

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

1. Materials and methods of construction shall comply with all applicable local, state and federal building codes.
Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.

7. Contractor responsible for verifying locations of existing utilities and roads.

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.

9. Contractor shall patch and repair areas impacted by new work. Finishes to match existing.

10. Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.; casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

EARTHWORK

1. Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all utilities.
2. Unused excavated soil to be transported to on site location as designated by Owner.
3. Excavate to ensure footings and foundations bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer
4. At areas to receive concrete slab, install minimum 4" #57 limestone over compacted soil. Provide vapor barrier when indicated on plans.
5. Contractor to finish grade site effected by work. Provide smooth transition between adjacent grades. Slope away from building Owner shall seed and landscape.

CONCRETE

1. Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement: 611-lbs./ cyd. Trowel finish for interior concrete and broom finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.
2. All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.
3. Cut joints for all slabs on grade shall be a maximum of 12'-0" O.C. unless otherwise noted. All cuts shall be made 8 hours after placing concrete.
4. At all expansion joints, install backer rod and

ENERGY EFFICIENCY REQUIREMENTS

This project shall comply with the RCO requirements for energy efficiency using the prescriptive method outlined in sections 1101.14 - 1104 of the RCO.

BUILDING THERMAL ENVELOPE

1. Insulation R values shall be as follows:
Walls: R=20
Ceilings R=49 for new construction
a. R=38 where insulation is installed over 100% of the area and extends over wall top plate
Floor: R= 30
Basement R=10 to depth of 10' below grade or basement floor.
Slab R=10 at 2' from perimeter
Window U=.30
A permanent certificate shall be completed and posted by furnace listing R= values of all insulation components.

2. Where insulation extends over top plate in a vented attic, install an eave baffle. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend over the top of the attic insulation.

sealant.

REINFORCING STEEL

1. Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.
2. Lap all horizontal bars at corners and intersection.
3. Dowel all vertical rebar to foundations.
4. MASONRY
5. Construct all masonry walls in accordance with ACI 530.
6. Foundations walls shall be standard 8x8x16 and 12x8x16 masonry units where noted on plans.
7. Mortar for reinforced masonry and load bearing walls shall be type S. Non- bearing walls shall use Type N.
8. Grout solid minimum 2 courses (16") below beam bearing.
9. Apply ½" min. cement parging from the bottom of the footing up the foundation wall to grade with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging
10. Brick shall match existing in size, texture, color and variation. Contractor shall provide a minimum of 3 samples for Owner & Architect approval prior to ordering and installation.
11. Brick mortar shall tinted to match existing mortar. Contractor shall provide a minimum of 2 samples for Owner & Architect approval prior to ordering and installation.
12. 9 Brick shall be installed in running bond pattern with color distribution to match existing.

FRAMING

1. All framing shall be Southern Yellow Pine species #2 grade or better.
2. LVL's shall be Boise Cascade 2.0E GP Lam LVL or equal.
3. Where multiple plies of LVL are used, beams shall be nailed with 3 rows of min. 3" 10d nails, 12" O.C. If three or more plies are used, beams shall be nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners.
4. Plywood shall be standard PS-1 and OSB shall be standard PS-2
5. All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o).
6. All preservative pressure treated (ppt) lumber shall be southern pine #2.
7. Provide blocking at mid span of joists exceeding 2x12.
8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.
9. Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.
10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.
11. Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO.
12. Provide draftstopping in floor/ceiling locations as outlined n section 302.12 of the RCO.

DOORS AND HARDWARE

1. Provide 2'-6"x 6'-8"x 1 3/8" solid core wood door unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.
2. Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.
3. Exterior doors shall be Fiberglass Pella, Thermo

Tru or Owner approved equal.

4. Interior doors & hardware to match exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

WINDOWS

1. Windows shall be Pella Architect series Traditional wood clad windows with low e glass to match existing. Windows shall be double hung & awning with screens, traditional grilles and locks. finish to match existing. Alternates shall be Andersen, or Owner approved equal.
2. Exterior windows and sliding doors shall be tested by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 101/I.S.2/A440.
3. Windows shall meet standards for wind design loads per section 301.2 of RCO.
- EXTERIOR FINISHES
- 1.Horizontal siding to be Certainteed Maintstreet 5" double lap wood grained vinyl siding collection. Standard color to be selected by owner.
2. Roof shingles shall be GAF Timberline "Natural Shadow". Color and texture to be selected by Owner.
4. Install self sealing hip and ridge cap shingle matching the color of selected roof shingle.
10. Eave and ridge vents must supply open space for ventilation of not less than 1 to 150 of the area which they are ventilating. provide corrosion-resistant screening over openings as per the details and notes in these construction documents or contact the designer.

5. Provide #30 Roofing Underlayment

6. Provide ice & water shield minimum 5'-0" up from all eaves and valleys and 2'-0" up from walls where abutting roof. Install per manufacturer's recommendation.
7. Exposed flashing shall be pre- finished metal flashing 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.
8. Concealed flashing shall be self-adhesive membrane type flashing.
9. Where applicable, flashing shall extend min. 6" up wall and behind vapor barrier to prevent water entry.
10. Flashing shall be installed in a shingle style or overlapping to prevent water entry.
11. At valleys Install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.

14. Install 5" K style seamless aluminum gutters with 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per manufacturer's recommendation. Gutter to be white, downspouts to match siding.

INSULATION

1. Provide batt insulation as indicated in building & wall sections.
- 2.All insulation R values shall meet or exceed minimum standards outlined in RCO.
3. Acceptable manufacturers for batt insulation shall be Owens Corning, Certainteed, John's Manville or Owner approved equal.

INTERIOR FINISHES

1. Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" with tapered edges. as indicated in drawings
2. Provide in maximum lengths and widths to minimize joints and correspond with support system.
3. Gypsum board trim shall be galvanized or aluminum coated steel, rolled zinc, plastic, or paper faced galvanized stainless steel. Provide corner beads at outside corners and LC bead, j- shaped, on long exposed edges.

all penetrations of the building thermal envelope.
4. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. Recessed luminaires shall be IC-rated and labeled as having an air leakage rate of not greater than 2.0 cfm

SYSTEMS

1. Not less than one thermostat shall be provided for each separate heating and cooling system.
2. Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter.
3. Seal all ducts, air handlers and filter boxes. Joints and seams shall comply with Section 1601.4.1.
4. Ducts shall be pressure tested to determine air leakage per section 1103.3.3 of the RCO. Ducts can be tested at rough-in or post construction. A written report of the results of the test shall be signed by the party conducting the test and provided to the building official
5. Building cavities shall not be used as

4. Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

5. All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

6. Provide thresholds and reducer strips as needed with finish floor materials.

7. Provide smooth finish at ceiling.

8. All gyp. bd. to be primed and painted.

9. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks runs and other imperfections will not be accepted.

10. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finish, over a primer. Primer shall be interior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin Williams.

11. All finish colors and materials to be selected by Owner.

12. Provide allowance for tile where noted on plan. Tile and grout selection by Owner.

13. Provide concrete substrates with dry-set or latex-portland cement mortar.

14. Trowel level, free of any bumps and protrusions.

15. Install tile under counters and equipment to provide complete floor covering without interruption.

16. Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

17. Accurately form intersections and evenly space joints.

18. Grout tile completely per grout manufacturer's recommendations. Clean tile after grouting

MECHANICAL, ELECTRICAL & PLUMBING
1. Contractors shall field verify capacity of existing electrical, mechanical & plumbing systems. Notify Owner of any necessary upgrades & include in base bid.

3. Provide new electrical wiring, outlets, junction boxes etc. throughout. Connect to existing electrical panel.

4. Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture locations.

5. Provide heating & cool ing to addition. connect to existing system.

6. Duct sizing and layout by mechanical contractor.

7. J Schedule provided by HVAC contractor.

8. Contractor to field verify venting for existing water heater & furnace. If venting is through chimney, re route through basement wall. Include scope in base bid.

SCHIAU RESIDENCE 21060 ABERDEEN RD

SCOPE OF WORK:
1ST FLOOR ADDITION TO AN EXISTING
RESIDENTIAL STRUCTURE TO INCLUDE
SUNROOM AND REAR PORCH.

