SHOWN IN THE ELECTRICAL PLANS
4. PROVIDE AFCI PROTECTION FOR NEW, EXTENDED, OR MODIFIED CIRCUITS IN THE FOLLOWING AREAS, AS NEEDED: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS. CIRCUITS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [NEC 210.12(B)]
5. IN AREAS AFFECTED BY THE PROPOSED WORK, PROVIDE IONIZATION AND PHOTOELECTRIC SMOKE ALARMS ON EACH LEVEL WITHIN THE DWELLING UNIT, INCLUDING BASEMENTS AND HABITABLE ATTICS. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) AND EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. A SMOKE ALARM IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. THE PRIMARY POWER SOURCE SHALL BE FROM THE BUILDING WIRING WHERE THERE IS ACCESS FOR HARDWIRING. SMOKE ALARMS REQUIRED BY THIS SECTION SHALL BE INTERCONNECTED EITHER PHYSICALLY OR BY LISTED WIRELESS TECHNOLOGY SUCH THAT ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. [RCO 314.1.2] IF SMOKE ALARMS ARE LISTED/LABELED AS COMPLYING WITH 8TH EDITION OR LATER OF UNDERWRITERS' LABORATORY (UL) STANDARD 217, THEN THEY ARE CONSIDERED EQUIVALENT TO DUAL TECHNOLOGY DEVICES AND COMPLIANT WITH RCO 314.1.2 (OHIO BOARD OF BUILDING STANDARDS RCO INTERPRETATION 1-2025 ISSUED MAY 2025).
6. PROVIDE A DEDICATED 20 AMP BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). WHERE THE 20 AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH 210.23(A)(1) AND (A)(2). [NEC 210.11(C)(3)]
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
8. VERIFY ALL APPLIANCE & FIXTURE CIRCUITY AND AMPERAGE REQUIREMENTS AGAINST MANUFACTURER SPECIFICATIONS.
9. ALL NEW KITCHEN AND BATHROOM RECEPTACLE OUTLETS SHALL: A) RECEIVED GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION (2023 NEC 210.8(A)(5) & (11)); AND B) BE TAMPER-RESISTANT (2023 NEC 406.12)
10. RECEPTACLE OUTLETS, IF INSTALLED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, SHALL BE INSTALLED IN ACCORDANCE WITH NEC 210.52(C)(3). IF A RECEPTACLE OUTLET IS NOT PROVIDED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, PROVISIONS SHALL BE PROVIDED AT THE ISLAND OR PENINSULA FOR FUTURE ADDITION OF A RECEPTACLE OUTLET TO SERVE THE ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE (NEC 210.52(C)(2)).
11. RECESSED LIGHTING ABOVE SHOWERS TO BE RATED FOR WET LOCATION.
12. ALL RECESSED LIGHT FIXTURES TO BE TYPE IC (INSULATION CONTACT). [2023 NEC 410.116(A)(2)]
13. BATHROOM EXHAUST FANS TO BE MIN. 50 CFM, DUCTED TO EXTERIOR OF HOME. [RCO 303.3, 1505.2, & 1505.4.4]
14. ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT (TR) TYPE. [2023 NEC 406.12]

SYMBOL	DESCRIPTION	QUANTITY
☼	CHANDELIER (EXISTING)	
☼	CEILING FAN	
☼	WALL-MOUNT VANITY LIGHT FIXTURE	
☼	DECORATIVE CEILING-MOUNT LIGHT FIXTURE	
☼	4" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
☼	6" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
—	UNDER-CABINET LED TAPE LIGHT	
☼	EXTERIOR SCONCE LIGHT FIXTURE	
☼	BARE BULB LIGHT FIXTURE	
☼	EXHAUST FAN	
⚡	SINGLE POLE SWITCH	
⚡	3-WAY SWITCH	
⚡	4-WAY SWITCH	
⚡	DUPLEX RECEPTACLE	
⚡	GFCI RECEPTACLE	
⚡	POP-UP COUNTERTOP-MOUNT RECEPTACLE	
⚡	DUPLEX WEATHERPROOF RECEPTACLE W/ EXTRA DUTY COVER	
⚡	CLOTHES DRYER RECEPTACLE	240V
⚡	CLOTHES WASHER RECEPTACLE	
⚡	GAS RANGE RECEPTACLE	120V
⚡	DISHWASHER RECEPTACLE	
⚡	GARBAGE DISPOSAL RECEPTACLE (SWITCHED)	
⚡	HOOD VENT RECEPTACLE	
⚡	MICROWAVE RECEPTACLE	
⚡	REFRIGERATOR RECEPTACLE	
⚡	ELECTRIC METER W/ SERVICE DISCONNECT	
⚡	ELECTRICAL BREAKER PANEL	
⚡	AG DISCONNECT	240V
⚡	CO-SMOKE DETECTOR	HARDWIRED & INTERCONNECTED

