

Renovations and Additions for the

Ryan Residence

32 Hidden Dr.

Rocky River, OH 44116

Owner:

Kevin and Carol
Ryan
32 Hidden Valley Dr.,
Rocky River, OH 44116
xxx-xxx-xxxx

Prepared by:

Architect:

Dimit Architects, LLC
14725 Detroit Avenue
Suite # 210
Lakewood, OH 44107
216- 221-9021



DRAWING LEGEND

XXXXX XXX	ROOM NAME ROOM NUMBER
(XXX)	DOOR NUMBER
(X)	WINDOW TAG
[X]	WALL TYPE
[X]	SHEET WHERE ELEVATION LOCATED INTERIOR ELEVATION SYMBOL ELEVATION NUMBER
[X]	SECTION NUMBER SHEET WHERE ELEVATION LOCATED
[X]	DETAIL SYMBOL DETAIL NUMBER SHEET ON WHICH DETAIL IS LOCATED
[X]	WALL SECTION/EXTERIOR ELEVATION SECTION/DETAIL NUMBER SHEET ON WHICH DETAIL IS LOCATED

	EARTH
	POROUS FILL
	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	STEEL
	WOOD-ROUGH
	GYPSUM WALLBOARD
	RIGID INSULATION
	BATT INSULATION

ABBREVIATIONS

A/C	AIR CONDITIONER	EA	EACH FACE	ID	INTERIOR DIAMETER	QT	QUARRY TILE
AB	ANCHOR BOARD	EF	EACH ELEVATION	INSUL	INSULATION		
ACP	ACOUSTIC CEILING PANEL	EL	ELECTRICAL ENCLOSURE	INV	INVERT	RAD	RADIUS
ACT	ACOUSTIC CEILING TILE	ENC	ELECTRICAL ENCLOSURE	J	JANITOR	RD	RIGHT-OF-WAY
ADJ	ADJUSTABLE	EQ	EQUAL	JB	JUNCTION BOX	REBAR	REINFORCING BARS
AFF	ABOVE FINISH FLOOR	EQUIP	EQUIPMENT	JT	JOINT	RECT	RECTANGULAR
ALT	ALTERNATE	ETC	ETCETERA			REINF	REINFORCEMENT
ALUM	ALUMINUM	EW	EACH WAY	LAM	LAMINATE	REP	REPRESENTATIVE
APPROX	APPROXIMATELY	EXST	EXISTING	LAV	LAVATORY	REQD	REQUIRED
ARCH	ARCHITECTURAL	EXT	EXPANSION JOINT	LF	LINEAL FEET	RM	ROOM
BLDG	BUILDING	DWC	ELECTRICAL WATER COOLER	LM	LONG LEG HORIZONTAL	SC	SOLID CORE
BLKG	BLOCKING			LLV	LONG LEG VERTICAL	SF	SQUARE FEET
BM	BEAM			LMC	LINEAR METAL CEILING	SIM	SIMILAR
BRG	BEARING	FD	FLOOR DRAIN			SPEC	SPECIFICATION
BRK	BRICK	FE	FIRE EXTINGUISHER	M	MIRROR	SQ	SQUARE
BTM	BOTTOM	FEC	FIRE EXTINGUISHER CABINET	MAINT	MAINTENANCE	SS	STAINLESS STEEL
BUR	BUILT UP ROOF			MATL	MATERIAL	STD	STANDARD
		FM	FIRE HYDRANT	MAX	MAXIMUM	STC	SOUND TRANSMISSION COEFFICIENT
C/C	CENTER-TO-CENTER	FHC	FIRE HOSE CABINET	MECH	MECHANICAL	STD	STANDARD
CJ	CONTROL JOINT	FIN	FINISH	MFR	MANUFACTURER	STRUCT	STRUCTURAL
CL	CENTER LINE	FLD DR	FOLDING DOOR	MH	MANHOLE	SUPPL	SUPPLEMENTARY
CKT	CIRCUIT	FM	FACTORY MUTUAL	MIN	MINIMUM	SUSP	SUSPENDED
CLG	CEILING	FR	FIRE RATED	MO	MASONRY OPENING		
CLO	CLOSET	FRTW	FIRE RETARDANT TREATED WOOD	MTD	MOUNTED METAL		
CMU	CONCRETE MASONRY UNIT COLUMN	FSS	FOLDING SHOWER SEAT	N/A	NOT APPLICABLE	TEMP	TEMPERED
COL	CONCRETE COLUMN	FT	FOOT	NIC	NOT IN CONTRACT NUMBER	TBG	TOP OF BEAM
CONC	CONFERENCE	FTG	FOOTING	NO	NOT IN CONTRACT NUMBER	Tag	TONGUE-AND-GROOVE
CONSTR	CONSTRUCTION			NOM	NOMINAL	THR	THRESHOLD
CORR	CORRIDOR	GA	GALVE	NTS	NOT TO SCALE	TKBD	TOP OF JOIST
CPT	CARPET	GB	GALVANIZED GRAB BAR	OC	ON CENTER	TOM	TOP OF MASONRY
CS	COURSE	GC	GENERAL CONTRACTOR GLASS, GLAZING	OD	OUTSIDE DIAMETER	TOS	TOP OF SLAB
CT	CERAMIC TILE	GL	GLASS, GLAZING	OPNG	OPENING	TST	TOP OF STEEL
		GYP BD.	GYPSUM BOARD	OPP	OPPOSITE	TTD	TOILET TISSUE DISPENSER
D	DEEP, DEPTH			ORD	OVERFLOW ROOF DRAIN	TYP	TYPICAL
DBL	DOUBLE					V	VINYL
DEM	DEMISING					VCT	VINYL COMPOSITION TILE
DF	DRINKING FOUNTAIN	H	HEIGHT, HIGH	PARTN	PARTITION	VERT	VERTICAL
DA	DIAMETER	HC	HANDICAPPED	PLBG	PLUMBING	VEST	VESTIBULE
DIM	DIAMENSION	HDW	HAND DRYER	PL	PLATE	VT	VINYL TILE
DN	DOWN	HW	HARDWARE	PLS	PLASTER	W	WITH
DS	DOWNSPOUT	HM	HOLLOW METAL	PTD	PAINT (PAINTED FINISHED)	WC	WATER CLOSET
DP	DAMP-PROOFING	HORZ.	HORIZONTAL	PAIR	PAIR	WO	WOOD
DR	DOOR	HR	HORIZONTAL	PROJ	PROJECT	W/O	WITHOUT
DET	DETAIL	HVAC	HEATING VENTILATION & AIR CONDITIONING	PT	PRESSURE TREATED	WR	WASTE RECEPTACLE
DWG	DRAWING			PLYWD	PLYWOOD	WWF	WELDED WIRE FABRIC

CODE & ZONING DATA

ORC 2013 CODE INFORMATION

PROJECT ADDRESS: 32 HIDDEN VALLEY DR., ROCKY RIVER, OH 44116
PROPERTY OWNERS: KEVIN & CAROL RYAN

EXISTING ZONING DISTRICT: R-3 (SINGLE-FAMILY ATTACHED)

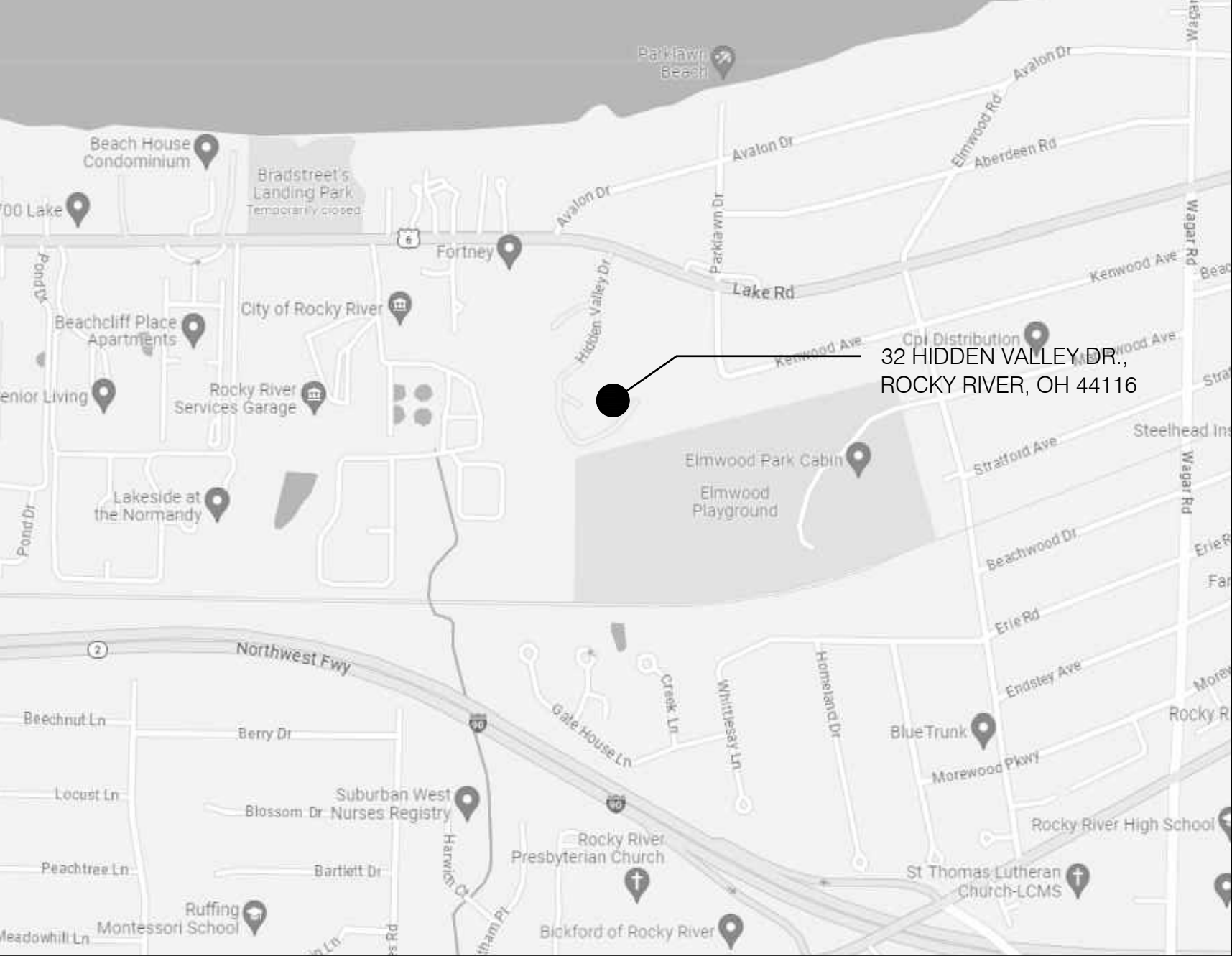
RESIDENCE SURFACE AREA:

EXISTING LOWER LEVEL	GROSS 1,222 S.F.	NET 1,049 S.F.
EXISTING FIRST FLOOR (INCLUDING GARAGE)	1,722 S.F.	1,608 S.F.
EXISTING SECOND FLOOR	1,060 S.F.	1,088 S.F.
FIRST FLOOR ADDITION	290 S.F.	261 S.F.
TOTAL	4,294 S.F.	4,006 S.F.

STRUCTURAL DESIGN CRITERIA

FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD DATA:	
GROUND SNOW LOAD	30 PSF
FLAT ROOF SNOW LOAD	40 PSF
MIN. ROOF SNOW LOAD	60 PSF
MIN. WIND LOAD	16 PSF
WIND LOAD:	
DESIGN WIND SPEED:	V(ult)=115 MPH, V(ass)=89 MPH
RISK CATEGORY:	II
WIND EXPOSURE:	B
APPLICABLE INTERNAL PRESSURE COEFFICIENT:	GCPi=±0.18

VICINITY MAP



GENERAL STRUCTURAL NOTES

ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM NATURAL SOIL CAPABLE OF SUPPORTING AN ASSUMED DESIGN BEARING PRESSURE OF 2.0 KSF.

CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE CODES AND STANDARDS LISTED IN THE SPECIFICATIONS, EXCEPT AS MODIFIED THEREIN OR ON THE DRAWINGS.

ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE IN 28 DAYS:

COLUMN AND WALL SPREAD FOOTINGS:	3,000 PSI
INTERIOR SLAB:	3,500 PSI
ALL OTHER CONCRETE:	4,000 PSI

REINFORCING BARS: ASTM A615, GRADE 60

WELDED WIRE FABRIC: ASTM A185, FLAT SHEET, ROLLED WWF SHALL NOT BE PERMITTED.

MASONRY CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF THE REFERENCES AND STANDARDS LISTED BELOW, EXCEPT MODIFIED HEREIN, IN ADDITION TO ALL OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS AND STANDARD PRACTICES.

A. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530.1, THE UNITS SHALL BE MANUFACTURED SO THE CORES AND WEBS LINE UP WHEN LAID IN A RUNNING BOND, A. UNITS SHALL BE MEDIUM WEIGHT UNITS WITH A DRY NET WEIGHT OF NOT MORE THAN 115 PSF.

HOLLOW LOAD - BEARING MASONRY UNITS SHALL CONFORM TO ASTM C90. THE MINIMUM PRISM COMPRESSIVE STRENGTH (Fm) SHALL BE 1900 PSI AT AN AGE OF 28 DAYS, AS DETERMINED BY THE UNIT STRENGTH METHOD OF ACI 530.1. THE UNITS SHALL BE MANUFACTURED SO THE CORES AND WEBS LINE UP WHEN LAID IN A RUNNING BOND, A. UNITS SHALL BE MEDIUM WEIGHT UNITS WITH A DRY NET WEIGHT OF NOT MORE THAN 115 PSF.

DETAILS, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE LATEST AISI AND OTHER RELATED CODES AND STANDARDS.

SHAPES (EXCEPT WIDE FLANGE), PLATES, BARS AND RODS: ASTM A36
GRADE 50, WIDE FLANGE SHAPES: ASTM A992
GRADE B, STEEL TUBING: ASTM A500
TYPE E OR S, GRADE B, STEEL PIPE: ASTM A53

BOLTS: 3/4" DIAMETER, ASTM F3125, GRADE A325, TYPE 1, FOR ALL BEAM AND COLUMN CONNECTIONS, DESIGNED AS BEARING TYPE WITH TREADS INCLUDED IN THE SHEAR PLANE, UNLESS NOTED OTHERWISE.

ANCHOR RODS SHALL BE ASTM F1554, GRADE 36, UNLESS NOTED OTHERWISE.

WELDING SHALL CONFORM WITH AWS E-70 ELECTRODES, MIN.

CONNECTIONS: WELD OR BOLT CONNECTIONS, AS INDICATED.

GENERAL NOTES

- WRITTEN DIMENSIONS SHALL HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. REPORT ANY DISCREPANCIES DURING BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS.
- ALL WORK SHALL BE PERFORMED ACCORDING TO STATE AND LOCAL BUILDING CODE REQUIREMENTS. GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL:
 - COMPLY WITH ALL LOCAL AND STATE CODES AND ORDINANCES GOVERNING THE WORK.
 - ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER AND IN NO WAY SHALL WEAKEN THE STRUCTURAL STRENGTH OR FIREPROOFING OF THE BUILDING. ALL DAMAGE SHALL BE IMMEDIATELY REPAIRED AND AT NO COST TO THE OWNER.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.
 - REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, LATEST EDITION.
 - PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES. CONTRACTOR SHALL INCLUDE BUILDER'S RISK COVERAGE IN HIS CERTIFICATE.
 - ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED IN THE DRAWINGS.
- ALL WINDOWS, GLASS, MIRRORS, FLOORS, AND WALL TILES SHALL BE CLEANED AND WASHED UPON COMPLETION OF THE WORK BY GENERAL CONTRACTOR.
 - THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/ OR SLEEVES.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.
- ALL NEW GYPSUM BOARD CEILING AND WALL CONSTRUCTION SHALL BE ADEQUATELY BRACED AS PER MANUFACTURERS RECOMMENDATIONS. USE SUFFICIENT STUDS AND CHANNELS AND CONFORM TO INDUSTRY STANDARDS.
- ALL FIRE STOPPING USED IN WALLS AND ABOVE CEILING TO BE FIRE RETARDANT TREATED.
- CEILING CONTRACTOR TO PROVIDE ADEQUATE FRAMING FOR CEILING LIGHTS, CEILING FANS, AND MECHANICAL EQUIPMENT (DIFFUSERS AND/OR ACCESS PANELS)
- ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL MEET THE STANDARDS OF ALL REQUIRED LOCAL AND STATE CODES AND ORDINANCES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.

PROJECT SUMMARY

THIS PROJECT IS AN EXISTING SINGLE-FAMILY TOWNHOUSE IN THE CITY OF ROCKY RIVER, OHIO, LOCATED AT 32 HIDDEN VALLEY DR., ROCKY RIVER, OH 44116. THE SCOPE CONSISTS OF A WOOD FRAMED ADDITION CONNECTING THE FIRST FLOOR TO A DETACHED GARAGE, AS WELL AS, SELECT AREAS OF RE-FINISHING EXTERIOR MATERIALS, INCLUDING NEW SIDING, ROOFING AND BRICK.

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		AR-8	INTERIOR RENDERING
		AR-9	INTERIOR RENDERING
		AR-10	INTERIOR RENDERING
		AR-11	INTERIOR RENDERING
ARCHITECTURAL DRAWINGS			
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D1-02	FIRST LEVEL EXISTING CONDITIONS / DEMOLITION PLAN		
D1-03	SECOND LEVEL EXISTING CONDITIONS / DEMOLITION PLAN		
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A1-01	BASEMENT FLOOR PLAN		
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A5-05	INTERIOR ELEVATIONS		
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Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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Kevin and Carol Ryan
Townhouse Renovation

32 Hidden Valley Dr
Rocky River, OH, 44116

TITLE SHEET

Date:
11/29/2023

Project Number:
23-054

Drawn by:
JTK/ AND/ KH

Checked by:
SMD/AND

Approved:
SMD/AND

Drawing Number:

T1-01



1. DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION.
2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AS WELL AS ALL OSHA REGULATIONS TO PROTECT SAFETY OF WORKERS, PROPERTY, AND INSURE ENVIRONMENTAL PROTECTION.
3. CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF EXISTING STRUCTURE AND ASSUME LIABILITY FOR ANY MOVEMENT, DAMAGE, OR INJURY RESULTING FROM THE DEMOLITION WORK REQUIRED.
4. CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER. DEMOLITION SPACE SHALL BE LEFT BROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
5. REMOVE ALL ELECTRICAL, LIGHTING, TV CABLE, TELEPHONE WIRE AND OUTLET WIRING AND CONDUIT, PLUMBING PIPING, FIXTURES AND FIRE SUPPRESSION, AND MECHANICAL DUCTWORK THAT IS NOT INDICATED TO BE RE-USED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS. COORDINATE UTILITY DISCONNECT WITH UTILITY COMPANY AND BUILDING OWNER.
6. CONTACT ARCHITECT AND/OR OWNER IF DEMOLITION OR REMOVAL OF ANY ITEM NOT SPECIFICALLY IDENTIFIED IS IN QUESTION. ANY RADON TESTING REQUIRED TO BE OWNER PROVIDED.
7. CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
8. THE SCOPE OF REPAIRS IS NOT LIMITED TO THOSE INDICATED ON THIS DRAWING. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS & QUANTITIES AS WELL AS PROVIDING BASE BID QUANTITIES / PRICING ALONG WITH ADD/DUCT UNIT PRICING.