DRAWING INDEX

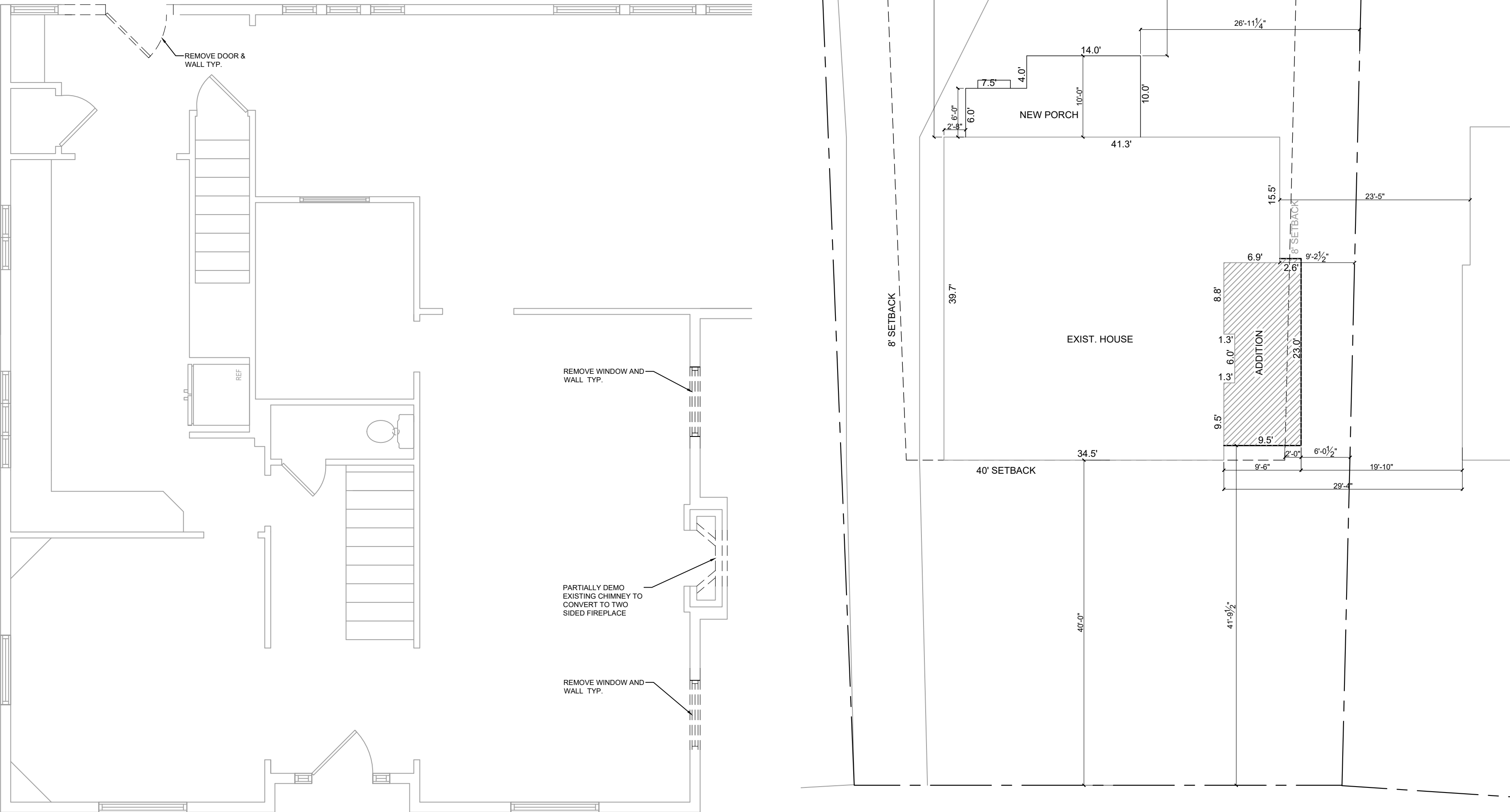
- T-1 SITE PLAN & DEMO PLAN
- A-1 FLOOR PLANS & SCHEDULE
- A-2 ELEVATIONS
- A-3 SECTIONS & DETAILS
- E-1 ELECTRICAL PLANS

LOT COVERAGE:
LOT SIZE: = 8,896 SF

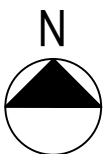
EXIST. GARAGE FOOTPRINT: = 413SF
EXIST. HOUSE FOOTPRINT: = 1,482 SF
TOTAL: = 1,895 SF
= 21%

NEW FOOTPRINT
EXIST. GARAGE TO REMAIN = 413 SF
EXISTING TO REMAIN = 1,482 SF
ADDITION = 207 SF
NEW PORCH = 185 SF

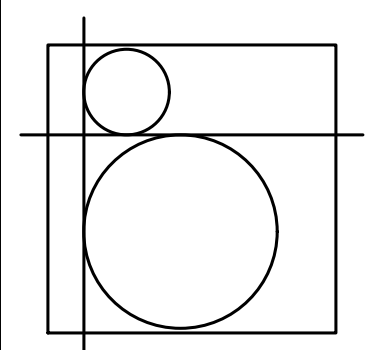
ADDITION FOOTPRINT: = 2,287 SF
TOTAL : = 25.7%



2 DEMO PLAN FIRST FLOOR
T-1 SCALE: 1/4" = 1'-0"



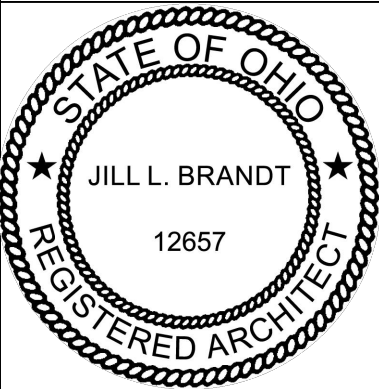
3 SITE PLAN
T-1 SCALE: 1" = 10'-0"



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TITLE
PAGE

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BRACED WALL SCHEDULE

WSP BWP WOOD STRUCTURAL PANEL

- 1. 7/16" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
- 2. 6" O.C. EDGE NAILING
- 3. 12" O.C. FIELD NAILING
- 4. LENGTH AS NOTED

GB BWP GYPSUM BOARD

- 1. 1/2" DRYWALL APPLIED TO BOTH SIDES
- 2. 7" O.C. FASTENING (EDGE AND FIELD)
- 3. ALL PANEL EDGES TO BE BLOCKED
- 4. LENGTH AS NOTED
- 5. FASTENERS IN ACCORDANCE W/ RCO 702.3.6

CS-WSP BWP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL

- 1. 7/16" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
- 2. 6" O.C. EDGE NAILING
- 3. 12" O.C. FIELD NAILING
- 4. LENGTH AS NOTED
- 5. AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED

CS-PF BWP CONTINUOUSLY SHEATHED PORTAL FRAME (APA)

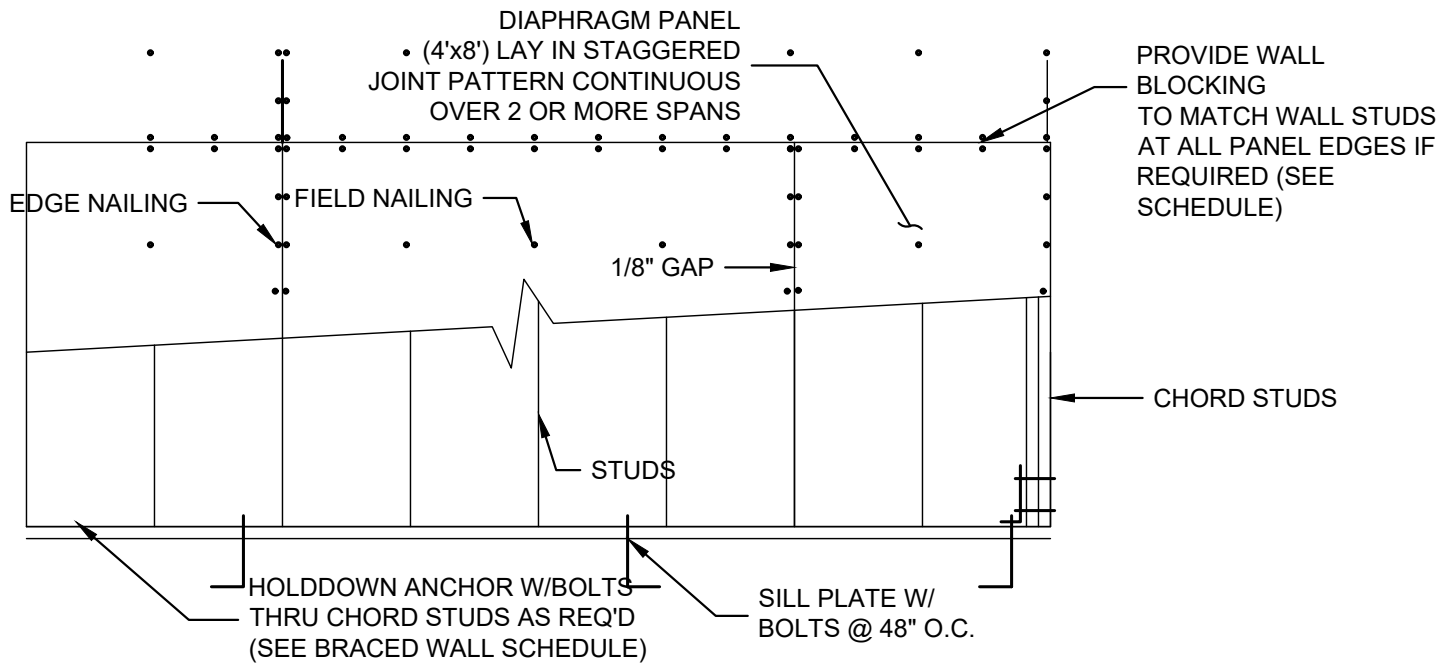
- 1. REFERENCE FIGURE 602.10.6.4 IN RESIDENTIAL CODE OF OHIO (RCO)