REVISION TABLE	DATE	REVISION
1	12-12-25	CONCEPT DRAWINGS
2	1-21-26	PRELIMINARY PLANS
3	2-19-26	PROGRESS PLANS
4	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
5	3-13-26	FOR STRUCTURAL & DESIGN REVIEW
6	3-23-26	DESIGN BOARD RECORD UPDATE

**BASEMENT ELECTRICAL PLAN**

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
**KIRK HARTUNG**

DATE:  
3/23/26

SCALE:  
1/2" = 1'-0"

SHEET:  
**E-1**

# FIRST FLOOR ELECTRICAL PLAN

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

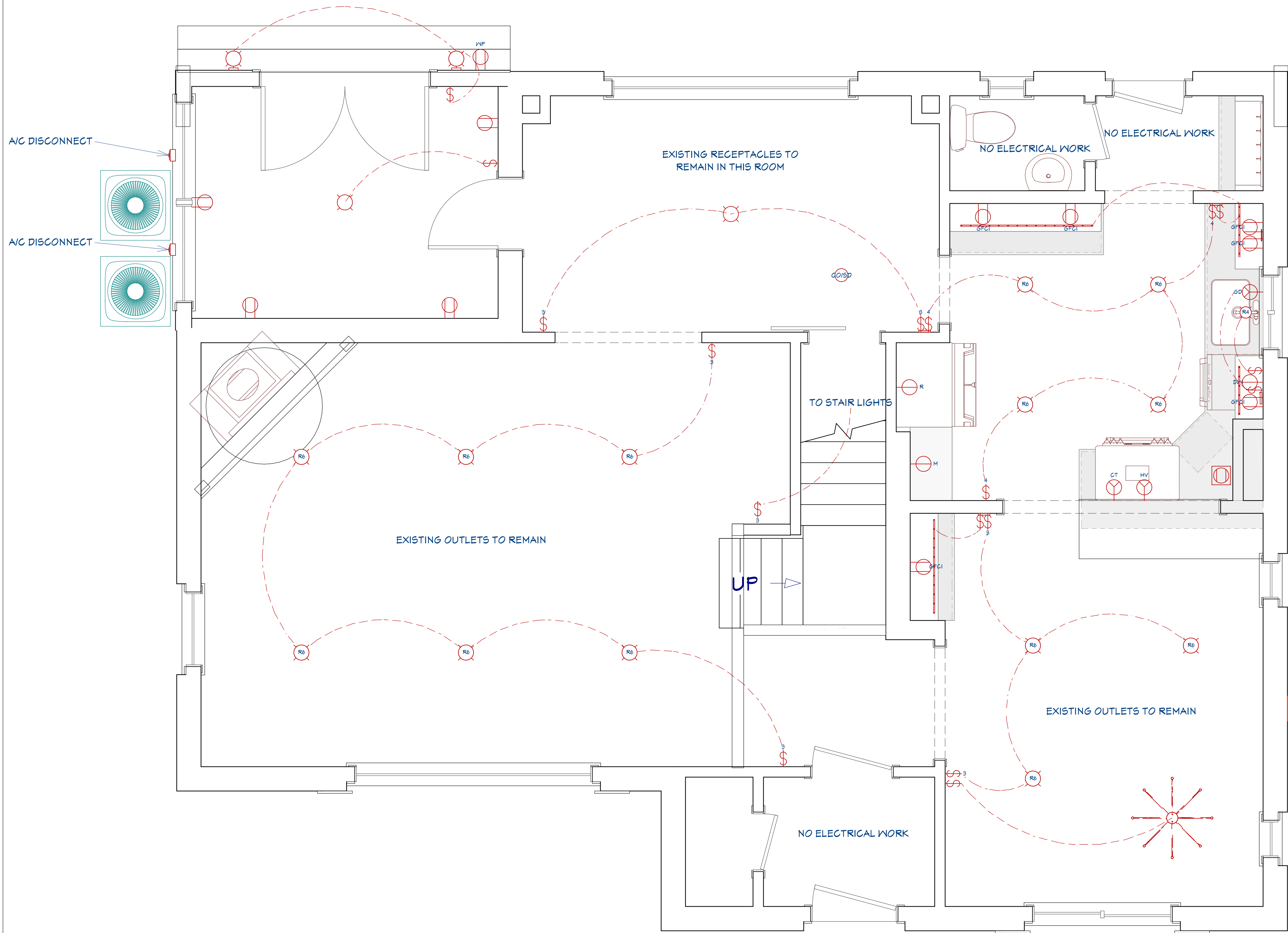
DRAWINGS PROVIDED BY:  
KIRK HARTUNG

DATE:  
3/23/26

SCALE:  
1/2" = 1'-0"