- B** REMOVE EXISTING CABINETS, MILLWORK, SHELVING, RODS, AND ANY ASSOCIATED TRIM.
- B** REMOVE EXISTING STAIRCASE, HANDRAILS, BANISTERS AND CARPET
- C** EXISTING EXT WALL TO REMAIN. REMOVE EXISTING INT AND EXT FINISHES, PREPARE EXISTING FRAMING AND SHEATHING TO RECEIVE NEW FINISHES AND BATT INSULATION. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- D** EXISTING BRICK WALL TO REMAIN. REMOVE EXISTING INT FINISHES, PREPARE EXISTING FRAMING AND SHEATHING TO RECEIVE NEW FINISHES AND BATT INSULATION. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- E** REMOVE EXISTING PARTITION STUD WALL AND ASSOCIATED TRIM.
- F** REMOVE EXISTING FLOOR FINISH DOWN TO EXISTING FLOOR SHEATHING. PREPARE EXISTING SHEATHING FOR NEW FLOOR FINISH.
- G** REMOVE EXISTING DOOR/WINDOW, SILL, AND ASSOCIATED TRIM. PREPARE TO FILL EXISTING NEW OPENING PER EXTERIOR ELEVATIONS WITH NEW DOOR/WINDOW ASSEMBLY. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- H** EXISTING WINDOW DOOR, SILL, AND ASSOCIATED TRIM TO BE REMOVED AND REPLACED WITH A NEW WINDOW TO MATCH EXISTING.
- I** REMOVE EXISTING DOOR.
- J** REMOVE EXISTING FIRE PLACE AND MANTEL IN ITS ENTIRETY. MAINTAIN LOCATION OF EXISTING EXHAUST CHASE AND PREPARE FOR INSTALLATION OF A NEW VENT.
- K** REMOVE EXISTING GUTTERS AND DOWNSPOUTS. PATCH AND REPAIR EXISTING FASCIA TO RECEIVE NEW PAINT AND GUTTERS.
- L** REMOVE EXISTING LIGHT FIXTURE. MAINTAIN EXISTING CONDUIT FOR FUTURE FIXTURE
- M** REMOVE EXISTING BAY WINDOW, SILL, ASSOCIATED TRIM AND HIP ROOF ENTIRELY. PREPARE TO FILL EXISTING NEW OPENING PER EXTERIOR ELEVATIONS WITH NEW DOOR/WINDOW ASSEMBLY. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- N** REMOVE EXISTING EXTERIOR FINISH AND WEATHER BARRIER. PATCH AND REPAIR EXISTING SHEATHING AND PREPARE FOR NEW FINISH INSTALLATION.
- O** REMOVE EXISTING EXTERIOR TRIM
- P** REMOVE PORTION EXISTING EXTERIOR WALL. REFER TO ELEVATIONS. BRACE AND PREPARE FOR STRUCTURE AT NEW OPENING. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- Q** REMOVE EXISTING PLUMBING, PIPING, AND FIXTURES.
- R** EXISTING EXTERIOR BRICK STEPS TO REMAIN
- S** REMOVE PORTION OF EXISTING ROOF, REFER TO ELEVATIONS, BRACE AND PREPARE FOR STRUCTURE AT NEW OPENING. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
- T** REMOVE EXISTING WALL FINISH. PREPARE EXISTING FRAMING TO REMAIN TO RECEIVE NEW GYP. BD. EXISTING WALL FINISH TO REMAIN WHERE APPLICABLE. PATCH AND REPAIR EXISTING DRYWALL AND PREPARE FOR NEW COAT OF PAINT
- U** REMOVE PORTION OF EXISTING FLOORING, STRUCTURAL JOISTS AND CEILING FINISH BELOW
- V** EXISTING SKYLIGHT TO REMAIN
- W** ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS TO REMAIN WHERE APPLICABLE. GENERAL CONTRACTOR TO FIELD VERIFY CURRENT CONDITION AND OPERABILITY PRIOR TO CONDUCTING ANY FINISH WORK.
- X** EXISTING CMU DEMISING WALL TO REMAIN. GENERAL CONTRACTOR TO FIELD VERIFY STRUCTURAL INTEGRITY.
- Y** EXISTING TRIM TO REMAIN
- Z** EXISTING STAIRCASE FRAMING TO REMAIN. REMOVE EXISTING WOOD/ CARPET AND PREPARE TO RECEIVE NEW FINISH
- AA** EXISTING EXTERIOR FINISH TO REMAIN. PATCH AND REPAIR EXISTING AS NEEDED
- BB** EXISTING EXTERIOR BRICK STEPS TO BE REMOVED
- CC** EXISTING WATER SUPPLY MANIFOLD TO REMAIN. CONFIRM SHUT-OFF PRIOR TO CONSTRUCTION AND CONFIRM FUNCTIONALITY WITH ANY NEW PLUMBING

Sea

**NOT FOR
CONSTRUCTION**

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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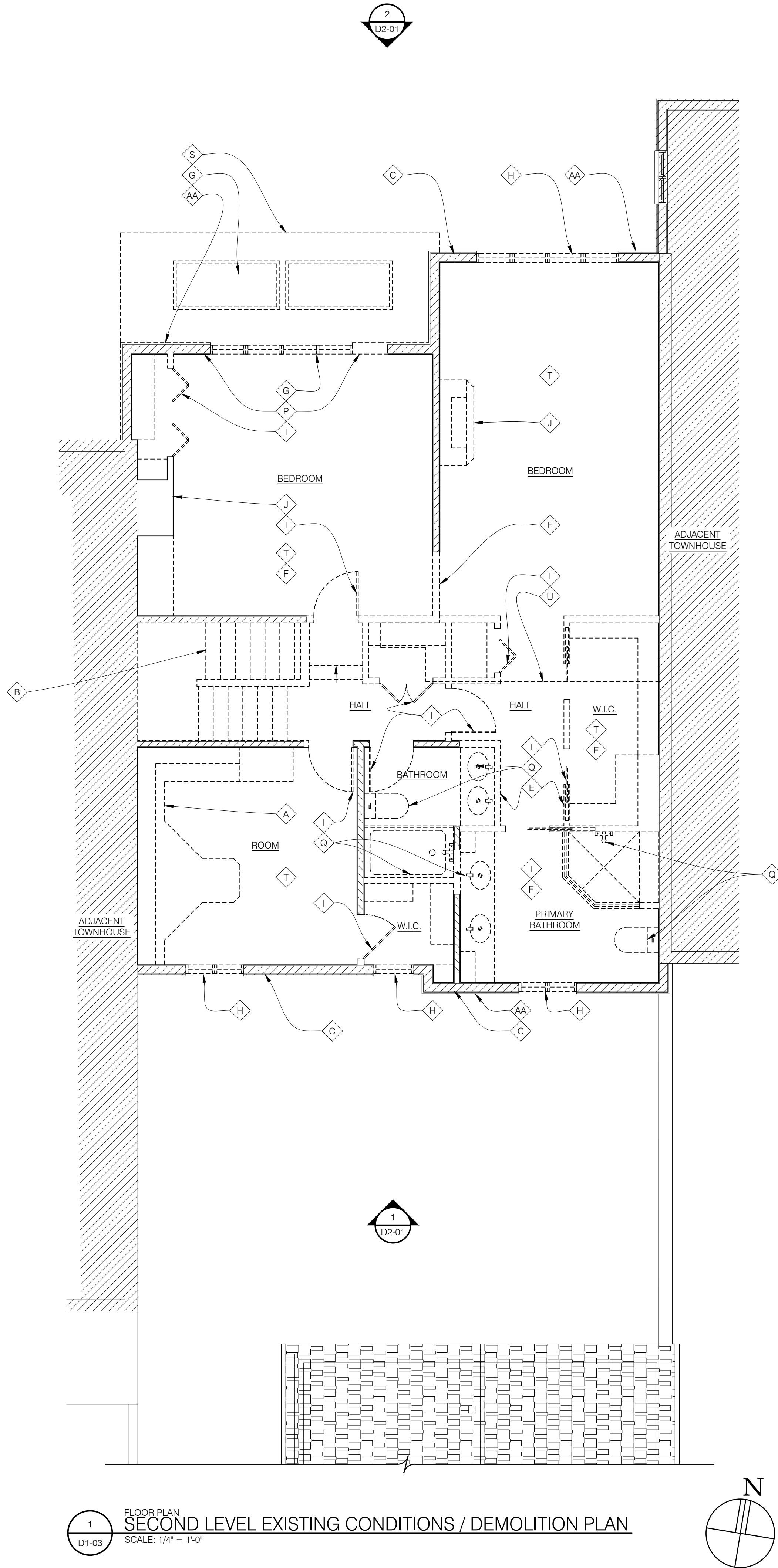
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Kevin and Carol Ryan Townhouse Renovation

32 Hidden Valley Dr
Rocky River, OH, 44116

**BASEMENT EXISTING
CONDITIONS / DEMOLITION
PLAN**

Date	Project Number
11/29/2023	23-054
Drawn by	Drawing Number
JTK/ AND/ KH	D1-01
Checked by	
SMD/AND	
Approved	
SMD/AND	



HATCHED AREA NOT IN SCOPE
OF WORK

1 D1-03 FLOOR PLAN
SECOND LEVEL EXISTING CONDITIONS / DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

- DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION.
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DEMOLITION KEYN O T E S :

- A REMOVE EXISTING CABINETS, MILLWORK, SHELVING, RODS, AND ANY ASSOCIATED TRIM.
- B REMOVE EXISTING STAIRCASE, HANDRAILS, BANISTERS AND CARPET
- C EXISTING EXT WALL TO REMAIN. REMOVE EXISTING INT AND EXT FINISHES, PREPARE EXISTING FRAMING AND SHEATHING TO RECEIVE NEW FINISHES AND BATT INSULATION. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
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- X EXISTING CMU DEMISING WALL TO REMAIN. GENERAL CONTRACTOR TO FIELD VERIFY STRUCTURAL INTEGRITY.
- Y EXISTING TRIM TO REMAIN
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- AA EXISTING EXTERIOR FINISH TO REMAIN. PATCH AND REPAIR EXISTING AS NEEDED
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- CC EXISTING WATER SUPPLY MANIFOLD TO REMAIN. CONFIRM SHUT-OFF PRIOR TO CONSTRUCTION AND CONFIRM FUNCTIONALITY WITH ANY NEW PLUMBING

Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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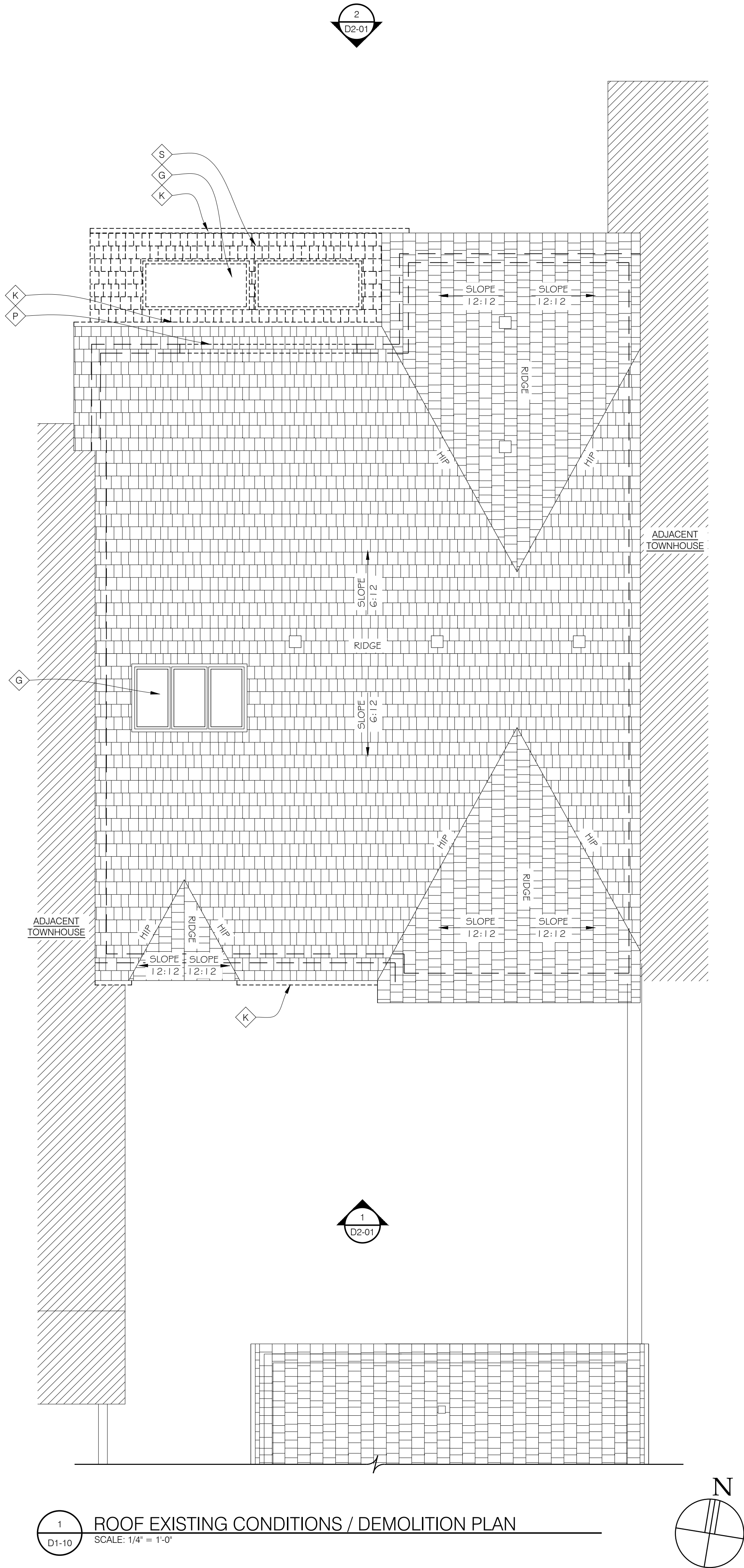
**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

**SECOND LEVEL EXISTING
CONDITIONS/
DEMOLITION PLAN**

Date:	Project Number:
11/29/2023	23-054
Drawn by JTK/ AND/ KH	Drawing Number
Checked by SMD/AND	
Approved SMD/AND	

D1-03



GENERAL DEMOLITION NOTES:

- DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AS WELL AS ALL OSHA REGULATIONS TO PROTECT SAFETY OF WORKERS, PROPERTY, AND INSURE ENVIRONMENTAL PROTECTION.
- CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF EXISTING STRUCTURE AND ASSUME LIABILITY FOR ANY MOVEMENT, DAMAGE, OR INJURY RESULTING FROM THE DEMOLITION WORK REQUIRED.
- CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER. DEMOLITION SPACE SHALL BE LEFT BROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
- REMOVE ALL ELECTRICAL, LIGHTING, TV CABLE, TELEPHONE WIRE AND OUTLET WIRING AND CONDUIT, PLUMBING PIPING, FIXTURES AND FIRE SUPPRESSION, AND MECHANICAL DUCTWORK THAT IS NOT INDICATED TO BE RE-USED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS. COORDINATE UTILITY DISCONNECT WITH UTILITY COMPANY AND BUILDING OWNER.
- CONTACT ARCHITECT AND/OR OWNER IF DEMOLITION OR REMOVAL OF ANY ITEM NOT SPECIFICALLY IDENTIFIED IS IN QUESTION. ANY RADON TESTING REQUIRED TO BE OWNER PROVIDED.
- CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
- THE SCOPE OF REPAIRS IS NOT LIMITED TO THOSE INDICATED ON THIS DRAWING. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS & QUANTITIES AS WELL AS PROVIDING BASE BID QUANTITIES / PRICING ALONG WITH ADD/DEDUCT UNIT PRICING.

DEMOLITION KEYNOTES:

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- B** REMOVE EXISTING STAIRCASE, HANDRAILS, BANISTERS AND CARPET
- C** EXISTING EXT WALL TO REMAIN. REMOVE EXISTING INT AND EXT FINISHES. PREPARE EXISTING FRAMING AND SHEATHING TO RECEIVE NEW FINISHES AND BATT INSULATION. PROVIDE A TEMPORARY WEATHER BARRIER BETWEEN EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION.
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Seal

**NOT FOR
CONSTRUCTION**

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**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

**ROOF EXISTING
CONDITIONS/
DEMOLITION PLAN**

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: D1-10
Checked by: SMD/AND	
Approved: SMD/AND	

GENERAL DEMOLITION NOTES:

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Seal

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Issue:	Date:	By:
PRICING SET	09/11/23	SMD
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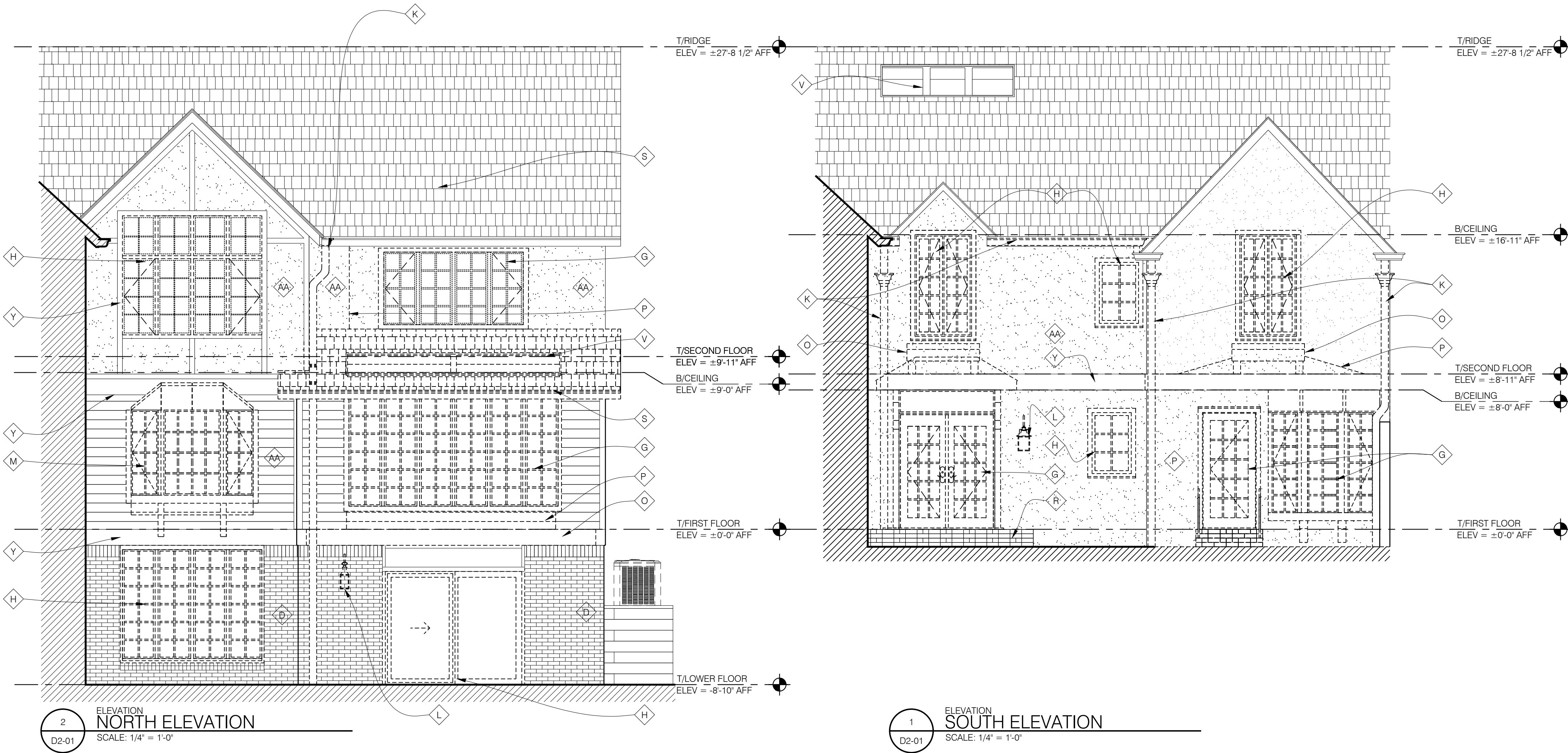
**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

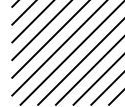
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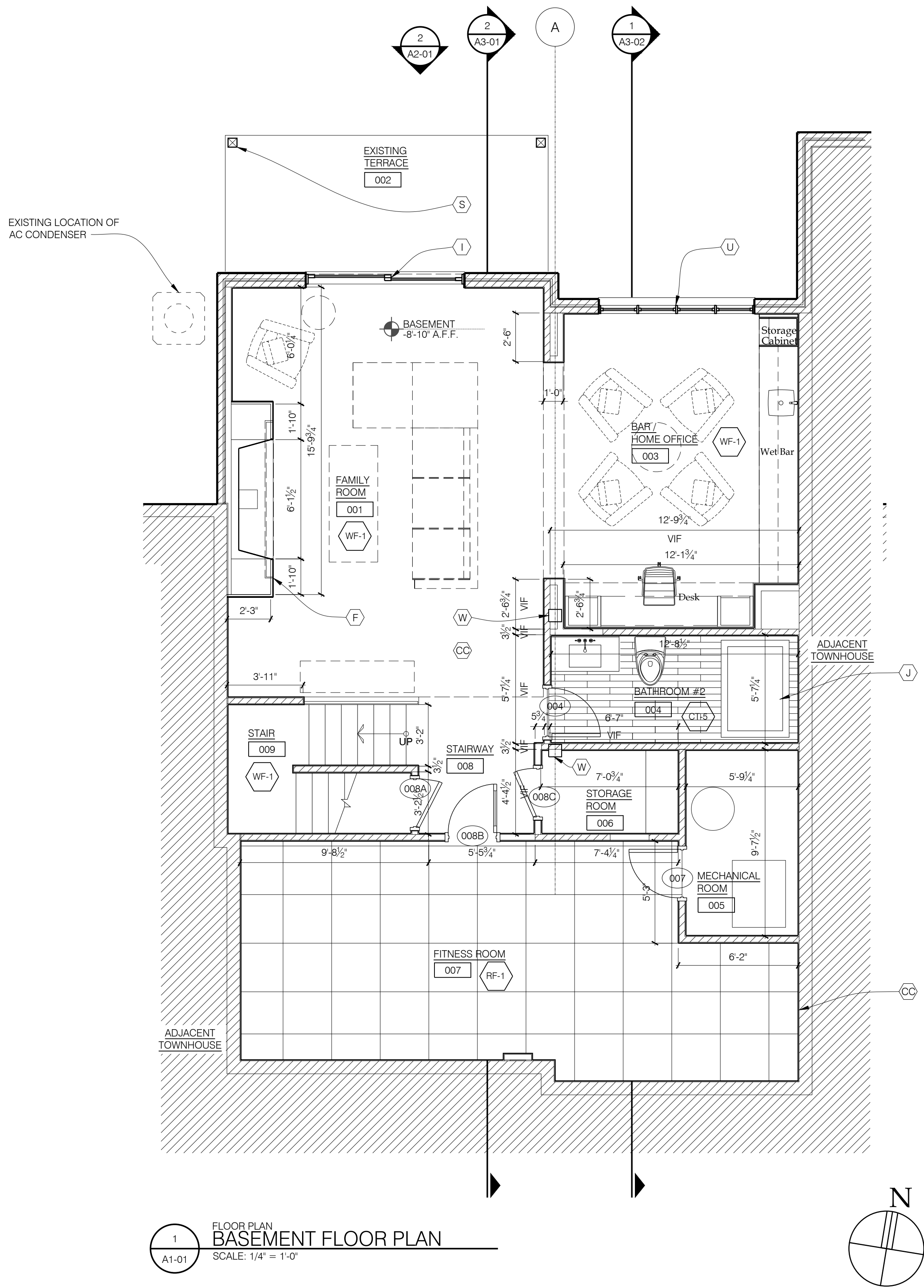
Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number:
Checked by: SMD/AND	
Approved: SMD/AND	