CS-G BWP CONTINUOUSLY SHEATHED ADJACENT TO GARAGE OPENING

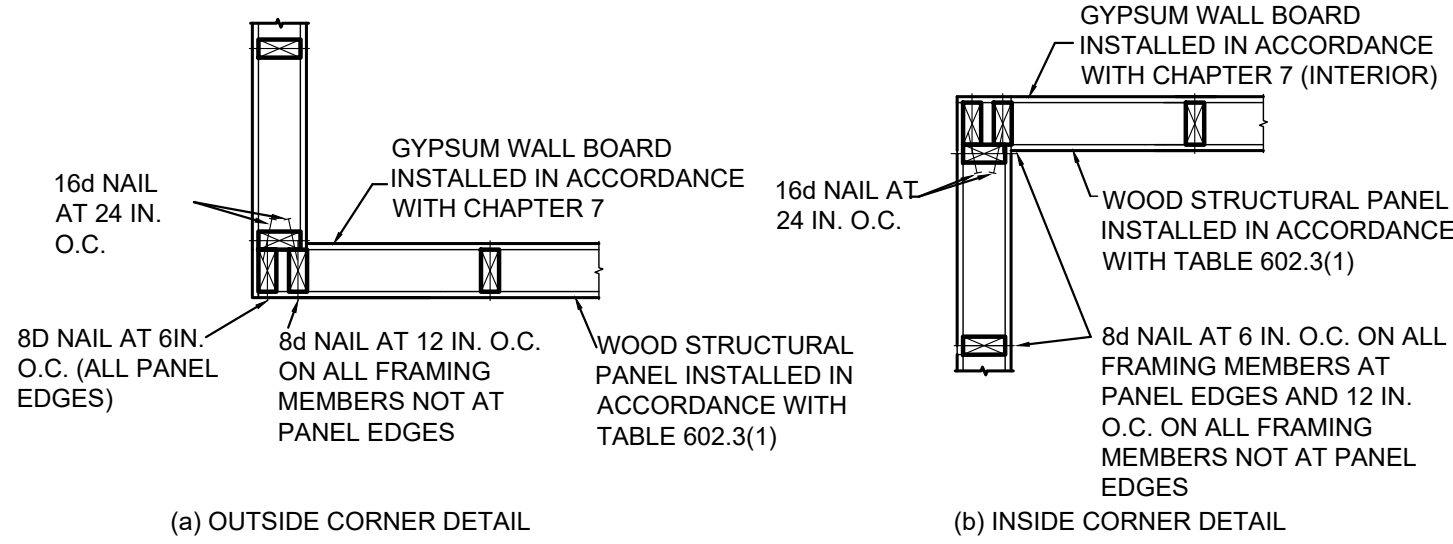
- 1. 7/16" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
- 2. 6" O.C. EDGE NAILING
- 3. 12" O.C. FIELD NAILING
- 4. LENGTH AS NOTED
- 5. AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED

ABW BWP ALTERNATE BRACED WALL PANEL

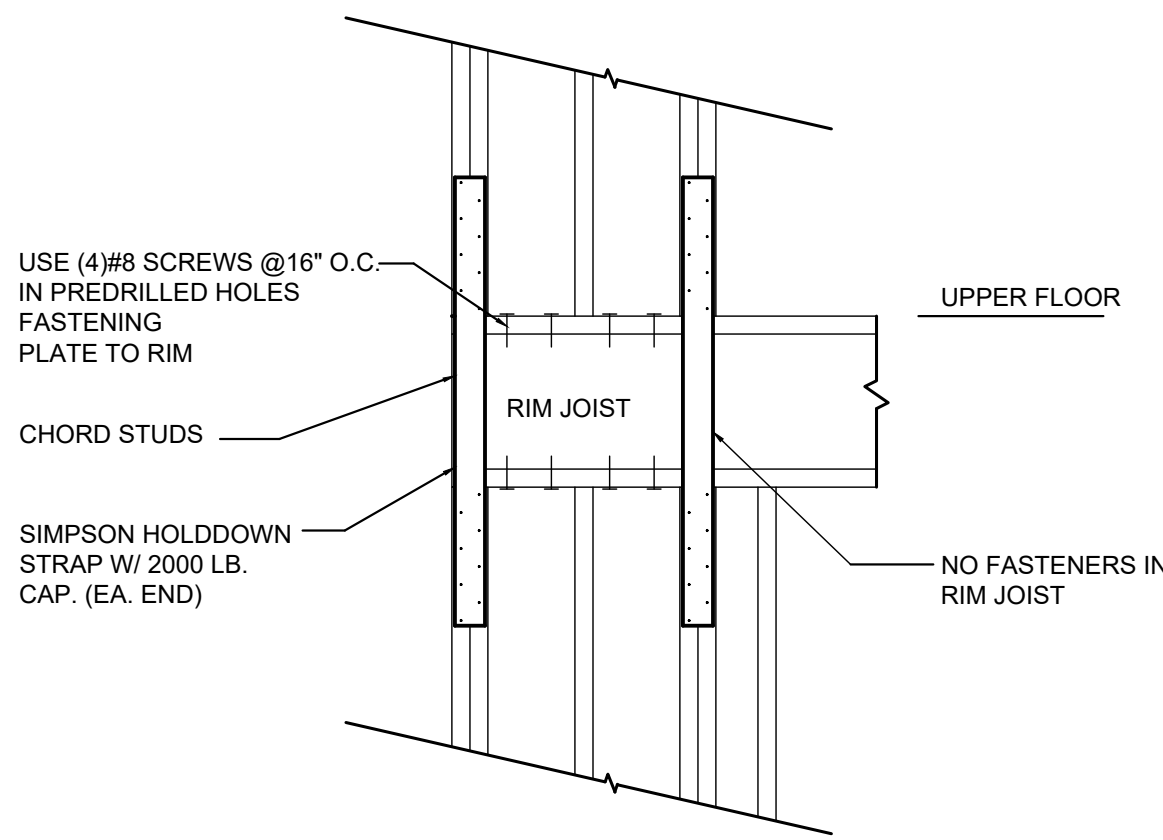
- 1. 7/16" OSB OR PLYWOOD SHEATHING APPLIED TO BOTH SIDES OF WALL FOR TWO STORY WALLS, APPLY TO ONE SIDE FOR ONE STORY WALLS.
- 2. 4" O.C. EDGE NAILING
- 3. 12" O.C. FIELD NAILING
- 4. LENGTH AS NOTED
- 5. PROVIDE TWO 1/2" DIA. ANCHOR BOLTS AT QUARTER POINTS FOR ONE-STORY WALLS. PROVIDE THREE 1/2" DIA. ANCHOR BOLTS AT ONE-FIFTH POINTS FOR TWO STORY WALLS.
- 6. (2) HOLD-DOWNS @ (2) 2x CHORD STUDS MINIMUM 3000 LB. UPLIFT CAPACITY FOR TWO-STORY WALLS 1800 LB. UPLIFT CAPACITY FOR ONE-STORY WALLS
- 7. REFERENCE FIGURE 602.10.6.1 IN RESIDENTIAL CODE OF OHIO (RCO)



