

ISSUE / REVISION	DATE
A SCHEMATIC DESIGN	02/19/2026
B PRELIMINARY DEVELOPMENT	03/03/2026
C PLAN SUBMISSION	04/06/2026
D PRELIMINARY REVIEW	04/16/2026
E DESIGN AND CONSTRUCTION BOARD REVIEW	04/20/2026
F BOARD OF ZONING AND BUILDING APPEALS	05/28/2026

PROJECT NO. 26002.000 (A-25079)

COVER SHEET

COVER

INDEX	COVER SHEET
C-000	SURROUNDING OVERALL PLAN
C-200	GEOMETRIC PLAN
AS-1.0	SITE PLAN - ARCHITECTURAL (FENCE)

OWNER

AKRON CHILDREN'S HOSPITAL
 ONE PERKINS SQUARE - AKRON, OHIO 44308
 (330) 543-3889

ARCHITECT

HASENSTAB ARCHITECTS, INC.
 190 N. UNION STREET, SUITE 400 - AKRON, OHIO 44304
 (330) 434-4464

STRUCTURAL ENGINEER

THORSON BAKER & ASSOCIATES
 3030 W. STREETSBORO RD - RICHFIELD, OHIO 44286
 (330) 659-6688

CIVIL ENGINEER

THORSON BAKER & ASSOCIATES
 3030 W. STREETSBORO RD - RICHFIELD, OHIO 44286
 (330) 659-6688

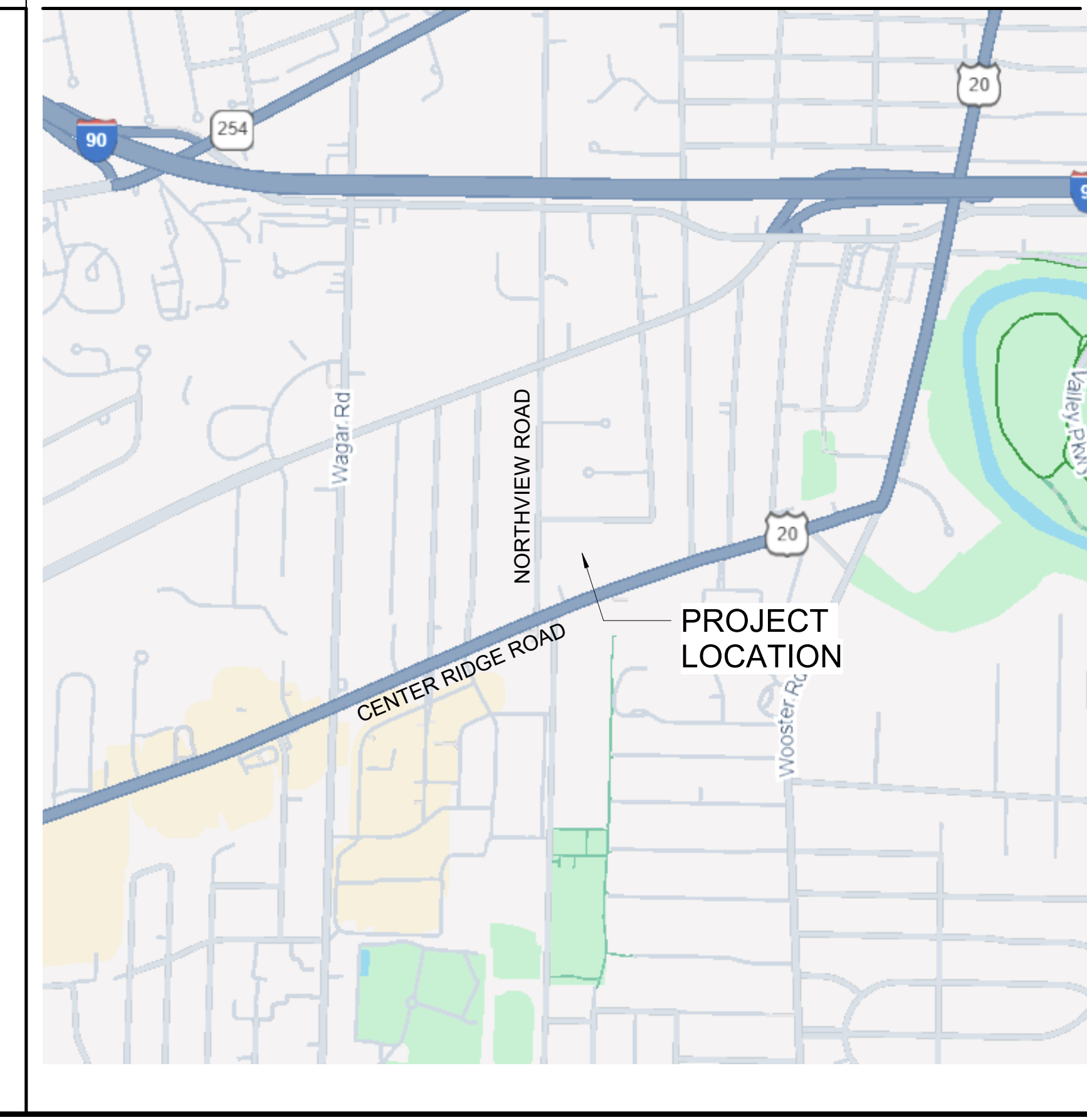
PLUMBING, MECHANICAL, ELECTRICAL & TECHNOLOGY ENGINEERS

SCHEESER BUCKLEY MAYFIELD
 1208 MASSILLON RD, SUITE G200 - AKRON, OHIO 44306
 (330) 526-2700

CONSTRUCTION MANAGER

ADENA CORPORATION
 1310 WEST FOURTH STREET
 MANSFIELD, OHIO 44906

LOCATION MAP



BOARD OF ZONING AND BUILDING APPEALS

ISSUE DATE: 05/28/2026



ROCKY RIVER HEALTH CENTER

20220 CENTER RIDGE ROAD
 ROCKY RIVER, OHIO 44116

PROJECT NUMBER:
 26002.000 (A-25079)



CODE INFORMATION - MEDICAL OFFICE BUILDING

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ARCHITECTURAL ABBREVIATIONS

ABBREVIATIONS BELOW ARE APPLICABLE TO ALL ARCHITECTURAL SERIES DRAWINGS

AFB ABOVE FINISH FLOOR	FAMB FLUID APPLIED MEMBRANE AIR AND WATER RESISTIVE BARRIER	NA NOT APPLICABLE
ALUM ALUMINUM	FBC FURNISHED BY CONTRACTOR	NIC NOT IN CONTRACT
ANU AIR HANDLING UNIT	FBO FURNISHED BY OWNER	NO NUMBER
