

ERIE ROAD RESIDENCE

20661 ERIE ROAD, ROCKY RIVER, OH 44116

Project Team

OWNER:
JOE KOIZIM &
FAYE RASMUSSEN
2751 W LAWRENCE AVE, APT 3W
CHICAGO, IL 60625

CIVIL:
RIVERSTONE COMPANY
3800 LAKESIDE AVENUE
CLEVELAND, OH 44114
216 491 2000

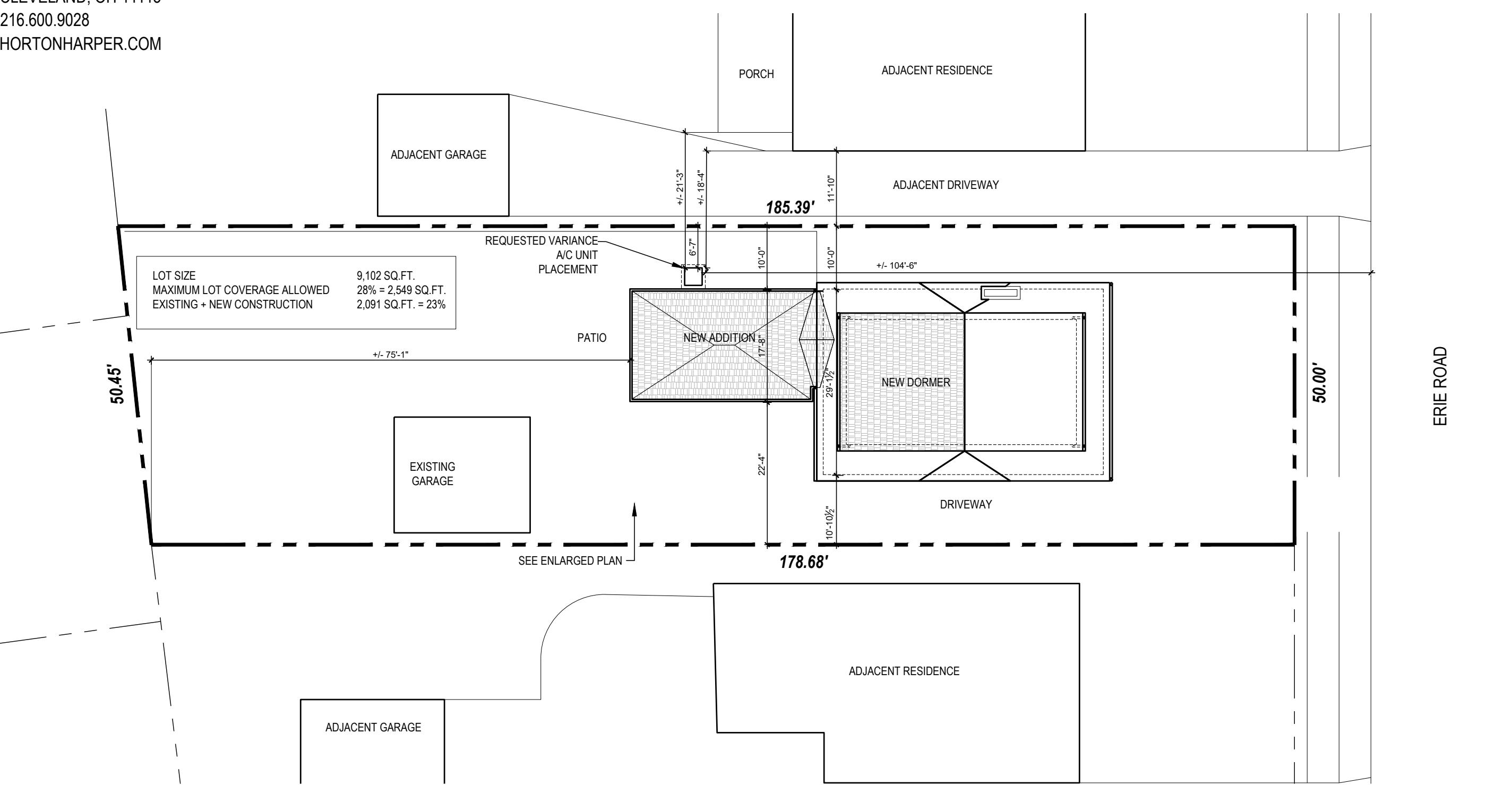
FLOOR TOTAL SF
1 1540 SF
2 950 SF
 2490 SF

STRUCTURAL & MEP:

ARCHITECT:
HORTON HARPER
ARCHITECTS
812 HURON ROAD E, STE. 305
CLEVELAND, OH 44115
216.600.9028
HORTONHARPER.COM

Project Description

NEW ADDITION ALONG WITH MAJOR INTERIOR RENOVATIONS TO ALL ASPECTS OF THE HOME, INCLUDING MECHANICAL ELECTRICAL AND PLUMBING.