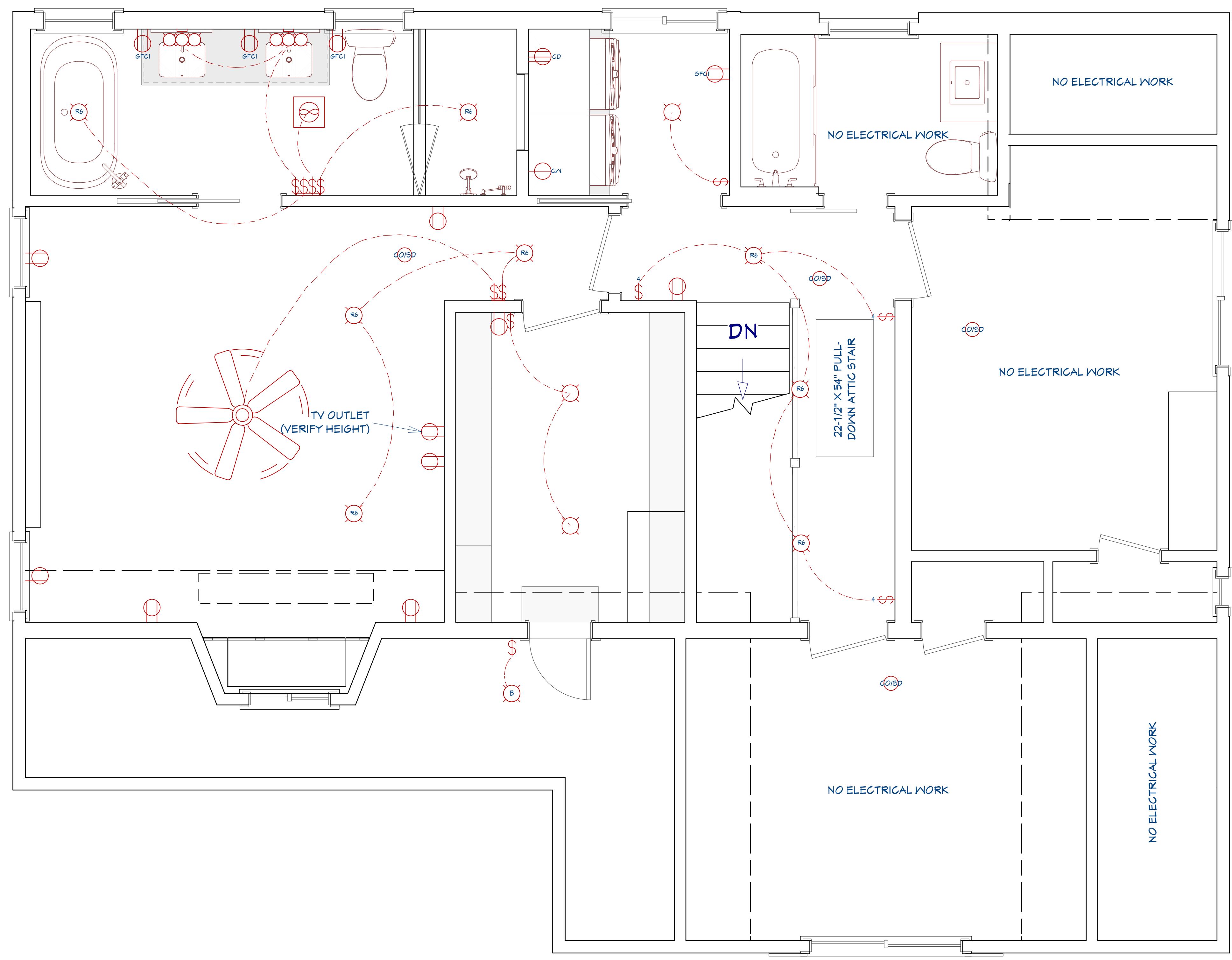
SHEET:  
E-2

SYMBOL	DESCRIPTION	QUANTITY
	HANDELIER (EXISTING)	
	CEILING FAN	
	VALL-MOUNT VANITY LIGHT FIXTURE	
	DECORATIVE CEILING-MOUNT LIGHT FIXTURE	
	4" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
	4" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
	UNDER CABINET LED TAPE LIGHT	
	EXTERIOR SCONCE LIGHT FIXTURE	
	BARE BULB LIGHT FIXTURE	
	EXHAUST FAN	
	SINGLE POLE SWITCH	
	3-WAY SWITCH	
	4-WAY SWITCH	
	DUPLEX RECEPTACLE	
	GFCI RECEPTACLE	
	POP-UP COUNTERTOP-MOUNT RECEPTACLE	
	DUPLEX WEATHERPROOF RECEPTACLE W/ EXTRA DUTY COVER	
	CLOTHES DRYER RECEPTACLE	240V
	CLOTHES WASHER RECEPTACLE	
	GAS RANGE RECEPTACLE	120V
	DISHWASHER RECEPTACLE	
	GARBAGE DISPOSAL RECEPTACLE (SWITCHED)	
	HOOD VENT RECEPTACLE	
	MICROWAVE RECEPTACLE	
	REFRIGERATOR RECEPTACLE	
	ELECTRIC METER W/ SERVICE DISCONNECT	
	ELECTRICAL BREAKER PANEL	
	AFCI DISCONNECT	240V
	CO/SMOKE DETECTOR	HARDWIRED & INTERCONNECTED