APC ACOUSTICAL PANEL CEILING	FD FLOOR DRAIN	NTS NOT TO SCALE
BD BLDG BUILDING	FE FIRE EXTINGUISHER	ORD OVERFLOW ROOF DRAIN
CA COUNTER SUPPORT ANGLE	FF FINISHED FLOOR	PI AUTOMATIC DOOR PUSH PLATE
CC CENTER TO CENTER	FEC FIRE EXTINGUISHER CABINET	PSI POUNDS PER SQUARE INCH
CJ CONTROL JOINT	FIN FINISH	R RISER
CL CENTER LINE	FP FILLER PANEL	RD ROOF DRAIN
CLR CLEAR	FRT FIRE RETARDANT TREATED WOOD	REQ REQUIRED
CMU CONCRETE MASONRY UNIT	GA GAUGE	RO ROUGH OPENING
CO CLEAN OUT	GALV GALVANIZED	SC SHOWER CURTAIN
COL COLUMN	GLAZ GLAZING FILM	SCU SCURPER
CONC CONCRETE	GYP GYPSUM	SF SQUARE FEET
CONT CONTINUOUS	HB HOSE BIB	SMT SHEET
CR CARD READER	HC HOSE CABINET	SMT SIMILAR
CUH CABINET UNIT HEATER	HT HEIGHT	SPEC SPECIFICATIONS
CY CURTAIN WALL	HM HOLLOW METAL	SS SOLO SURFACE
DEPT DEPARTMENT	HORZ HORIZONTAL	STL STAINLESS STEEL
DI DEIONIZED WATER	IBC INSTALLED BY CONTRACTOR	STRUC STRUCTURAL
DIA DIAMETER	IBO INSTALLED BY OWNER	T THREAD
DM DIMENSION	IG INSULATED GLAZING UNIT	THK THICK
DN DOWN	IJ ISOLATION JOINT	TOS TOP OF MASONRY
DWG DRAWING	IN INCHES	TOS TOP OF STEEL
DS DOWN SPOUT	LBS POUNDS	TYP TYPICAL
EA EACH	MAX MAXIMUM	UNO UNLESS NOTED OTHERWISE
EJ EXPANSION JOINT	MECH MECHANICAL	VERT VERTICAL
ELEC ELECTRICAL	MEP MECHANICAL, ELECTRICAL, & PLUMBING	VF VERIFY IN THE FIELD
ELEV ELEVATION	MFR MANUFACTURER	W WIDE
EQ EQUAL	MH MANHOLE	W/ WITH
EW EACH WAY	MIN MINIMUM	ZVB ZONE VALVE BOX
EWC ELECTRIC WATER COOLER	MISC MISCELLANEOUS	
EWS EYE WASH STATION	MO MASONRY OPENING	
EXIST EXISTING		

REFER TO PROJECT MANUAL AND/OR SCHEDULES WHEN MULTIPLE TYPES OF AN ITEM OCCUR (FEC-1, FEC-2, ETC.). ALL ITEMS INDICATED MAY NOT BE INCLUDED IN THE PROJECT SCOPE. REFER TO DRAWINGS FOR SPECIFIC INSTANCES.