1 TYP. SHEAR WALL (BRACED WALL) ELEVATION DETAIL
SCALE: 1/2" = 1'-0"



2 BRACED WALL METHOD CS-WSP CORNER FRAMING DETAIL
SCALE: 3/4" = 1'-0"



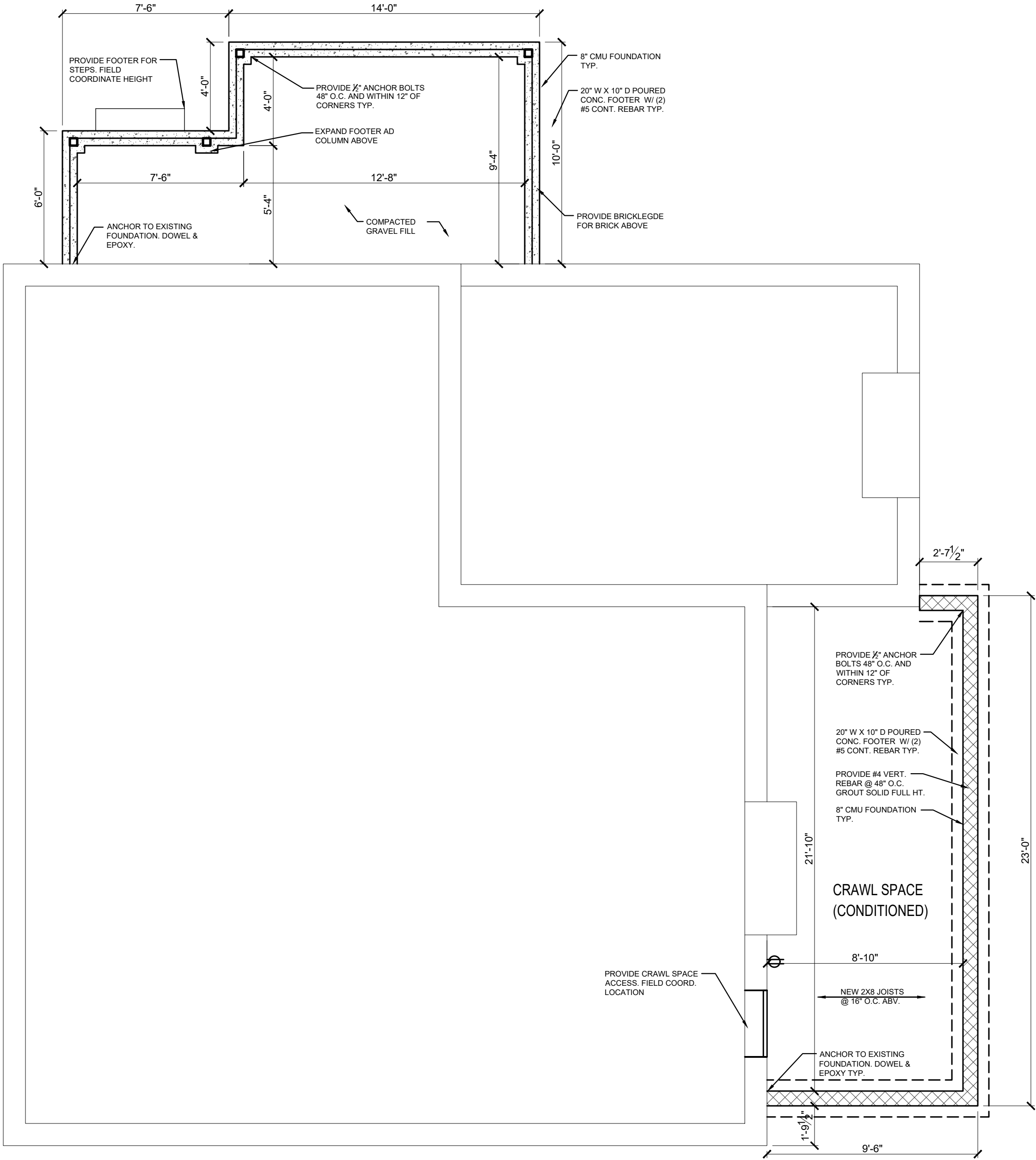
3 FIRST-TO-SECOND FLOOR STRAP DETAIL
SCALE: 3/4" = 1'-0"

DOOR SCHEDULE

1

#	WIDTH	HEIGHT	THICK	MAT'L	FINISH	MAT'L	FINISH	LOCKSET	HINGE	SILENCERS	KICKPLATE	HAND	REMARKS
1	3'-0"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD	PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	RH	15 LIGHT
2	(2) 2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	15 LIGHT
3	(2) 2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	15 LIGHT

- GENERAL NOTES:
- INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA, EGGERS, OR OWNER APPROVED EQUAL.
 - NEW DOORS TO BE PAINTED TO MATCH EXISTING.
 - ALL LOCKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
 - ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL.
 - VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.
 - PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

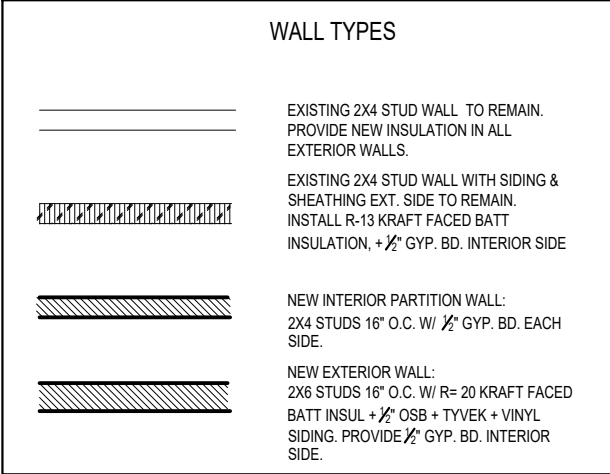


4 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

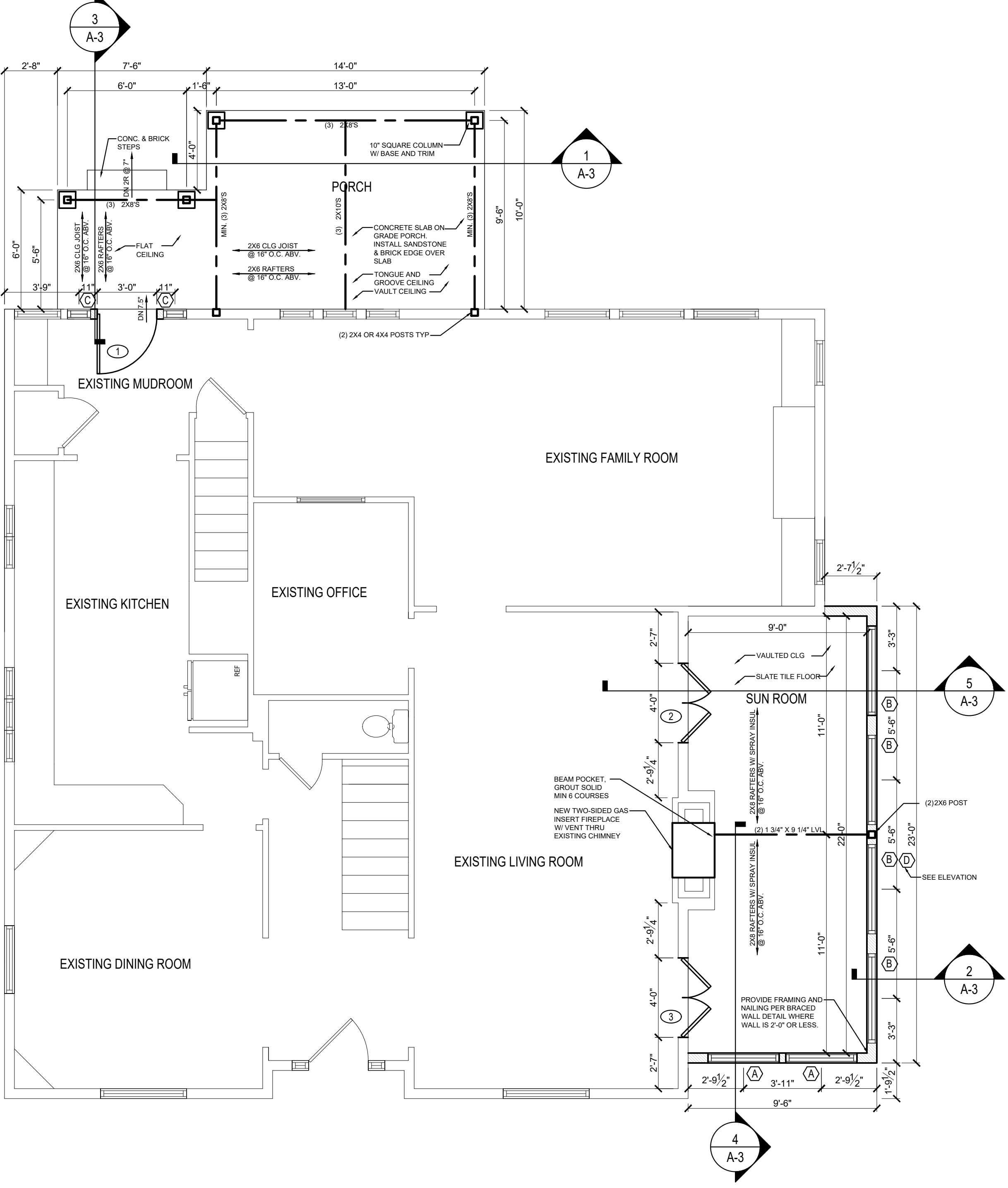
A

#	QTY	UNIT SIZE W X H	MAT'L	FUNCTION	GLASS	REMARKS
A	2	43" X 66"	VINYL	DOUBLE HUNG		
B	4	54" X 66"	VINYL	DOUBLE HUNG		
C	2	14" X 72"	VINYL	FIXED		
D	1	20" RADIUS	VINYL	FIXED		HALF CIRCLE

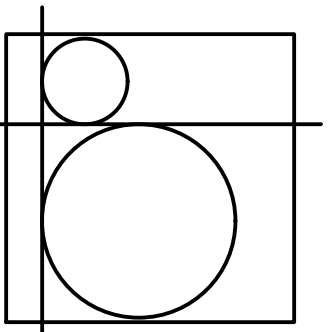


- DIMENSIONAL NOTES:
- INTERIOR DIMENSIONS ARE STUD TO STUD.
 - ALL WINDOW DIMENSIONS ARE TO CENTERLINE ON WINDOW UNIT. SEE WINDOW SCHEDULE FOR SIZES. COORDINATE WITH MANUFACTURER FOR ROUGH OPENING SIZES.
 - ALL DOOR DIMENSIONS ARE TO DOOR SIZE. COORDINATE WITH DOOR SCHEDULE.