**ELECTRICAL NOTES:**

1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.
2. CONFIRM LOCATION OF ALL LIGHT FIXTURES W/ OWNER AT TIME OF ROUGH-IN.
3. ALL EXISTING ELECTRICAL IN THE HOME TO REMAIN AS IS EXCEPT AS SHOWN IN THE ELECTRICAL PLANS
4. PROVIDE AFCI PROTECTION FOR NEW, EXTENDED, OR MODIFIED CIRCUITS IN THE FOLLOWING AREAS, AS NEEDED: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS. CIRCUITS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [NEC 210.12(B)]
5. IN AREAS AFFECTED BY THE PROPOSED WORK, PROVIDE IONIZATION AND PHOTOELECTRIC SMOKE ALARMS ON EACH LEVEL WITHIN THE DWELLING UNIT, INCLUDING BASEMENTS AND HABITABLE ATTICS. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) AND EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. A SMOKE ALARM IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. THE PRIMARY POWER SOURCE SHALL BE FROM THE BUILDING WIRING WHERE THERE IS ACCESS FOR HARDWIRING. SMOKE ALARMS REQUIRED BY THIS SECTION SHALL BE INTERCONNECTED EITHER PHYSICALLY OR BY LISTED WIRELESS TECHNOLOGY SUCH THAT ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. [RCO 314.1.2] IF SMOKE ALARMS ARE LISTED/LABELED AS COMPLYING WITH 8TH EDITION OR LATER OF UNDERWRITERS' LABORATORY (UL) STANDARD 217, THEN THEY ARE CONSIDERED EQUIVALENT TO DUAL TECHNOLOGY DEVICES AND COMPLIANT WITH RCO 314.1.2 (OHIO BOARD OF BUILDING STANDARDS RCO INTERPRETATION 1-2025 ISSUED MAY 2025).
6. PROVIDE A DEDICATED 20 AMP BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). WHERE THE 20 AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH 210.23(A)(1) AND (A)(2). [NEC 210.11(C)(3)]
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
8. VERIFY ALL APPLIANCE & FIXTURE CIRCUITY AND AMPERAGE REQUIREMENTS AGAINST MANUFACTURER SPECIFICATIONS.
9. ALL NEW KITCHEN AND BATHROOM RECEPTACLE OUTLETS SHALL: A) RECEIVED GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION (2023 NEC 210.8(A)(5) & (11)); AND B) BE TAMPER-RESISTANT (2023 NEC 406.12)