MATERIALS LEGEND

BRICK (PLAN / SECTION)	GYPSUM BOARD
CONCRETE	PLYWOOD
CONCRETE BLOCK (PLAN / SECTION)	RIGID INSULATION
EARTH	MINERAL WOOL
FINISH WOOD	ROUGH WOOD
GRAVEL	STEEL

GENERAL NOTES

- THE VARIOUS DRAWINGS COMPRISING THIS SET OF DRAWINGS ARE INTERDEPENDENT AND MUST BE USED JOINTLY TO EXECUTE THE WORK.
- WHERE DISCREPANCIES OCCUR BETWEEN FLOOR PLANS, DETAILS AND LARGER SCALE PLANS, CONTRACTOR SHALL CONSULT THE ARCHITECT FOR CLARIFICATION. WHERE DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS, CONTRACTOR SHALL CONSULT THE ARCHITECT FOR INTERPRETATIONS.
- MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL WORK IS INDICATED ON THE HVAC, PLUMBING, ELECTRICAL, TECHNOLOGY AND STRUCTURAL DRAWINGS. CONTRACTORS MUST REFER TO ALL ARCHITECTURAL SERIES DRAWINGS, AS WELL AS MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS, WHEN INSTALLING MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL WORK.
- DO NOT SCALE THE DRAWINGS. IF QUESTIONS ARISE, CONTACT THE ARCHITECT FOR CLARIFICATION.
- EXISTING BUILDING INFORMATION IS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS AND IS NOT INTENDED TO REPRESENT EXISTING "AS-BUILT" CONDITIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS.

WARNING! ASBESTOS HAZARD

THIS PROJECT AREA MAY CONTAIN ASBESTOS MATERIALS USED FOR FIREPROOFING AND INSULATION. THE CONSTRUCTION AREA HAS BEEN CLEANED OF THESE MATERIALS PRIOR TO COMMENCEMENT OF WORK. ASBESTOS MAY BE ENCOUNTERED IN THE COURSE OF NEW WORK OR DEMOLITION ACTIVITIES.

IF ANY MATERIAL IS UNCOVERED WHICH IS SUSPECTED TO CONTAIN ASBESTOS, CEASE WORK & NOTIFY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL POST OSHA APPROVED SIGNS WHICH WILL REMAIN IN PLACE, ALERTING THE TRADESMEN TO THE HAZARDOUS CONDITION.

ARCHITECTURAL LEGEND

NOTE: REFER TO INDIVIDUAL DRAWING LEGENDS FOR ADDITIONAL SYMBOLS

CODED NOTE	PLAN / DETAIL NUMBER SCALE: 1/8" = 1'-0"
WALL TAG (SEE A-2 FOR TAG / SYMBOL KEY)	REVISION TAG
DOOR TAG	REVISION CLOUD
CENTERLINE LABEL	DETAIL CALLOUT BUBBLE
ROOM LABEL	INDICATES SECTION DETAIL NUMBER
COLUMN LINE	INDICATES WHICH DRAWING SHEET DETAIL IS SHOWN
EXISTING COLUMN LINE	
LEVEL ELEVATION	
ELEVATION MARKERS	SECTION MARKERS
EXTERIOR	DETAIL SECTION
INTERIOR	WALL SECTION
FRAME / WINDOW	BUILDING SECTION

PROJECT INTENT

THE PROJECT INTENT IS TO COMPLETE RENOVATION WORK TO ALL LEVELS OF THE EXISTING BUILDING. THE INTENT IS TO LEAVE THE EXTERIOR & STRUCTURE PORTIONS OF THE BUILDING, AND TO FIT-OUT THE INTERIOR LEVELS WITH NEW PROGRAMMING. INFRASTRUCTURE IMPROVEMENTS WILL BE MADE TO ALL LEVELS IN ORDER TO UPGRADE THE STRUCTURAL & PORTIONS OF THE ENVELOPE. THERE WILL BE NO CHANGE IN CONSTRUCTION CLASSIFICATION. ALL NEW WORK PERFORMED SHALL COMPLY WITH THE APPLICABLE CODES NOTED ON THIS SHEET.

THE PARKING GARAGE WILL REMAIN THE SAME AREA AND CONSTRUCTION TYPE WITH WORK ONLY PERTAINING TO LIGHTING, FIRE SUPPRESSION, STRUCTURAL REPAIRS, AND UPGRADING THE MESH AT THE MASONRY OPENINGS WITH NO INTENT TO MODIFY THE EXISTING MASONRY OPENINGS.