- FINISH NOTES:
- PROVIDE 1/2" GYP BD AT ALL WALLS AND CEILING OF ADDITION.
 - IN ALL AREAS MODIFIED BY THIS SCOPE OF WORK PROVIDE BASE TRIM, DOOR & WINDOW CASING TO MATCH EXISTING.
 - PAINT ALL WALLS, CEILINGS AND TRIM IN AREAS IMPACTED BY SCOPE OF WORK. COLORS TO BE SELECTED BY OWNER.
 - PROVIDE NEW FLOORING AS INDICATED ON PLANS. PROVIDE TRANSITION STRIPS AT CHANGES IN MATERIAL.

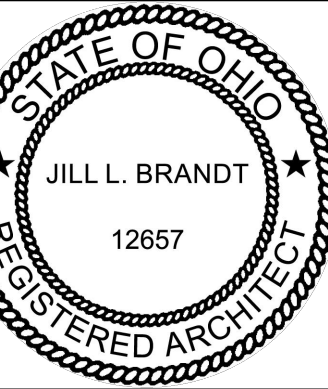


5 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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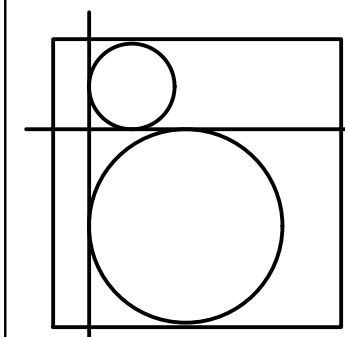


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PLANS & FOUNDATION

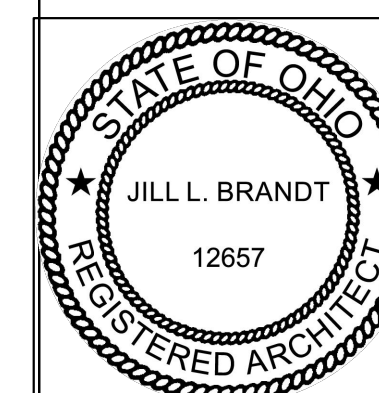
A-1



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EXTERIOR ELEVATIONS

A-2



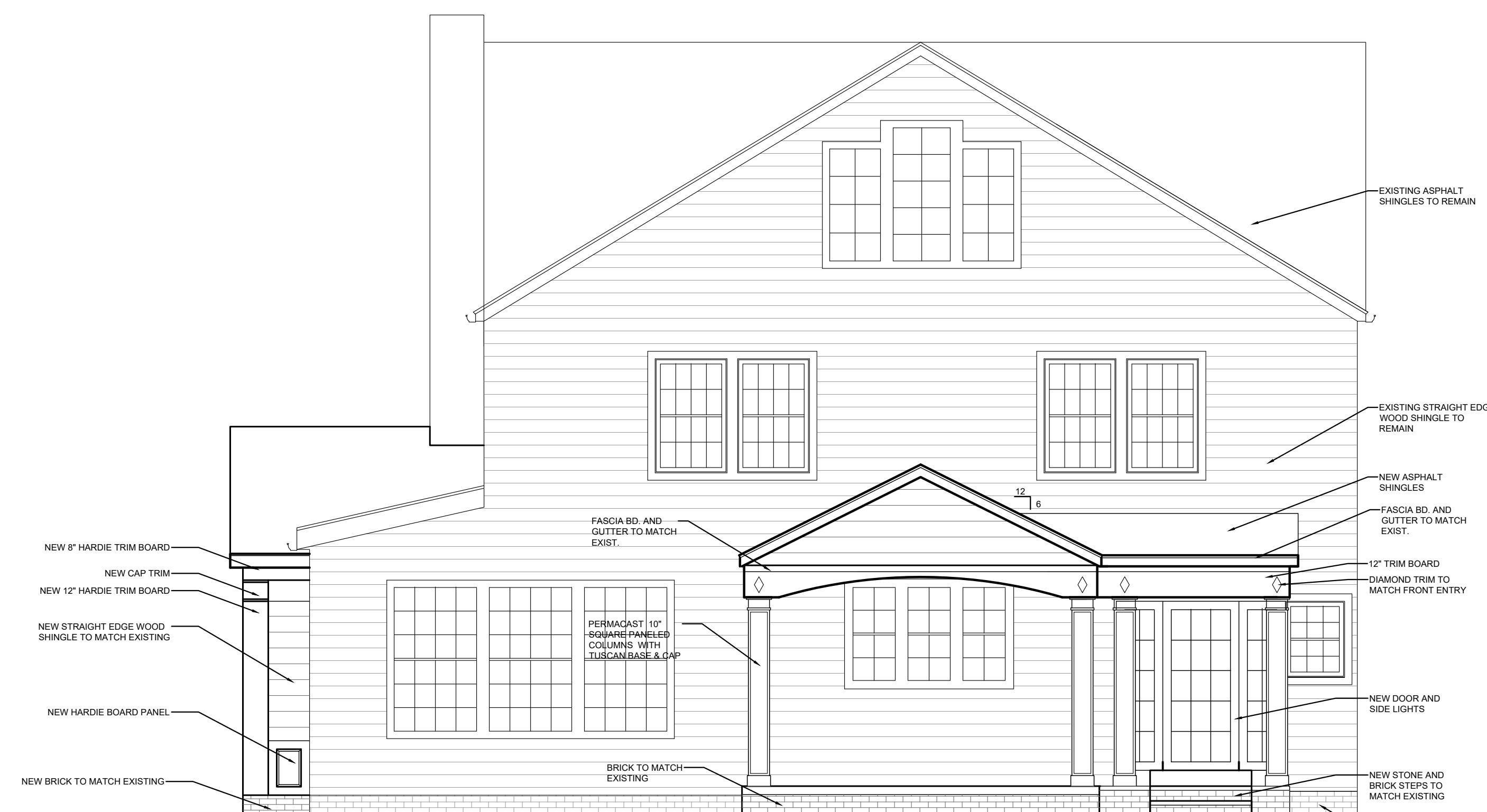
1 SOUTH ELEVATION
A-2 SCALE: 1/4" = 1'-0"



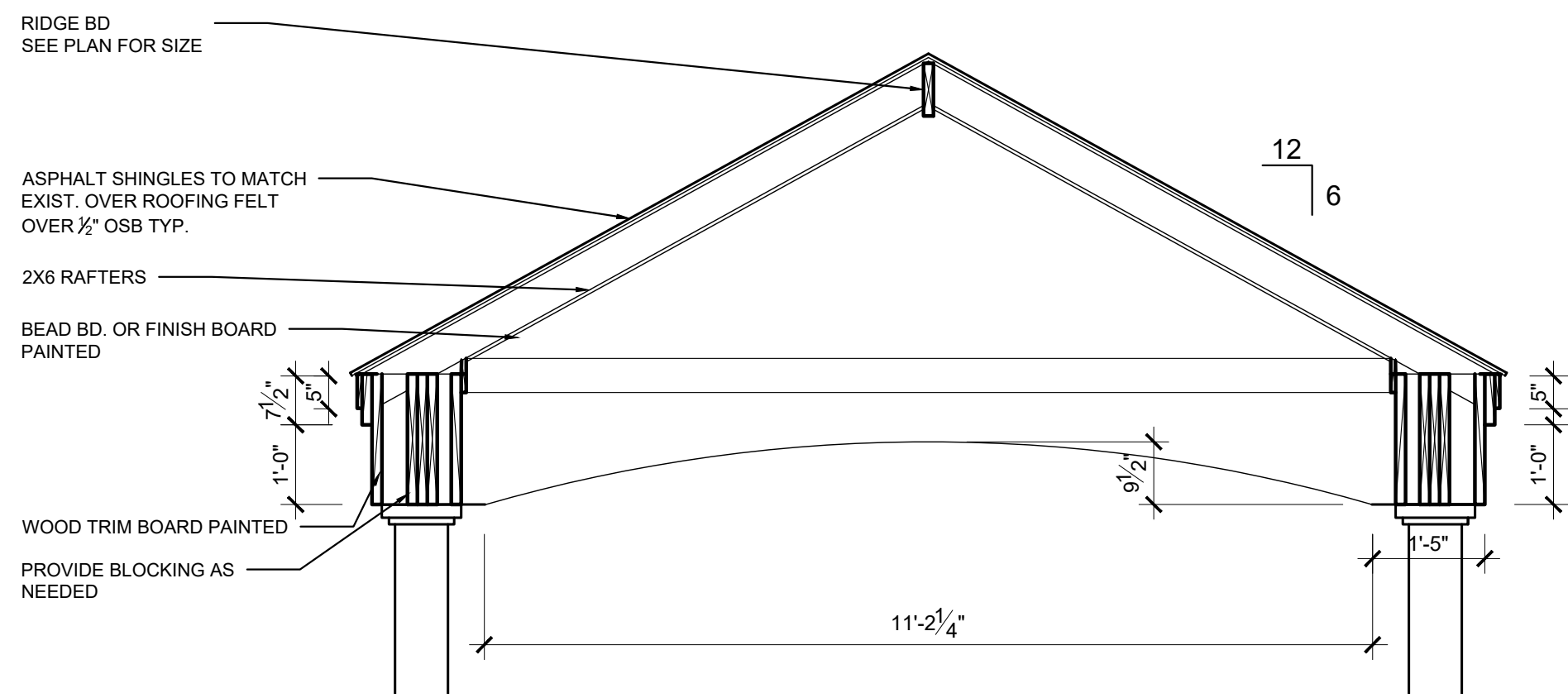
2 EAST ELEVATION
A-2 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
A-2 SCALE: 1/4" = 1'-0"