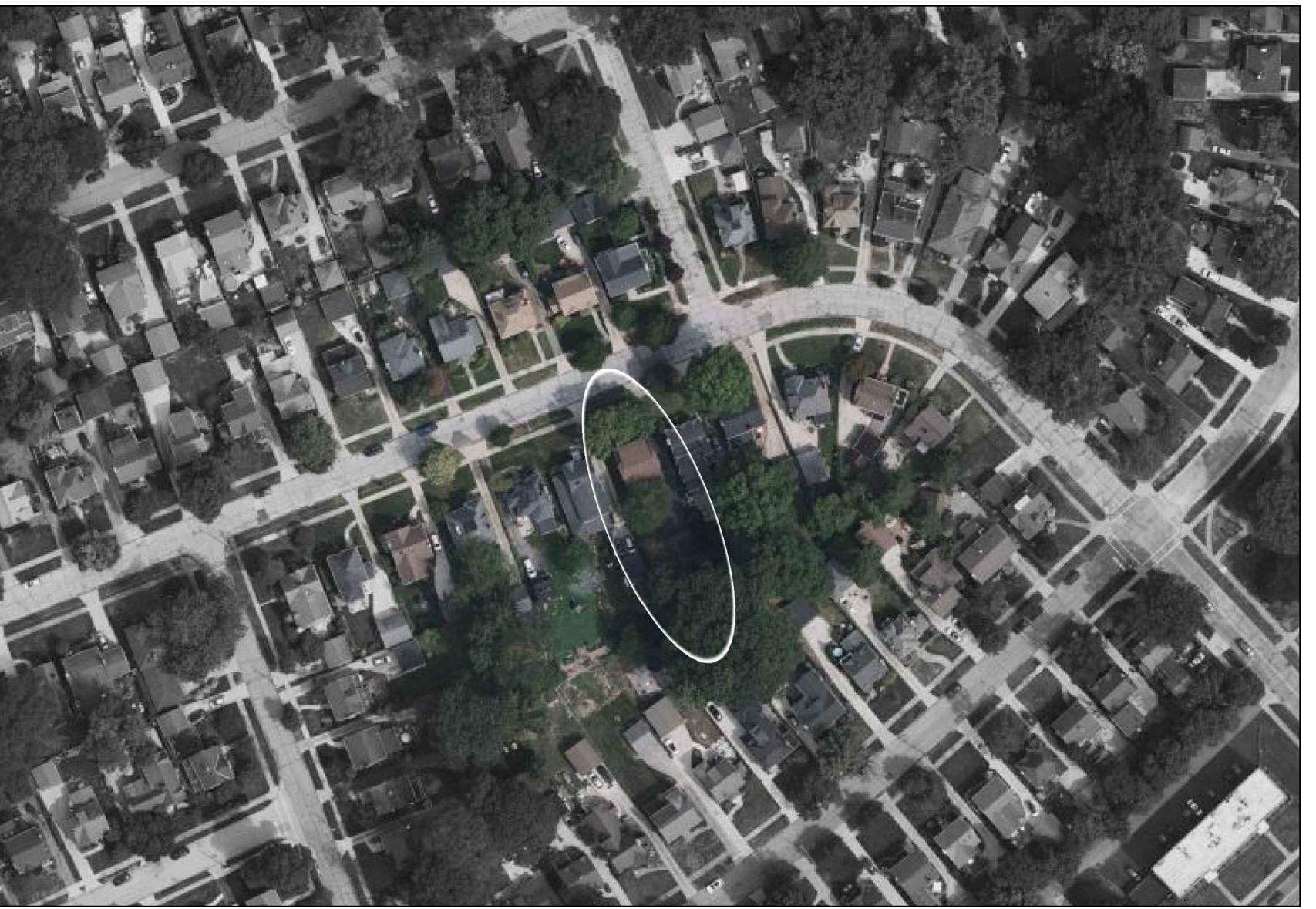
1 - Site Plan

Scale: 1/16" = 1'-0" North ▲

ARCHITECTURAL ABBREVIATIONS		LEGEND INDICATIONS	
ACT	-ACOUSTIC TILE	EWC	-ELECTRIC WATER COOLER
A.F.F.	-ABOVE FINISHED FLOOR	EXIST.	-EXISTING
ALT	-ALTERNATE	EXP.	-EXPANSION
ALUM	-ALUMINUM	FD	-FLOOR DRAIN
APPROX.	-APPROXIMATELY	FE	-FIRE EXTINGUISHER
ARCH.	-ARCHITECT/ARCHITECTURAL	FIN	-FINISH
AWB	-AIR & WATER BARRIER	FLR	-FLOOR
BLDG	-BUILDING	FDN	-FOUNDATION
BLK	-BLOCK	FPHB	-FROST PROOF HOSE BIBB
B.M.	-BENCH MARK	FR	-FIRE RATED
BM	-BEAM	FTG	-FOOTING
BN	-BULNOSE	FURR	-FURRING
BD	-BASIS OF DESIGN	FVC	-FIRE VALVE CABINET
BP	-BENT PLATE	GA	-GAUGE
B/	-BOTTOM OF	GALV.	-GALVANIZED
BTM	-BOTTOM	GC	-GENERAL CONTRACTOR
CAB	-CABINET	GEN	-GENERAL
C.B.	-CATCH BASIN	GFRG	-GLASS FIBER REINFORCED GYPSUM
CEM	-CEMENT	GL	-GLASS/IGLASSING
CJ	-CONTROL JOINT	G.S.	-GRAVEL STOP
CL	-CENTER LINE	GYP. BD.	-GYPSUM BOARD
CLR	-CLEAR	HC	-HOSE BIBB
CLG	-CEILING	H.D.	-HARDWARE
CM	-CONSTRUCTION MANAGER	HDWD	-HARDWOOD
CMT	-CERAMIC MOSAIC TILE	HM	-HOLLOW METAL
CMU	-CONCRETE MASONRY UNIT	HORIZ.	-HORIZONTAL
COL	-COLUMN	H.P.	-HIGH POINT
CONC	-CONCRETE	HR	-HOUR
CONSTR.	-CONSTRUCTION	HTG	-HEATING
CONT.	-CONTINUOUS	HYD.	-HYDRANT
CONTR.	-CONTRACTOR	ID.	-INSIDE DIAMETER
CRS	-COURSE	INFO.	-INFORMATION
CT	-CERAMIC TILE	INSUL.	-INSULATION/INSULATING
CNTR	-COUNTER	INT.	-INTERIOR
CPT	-CARPET	INV.	-INVERT
CTR	-CENTER	JAN.	-JANITOR
DET	-DETAIL	JST.	-JOIST
DF	-DRINKING FOUNTAIN	JST. BRG.	-JOIST BEARING
DIA	-DIAMETER	JOINT	-JOINT
DIM	-DIMENSION	LAV.	-LAVATORY
DO	-DOOR OPENING	LG.	-LONG
DS	-DOWNSPOUT	LLH.	-LONG LEG HORIZONTAL
DW	-DISH WASHER	LLV.	-LONG LEG VERTICAL
DWG	-DRAWING	L.P.	-LOW POINT
EIFS	-EXTERIOR INSULATION & FINISH SYS.	LT.	-LIGHT
EL	-ELEVATION		
ELEV	-ELEVATOR		
ELEC	-ELECTRICAL		
EJ	-EXPANSION JOINT		

Vicinity Map

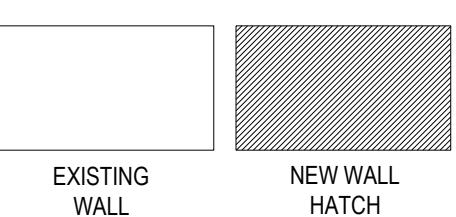
Scale: NTS North ▲



NO.	DRAWING NAME	ISSUE NAME/DATE							
		SD SET	JUNE 1, 2022	ZONING	SEPT 16, 2022	DESIGN REVIEW	DEC 19, 2022	PERMIT SET	###
G1.00	COVER SHEET								
G1.01	KITCHEN & DINING RENDERINGS								
G1.02	LIVING ROOM & ADDITION RENDERINGS								
G1.03	SECOND FLOOR & STAIRWELL RENDERINGS								
A01.00	DEMOLITION PLANS & ELEVATIONS								
A1.00	BASEMENT & FIRST FLOOR PLAN								
A1.01	SECOND FLOOR & ROOF FLOOR PLANS								
A2.00	REFLECTED CEILING PLANS								
A3.00	BUILDING ELEVATIONS								
A4.00	BUILDING SECTIONS								
A5.00	EXT. WALL SECTIONS								
A6.00	EXT. DETAILS								
A7.00	PRIMARY STAIR SECTION & DETAILS								
A9.00	FIRST FLOOR INT. ELEVATIONS								
A9.01	FIRST FLOOR INT. ELEVATIONS								
A9.02	SECOND FLOOR INT. ELEVATIONS								
A10.01	INT. DETAILS								
A10.02	INT. DETAILS								
A11.00	FINISHES & SCHEDULES								
DR-1	BASEMENT & GROUND FLOOR PLAN								
DR-2	ROOF & SECOND FLOOR PLAN								
DR-3	BUILDING & WALL SECTIONS								
DR-4	BUILDING ELEVATIONS								
DR-5	RENDERS & EXTERIOR PROJECT MATERIALS								