CODE INFORMATION - PARKING DECK

OBC: CHAPTER 3
 USE GROUP CLASSIFICATION LOW HAZARD STORAGE - SP (PARKING GARAGE)

OBC: CHAPTER 4
 SPECIAL DETAILED REQUIREMENTS

406.2.2 OPENINGS - ALL EXISTING OPENINGS WILL REMAIN - NO CHANGE TO THE STRUCTURE IS BEING PROPOSED

406.5.7 MEANS OF EGRESS - ALL EXISTING MEANS OF EGRESS WILL REMAIN - ADDING STAIR EGRESS FROM TOP LEVEL TO LOWER LEVEL.

OBC: CHAPTER 5
 HEIGHT

ALLOWABLE BUILDING HEIGHT (S04.3)	UNLIMITED
ALLOWABLE NUMBER OF STORIES (S04.4)	UNLIMITED
ACTUAL BUILDING HEIGHT	11'-4" - ACCESS TO TOP LEVEL IS FROM STREET - GRADE DROPS AROUND BUILDING TO ACCESS LOWER LEVEL - REFER TO PLANS
ACTUAL BUILDING STORIES	2 STORIES

ACTUAL AREAS

LOWER LEVEL	29,802 SF	EXISTING PARKING DECK AREAS - NO CHANGE IN AREA OR CONSTRUCTION OF PARKING GARAGE
FIRST FLOOR	27,312 SF	
TOTAL BUILDING	54,114 SF	

OBC: CHAPTER 6
 CONSTRUCTION TYPE IA

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TABLE 601	HOA RATING
PRIMARY STRUCTURAL FRAME	3
COLUMNS SUPPORTING FLOORS	3
COLUMNS SUPPORTING ONLY ROOFS	3
MEMBERS SUPPORTING FLOORS	3
MEMBERS SUPPORTING ONLY ROOFS	3

OBC: CHAPTER 6
 BEARING WALLS

EXTERIOR	INTERIOR
0	3

OBC: CHAPTER 6
 NONBEARING WALLS AND PARTITIONS

EXTERIOR WALLS SEPARATED < 10'	INTERIOR
0	3

OBC: CHAPTER 6
 FLOOR CONSTRUCTION AND SECONDARY MEMBERS

0	1
0	1

OBC: CHAPTER 6
 ROOF CONSTRUCTION AND SECONDARY MEMBERS

0	1
0	1

PROGRESS NOT FOR CONSTRUCTION 4/2/2026

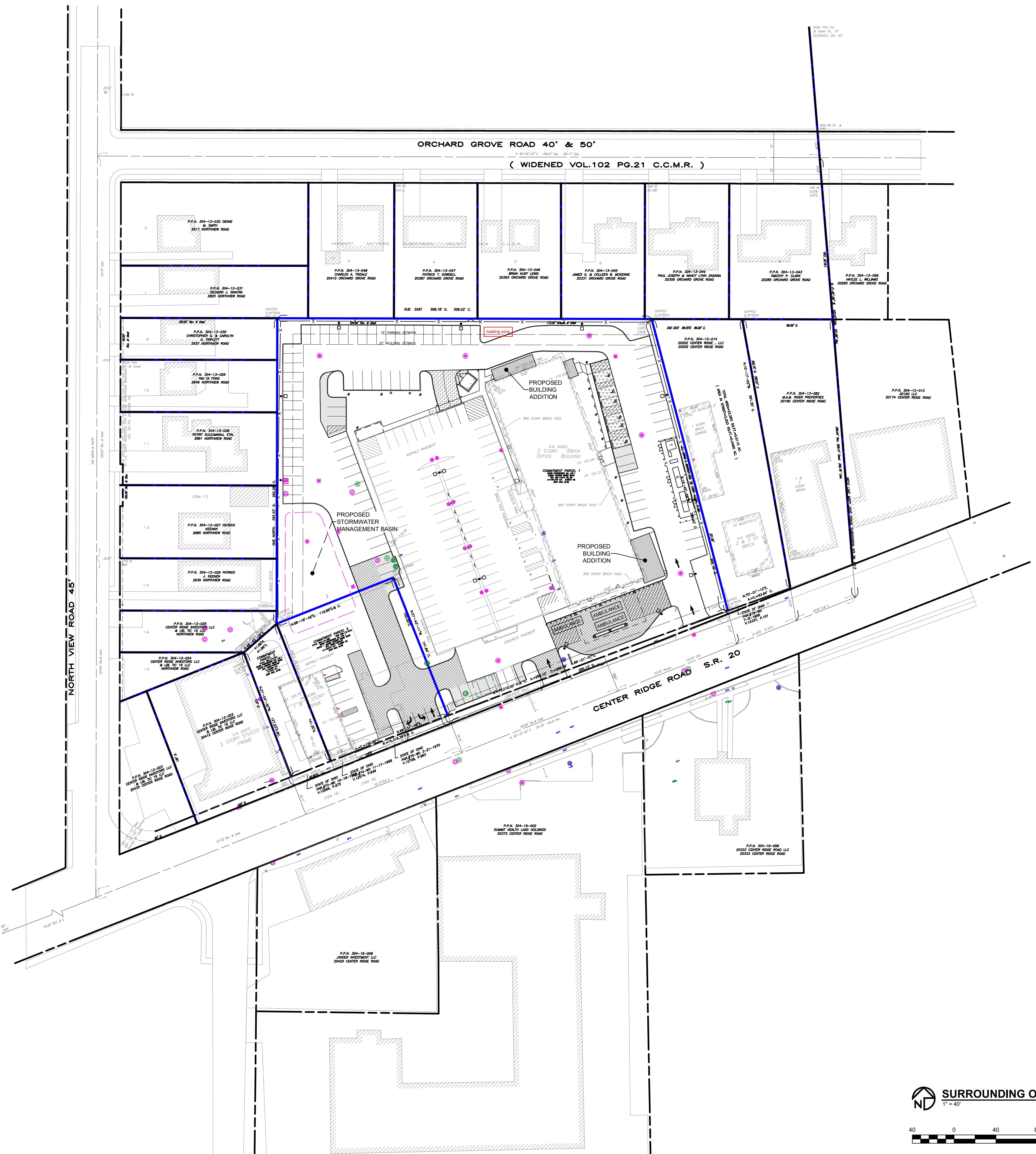
CHMCA
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E DESIGN DEVELOPMENT	04/16/2026
F DESIGN AND CONSTRUCTION BOARD REVIEW	04/20/2026
G BOARD OF ZONING AND BUILDING APPEALS	05/28/2026