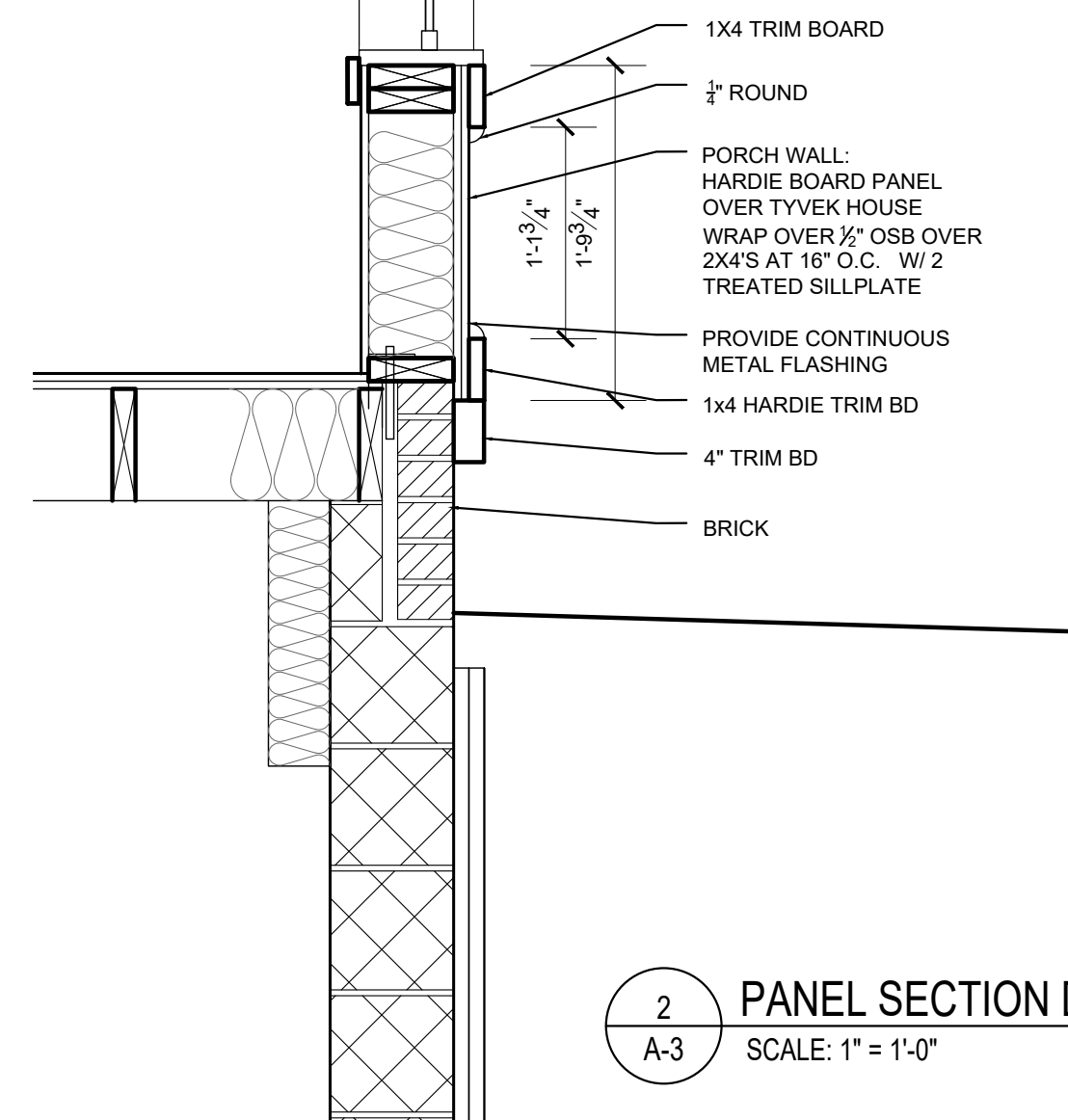


4 NORTH ELEVATION
A-2 SCALE: 1/4" = 1'-0"



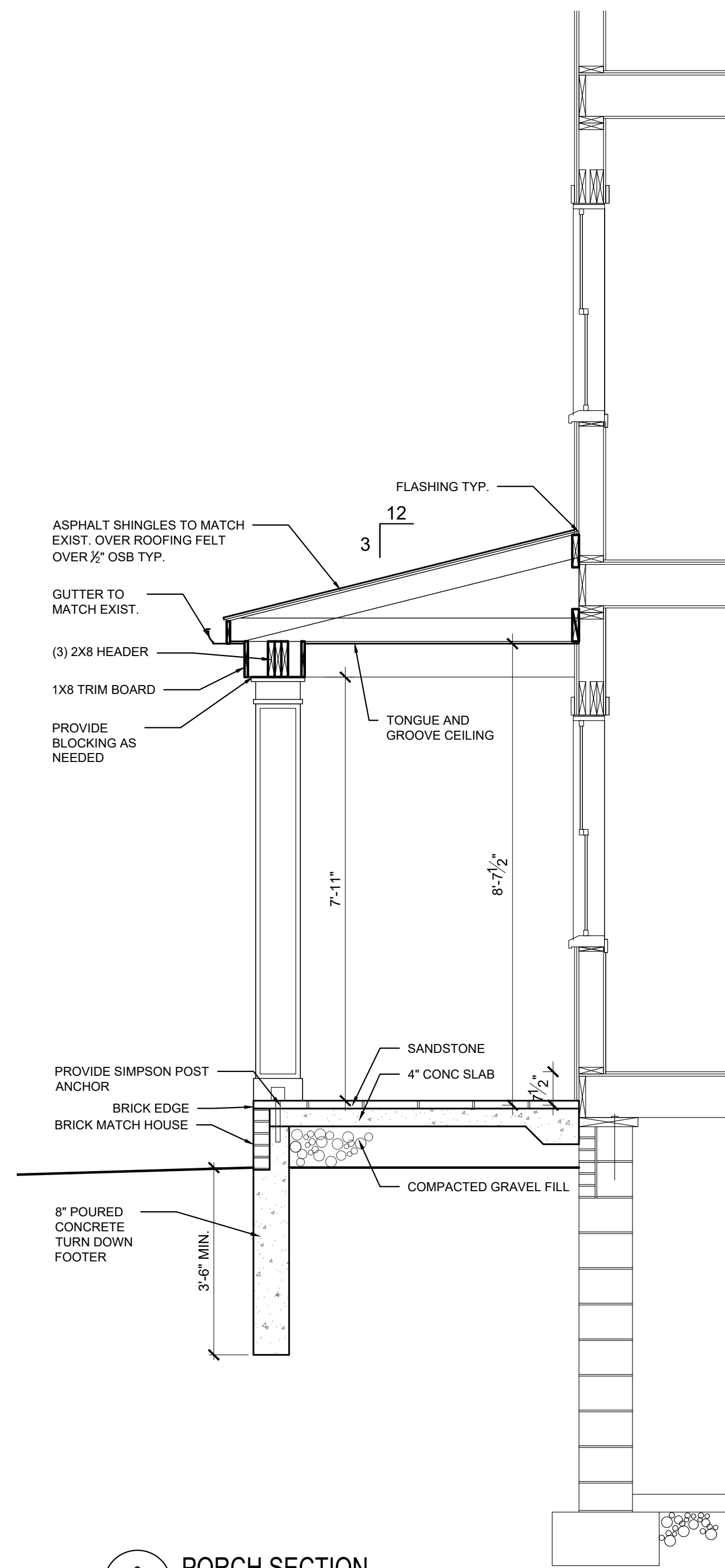
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A-3

PORCH SECTION
SCALE: 1/2" = 1'-0"