D2-01



HATCHED AREA NOT IN SCOPE
OF WORK





GENERAL NOTES:

- GENERAL CONTRACTOR # ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
- GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
- ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

NEW CONSTRUCTION KEYNOTES:

- (A) EXTERIOR WALL INFILL TO MATCH EXISTING.
- (B) NEW WOOD FRAMED ENTRY CANOPY WITH STANDING SEAM METAL ROOF AND FLANKING WOOD SUPPORT BRACKETS
- (C) NEW GUTTERS AND DOWNSPOUTS
- (D) OPEN TREAD OAK STAIR CASE WITH GLASS RAILINGS AND METAL HANDRAIL
- (E) EXISTING SKYLIGHT TO REMAIN
- (F) NEW GAS INSERT FIRE PLACE AND MANTEL WITH SPACE FOR LARGE FLAT SCREEN TV ABOVE
- (G) NEW KITCHEN COUNTERTOPS, CABINETS, AND APPLIANCES
- (H) EXISTING ENTRY STEPS TO REMAIN
- (I) NEW SLIDING GLASS DOOR
- (J) 24" DEEP PLUNGE BATH
- (K) POCKET GLASS DOOR PARTITION WITH DOOR RECESS
- (L) DASHED LINE INDICATES LOCATION OF NEW WOOD DECK ABOVE
- (M) PRESSURE TREATED WOOD GUARD RAIL, 4X4 WOOD POSTS AND TAPERED TOP CAP
- (N) DASHED LINE INDICATES LOCATION OF SKYLIGHT ABOVE
- (O) DASHED LINE INDICATES LOCATION OF NEW ENTRY CANOPY ABOVE
- (P) EXISTING CMU DEMISING WALL TO REMAIN
- (Q) SLIDING PARTITION WALL ENCLOSING HOME OFFICE
- (R) NEW WOOD FRAMED ROOF WITH SHAKE SHINGLES TO MATCH EXISTING. REFER TO ROOF PLAN FOR SLOPES
- (S) COMPOSITE WOOD DECK WITH PRESSURE TREATED 6X6 WOOD POSTS, REFER TO STRUCTURAL
- (T) EXISTING WINDOW/ DOOR, SILL, AND ASSOCIATED TRIM TO REMAIN. PATCH AND REPAIR MILL WORK AS NEEDED.
- (U) NEW WINDOW, REFER TO ELEVATIONS
- (V) NEW ENTRY DOOR WITH TEMPERED GLASS SIDE LITES
- (W) NEW STEEL STRUCTURAL COLUMN
- (X) GLASS PARTITION WALL WITH GLASS DOOR
- (Y) GUTTER MOUNTED TO TOP OF CMU WALL
- (Z) NEW FIXED SKYLIGHT CURB MOUNTED TO ROOF SHEATHING
- (AA) EXISTING WOOD FRAMED ROOF WITH SHAKE SHINGLES TO REMAIN. PATCH AND REPAIR AS NEEDED
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HATCHED AREA NOT IN SCOPE OF WORK

Seal

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**Kevin and Carol Ryan
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BASEMENT FLOOR PLAN

Date:
11/29/2023

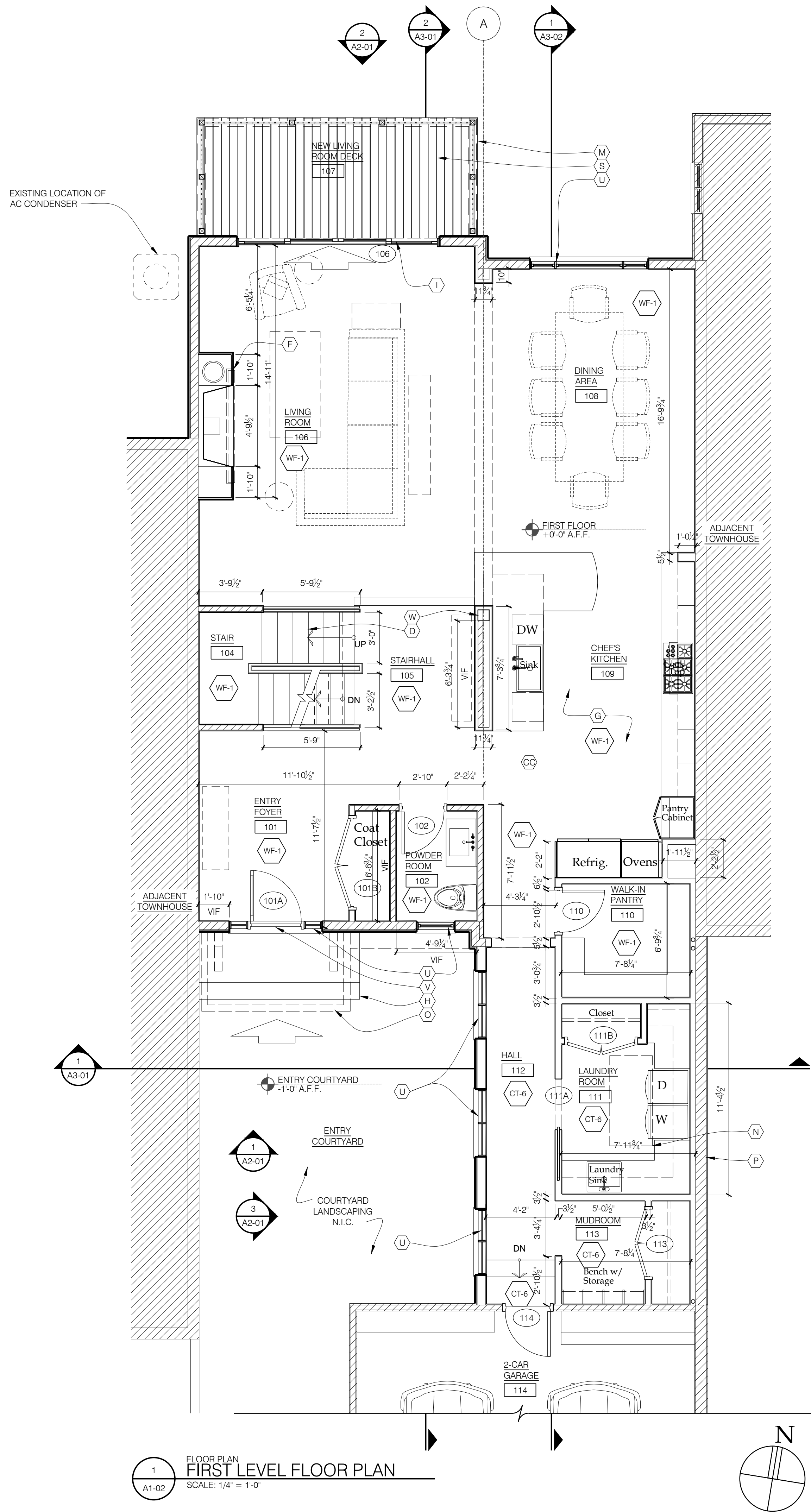
Project Number:
23-054

Drawn by:
JTK/ AND/ KH

Checked by:
SMD/AND

Approved:
SMD/AND

A1-01



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- (E) EXISTING SKYLIGHT TO REMAIN
- (F) NEW GAS INSERT FIRE PLACE AND MANTEL WITH SPACE FOR LARGE FLAT SCREEN TV ABOVE
- (G) NEW KITCHEN COUNTERTOPS, CABINETS, AND APPLIANCES
- (H) EXISTING ENTRY STEPS TO REMAIN
- (I) NEW LIFT AND SLIDE GLASS DOOR
- (J) 24" DEEP PLUNGE BATH
- (K) POCKET GLASS DOOR PARTITION WITH DOOR RECESS
- (L) DASHED LINE INDICATES LOCATION OF NEW WOOD DECK ABOVE
- (M) PRESSURE TREATED WOOD GUARD RAIL, 4X4 WOOD POSTS AND TAPERED TOP CAP
- (N) DASHED LINE INDICATES LOCATION OF SKYLIGHT ABOVE
- (O) DASHED LINE INDICATES LOCATION OF NEW ENTRY CANOPY ABOVE
- (P) EXISTING CMU DEMISING WALL TO REMAIN
- (Q) SLIDING PARTITION WALL ENCLOSING HOME OFFICE
- (R) NEW WOOD FRAMED ROOF WITH SHAKE SHINGLES TO MATCH EXISTING. REFER TO ROOF PLAN FOR SLOPES
- (S) COMPOSITE WOOD DECK WITH PRESSURE TREATED 6X6 WOOD POSTS, REFER TO STRUCTURAL
- (T) NOT USED
- (U) NEW WINDOW, REFER TO ELEVATIONS
- (V) NEW ENTRY DOOR WITH TEMPERED GLASS SIDE LITES
- (W) NEW STEEL STRUCTURAL COLUMN
- (X) GLASS PARTITION WALL WITH GLASS DOOR
- (Y) GUTTER MOUNTED TO TOP OF CMU WALL
- (Z) NEW FIXED SKYLIGHT CURB MOUNTED TO ROOF SHEATHING
- (AA) EXISTING WOOD FRAMED ROOF WITH SHAKE SHINGLES TO REMAIN. PATCH AND REPAIR AS NEEDED
- (BB) EXISTING EXTERIOR STUCCO WALL FINISH TO REMAIN. PATCH AND REPAIR AS NEEDED
- (CC) ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS TO REMAIN WHERE APPLICABLE. GENERAL CONTRACTOR TO FIELD VERIFY CURRENT CONDITION AND OPERABILITY PRIOR TO CONDUCTING ANY FINISH WORK.

HATCHED AREA NOT IN SCOPE OF WORK

Seal

NOT FOR CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

**FIRST LEVEL
FLOOR PLAN**

Date:
11/29/2023

Project Number:
23-054

Drawn by:
JTK/ AND/ KH

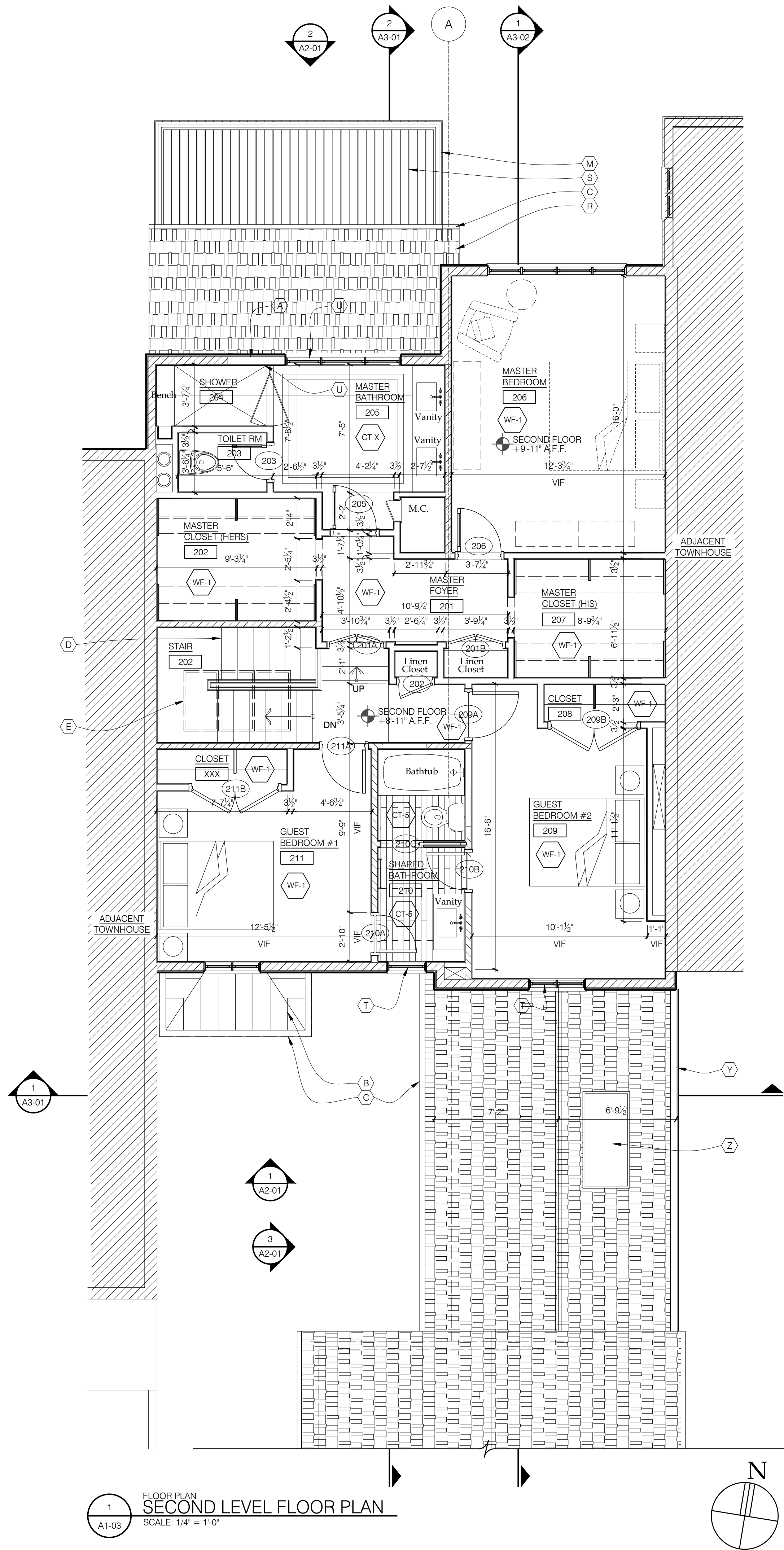
Drawing Number

Checked by:
SMD/AND

Approved

SMD/AND

A1-02



1
A1-03
FLOOR PLAN
SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR # ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

NEW CONSTRUCTION KEYNOTES:

- (A) EXTERIOR WALL INFILL TO MATCH EXISTING.
- (B) NEW WOOD FRAMED ENTRY CANOPY WITH STANDING SEAM METAL ROOF AND FLANKING WOOD SUPPORT BRACKETS
- (C) NEW GUTTERS AND DOWNSPOUTS
- (D) OPEN TREAD OAK STAIR CASE WITH GLASS RAILINGS AND METAL HANDRAIL
- (E) EXISTING SKYLIGHT TO REMAIN
- (F) NEW GAS INSERT FIRE PLACE AND MANTEL WITH SPACE FOR LARGE FLAT SCREEN TV ABOVE
- (G) NEW KITCHEN COUNTERTOPS, CABINETS, AND APPLIANCES
- (H) EXISTING ENTRY STEPS TO REMAIN
- (I) NEW SLIDING GLASS DOOR
- (J) 24" DEEP PLUNGE BATH
- (K) POCKET GLASS DOOR PARTITION WITH DOOR RECESS
- (L) DASHED LINE INDICATES LOCATION OF NEW WOOD DECK ABOVE
- (M) PRESSURE TREATED WOOD GUARD RAIL, 4X4 WOOD POSTS AND TAPERED TOP CAP
- (N) DASHED LINE INDICATES LOCATION OF SKYLIGHT ABOVE
- (O) DASHED LINE INDICATES LOCATION OF NEW ENTRY CANOPY ABOVE
- (P) EXISTING CMU DEMISING WALL TO REMAIN
- (Q) SLIDING PARTITION WALL ENCLOSING HOME OFFICE
- (R) NEW WOOD FRAMED ROOF WITH SHAKE SHINGLES TO MATCH EXISTING. REFER TO ROOF PLAN FOR SLOPES
- (S) COMPOSITE WOOD DECK WITH PRESSURE TREATED 6X6 WOOD POSTS, REFER TO STRUCTURAL
- (T) EXISTING WINDOW/ DOOR, SILL, AND ASSOCIATED TRIM TO REMAIN. PATCH AND REPAIR MILL WORK AS NEEDED.
- (U) NEW WINDOW, REFER TO ELEVATIONS
- (V) NEW ENTRY DOOR WITH TEMPERED GLASS SIDE LITES
- (W) NEW STEEL STRUCTURAL COLUMN
- (X) GLASS PARTITION WALL WITH GLASS DOOR
- (Y) GUTTER MOUNTED TO TOP OF CMU WALL
- (Z) NEW FIXED SKYLIGHT CURB MOUNTED TO ROOF SHEATHING
- (AA) EXISTING WOOD FRAMED ROOF WITH SHAKE SHINGLES TO REMAIN. PATCH AND REPAIR AS NEEDED
- (BB) EXISTING EXTERIOR STUCCO WALL FINISH TO REMAIN. PATCH AND REPAIR AS NEEDED
- (CC) ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS TO REMAIN WHERE APPLICABLE. GENERAL CONTRACTOR TO FIELD VERIFY CURRENT CONDITION AND OPERABILITY PRIOR TO CONDUCTING ANY FINISH WORK.