PROJECT NO. 26002.000 (A-25079)

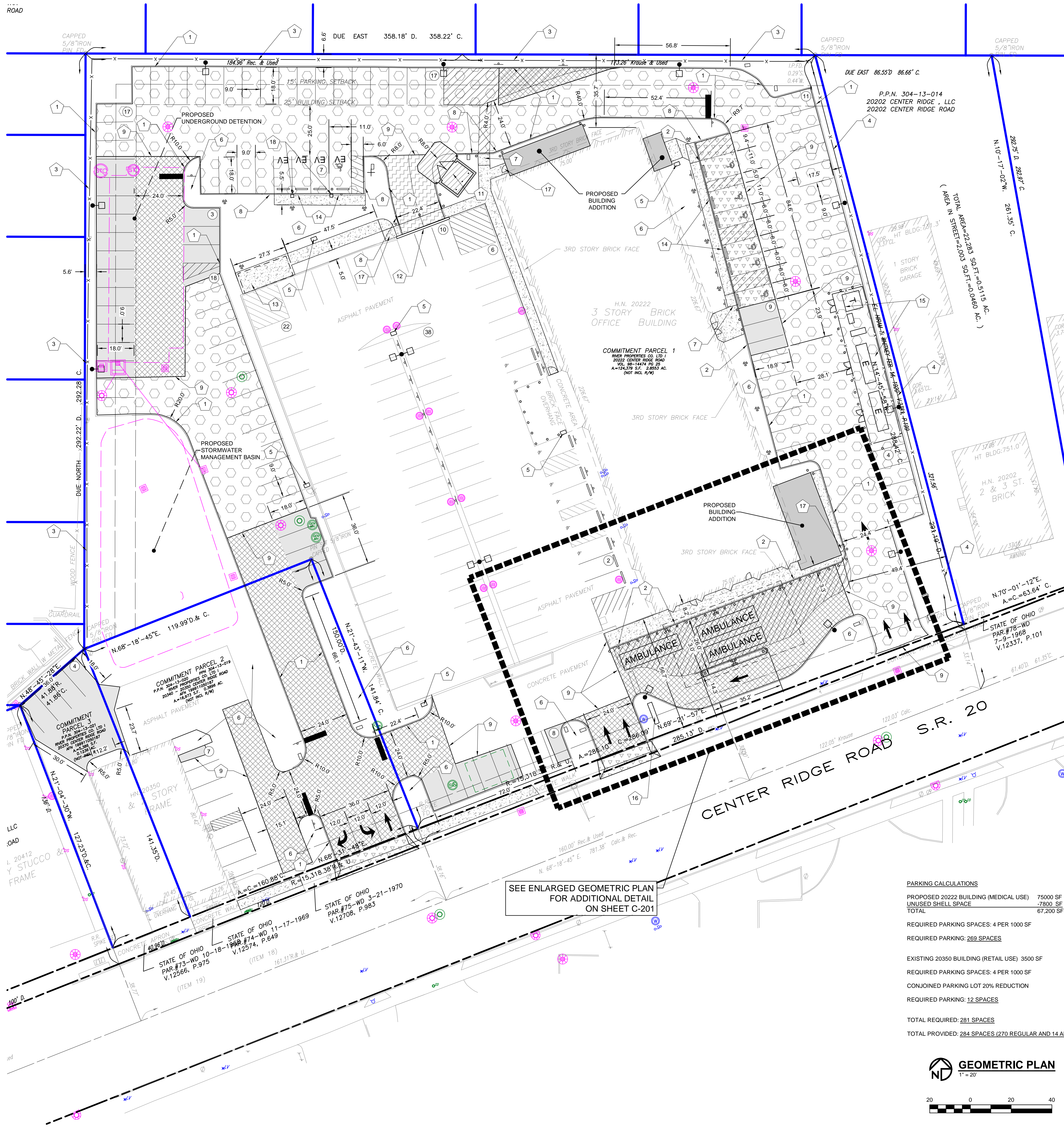
SURROUNDING OVERALL PLAN
C-000



SURROUNDING OVERALL PLAN
1" = 40'



TBA
Thorson-Baker + Associates
CONSULTING ENGINEERS
3300 West Shiloh Road
Richfield, Ohio 44290
(330) 659-6688 Pk.
(330) 659-6675 Fax



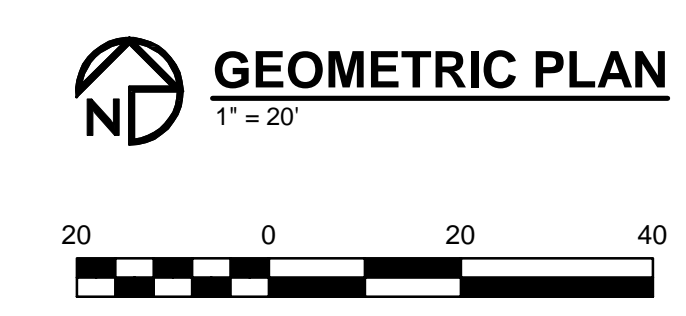
SEE ENLARGED GEOMETRIC PLAN FOR ADDITIONAL DETAIL ON SHEET C-201

PARKING CALCULATIONS

PROPOSED 2022 BUILDING (MEDICAL USE)	75000 SF
UNUSED SHELL SPACE	-7800 SF
TOTAL	67,200 SF

REQUIRED PARKING SPACES: 4 PER 1000 SF
REQUIRED PARKING: **269 SPACES**

EXISTING 2035 BUILDING (RETAIL USE)	3500 SF
REQUIRED PARKING SPACES: 4 PER 1000 SF	
CONJOINED PARKING LOT 20% REDUCTION	
REQUIRED PARKING: 12 SPACES	
TOTAL REQUIRED: 281 SPACES	
TOTAL PROVIDED: 284 SPACES (270 REGULAR AND 14 ADA)	



- LEGEND**
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED SIDEWALK CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED STANDARD DUTY CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED HEAVY DUTY CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED DUMPSTER PAD CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - PROPOSED ASPHALT TO BE 1 IN MILLED AND OVERLAIDED, RE-STRIPED PARKING LOT AS SHOWN ON THIS PLAN. 4" WHITE STRIPING PER ODOT ITEM 642 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - PROPOSED LIGHT FIXTURE. SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLANS FOR DETAILS AND SPECIFICATIONS.
 - FURNISH AND INSTALL STAINLESS STEEL PIPE BOLLARD WITH PLASTIC COVER. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - FURNISH AND INSTALL DECORATIVE LIGHTED BOLLARD. SEE LIGHTING PLANS DETAILS AND SPECIFICATIONS.