10. RECEPTACLE OUTLETS, IF INSTALLED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, SHALL BE INSTALLED IN ACCORDANCE WITH NEC 210.52(C)(3). IF A RECEPTACLE OUTLET IS NOT PROVIDED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, PROVISIONS SHALL BE PROVIDED AT THE ISLAND OR PENINSULA FOR FUTURE ADDITION OF A RECEPTACLE OUTLET TO SERVE THE ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE (NEC 210.52(C)(2)).
11. RECESSED LIGHTING ABOVE SHOWERS TO BE RATED FOR WET LOCATION.
12. ALL RECESSED LIGHT FIXTURES TO BE TYPE IC (INSULATION CONTACT). [2023 NEC 410.116(A)(2)]
13. BATHROOM EXHAUST FANS TO BE MIN. 50 CFM, DUCTED TO EXTERIOR OF HOME. [RCO 303.3, 1505.2, & 1505.4.4]
14. ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT (TR) TYPE. [2023 NEC 406.12]



NO.	SYMBOL	DESCRIPTION	COMMENTS
1	✳	HANDHELD (EXISTING)	
2	⊗	CEILING FAN	
3	⊞	WALL-MOUNT VANITY LIGHT FIXTURE	
4	⊞	DECORATIVE CEILING-MOUNT LIGHT FIXTURE	
5	⊞	4" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
6	⊞	6" RECESSED LIGHT FIXTURE	WET-RATED, RATED FOR INSULATION CONTACT
7	—	UNDER-CABINET LED TAPE LIGHT	
8	⊞	EXTERIOR SCONCE LIGHT FIXTURE	
9	⊞	BARE BULB LIGHT FIXTURE	
10	⊞	EXHAUST FAN	
11	⊞	SINGLE POLE SWITCH	
12	⊞	3-WAY SWITCH	
13	⊞	4-WAY SWITCH	
14	⊞	DUPLEX RECEPTACLE	
15	⊞	GFCI RECEPTACLE	
16	⊞	POP-UP COUNTERTOP-MOUNT RECEPTACLE	
17	⊞	DUPLEX WEATHERPROOF RECEPTACLE W/ EXTRA DUTY COVER	
18	⊞	CLOTHES DRYER RECEPTACLE	240V
19	⊞	CLOTHES WASHER RECEPTACLE	
20	⊞	GAS RANGE RECEPTACLE	120V
21	⊞	DISHWASHER RECEPTACLE	
22	⊞	GARBAGE DISPOSAL RECEPTACLE (SWITCHED)	
23	⊞	HOOD VENT RECEPTACLE	
24	⊞	MICROWAVE RECEPTACLE	
25	⊞	REFRIGERATOR RECEPTACLE	
26	⊞	ELECTRIC METER W/ SERVICE DISCONNECT	
27	⊞	ELECTRICAL BREAKER PANEL	
28	⊞	AC DISCONNECT	240V
29	⊞	CO-SMOKE DETECTOR	HARDWIRED & INTERCONNECTED