HATCHED AREA NOT IN SCOPE OF WORK



Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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**Kevin and Carol Ryan
Townhouse Renovation**

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Rocky River, OH, 44116

**SECOND LEVEL
FLOOR PLAN**

Date:
11/29/2023

Project Number:
23-054

Drawn by:
JTK/ AND/ KH

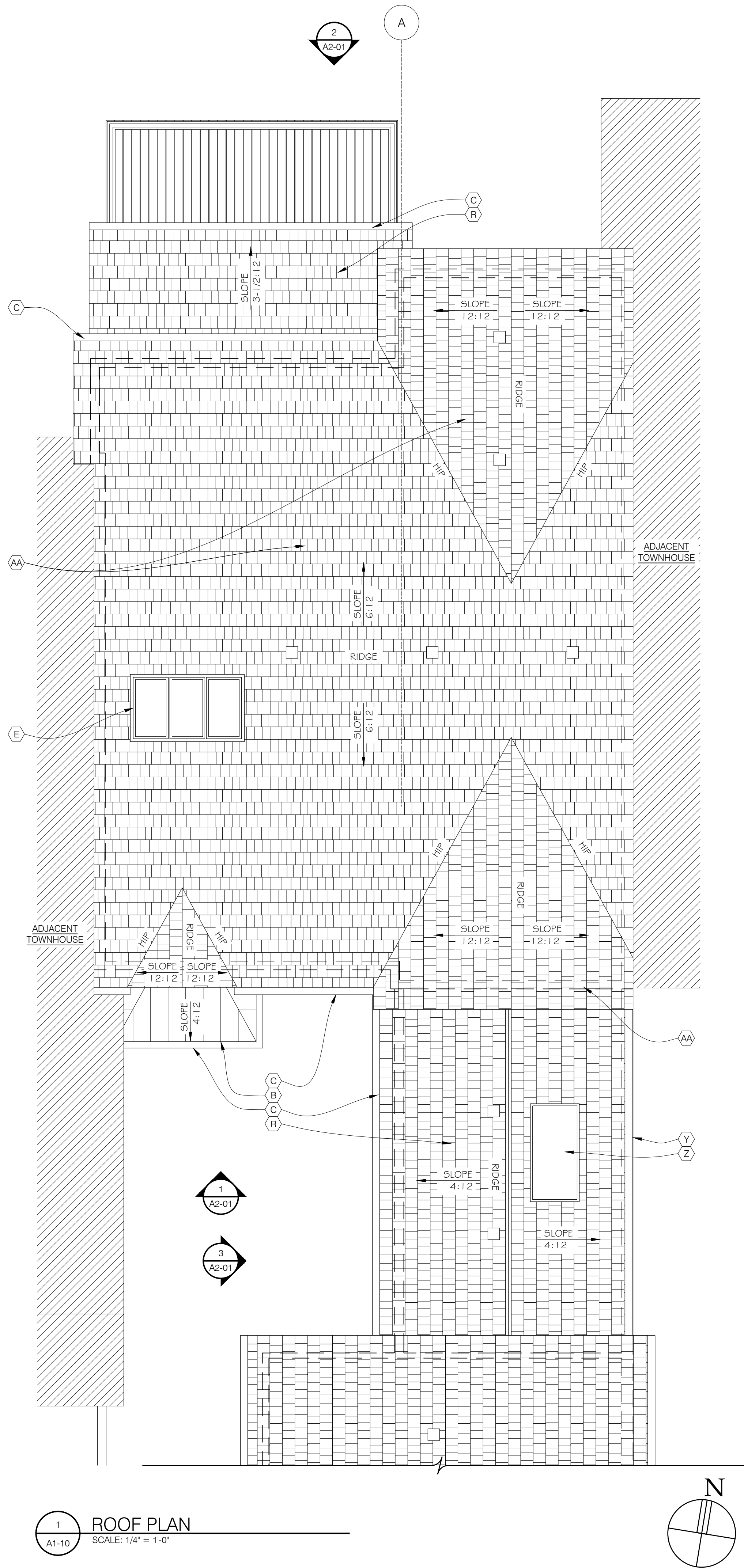
Drawing Number:

Checked by:
SMD/AND

Approved:

SMD/AND

A1-03



GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
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4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

NEW CONSTRUCTION KEYNOTES:

- (A) EXTERIOR WALL INFILL TO MATCH EXISTING.
- (B) NEW WOOD FRAMED ENTRY CANOPY WITH STANDING SEAM METAL ROOF AND FLANKING WOOD SUPPORT BRACKETS
- (C) NEW GUTTERS AND DOWNSPOUTS
- (D) OPEN TREAD OAK STAIR CASE WITH GLASS RAILINGS AND METAL HANDRAIL
- (E) EXISTING SKYLIGHT TO REMAIN
- (F) NEW GAS INSERT FIRE PLACE AND MANTEL WITH SPACE FOR LARGE FLAT SCREEN TV ABOVE
- (G) NEW KITCHEN COUNTERTOPS, CABINETS, AND APPLIANCES
- (H) EXISTING ENTRY STEPS TO REMAIN
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- (S) COMPOSITE WOOD DECK WITH PRESSURE TREATED 6X6 WOOD POSTS, REFER TO STRUCTURAL
- (T) EXISTING WINDOW/ DOOR, SILL, AND ASSOCIATED TRIM TO REMAIN. PATCH AND REPAIR MILL WORK AS NEEDED.
- (U) NEW WINDOW, REFER TO ELEVATIONS
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HATCHED AREA NOT IN SCOPE OF WORK

Seal

NOT FOR CONSTRUCTION

Issue:	Date:	By:
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REVIEW SET	11/29/23	SMD

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Kevin and Carol Ryan
Townhouse Renovation

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ROOF PLAN

Date:
11/29/2023

Project Number:
23-054

Drawn by:

JTK/ AND/ KH

Checked by:

SMD/AND

Approved:

SMD/AND

Drawing Number:

A1-10

EXTERIOR MATERIAL SCHEDULE - RYAN RESIDENCE

DESIGNATION:	MATERIAL:	MANUFACTURER:	TYPE/STYLE:	COLOR:	NOTES:
RF-1	SHAKE ROOFING	TBD	LAP	TO MATCH EXISTING	OR APPROVED EQUIV.
RF-2	METAL ROOF	PAC-CLAD	STANDING SEAM	MIDNIGHT BRONZE	TO MATCH EXISTING
ST-1	STUCCO	STO	SMOOTH FINISH	CLOUD	TO MATCH EXISTING
PT-1	PAINT	SHERWIN WILLIAMS	EXTERIOR GRADE FINISH	TO MATCH EXISTING TRIM	
BR-1	FACE BRICK	GLEN GEARY	FULL DEPTH	FRENCH PROVINCIAL HANDMADE	
GL-1	WOOD WINDOWS	PELLA	CASEMENT, FIXED, SLIDING DOOR	BLACK	"LIFESTYLE" SERIES (TO MATCH EXISTING)
GL-2	SKYLIGHT	VELUX	FIXED, CURB MOUNT	TO MATCH WINDOWS	

GENERAL NOTES:

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- COMPOSITE WOOD DECK WITH PRESSURE TREATED 6X6 WOOD POSTS, REFER TO STRUCTURAL
- EXISTING WINDOW/ DOOR, SILL, AND ASSOCIATED TRIM TO REMAIN. PATCH AND REPAIR MILL WORK AS NEEDED.
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NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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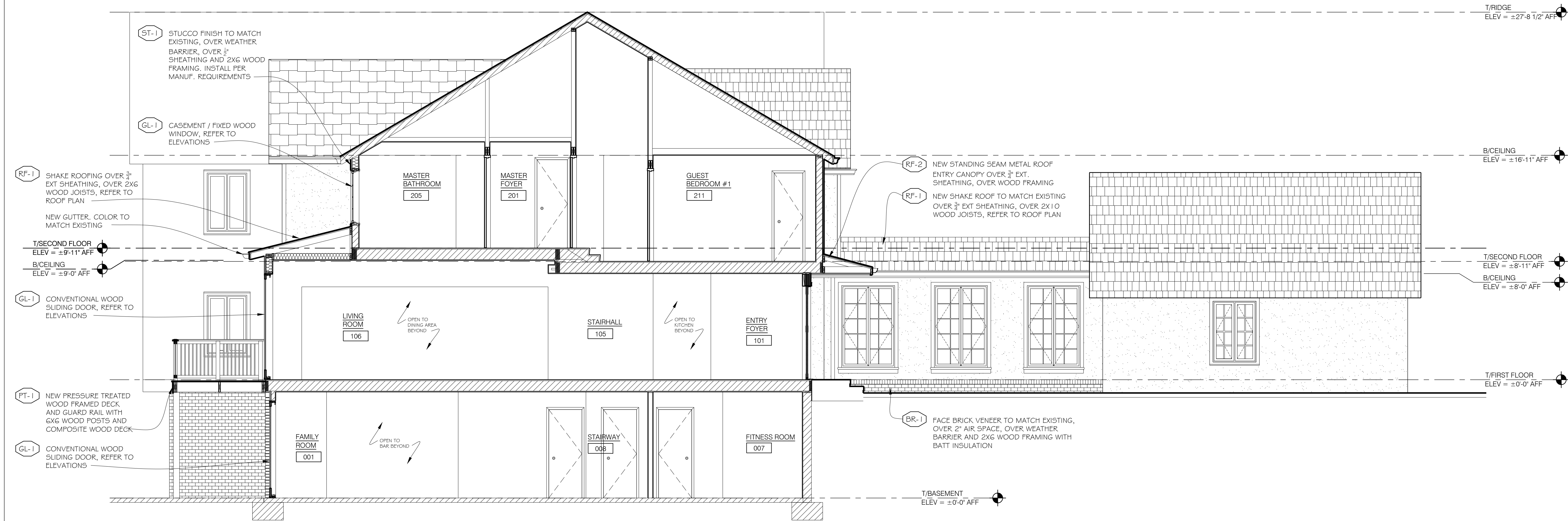
**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

EXTERIOR ELEVATIONS

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number:
Checked by: SMD/AND	
Approved: SMD/AND	A2-01





2
A3-01
SECTION
BUILDING SECTION
SCALE: 1/4" = 1'-0"



1
A3-01
SECTION
FIRST FLOOR ADDITION
SCALE: 1/4" = 1'-0"

HATCHED AREA NOT IN SCOPE
OF WORK

Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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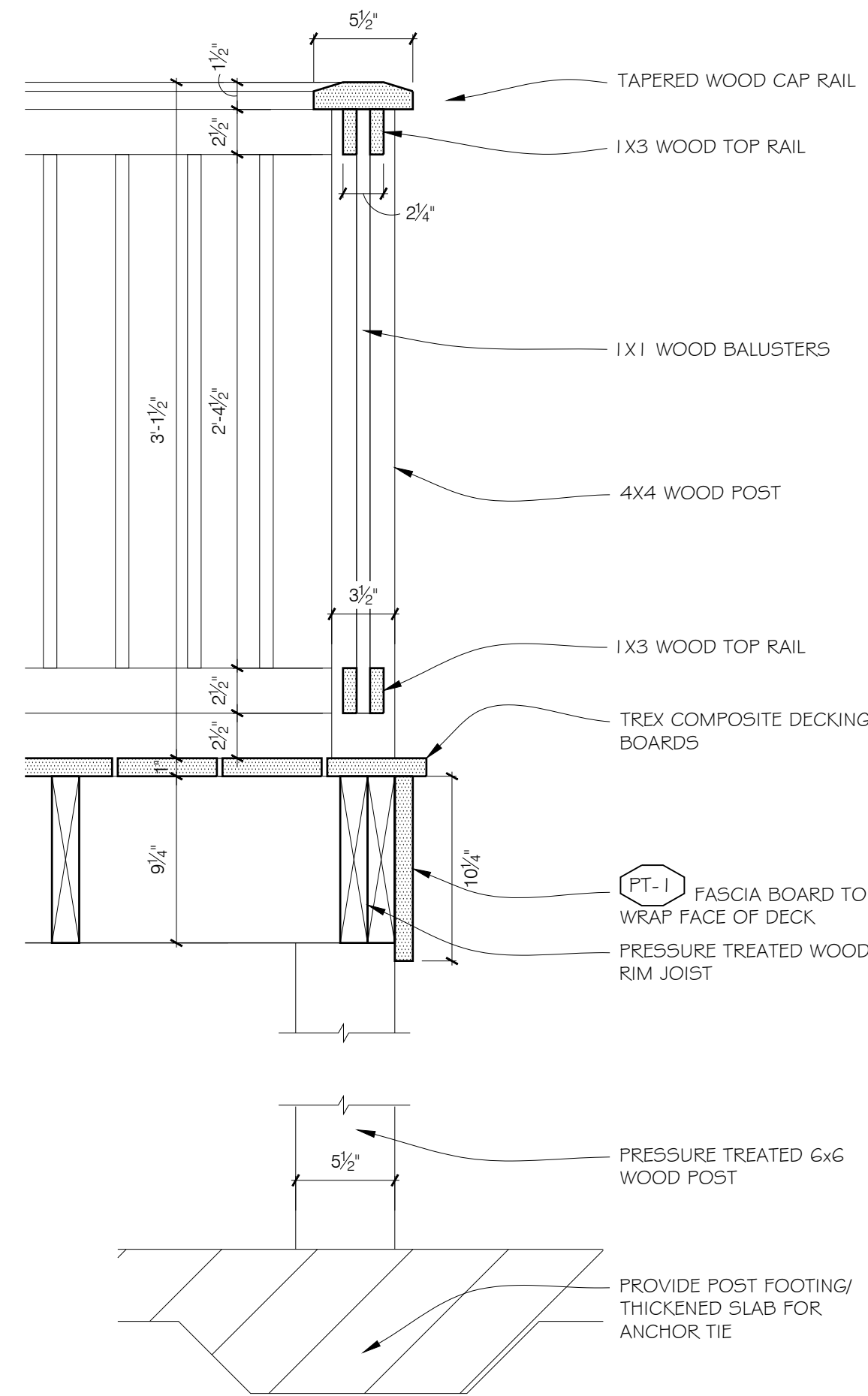
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Townhouse Renovation**

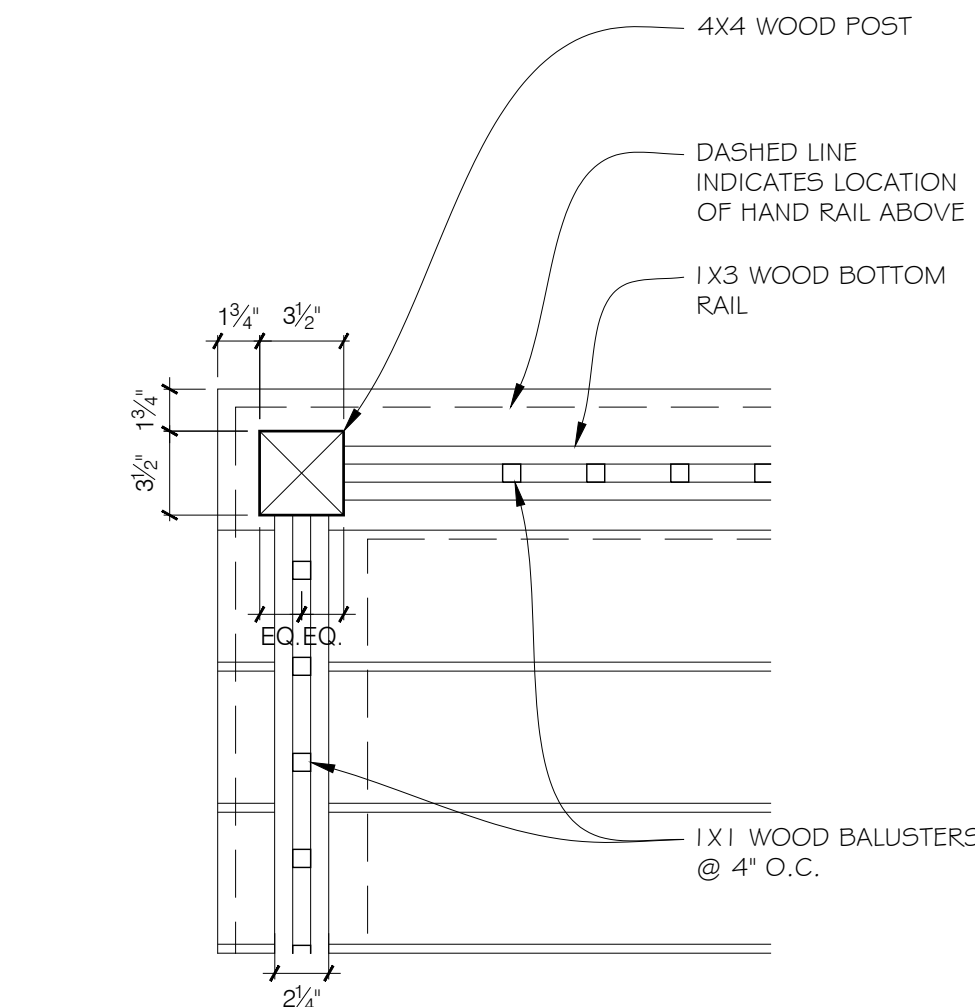
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Rocky River, OH, 44116

SECTIONS

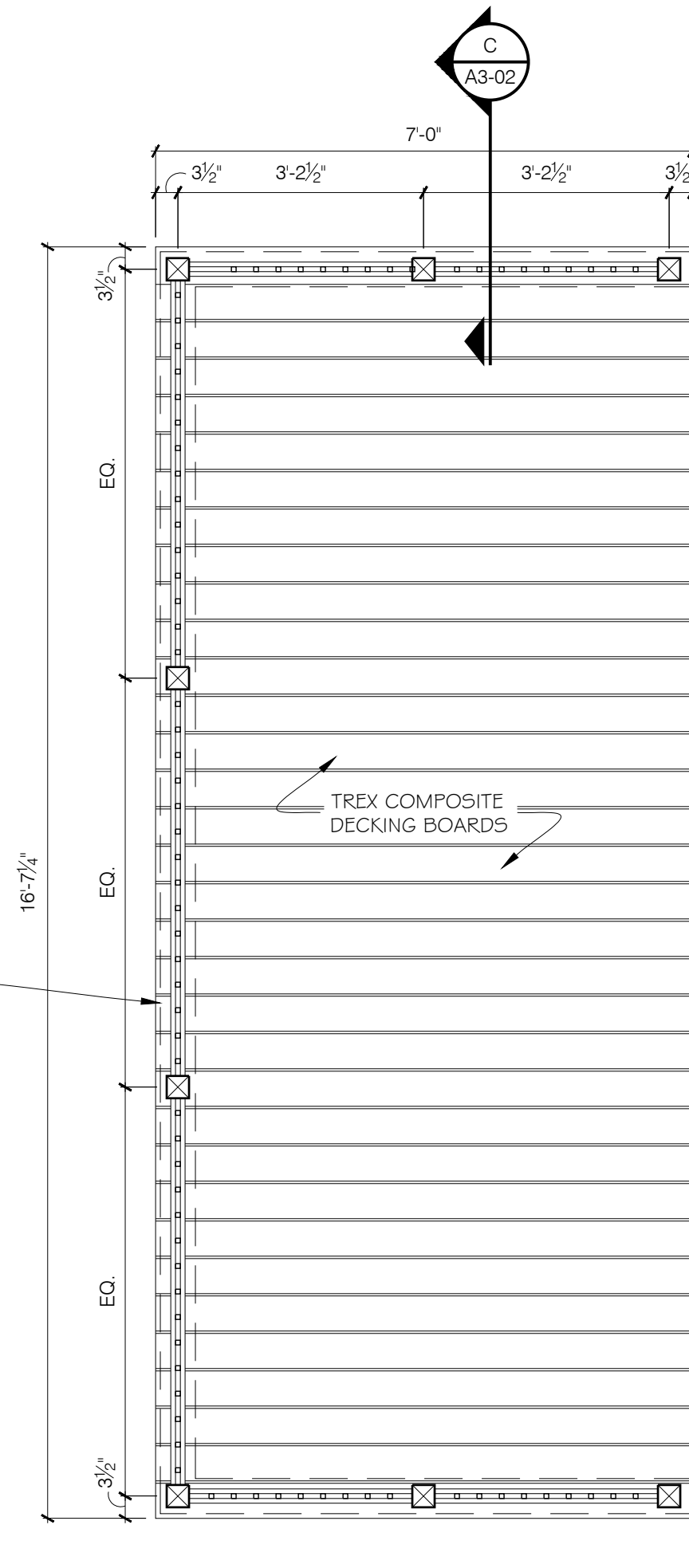
Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: A3-01
Checked by: SMD/AND	
Approved: SMD/AND	



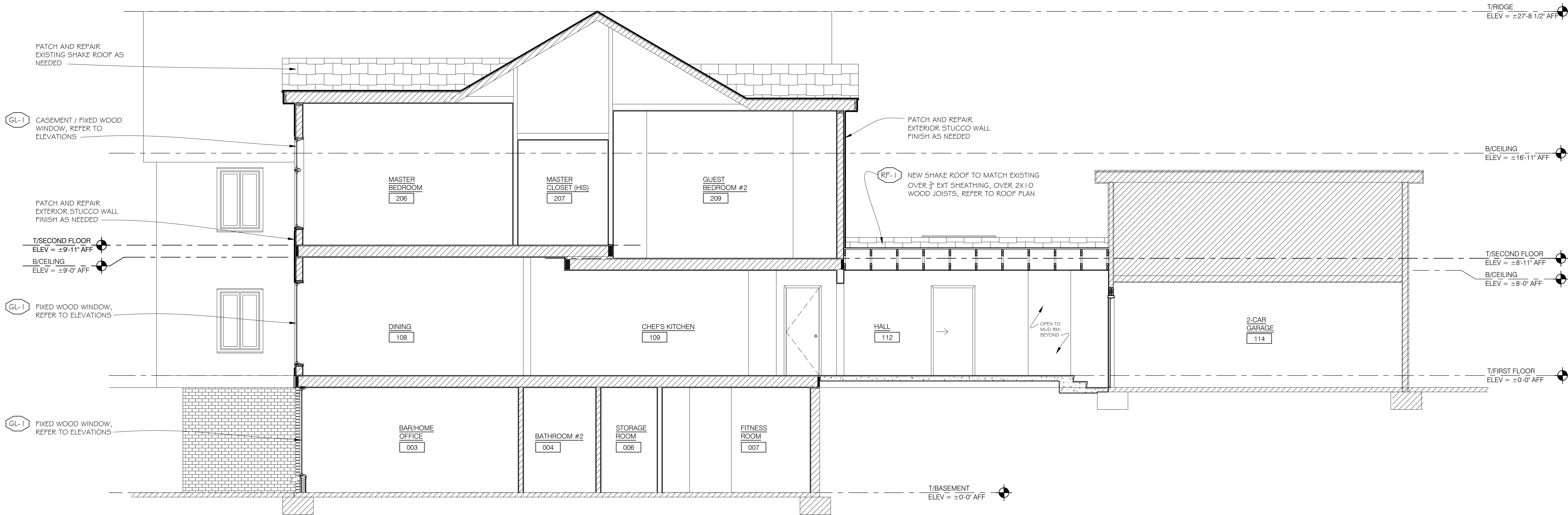
C
A3-02
TYPICAL RAIL DETAIL
SCALE: 1-1/2" = 1'-0"