- KEY NOTES**
- 1 FURNISH AND INSTALL ODOT TYPE 6 CONCRETE VERTICAL CURB. SEE DETAIL AND SPECIFICATIONS ON SHEET C-600.
 - 2 FURNISH AND INSTALL INTEGRAL CONCRETE CURB & WALK. SEE DETAIL AND SPECIFICATIONS ON SHEET C-600.
 - 3 FURNISH AND INSTALL 8FT TALL SCREENING FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 4 FURNISH AND INSTALL 6FT TALL CHAIN LINK FENCE. SEE DETAILS AND SPECIFICATIONS ON SHEET C-600.
 - 5 FURNISH AND INSTALL EMERGENCY CALL BOX STATION. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 6 LANDSCAPE AREA. SEE LANDSCAPE PLAN FOR PLANTING DETAILS AND SPECIFICATIONS.
 - 7 FURNISH AND INSTALL CURB RAMP. SEE DETAILS AND SPECIFICATIONS ON SHEET C-601.
 - 8 FURNISH AND INSTALL CURB HEIGHT TAPER. SEE DETAIL ON SHEET C-600.
 - 9 MEET AND MATCH EXISTING PAVEMENT
 - 10 PAVEMENT AND CURB REPLACEMENT FOR UTILITY TRENCH. MATCH EXISTING, SEAL EDGES
 - 11 FURNISH AND INSTALL MASONRY DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 12 FURNISH AND INSTALL CONCRETE BARRIER WALL. SEE STRUCTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 13 FURNISH AND INSTALL EXTERIOR METAL STAIRS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 14 FURNISH AND INSTALL CURB FLUSH WITH PAVEMENT.
 - 15 PROPOSED ELECTRICAL UTILITY YARD AND ENCLOSURE.
 - 16 FURNISH AND INSTALL MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 17 FURNISH AND INSTALL FROST SLAB. SEE STRUCTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - 18 FURNISH AND INSTALL EV CHARGING STATION. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.