G1.00

Floor Plan Legend



EXISTING
WALL

Stamp

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Revision

Original Date	05/21/2022
Submission	
Progress	

Planning

Zoning Schematic Design

Design Development
85% Client Review
Building Permit

Building Permits Bidding Construction

Current Date 12/10/2023

Current Date 12/19/2022
Drawn By ZB

Checked By **MVH**

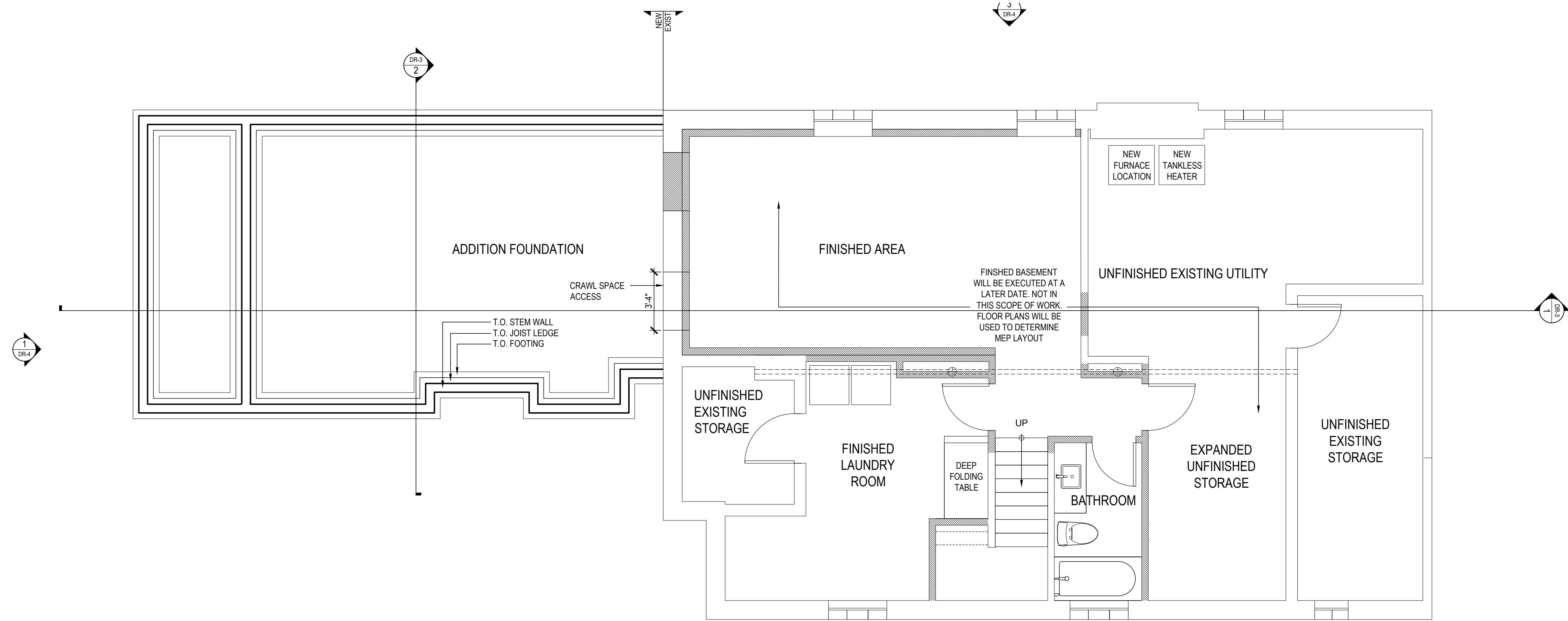
Job Number 22009

Sheet

BASEMENT AND GROUND FLOOR PLAN

Discipline & Number

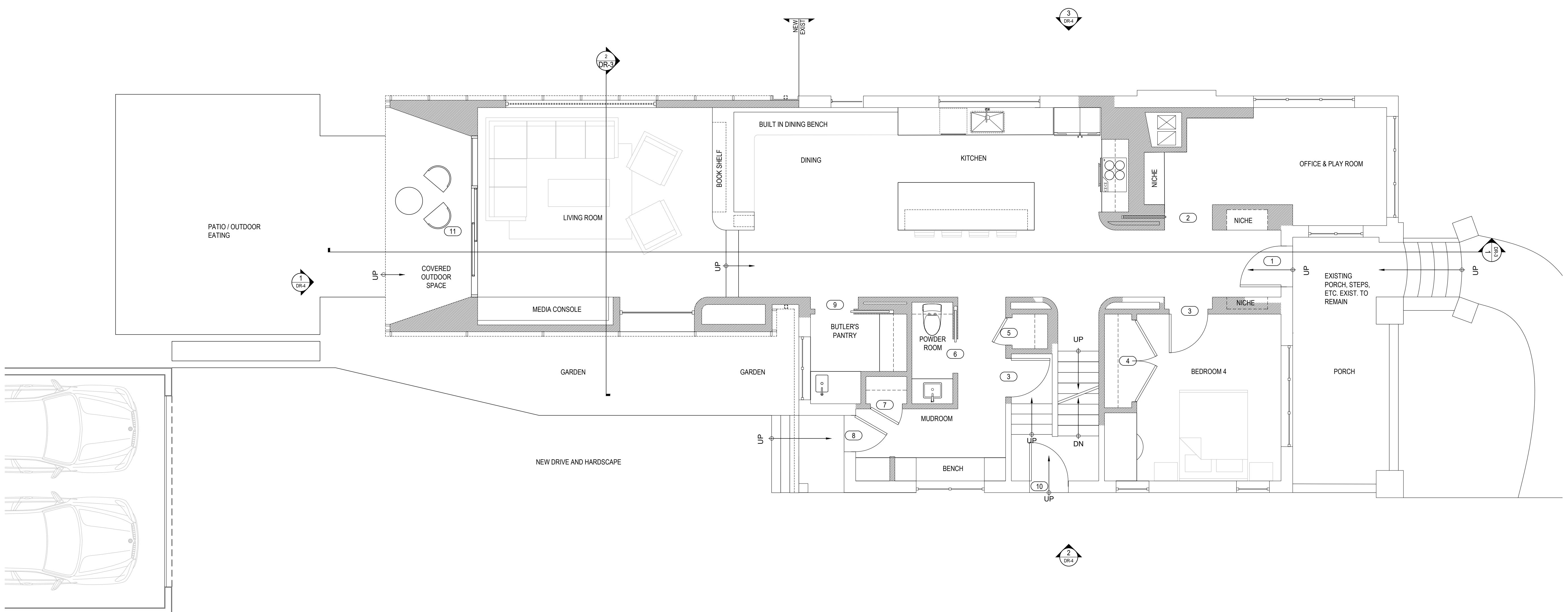
DR-1



1 - Basement Plan

Scale: 1/4" = 1'-0" North ↗