B
A3-02
DECK PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



A
A3-02
DECK PLAN
SCALE: 1/2" = 1'-0"



1
A3-02
BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
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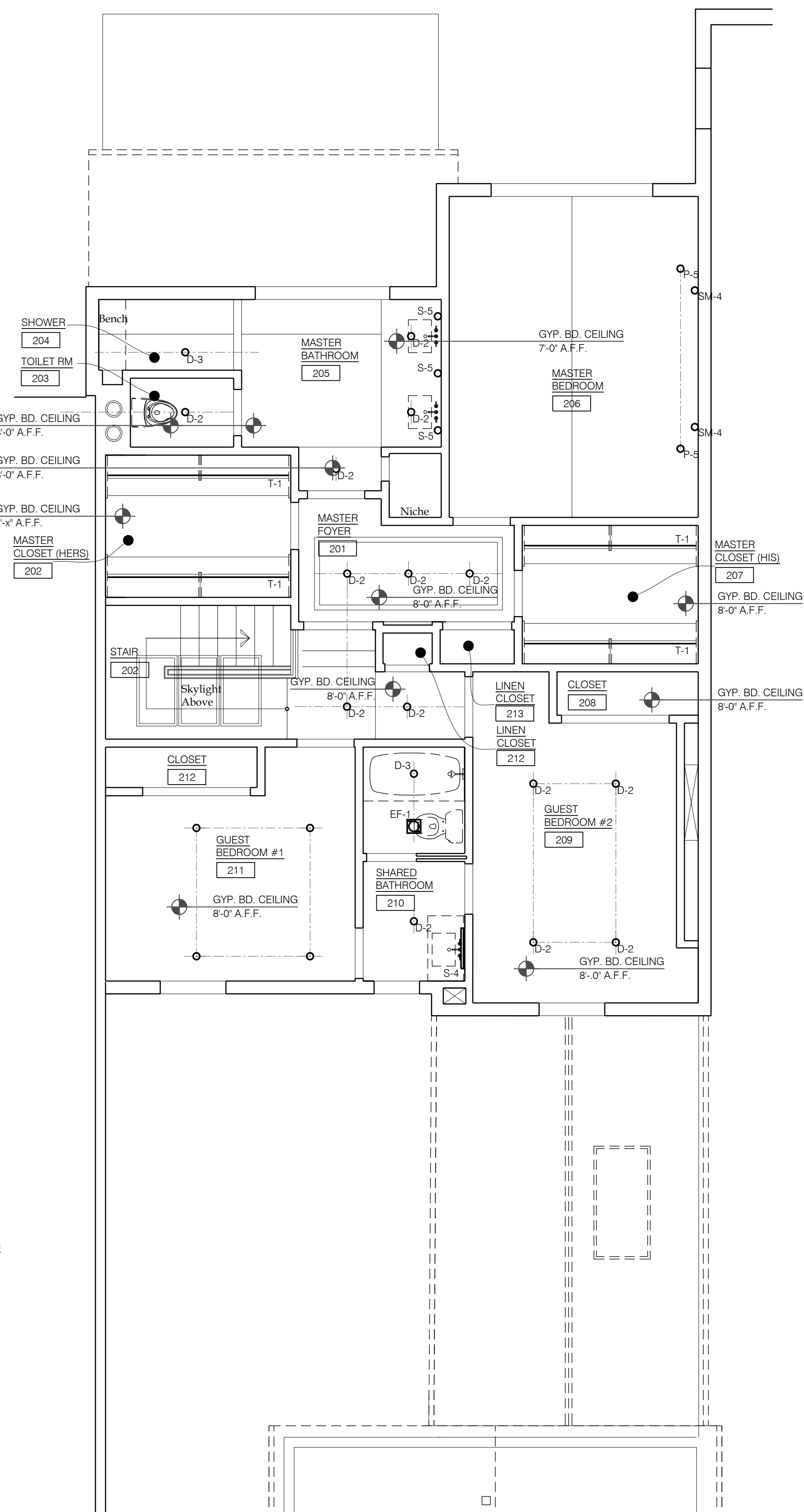
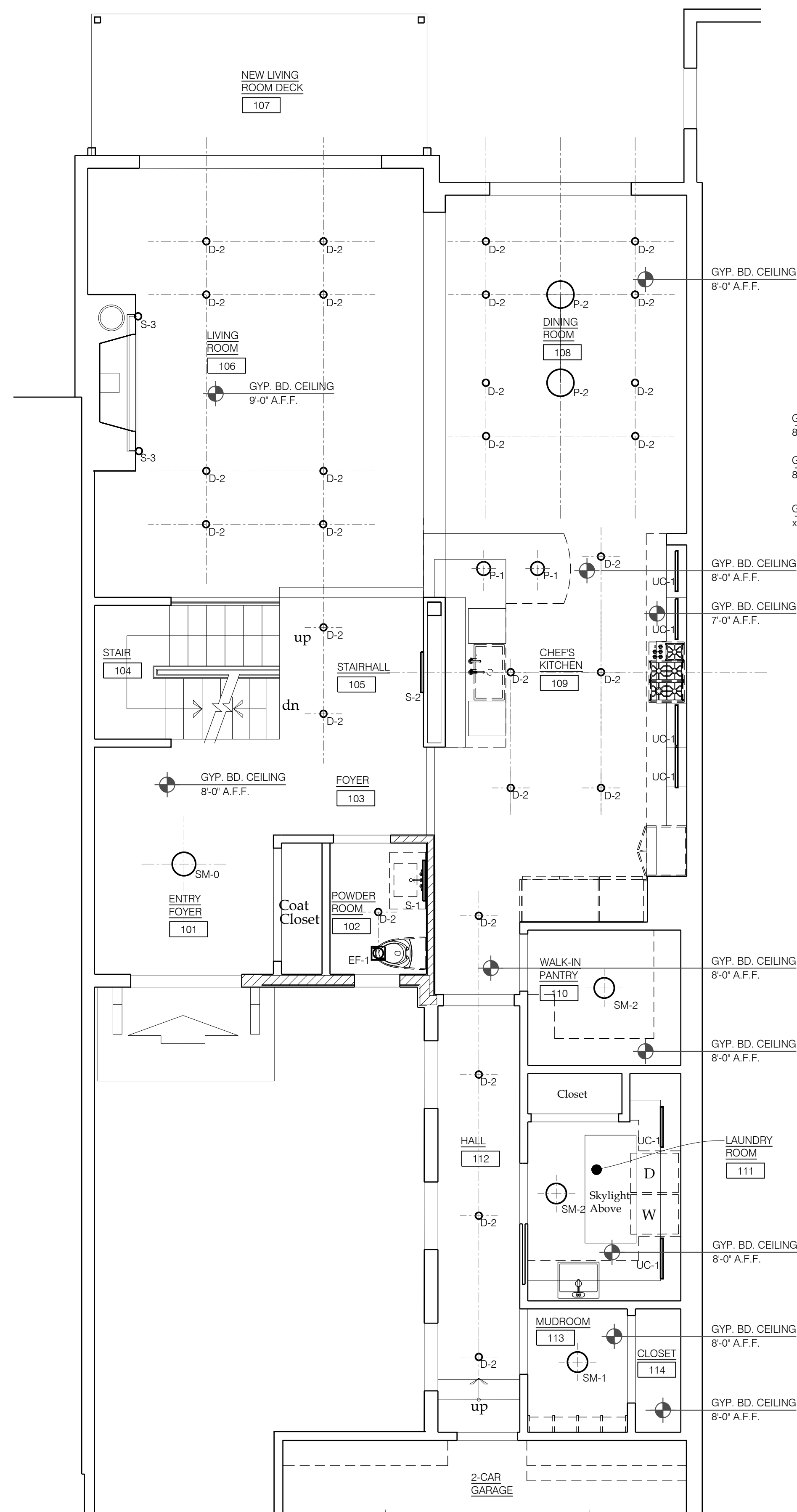
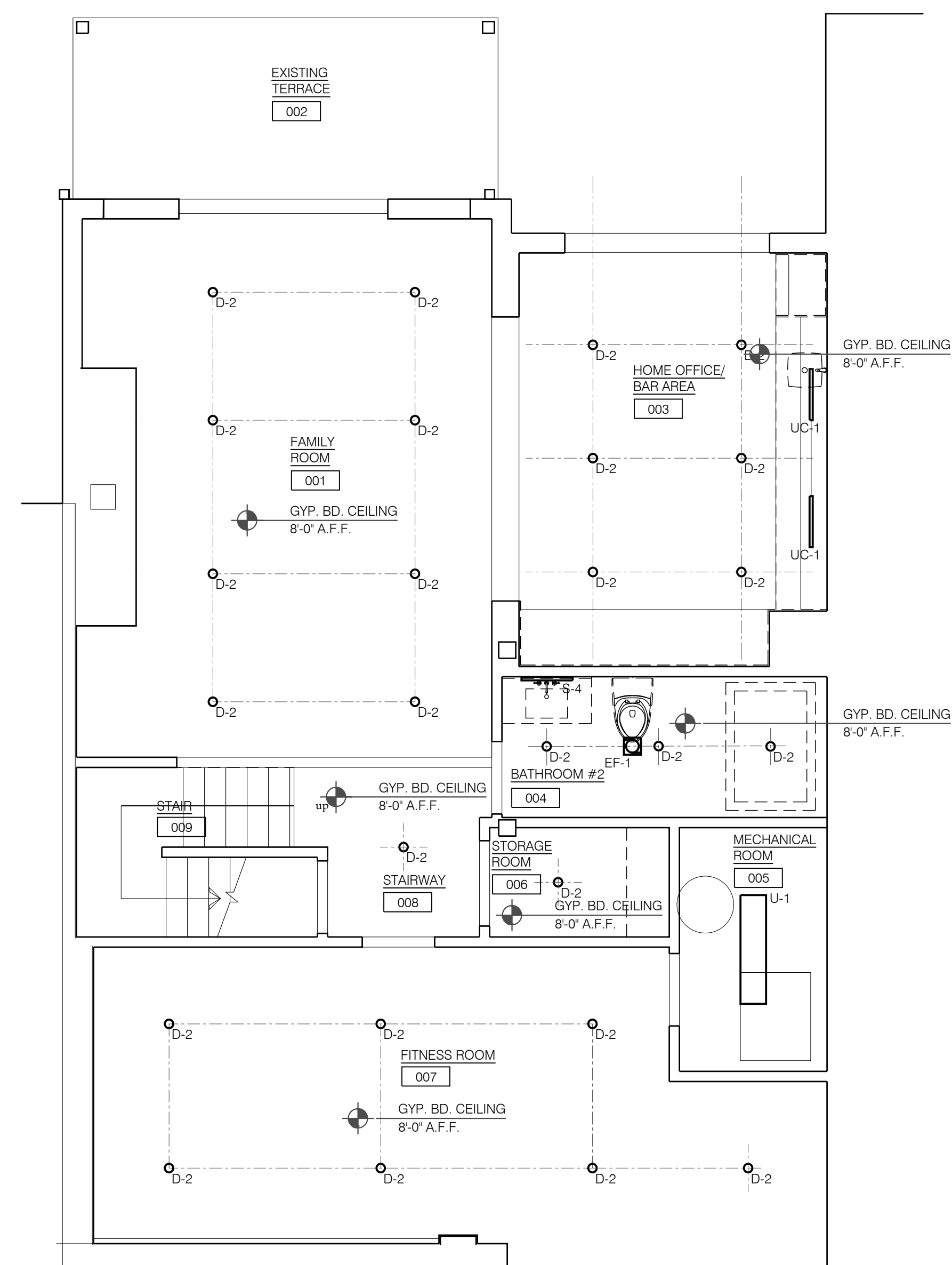
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Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

SECTIONS

Rev:	Project Number:
11/29/2023	23-054
Drawn by:	Drawing Number:
JTK/ AND/ KH	
Checked by:	
SMD/AND	
Approved:	
SMD/AND	

A3-02



Seal

**NOT FOR
CONSTRUCTION**

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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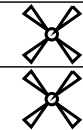
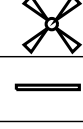
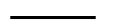
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Kevin and Carol Ryan Townhouse Renovation

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Rocky River, OH, 44116

REFLECTED CEILING PLAN

Date	Project Number
11/29/2023	23-054
Drawn by	Drawing Number
JTK/ AND/ KH	A4-01
Checked by	
SMD/AND	
Approved	
SMD/AND	

LIGHTING FIXTURE SCHEDULE								
SYMBOL	TYPE	LAMPS/ WATTS	MOUNTING	MODEL	DESCRIPTION	FINISH	NOTES	VENDOR
	CF-1	TBD	SURFACE MOUNTED	TBD	CEILING FAN	TBD	TBD	TBD
	CF-2	TBD	SURFACE MOUNTED	TBD	CEILING FAN	TBD	TBD	TBD
	CL-1	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD
	D-1	TBD	CEILING RECESSED	TBD	RECESSED DOWNLIGHT	TBD	TBD	TBD
	D-2	TBD	CEILING RECESSED	TBD	WET-RATED RECESSED DOWNLIGHT	TBD	TBD	TBD
	D-3	TBD	CEILING RECESSED	TBD	RECESSED DOWNLIGHT	TBD	TBD	TBD
	D-4	TBD	CEILING RECESSED	TBD	RECESSED DOWNLIGHT	TBD	TBD	TBD
	D-5	TBD	CEILING RECESSED	TBD	RECESSED DIRECTIONAL	TBD	TBD	TBD
	ES-1	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD
	EF-1	TBD	EXHAUST FAN	TBD	EXHAUST FAN	TBD	TBD	TBD
	P-1	TBD	PENDANT	TBD	DECORATIVE PENDANT FIXTURE-	TBD	TBD	TBD
	P-2	TBD	PENDANT	TBD	DECORATIVE PENDANT FIXTURE-KITCHEN	TBD	TBD	TBD
	P-3	TBD	PENDANT	TBD	DECORATIVE PENDANT FIXTURE-STAIR	TBD	TBD	TBD
	P-4	TBD	PENDANT	TBD	DECORATIVE PENDANT FIXTURE-POWDER ROOM	TBD	TBD	TBD
	P-5	TBD	PENDANT	TBD	DECORATIVE PENDANT FIXTURE-MASTER BEDROOM	TBD	TBD	TBD
	SM-1	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD
	SM-2	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD
	SM-3	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD
	SM-4	TBD	SURFACE-MOUNTED	TBD	READING LIGHT-MASTER BEDROOM	TBD	TBD	TBD
	ST-1	TBD	SURFACE-MOUNTED	TBD	WALL-MOUNTED STEP LIGHT	TBD	TBD	TBD
	U-1	TBD	SURFACE-MOUNTED	TBD	UTILITY LIGHT	TBD	TBD	TBD
	UC-1	TBD	SURFACE-MOUNTED	TBD	UNDER CABINET LIGHT	TBD	TBD	TBD
	T-1	TBD	SURFACE-MOUNTED	TBD	TBD	TBD	TBD	TBD

Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
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**Kevin and Carol Ryan
Townhouse Renovation**

32 Hidden Valley Dr
Rocky River, OH, 44116

LIGHTING SCHEDULE

Date:
11/29/2023

Project Number:
23-054

Drawn by:
JTK/ AND/ KH

Checked by:
SMD/AND

Approved:
SMD/AND

Drawing Number

A4-02

KEY PLAN
LIVING ROOM - 106
SCALE: 1/4" = 1'-0"

KEY PLAN
DINING AREA - 108
SCALE: 1/4" = 1'-0"

KEY PLAN
CHEF'S KITCHEN - 109
SCALE: 1/4" = 1'-0"

1
A5-01

INTERIOR ELEVATION
LIVING ROOM - 106
SCALE: 3/8" = 1'-0"

3
INTERIOR ELEVATION
LIVING ROOM - 106
SCALE: 3/8" = 1'-0"

5
INTERIOR ELEVATION
DINING AREA - 108
SCALE: 3/8" = 1'-0"

7
A5-01

INTERIOR ELEVATION
DINING AREA - 108
SCALE: 3/8" = 1'-0"

9
A5-01

INTERIOR ELEVATION
CHEF'S KITCHEN - 109
SCALE: 3/8" = 1'-0"

10
A5-01

INTERIOR ELEVATION
CHEF'S KITCHEN - 109
SCALE: 3/8" = 1'-0"

2
A5-01

INTERIOR ELEVATION
LIVING ROOM - 106
SCALE: $3/8" = 1'-0"$

INTERIOR ELEVATION
LIVING ROOM - 106
SCALE: 3/8" = 1'-0"

6
INTERIOR ELEVATION
DINING AREA - 108
SCALE: 3/8" = 1'-0"

8
A5-01

INTERIOR ELEVATION
DINING AREA - 108
SCALE: 3/8" = 1'-0"

11
A5-01

INTERIOR ELEVATION
CHEF'S KITCHEN - 109
SCALE: 3/8" = 1'-0"

12
A5-01

INTERIOR ELEVATION
CHEF'S KITCHEN - 109
SCALE: 3/8" = 1'-0"

Seal

**NOT FOR
CONSTRUCTION**

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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**LIVING ROOM 104,
DINING ROOM 105, &
CHEF'S KITCHEN 106
INTERIOR ELEVATIONS**

Date	Project Number
11/29/2023	23-054

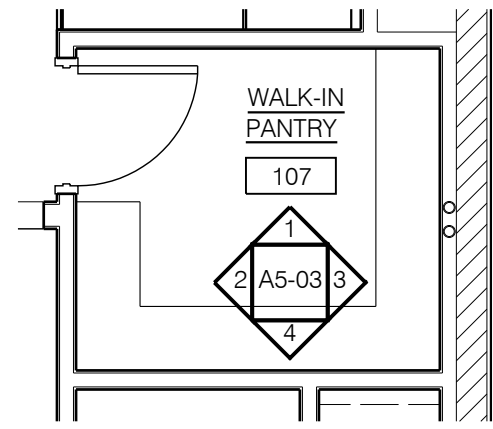
Project Number	23-054
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Drawn by	JTK/ AND/ KH
Checked by	SMD/AND
Approved	SMD/AND

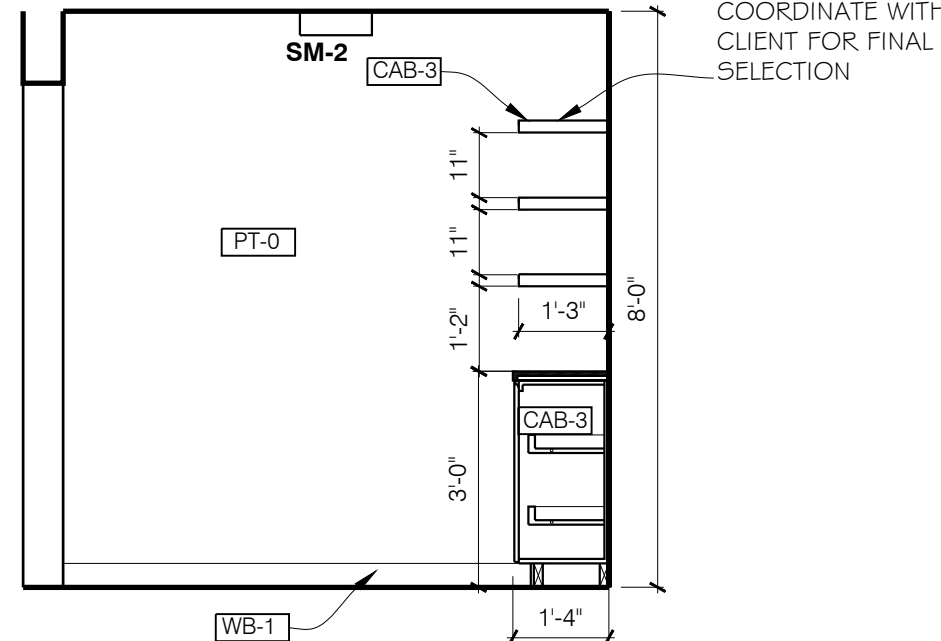
Drawing Number

A5

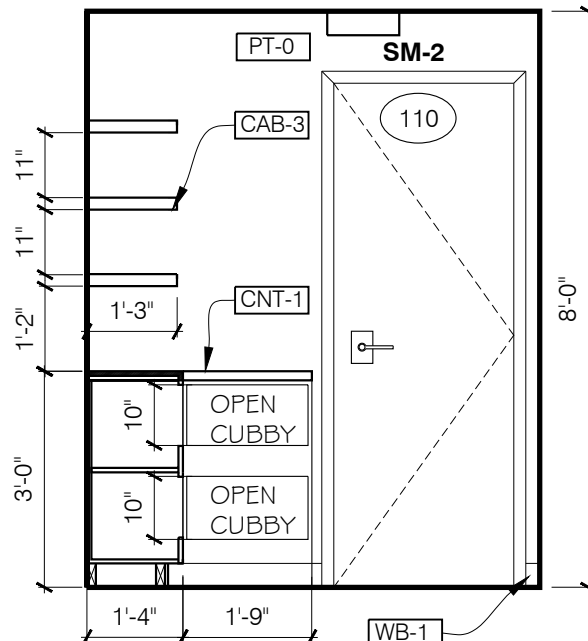
A5-01



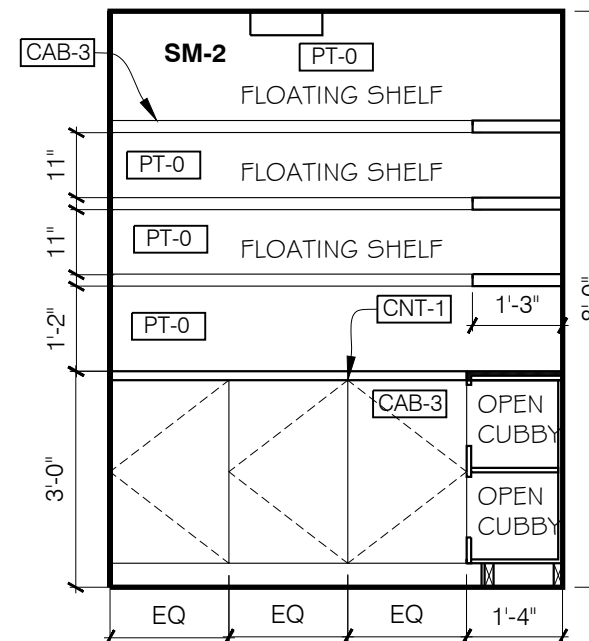
A
A5-03
KEY PLAN
WALK-IN PANTRY - 110
SCALE: 1/4" = 1'-0"