SITE DATA

ADDRESS	20220 CENTER RIDGE ROAD, ROCKY RIVER, OHIO 44116	
ZONING DISTRICT	LOCAL BUSINESS (LB)	
SITE AREA	3.369 AC	
CURRENT USE	BUSINESS OFFICES	
PROPOSED USE	HOSPITAL FACILITIES	
	REQUIRED	PROVIDED
FRONT YARD BUILDING SETBACK	10 FT	56.7 FT
SIDE YARD BUILDING SETBACK	25 FT	49.4 FT
REAR YARD BUILDING SETBACK	25 FT	35.7 FT
FRONT YARD PARKING SETBACK	N/A	5.0 FT
SIDE YARD PARKING SETBACK	15 FT	5.6 FT
REAR YARD PARKING SETBACK	15 FT	6.6 FT
LAND USE	PROJECT SITE AREA	
BUILDING	0.473 AC	
PARKING/DRIVE AISLE	2.078 AC	
GREEN SPACE	0.818 AC	
TOTAL	3.369 AC	

PARKING

	REGULAR SPACES	ADA SPACES
EXISTING PARKING TOTALS	319	11
PROPOSED PARKING COUNTS		
LOWER LEVEL PARKING DECK	87	0
UPPER LEVEL PARKING DECK	7	7
SOUTH-WEST BUILDINGS	11	0
NORTH WEST LOWER AREA	62	1
EAST AREA	24	6
SOUTH AREA	8	0
TOTALS	270	14

PROGRESS NOT FOR CONSTRUCTION 5/13/2026

CHMCA
ROCKY RIVER HEALTH CENTER
20220 CENTER RIDGE ROAD
ROCKY RIVER, OHIO 44116



ISSUE / REVISION DATE

A	SCHEMATIC DESIGN	02/19/2026
B	PRELIMINARY DEVELOPMENT	03/03/2026
C	PLAN SUBMISSION	04/06/2026
D	DESIGN DEVELOPMENT	04/16/2026
E	DESIGN AND CONSTRUCTION BOARD REVIEW	04/28/2026
F	BOARD OF ZONING AND BUILDING APPEALS	05/28/2026

PROJECT NO. 26002.000 (A-25079)