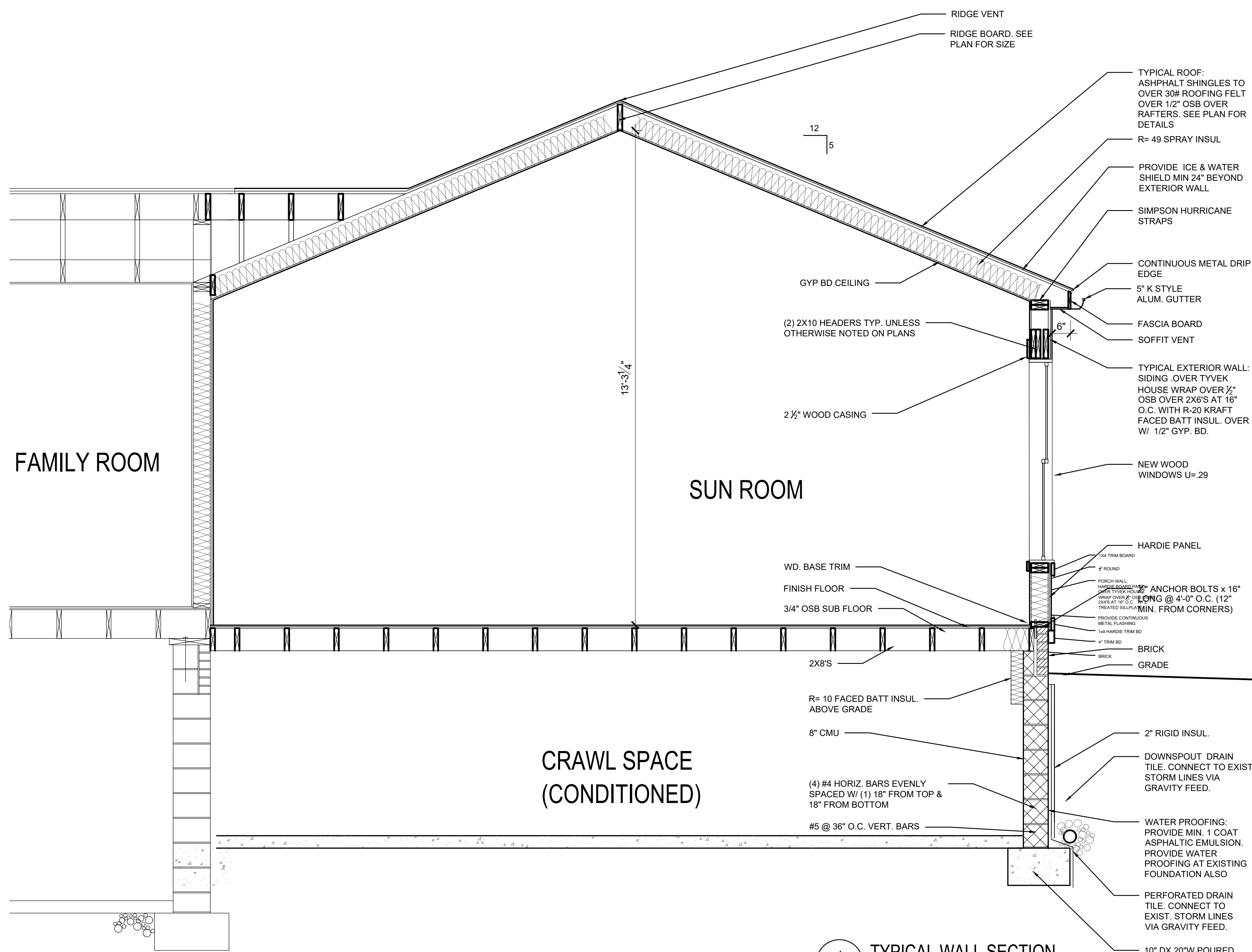
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A-3

PANEL SECTION DETAIL
SCALE: 1" = 1'-0"



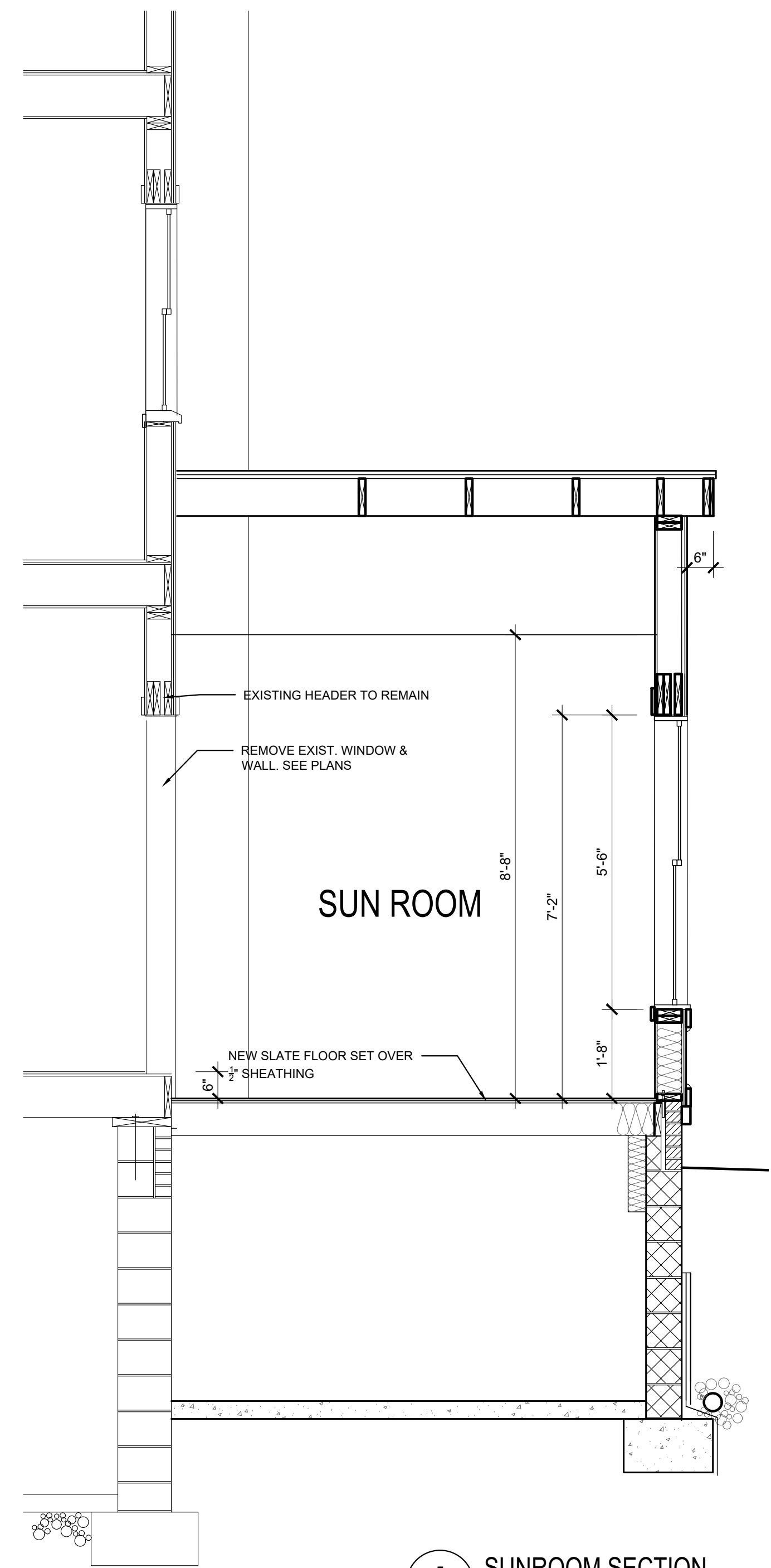
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A-3

PORCH SECTION
SCALE: 1/2" = 1'-0"



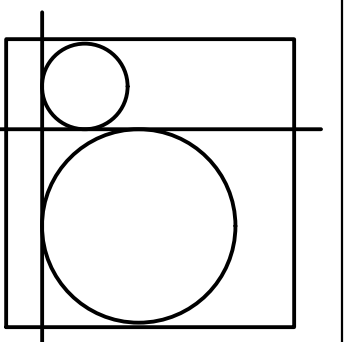
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A-3

TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



5
A-3

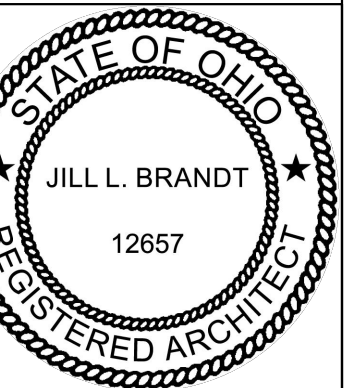
SUNROOM SECTION
SCALE: 1/2" = 1'-0"