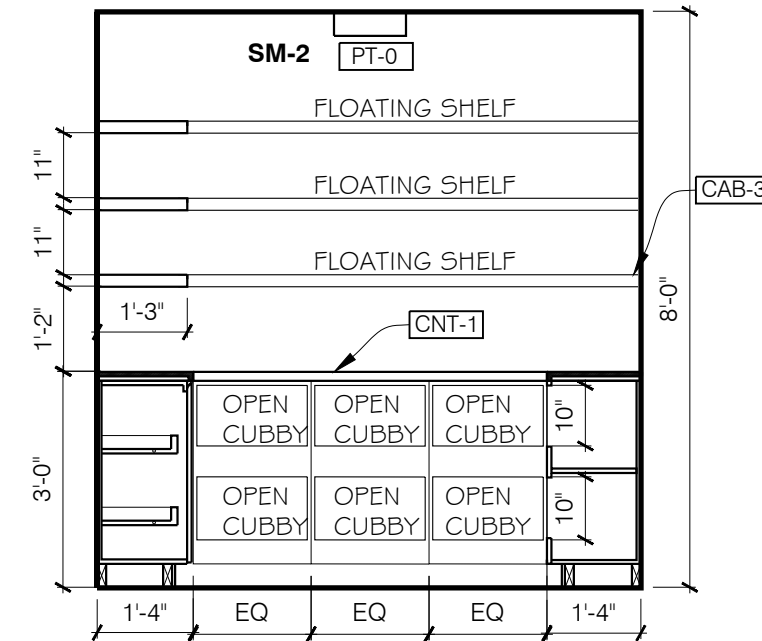
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A5-03
INTERIOR ELEVATION
WALK-IN PANTRY - 110
SCALE: 3/8" = 1'-0"



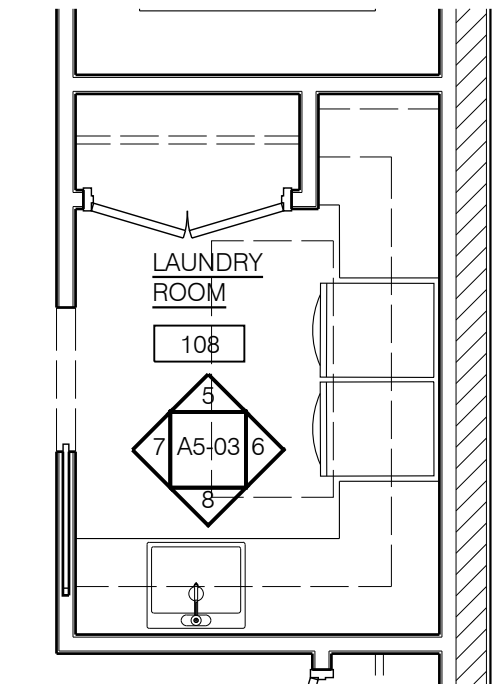
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A5-03
INTERIOR ELEVATION
WALK-IN PANTRY - 110
SCALE: 3/8" = 1'-0"



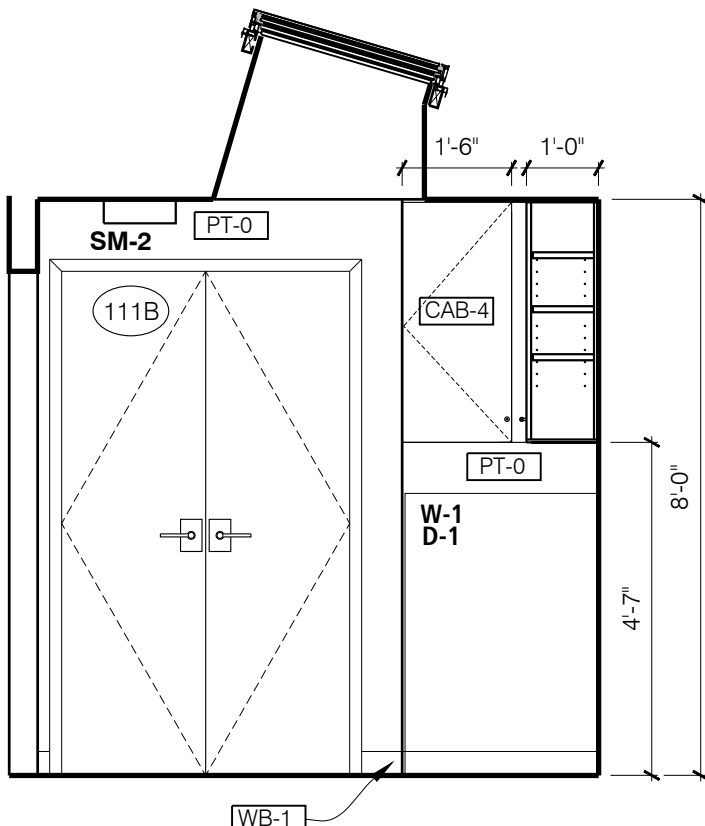
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A5-03
INTERIOR ELEVATION
WALK-IN PANTRY - 110
SCALE: 3/8" = 1'-0"



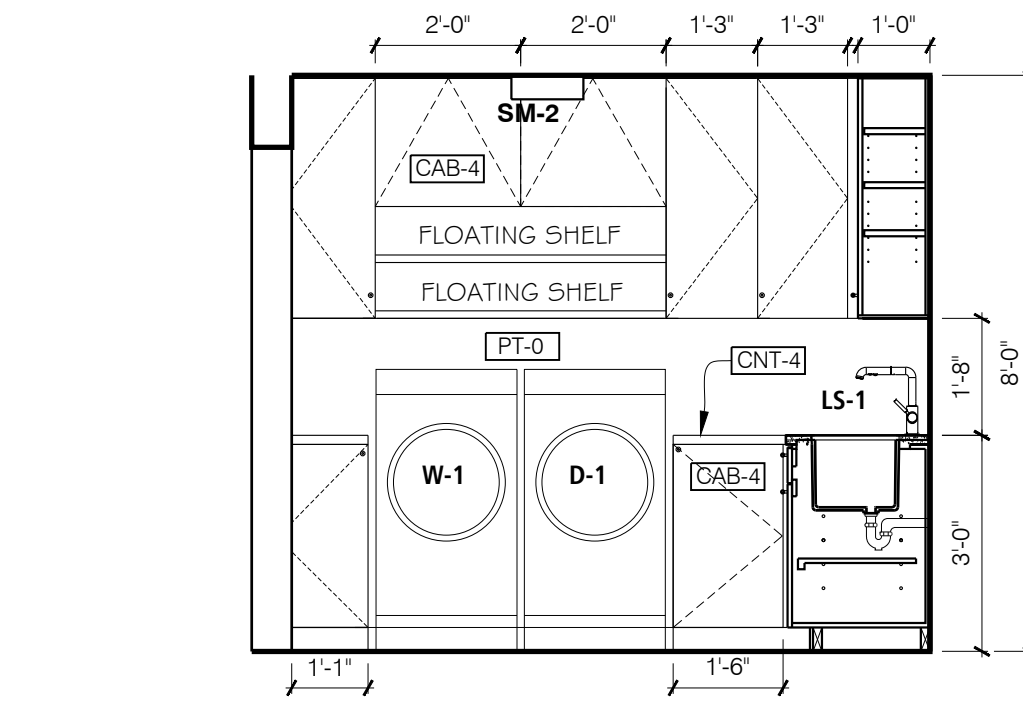
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A5-03
INTERIOR ELEVATION
WALK-IN PANTRY - 110
SCALE: 3/8" = 1'-0"



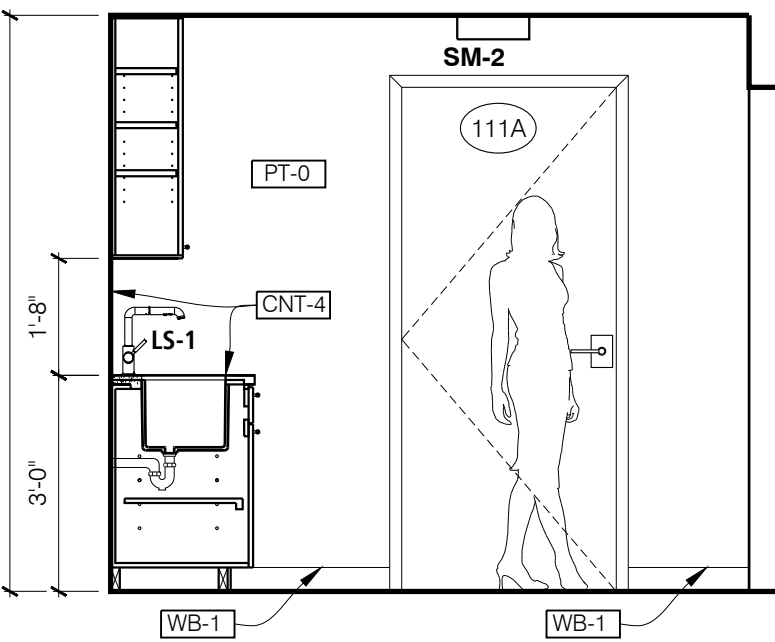
B
A5-03
KEY PLAN
LAUNDRY ROOM - 111
SCALE: 1/4" = 1'-0"



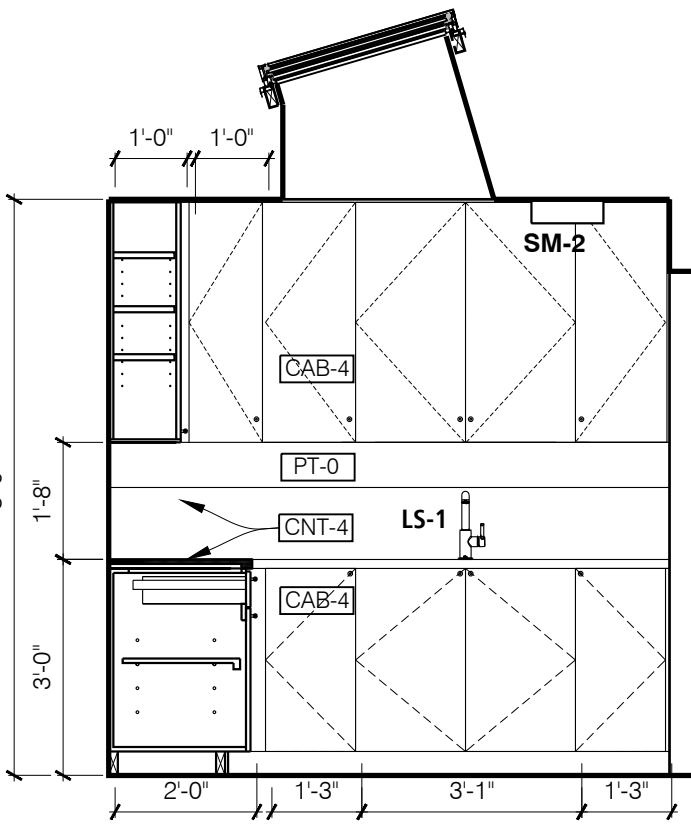
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A5-03
INTERIOR ELEVATION
LAUNDRY ROOM - 111
SCALE: 3/8" = 1'-0"



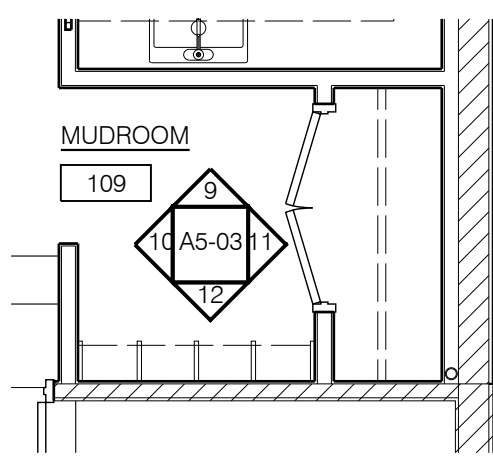
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A5-03
INTERIOR ELEVATION
LAUNDRY ROOM - 111
SCALE: 3/8" = 1'-0"



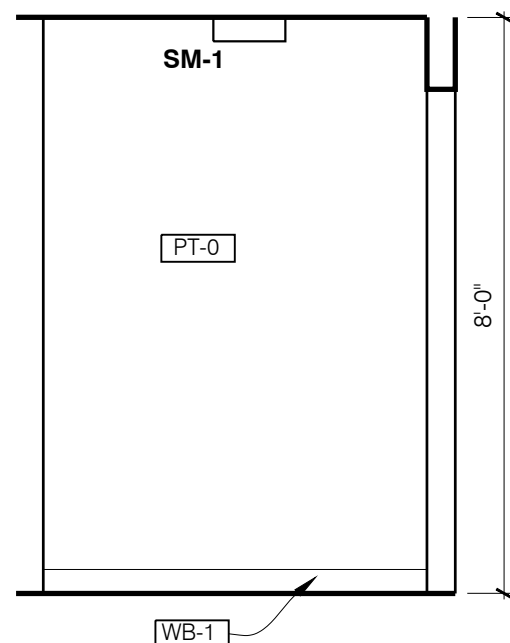
7
A5-03
INTERIOR ELEVATION
LAUNDRY ROOM - 111
SCALE: 3/8" = 1'-0"



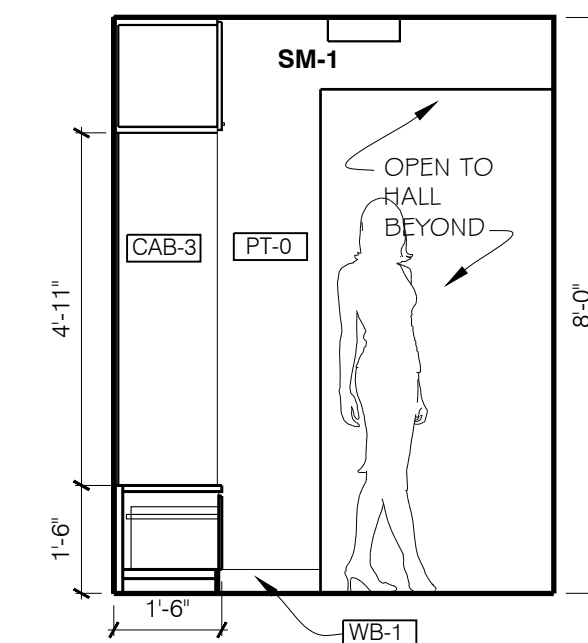
8
A5-03
INTERIOR ELEVATION
LAUNDRY ROOM - 111
SCALE: 3/8" = 1'-0"



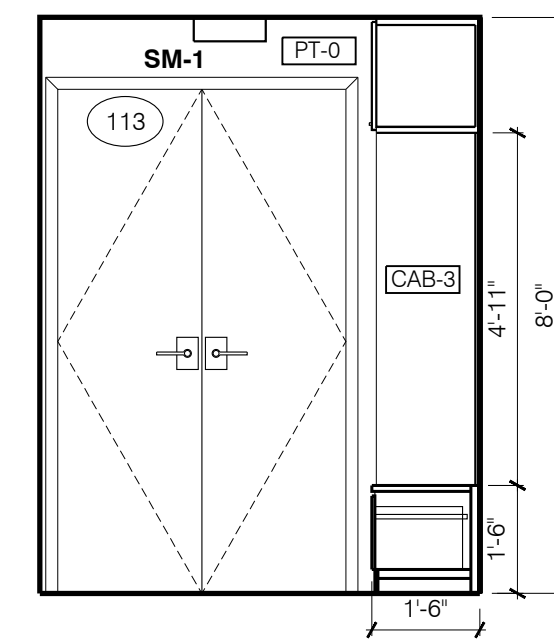
C
A5-03
KEY PLAN
MUDROOM - 113
SCALE: 1/4" = 1'-0"



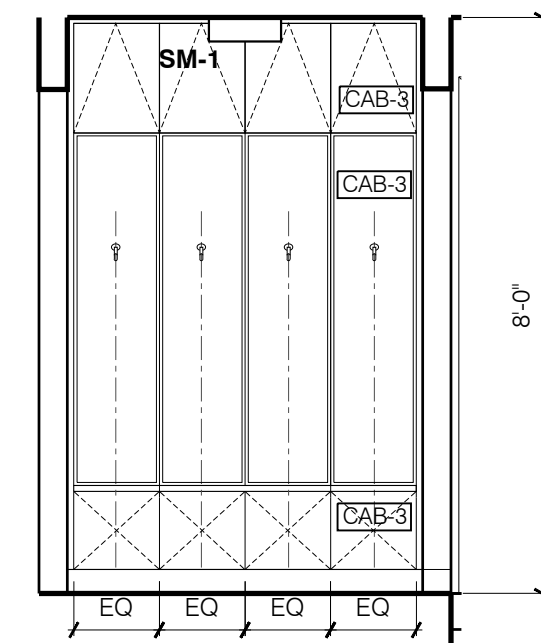
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A5-03
INTERIOR ELEVATION
MUDROOM - 113
SCALE: 3/8" = 1'-0"



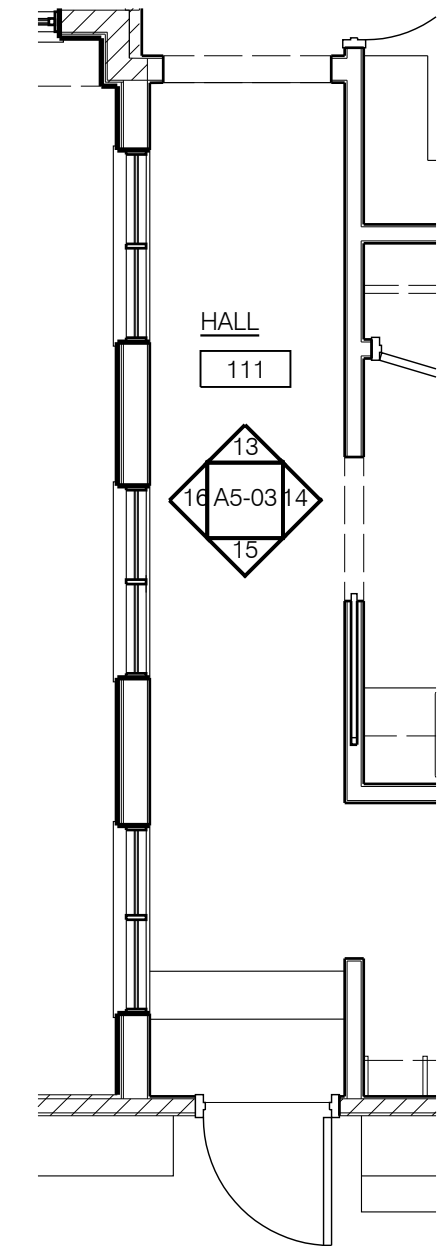
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A5-03
INTERIOR ELEVATION
MUDROOM - 113
SCALE: 3/8" = 1'-0"