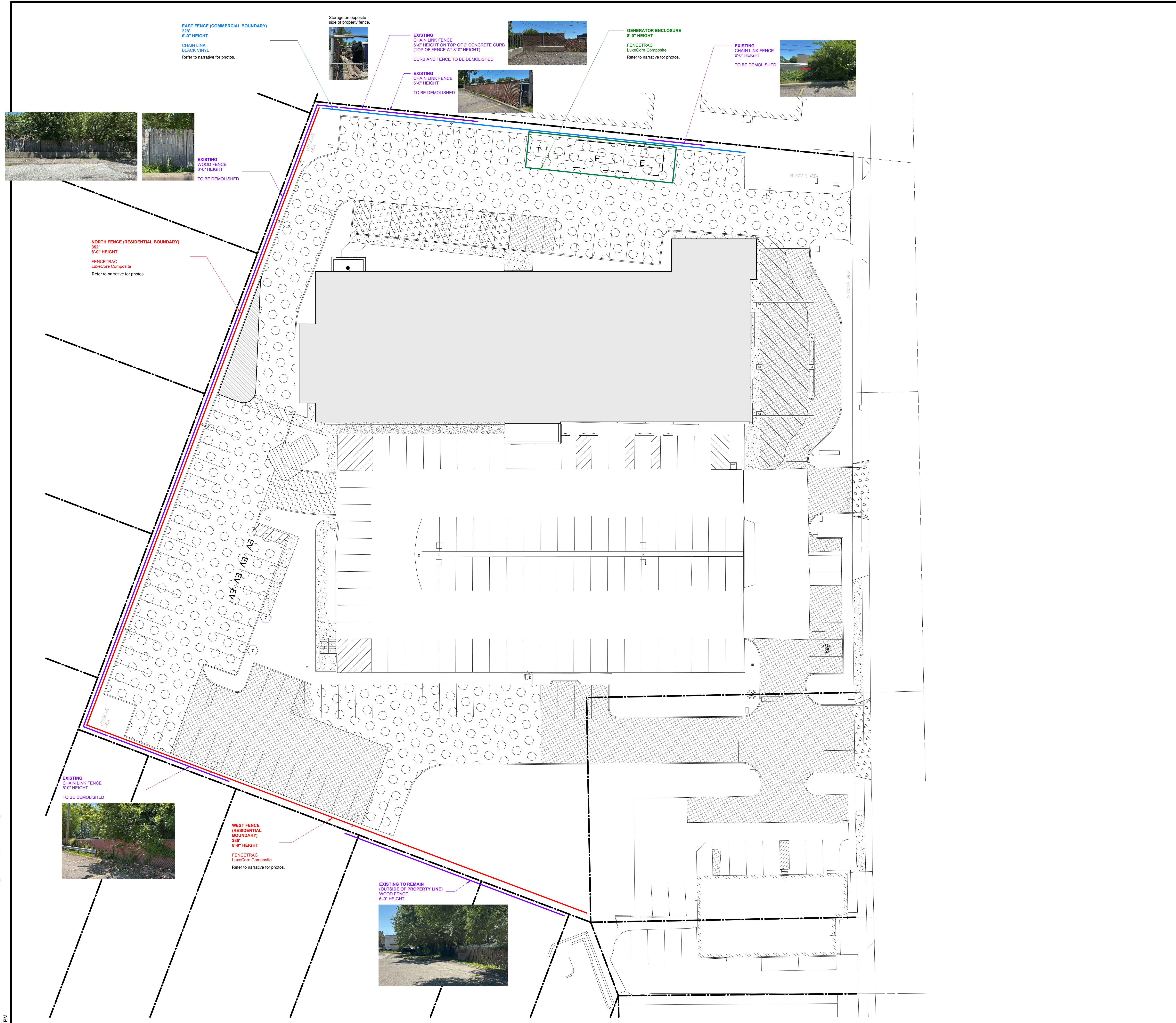
GEOMETRIC PLAN

C-200

Ohio Utilities Protection Service
Call 811
before you dig

TBA
Thorson-Baker + Associates
CONSULTING ENGINEERS
3300 West Stillmeadow Road
Richfield, Ohio 44296
3300 659-6688 FAX
3300 659-6675 FAX

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1 SITE PLAN - PERIMETER FENCE
 SCALE: 1" = 20'-0"

CODED NOTES

- NOTE: ALL CODED NOTES MAY NOT APPEAR ON EVERY SHEET
- | | |
|---|---|
| 1 | ALIGN |
| 2 | SEEDED LAWN AREA |
| 3 | LIGHT POLES: TYP. REFER TO ELECTRICAL DRAWINGS |
| 4 | DECORATIVE RIVER ROCK: 3/4" to 1 1/2" PER STONE |
| 5 | MONUMENT SIGN: REFER TO DETAIL ON SD-XX |
| 6 | STRIPED FOR AMBLANCE ACCESS ONLY |
| 7 | ELECTRIC VEHICLE CHARGING STATION |

GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR ALL PARKING, PAVING, GRADING, SITE UTILITY, EROSION CONTROL AND TYPICAL SITE DETAIL INFORMATION. COORDINATE ALL PARKING DETAILS W/ CIVIL DRAWINGS. COORDINATE EXISTING CONDITIONS & NEW CONSTRUCTION WITH CIVIL DRAWINGS & ARCHITECTURAL SITE PLAN.
- ALL CONCRETE AND REINFORCEMENT WORK INDICATED IN THE SD-SERIES DRAWINGS SHALL COMPLY WITH GENERAL REQUIREMENTS AND SPECIFICATIONS FOUND IN THE S-SERIES DRAWINGS AND IN THE PROJECT MANUAL.

LEGEND

CHMCA
ROCKY RIVER HEALTH CENTER
 2020 CENTER RIDGE ROAD
 ROCKY RIVER, OHIO 44116



PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 05/28/2026

ISSUE / REVISION	DATE
A	SCHEMATIC DESIGN 02/19/2026
C	PLANNING COMMISSION PRELIMINARY REVIEW 04/06/2026
D	DESIGN DEVELOPMENT 04/16/2026
E	DESIGN AND CONSTRUCTION BOARD REVIEW 04/28/2026
F	FINAL PLANNING COMMISSION REVIEW 05/14/2026
I	BOARD OF ZONING AND BUILDING APPEALS 05/28/2026

PROJECT NO. 26002.000 (A-25079)

SITE PLAN - ARCHITECTURAL (FENCE)

AS-1.7