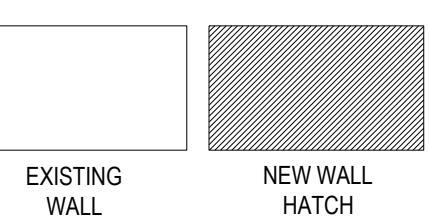
Project



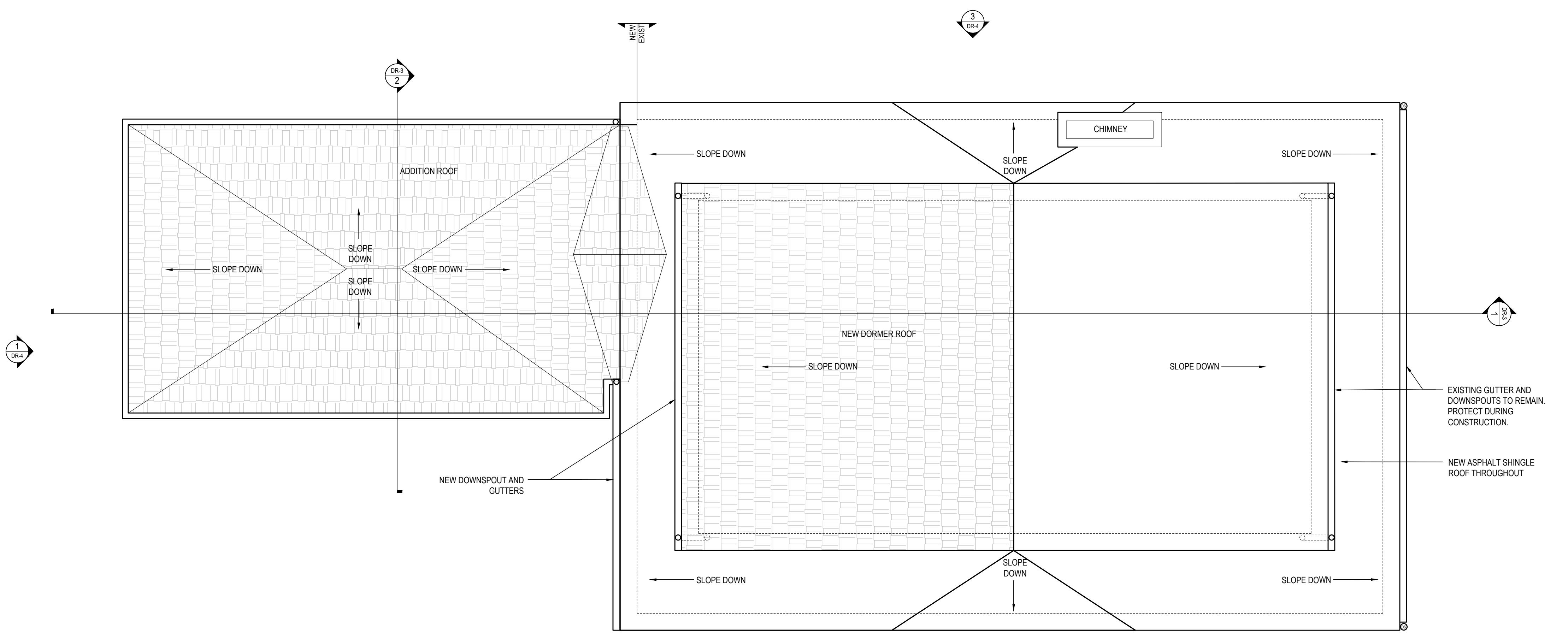
2 - Ground Floor Plan

Scale: 1/4" = 1'-0" North ↗

Floor Plan Legend

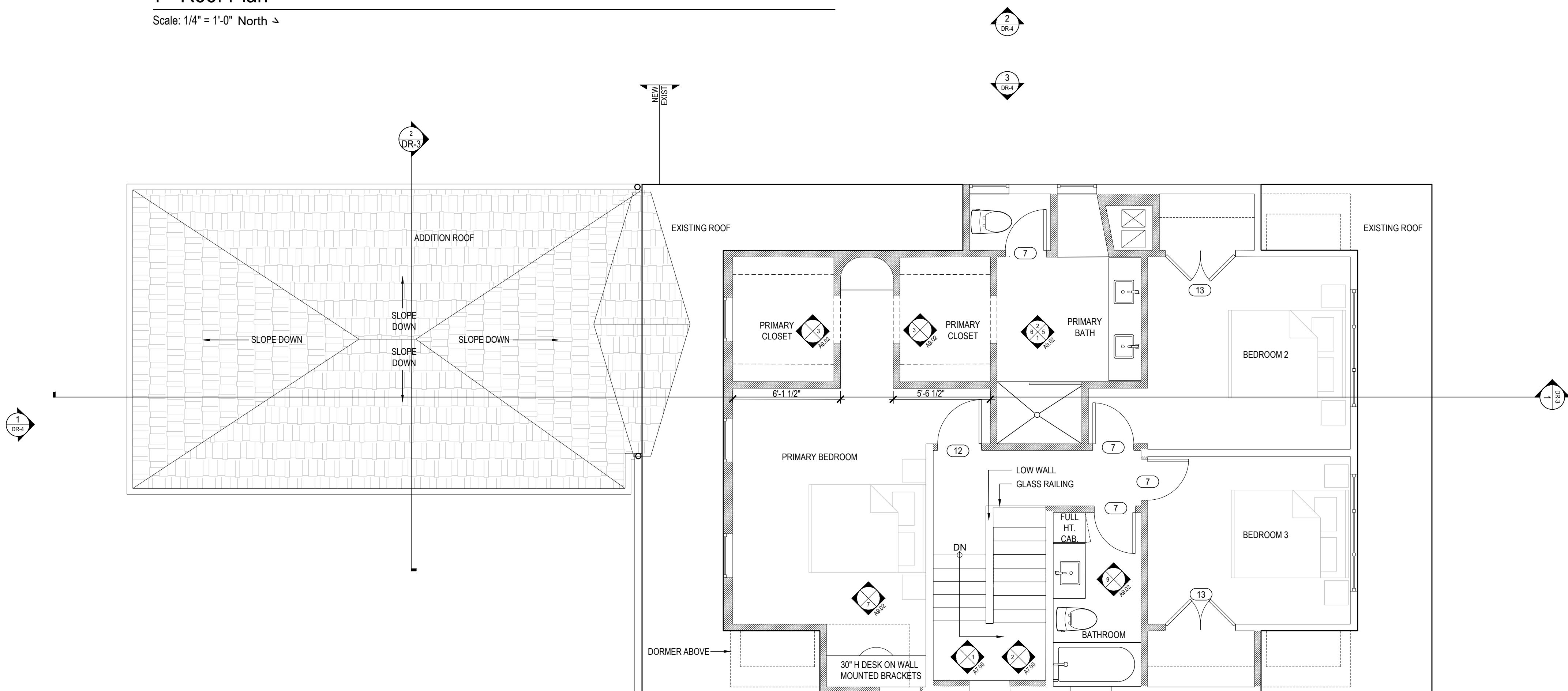


Stamp



1 - Roof Plan

Scale: 1/4" = 1'-0" North ↗



2 - Second Floor Plan

Scale: 1/4" = 1'-0" North ↗

Discipline & Number

DR-2

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- Progress
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- Planning
- Zoning
- Schematic Design
- Design Development
- 85% Client Review
- Building Permit
- Bidding
- Construction