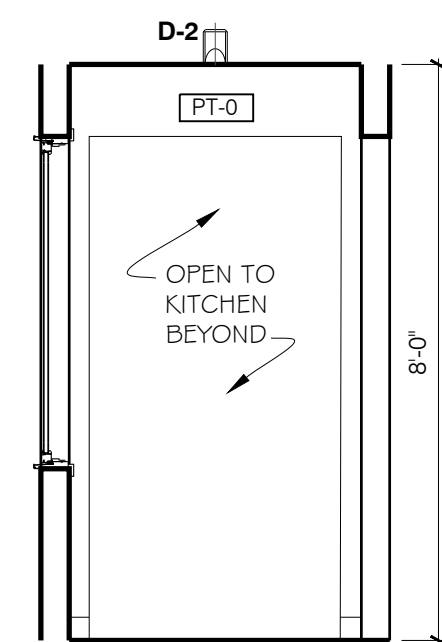
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A5-03
INTERIOR ELEVATION
MUDROOM - 113
SCALE: 3/8" = 1'-0"



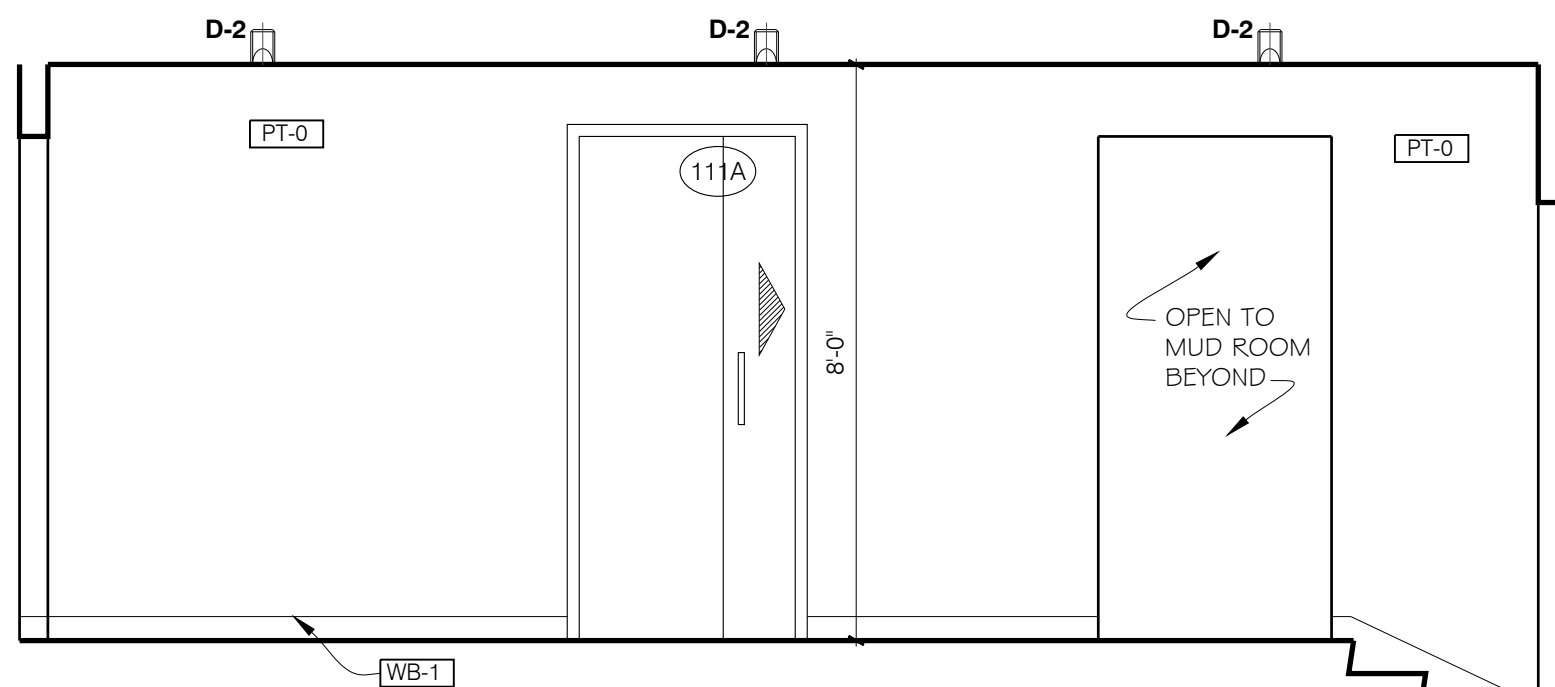
12
A5-03
INTERIOR ELEVATION
MUDROOM - 113
SCALE: 3/8" = 1'-0"



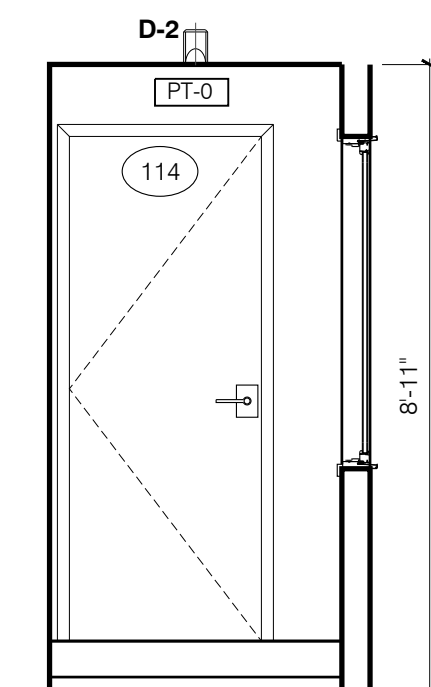
D
A5-03
KEY PLAN
HALL - 112
SCALE: 1/4" = 1'-0"



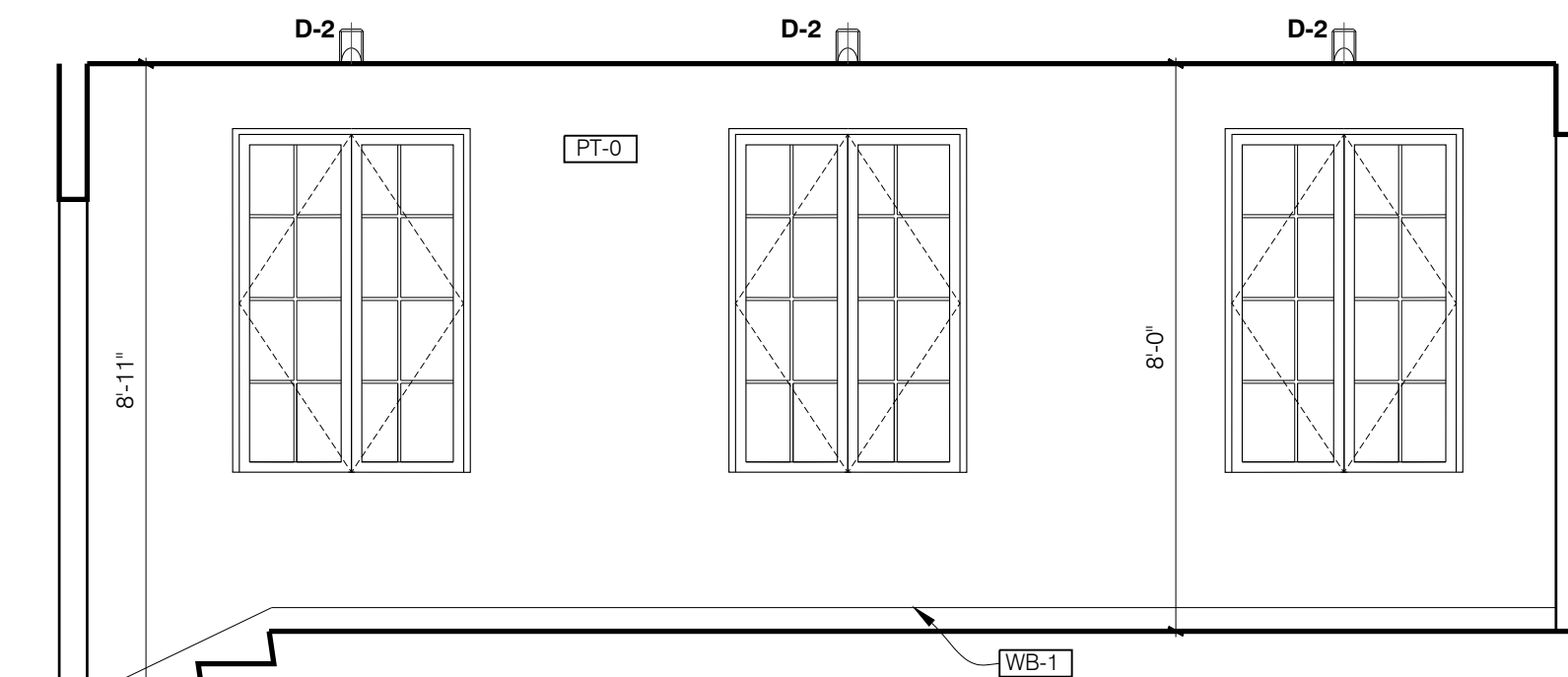
13
A5-03
INTERIOR ELEVATION
HALL - 112
SCALE: 3/8" = 1'-0"



14
A5-03
INTERIOR ELEVATION
HALL - 112
SCALE: 3/8" = 1'-0"



15
A5-03
INTERIOR ELEVATION
HALL - 112
SCALE: 3/8" = 1'-0"



16
A5-03
INTERIOR ELEVATION
HALL - 112
SCALE: 3/8" = 1'-0"

Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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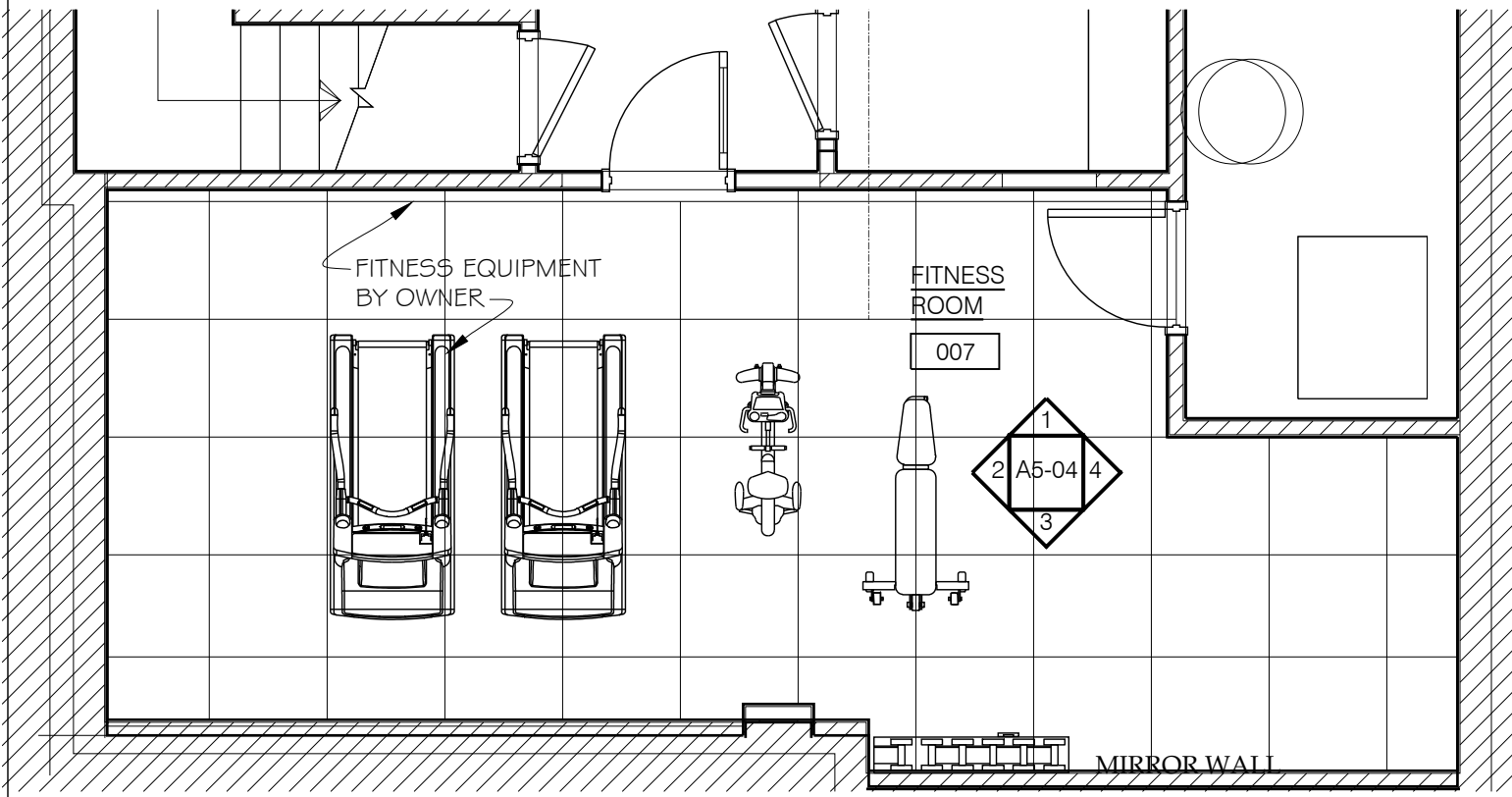
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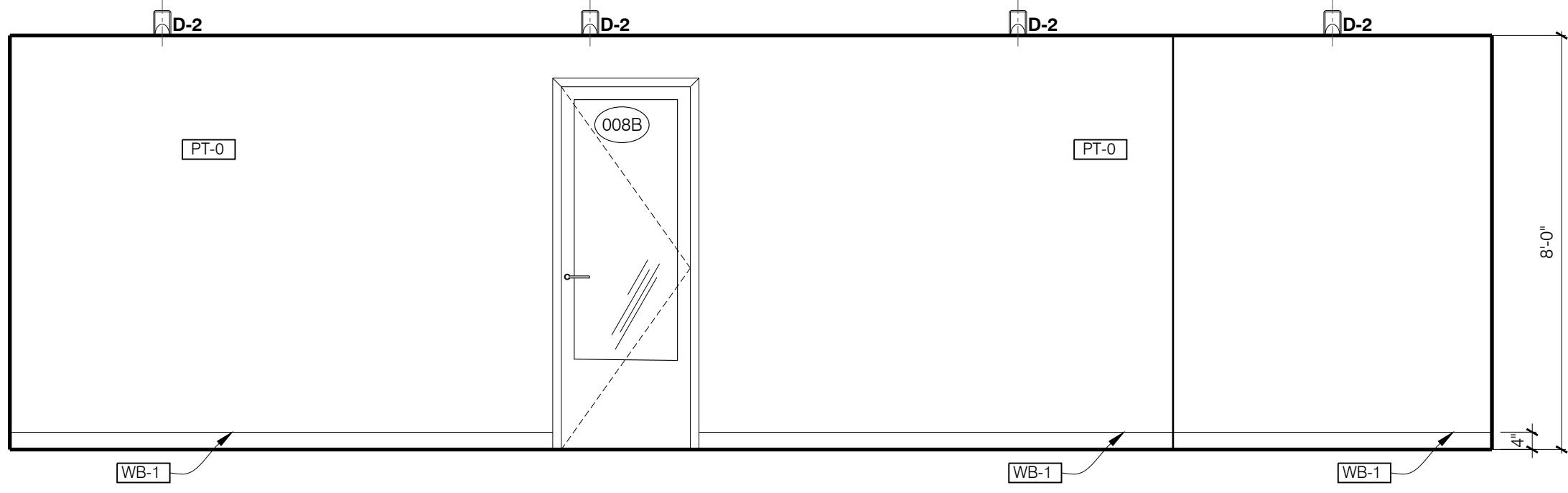
**WALK-IN PANTRY 107,
LAUNDRY ROOM 108,
MUDROOM 109, &
HALL 111 INTERIOR
ELEVATIONS**

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: A5-03
Checked by: SMD/AND	
Approved: SMD/AND	



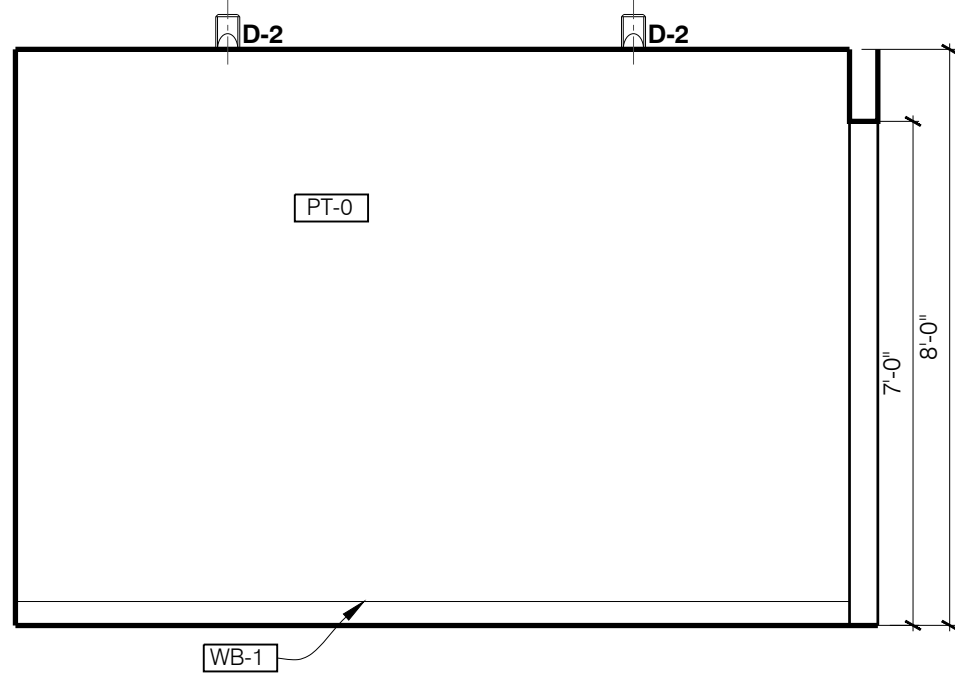
A
A5-04

KEY PLAN
FITNESS ROOM - 007
SCALE: 1/4" = 1'-0"



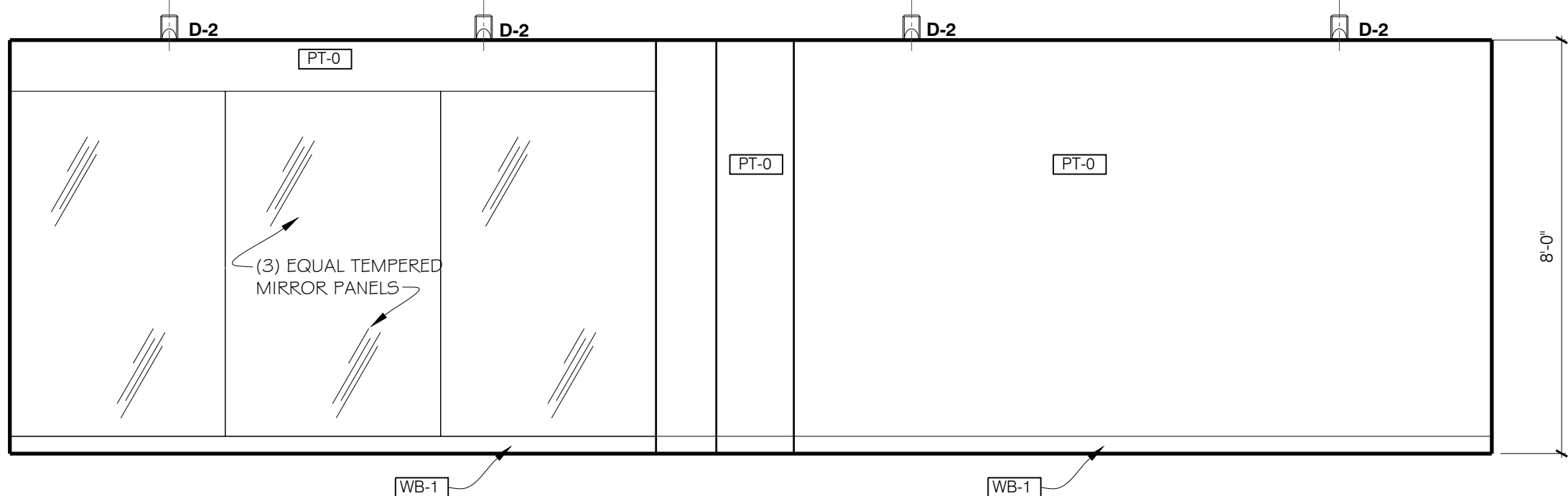
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A5-04

INTERIOR ELEVATION
FITNESS ROOM - 007
SCALE: 3/8" = 1'-0"