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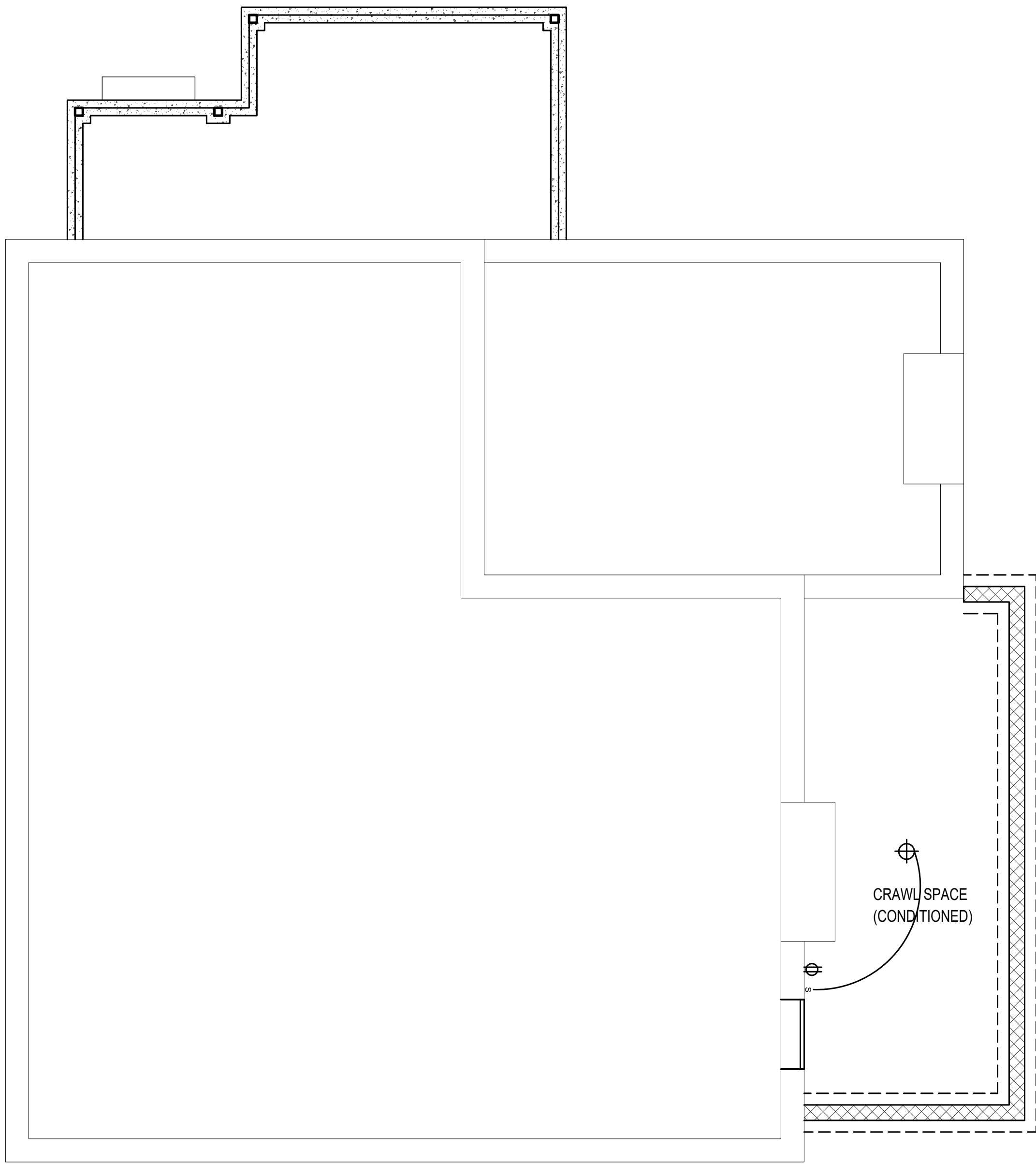
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SECTIONS

A-3

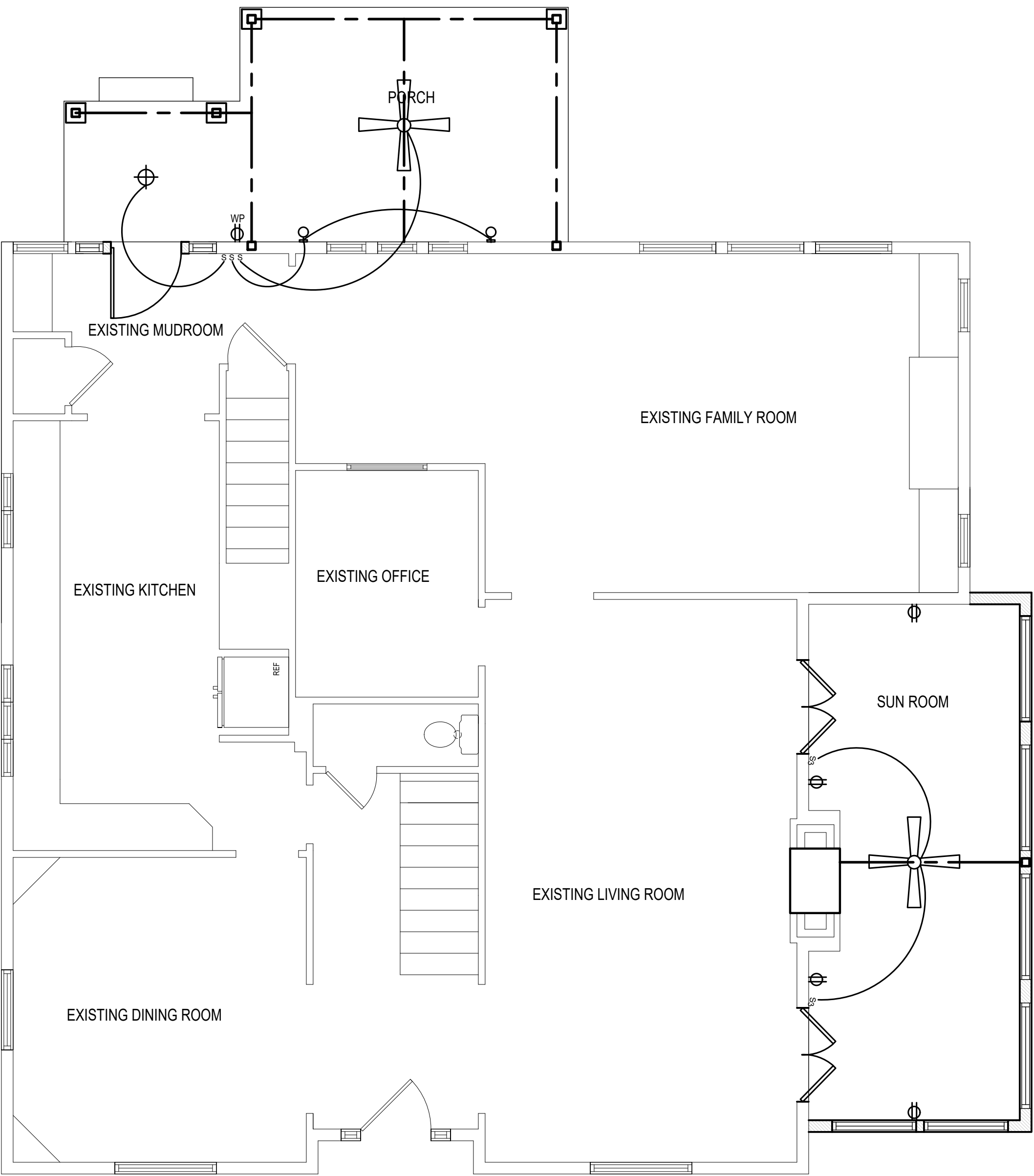
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1 BASEMENT PLAN
E-1 SCALE: 1/4" = 1'-0"

SYMBOL	DESCRIPTION
	DUPLEX OUTLET
	DEDICATED APPLIANCE OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	4" RECESSED LIGHT FIXTURE
	UNDER CABINET LIGHT FIXTURE
	EXHAUST FAN VENT TO EXTERIOR
	COMBINATION EXHAUST FAN / LIGHT
	CEILING FAN / LIGHT FIXTURE
	HARDWIRED SMOKE DETECTOR
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

- ELECTRICAL NOTES:
- ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES.
 - ANY INCOMPATIBILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
 - FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS
 - NEW AND EXTENDED CIRCUITS (EXCEPT THOSE AT KITCHEN COUNTERTOPS) SHALL RECEIVE AFCI PROTECTION.
 - PROVIDE A MINIMUM OF TWO (2) 20 AMP SMALL APPLIANCE CIRCUITS FOR RECEPTACLES AT KITCHEN COUNTER.
 - PROVIDE A MINIMUM OF ONE (1) 20 AMP SMALL APPLIANCE CIRCUIT FOR RECEPTACLES AT LAUNDRY ROOM.
 - PROVIDE A MINIMUM OF ONE (1) 20 AMP SMALL DEDICATED BRANCH CIRCUIT FOR EACH BATHROOM & POWDER ROOM.
 - PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3: 1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR.
 - EACH FLOOR SHALL HAVE BOTH IONIZATION AND PHOTOELECTRIC SMOKE ALARMS.
 - PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316: 1 PER FLOOR.
 - OWNER SHALL PROVIDE DECORATIVE LIGHTING.
 - RECOMMENDED MANUFACTURERS FOR NEW FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL.
 - ALL EQUIPMENTS AND SYSTEM COMPONENTS SHALL BE SQUARE D OR APPROVED EQUAL.
 - NEW LIGHT FIXTURES SHALL USED CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS
 - ALL RECEPTACLES SHALL BE TAMPER RESISTANT.



2 FIRST FLOOR PLAN
E-1 SCALE: 1/4" = 1'-0"

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9/27/23 REVIEW
10/13/23 BID PERMIT

JILL L. BRANDT
OH #12657
EXP 12/31/23

SCHIAU RESIDENCE
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ROCKY RIVER, OH 44116

ELECTRICAL
PLAN
E-1