Current Date 12/19/2022

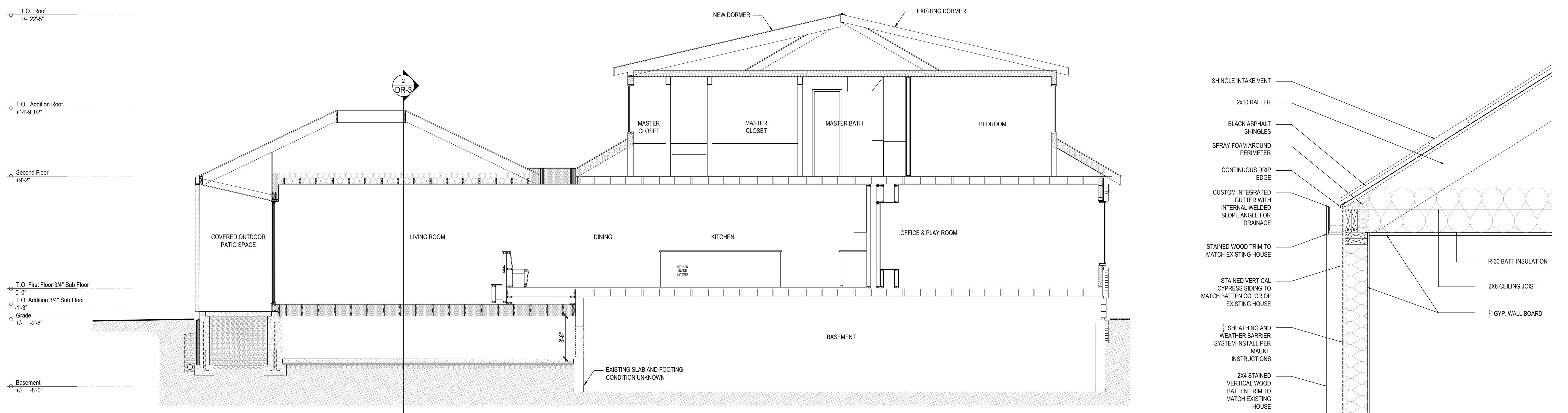
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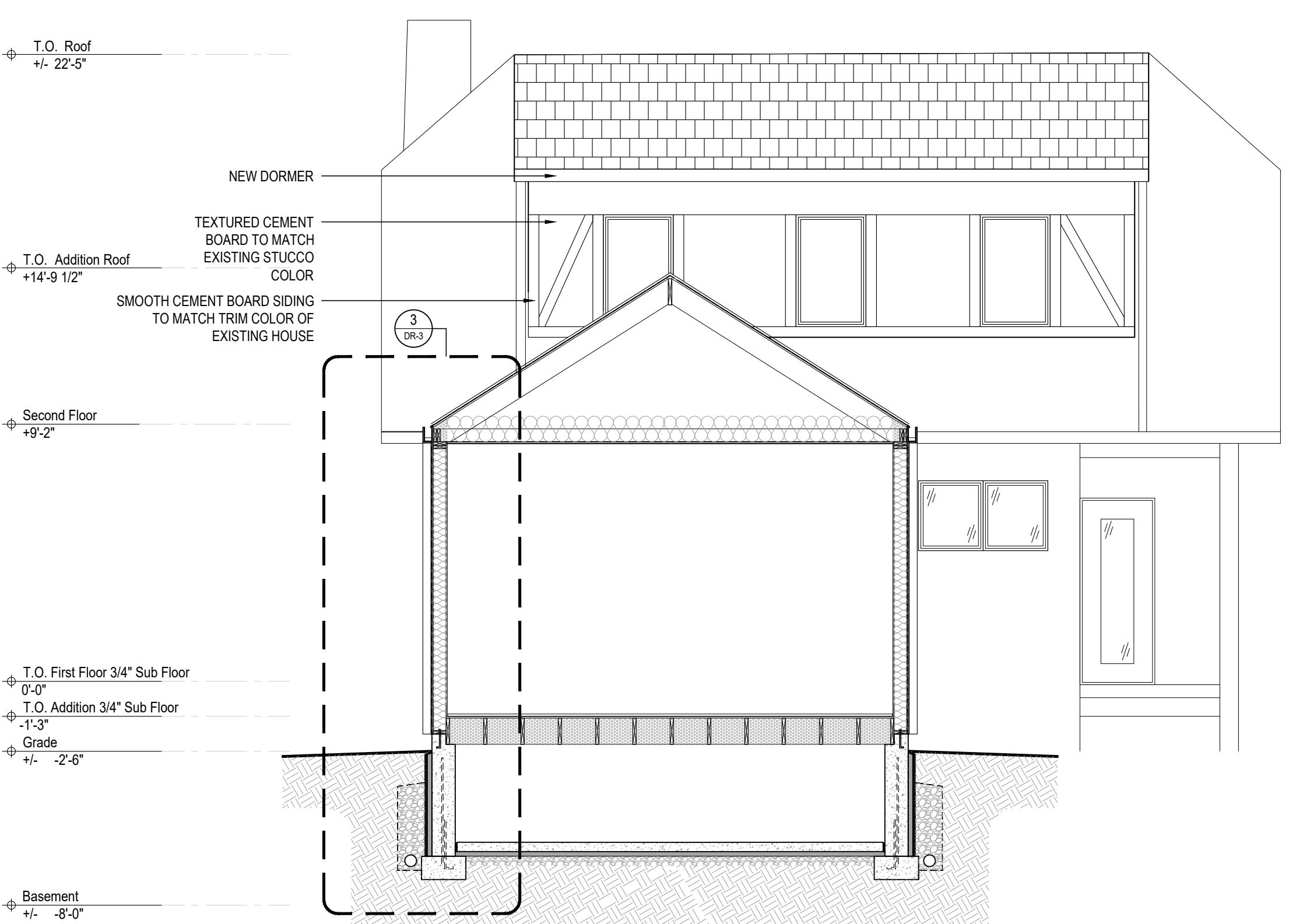
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ROOF AND SECOND
FLOOR PLAN