**ELECTRICAL NOTES:**

- ALL WORK TO COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.
- CONFIRM LOCATION OF ALL LIGHT FIXTURES W/ OWNER AT TIME OF ROUGH-IN.
- ALL EXISTING ELECTRICAL IN THE HOME TO REMAIN AS IS EXCEPT AS SHOWN IN THE ELECTRICAL PLANS
- PROVIDE AFCI PROTECTION FOR NEW, EXTENDED, OR MODIFIED CIRCUITS IN THE FOLLOWING AREAS, AS NEEDED: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS. CIRCUITS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [NEC 210.12(B)]
- IN AREAS AFFECTED BY THE PROPOSED WORK, PROVIDE IONIZATION AND PHOTOELECTRIC SMOKE ALARMS ON EACH LEVEL WITHIN THE DWELLING UNIT, INCLUDING BASEMENTS AND HABITABLE ATTICS. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) AND EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. A SMOKE ALARM IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING AREA (SUCH AS A HALLWAY) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. THE PRIMARY POWER SOURCE SHALL BE FROM THE BUILDING WIRING WHERE THERE IS ACCESS FOR HARDWIRING. SMOKE ALARMS REQUIRED BY THIS SECTION SHALL BE INTERCONNECTED EITHER PHYSICALLY OR BY LISTED WIRELESS TECHNOLOGY SUCH THAT ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. [RCO 314.1.2] IF SMOKE ALARMS ARE LISTED/LABELED AS COMPLYING WITH 8TH EDITION OR LATER OF UNDERWRITERS' LABORATORY (UL) STANDARD 217, THEN THEY ARE CONSIDERED EQUIVALENT TO DUAL TECHNOLOGY DEVICES AND COMPLIANT WITH RCO 314.1.2 (OHIO BOARD OF BUILDING STANDARDS RCO INTERPRETATION 1-2025 ISSUED MAY 2025).
- PROVIDE A DEDICATED 20 AMP BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). WHERE THE 20 AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH 210.23(A)(1) AND (A)(2). [NEC 210.11(C)(3)]
- ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
- VERIFY ALL APPLIANCE & FIXTURE CIRCUITY AND AMPERAGE REQUIREMENTS AGAINST MANUFACTURER SPECIFICATIONS.
- ALL NEW KITCHEN AND BATHROOM RECEPTACLE OUTLETS SHALL: A) RECEIVED GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION (2023 NEC 210.8(A)(5) & (11)); AND B) BE TAMPER-RESISTANT (2023 NEC 406.12)
- RECEPTACLE OUTLETS, IF INSTALLED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, SHALL BE INSTALLED IN ACCORDANCE WITH NEC 210.52(C)(3). IF A RECEPTACLE OUTLET IS NOT PROVIDED TO SERVE AN ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE, PROVISIONS SHALL BE PROVIDED AT THE ISLAND OR PENINSULA FOR FUTURE ADDITION OF A RECEPTACLE OUTLET TO SERVE THE ISLAND OR PENINSULAR COUNTERTOP OR WORK SURFACE (NEC 210.52(C)(2)).
- RECESSED LIGHTING ABOVE SHOWERS TO BE RATED FOR WET LOCATION.
- ALL RECESSED LIGHT FIXTURES TO BE TYPE IC (INSULATION CONTACT). [2023 NEC 410.116(A)(2)]
- BATHROOM EXHAUST FANS TO BE MIN. 50 CFM, DUCTED TO EXTERIOR OF HOME. [RCO 303.3, 1505.2, & 1505.4.4]
- ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT (TR) TYPE. [2023 NEC 406.12]

**SECOND FLOOR ELECTRICAL PLAN**

PETERSON RESIDENCE  
21580 LAKE ROAD  
ROCKY RIVER, OHIO 44116

DRAWINGS PROVIDED BY:  
**KIRK HARTUNG**

DATE:  
3/23/26

SCALE:  
1/2" = 1'-0"

SHEET:  
**E-3**