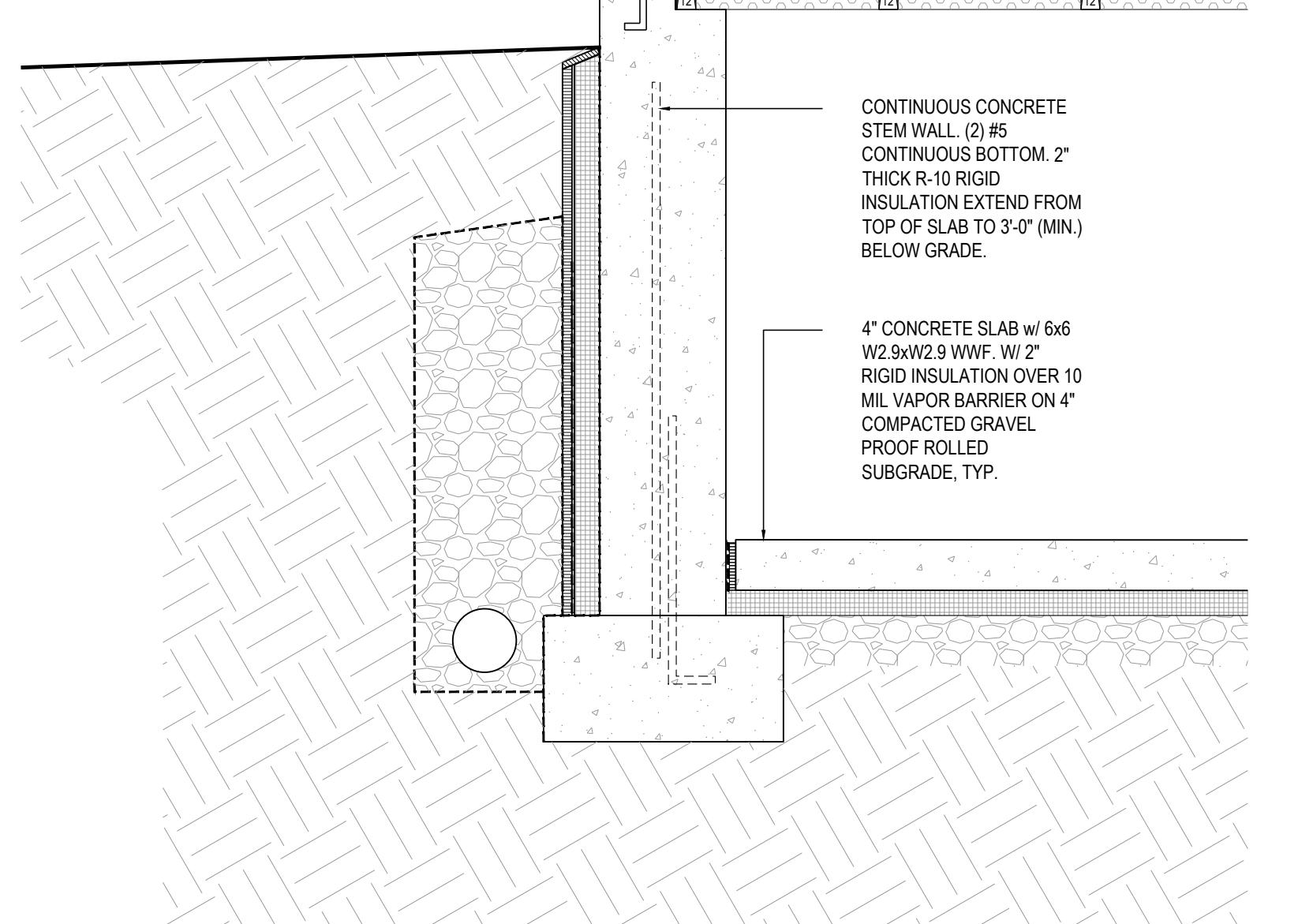
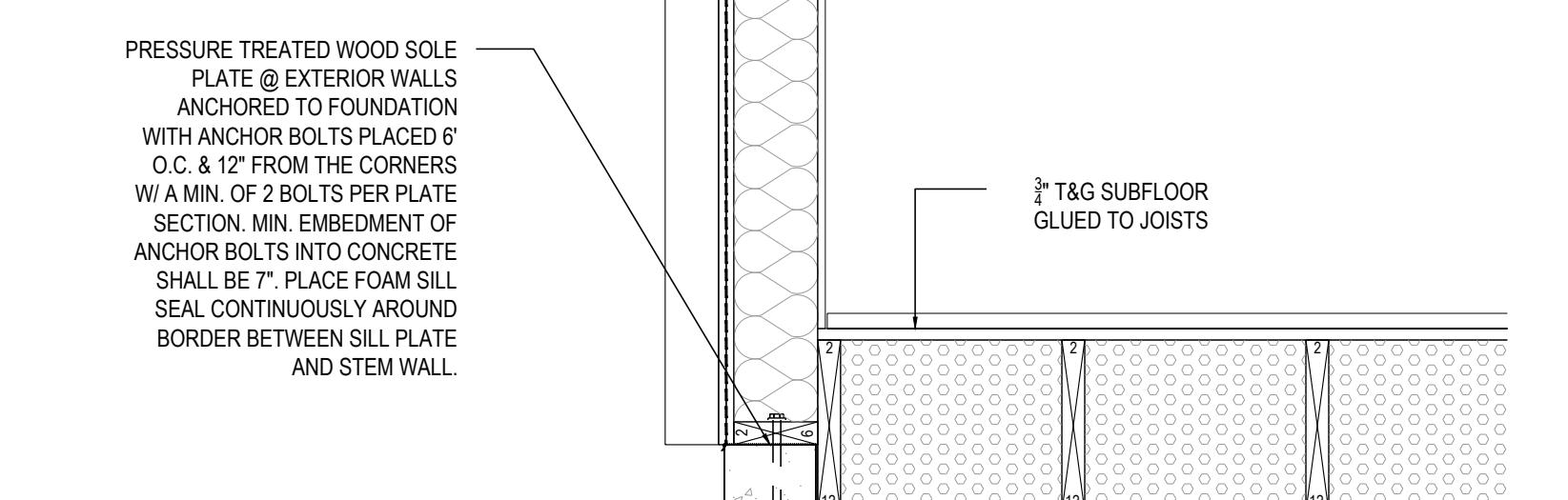
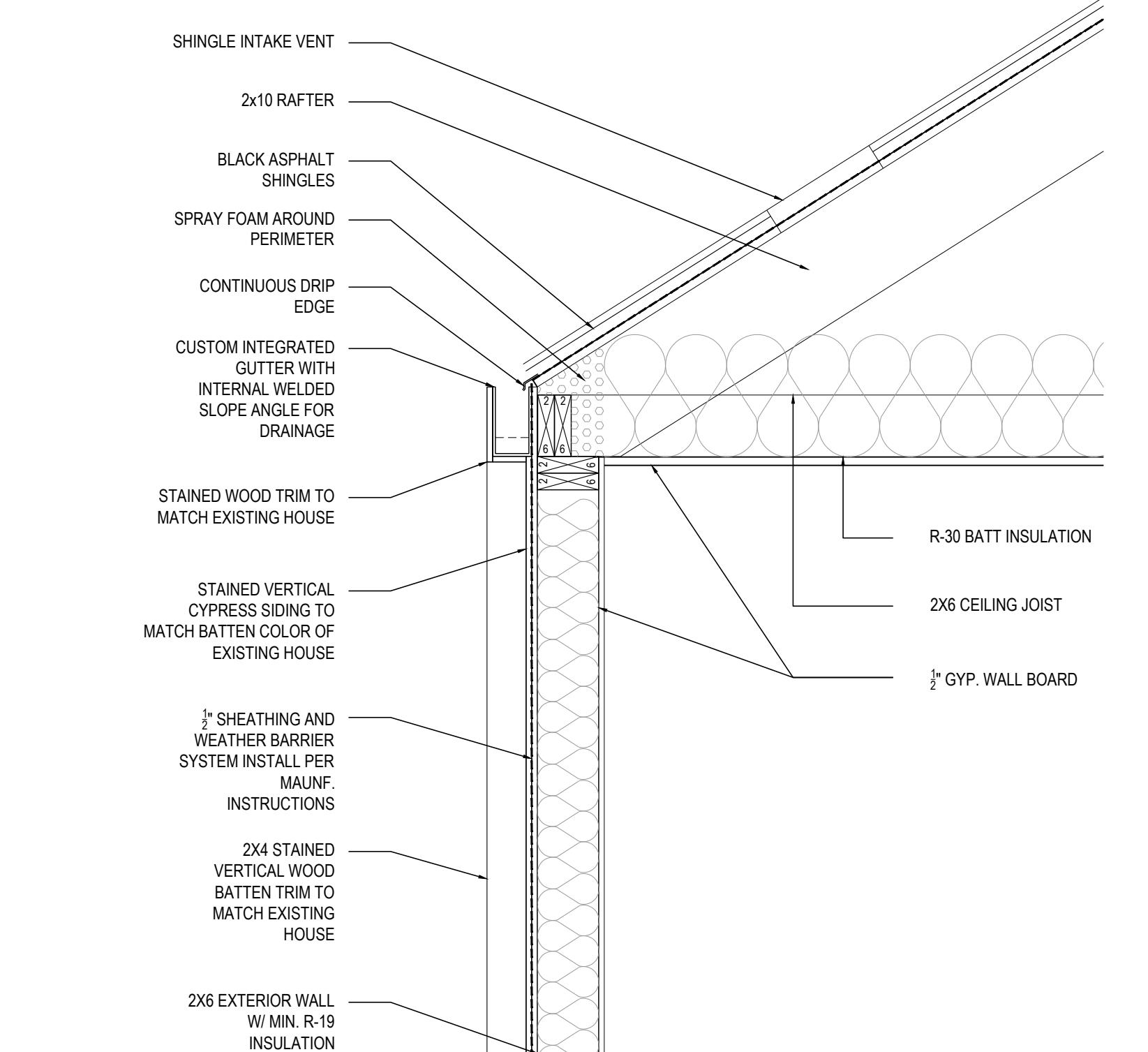
1 - Building Section

Scale: 1/4" = 1'-0"



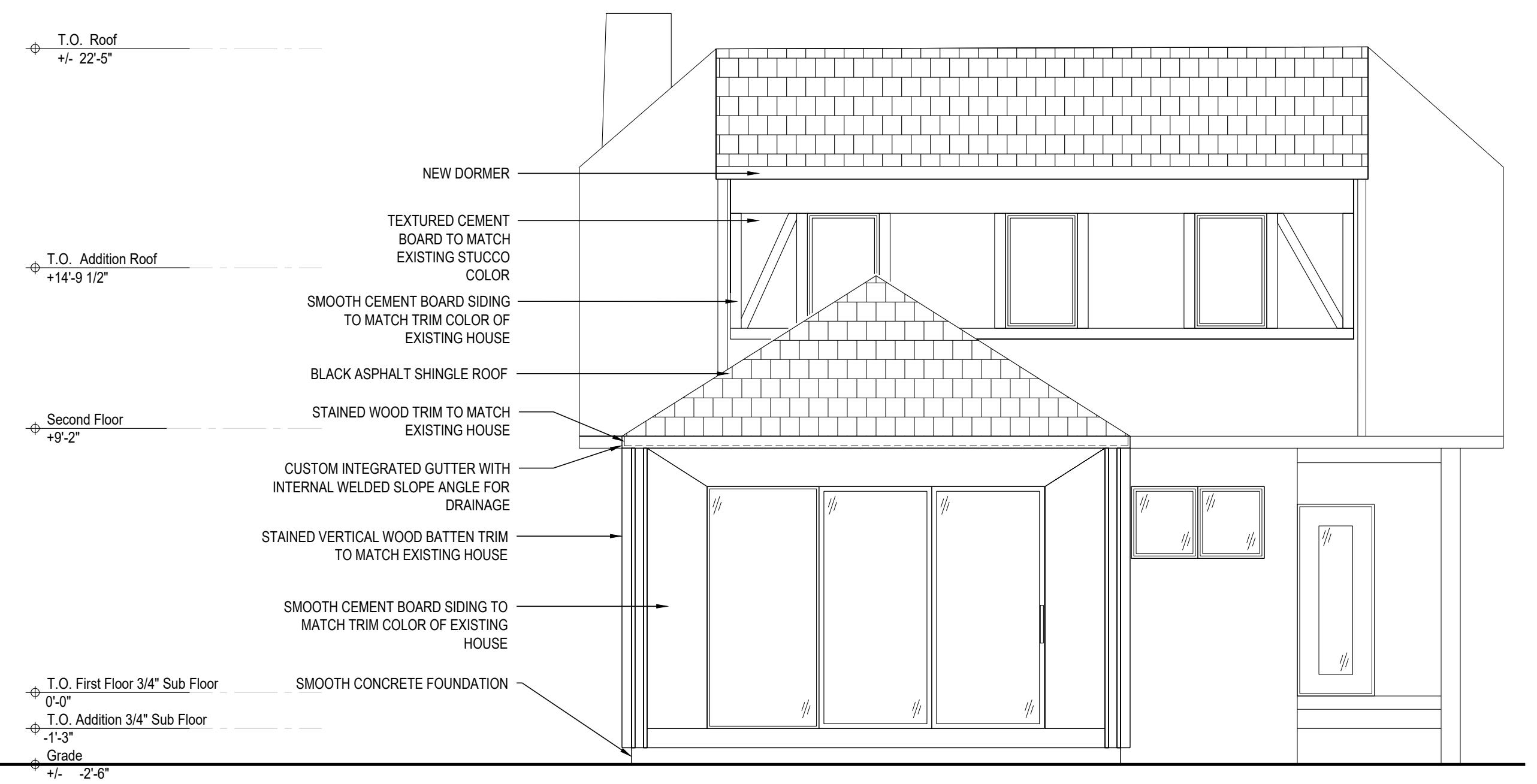
2 - Building Section

Scale: 1/4" = 1'-0"



3 - Building Section

Scale: 1" = 1'-0"



1 - South East Elevation

Scale: 1/4" = 1'-0"

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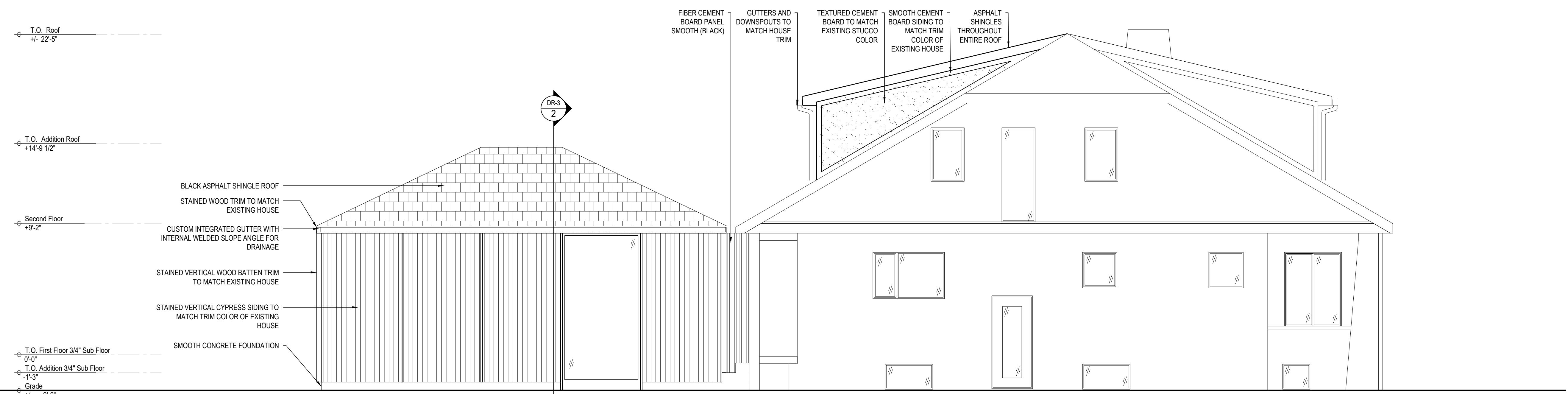
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Job Number 22009
Sheet

BUILDING ELEVATIONS

Discipline & Number

DR-4



2 - North East Elevation

Scale: 1/4" = 1'-0"

Original Date 05/21/2022
Submission
● Progress Design Review
○ Planning Zoning
○ Schematic Design
○ Design Development
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Drawn By ZB
Checked By MVH
Job Number 22009
Sheet

BUILDING ELEVATIONS

Discipline & Number

DR-4



3 - South West Elevation



1 - Rendering from the Side Yard



2 - Rendering from the Neighboring Residence



3 - Rendering from the Driveway



4 - Rendering from the Rear Yard



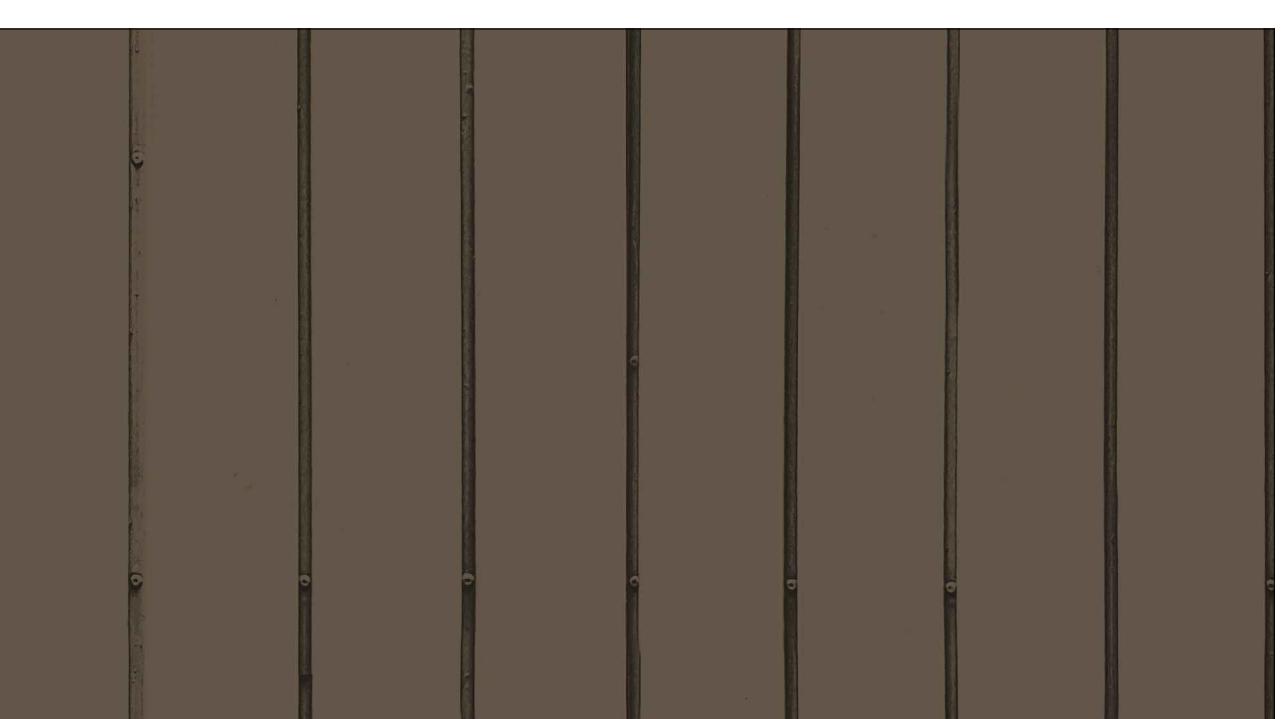
5 - Front and Side of Existing House



6 - Existing Dormer Detail



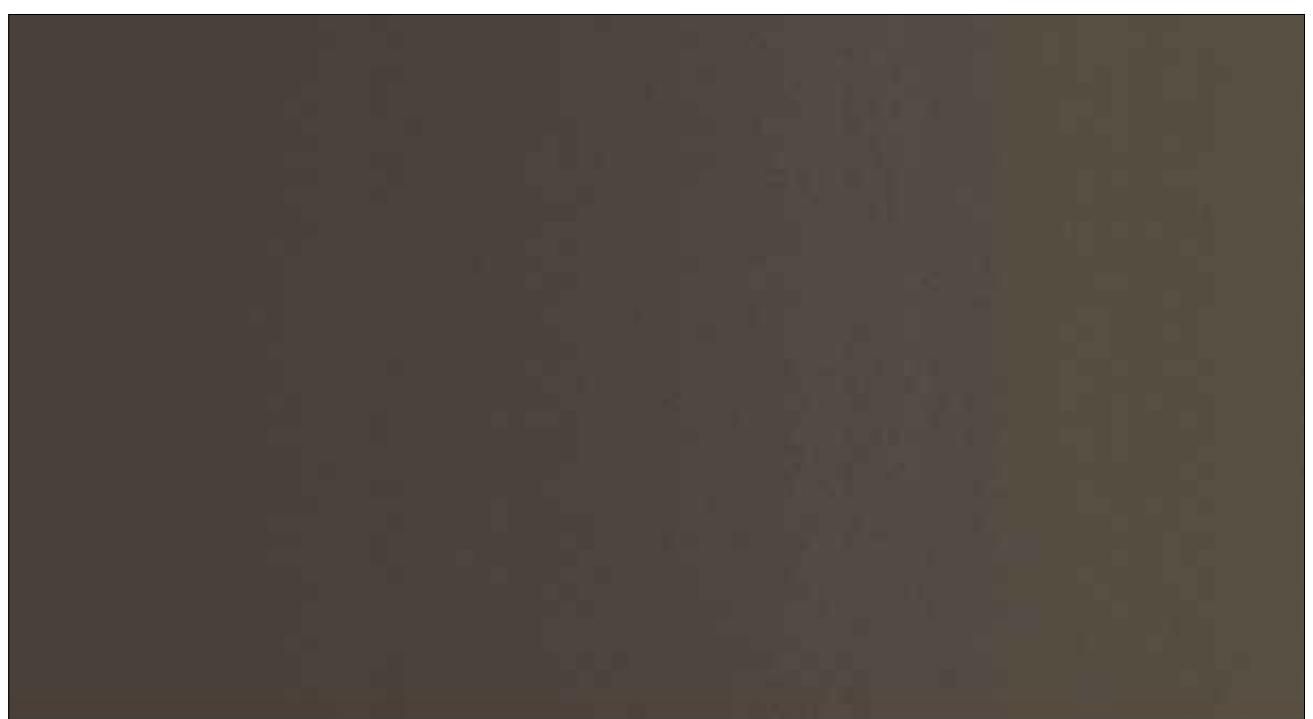
7 - Brown Window Frames & Sliding Door



8 - Stained Vertical Cypress Siding to Match Trim Color of Existing House



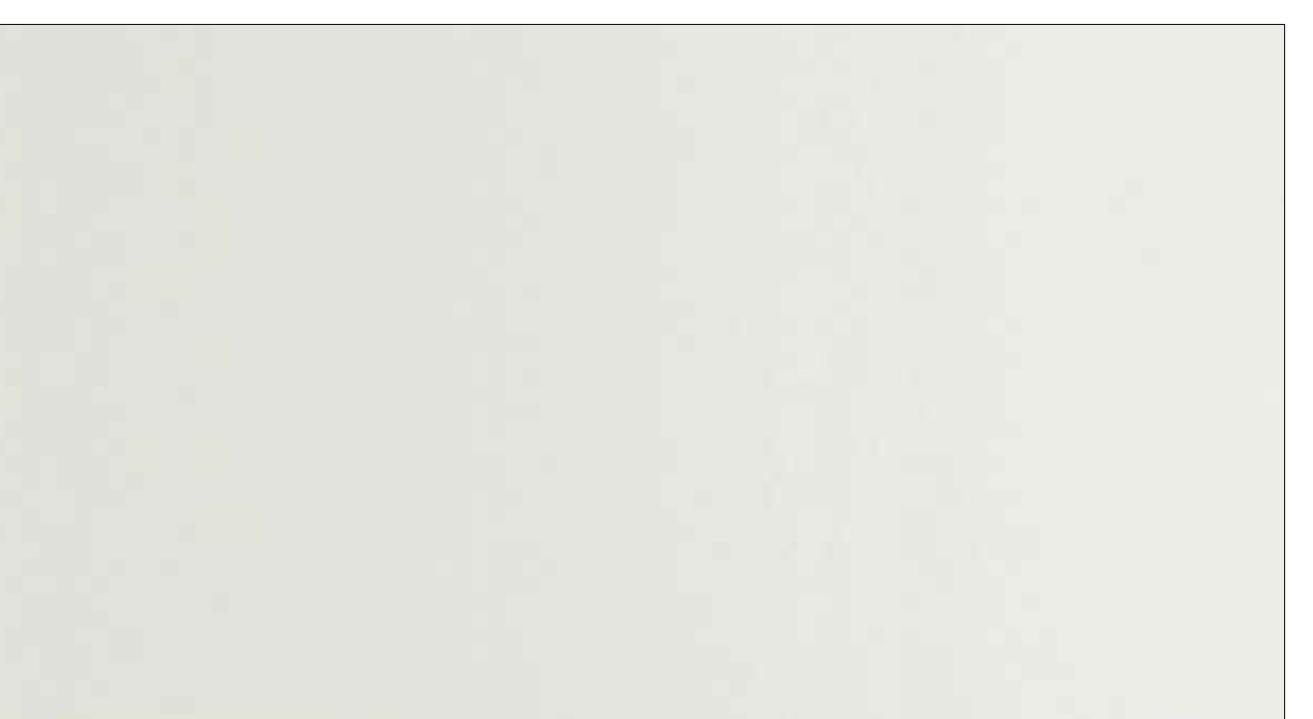
9 - Rear and Side of Existing House



10 - Smooth Cement Board Trim to Match Trim Color of Existing House



11 - Smooth Concrete Foundation



12 - Textured Cement Board Panel for New Dormer to Match Stucco Color on Existing Dormer

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RENDERINGS &
EXTERIOR PROJECT
MATERIALS

Discipline & Number

DR-5