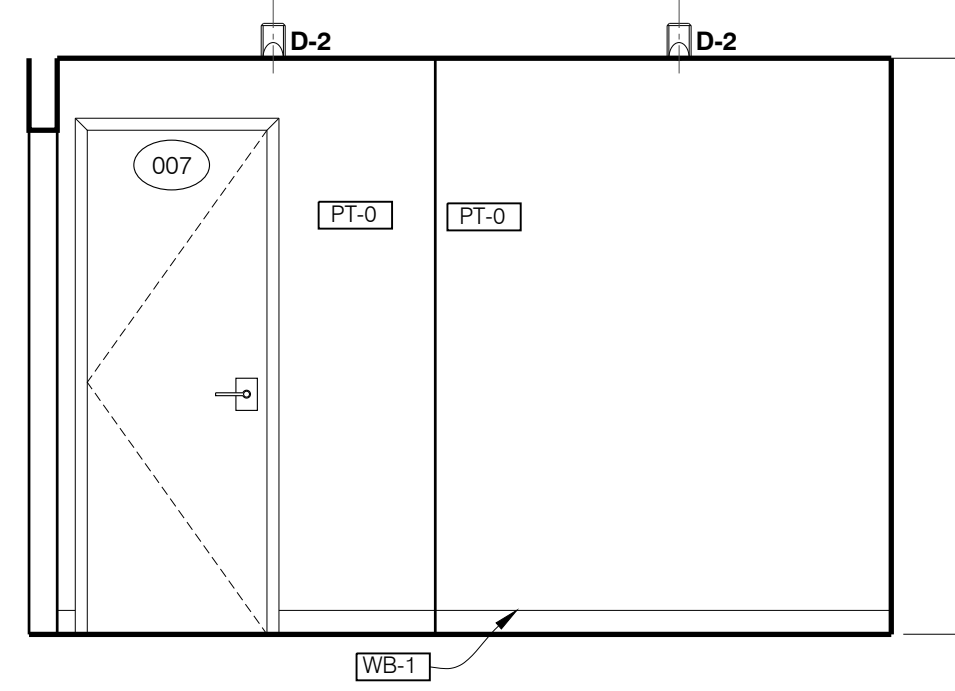
2
A5-04

INTERIOR ELEVATION
FITNESS ROOM - 007
SCALE: 3/8" = 1'-0"



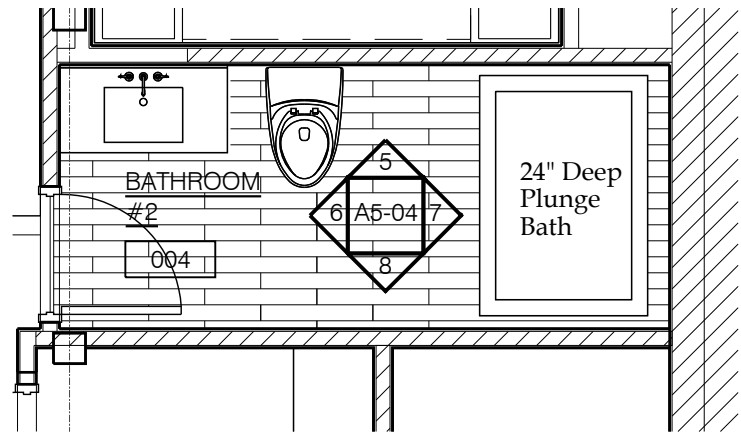
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A5-04

FITNESS ROOM - 007
FITNESS ROOM - 007
SCALE: 3/8" = 1'-0"



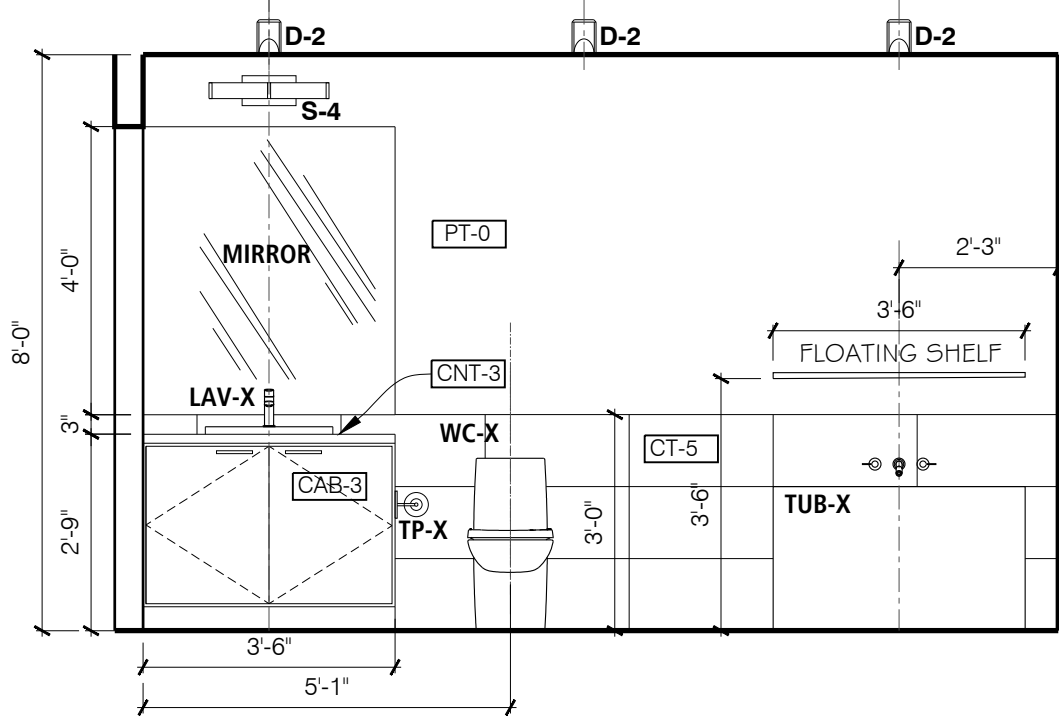
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A5-04

INTERIOR ELEVATION
FITNESS ROOM - 007
SCALE: 3/8" = 1'-0"



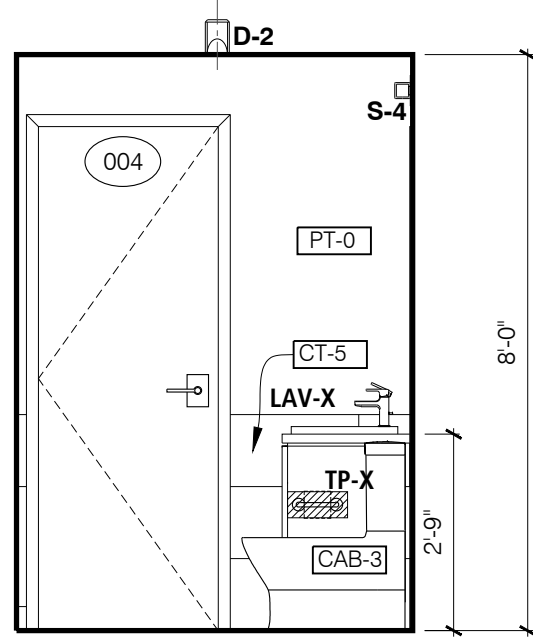
B
A5-04

KEY PLAN
BATHROOM #2 - 004
SCALE: 1/4" = 1'-0"



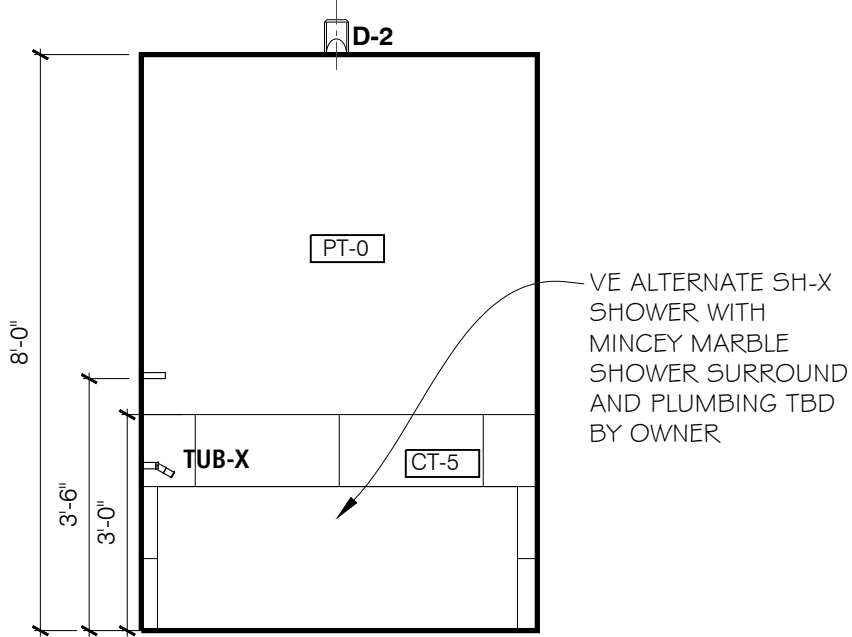
5
A5-04

INTERIOR ELEVATION
BATHROOM #2 - 004
SCALE: 3/8" = 1'-0"



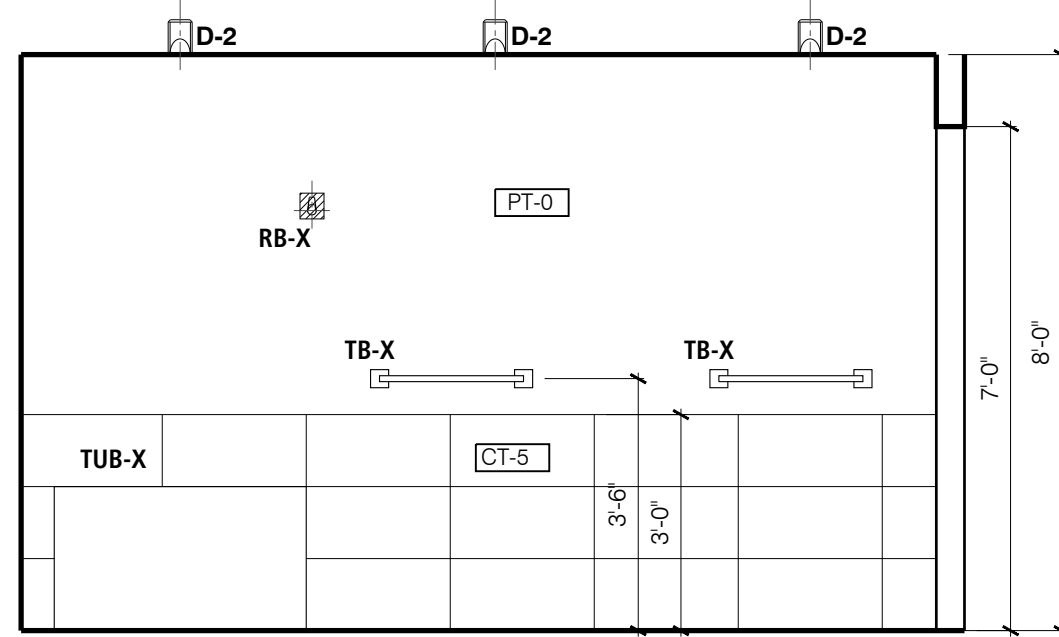
6
A5-04

INTERIOR ELEVATION
BATHROOM #2 - 004
SCALE: 3/8" = 1'-0"



7
A5-04

INTERIOR ELEVATION
BATHROOM #2 - 004
SCALE: 3/8" = 1'-0"



8
A5-04

INTERIOR ELEVATION
BATHROOM #2 - 004
SCALE: 3/8" = 1'-0"

Seal

NOT FOR
CONSTRUCTION

Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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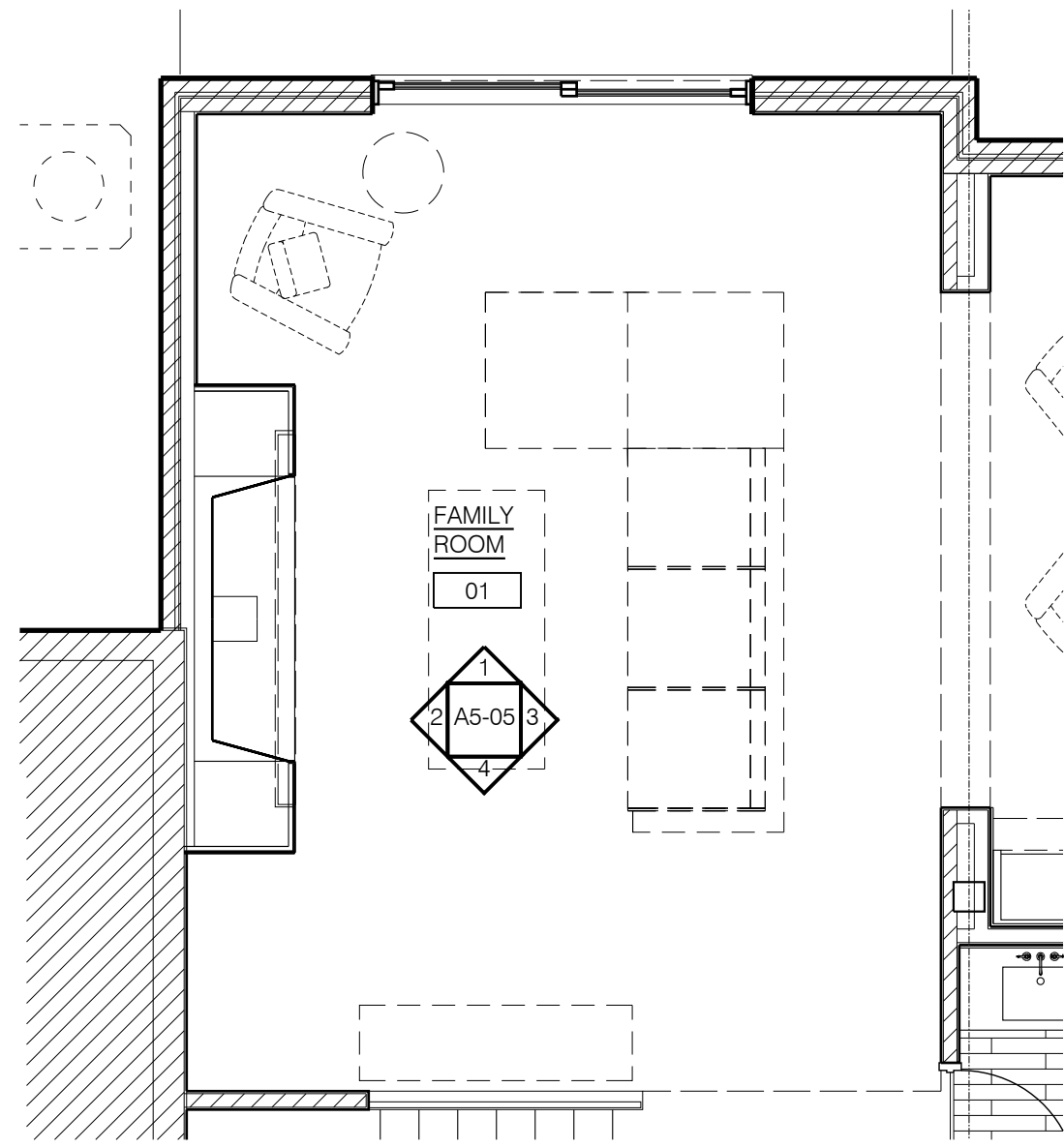
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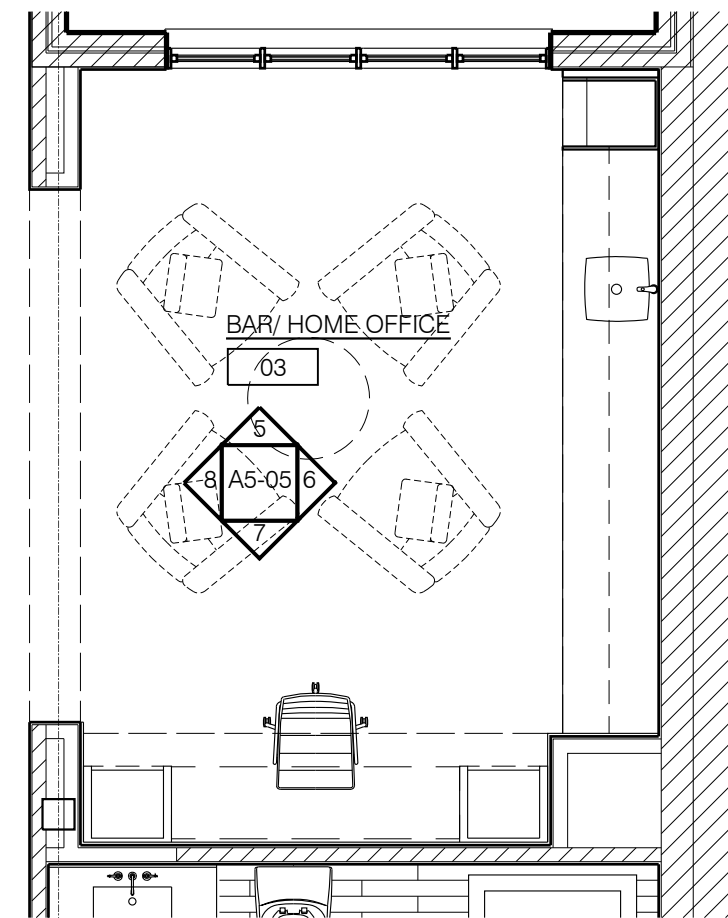
32 Hidden Valley Dr
Rocky River, OH, 44116

**FITNESS ROOM 00,
STAIRWAY 01, &
BATHROOM #2 04
INTERIOR ELEVATIONS**

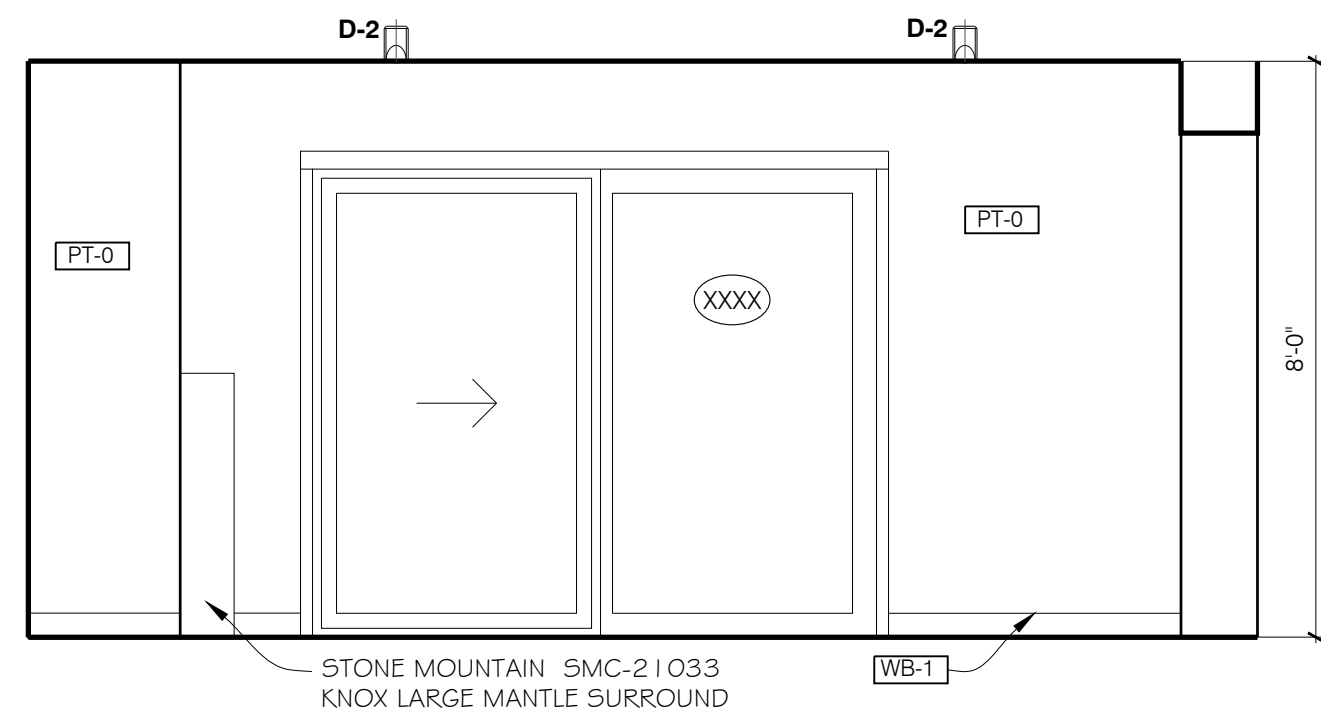
Plot: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: A5-04
Checked by: SMD/AND	
Approved: SMD/AND	



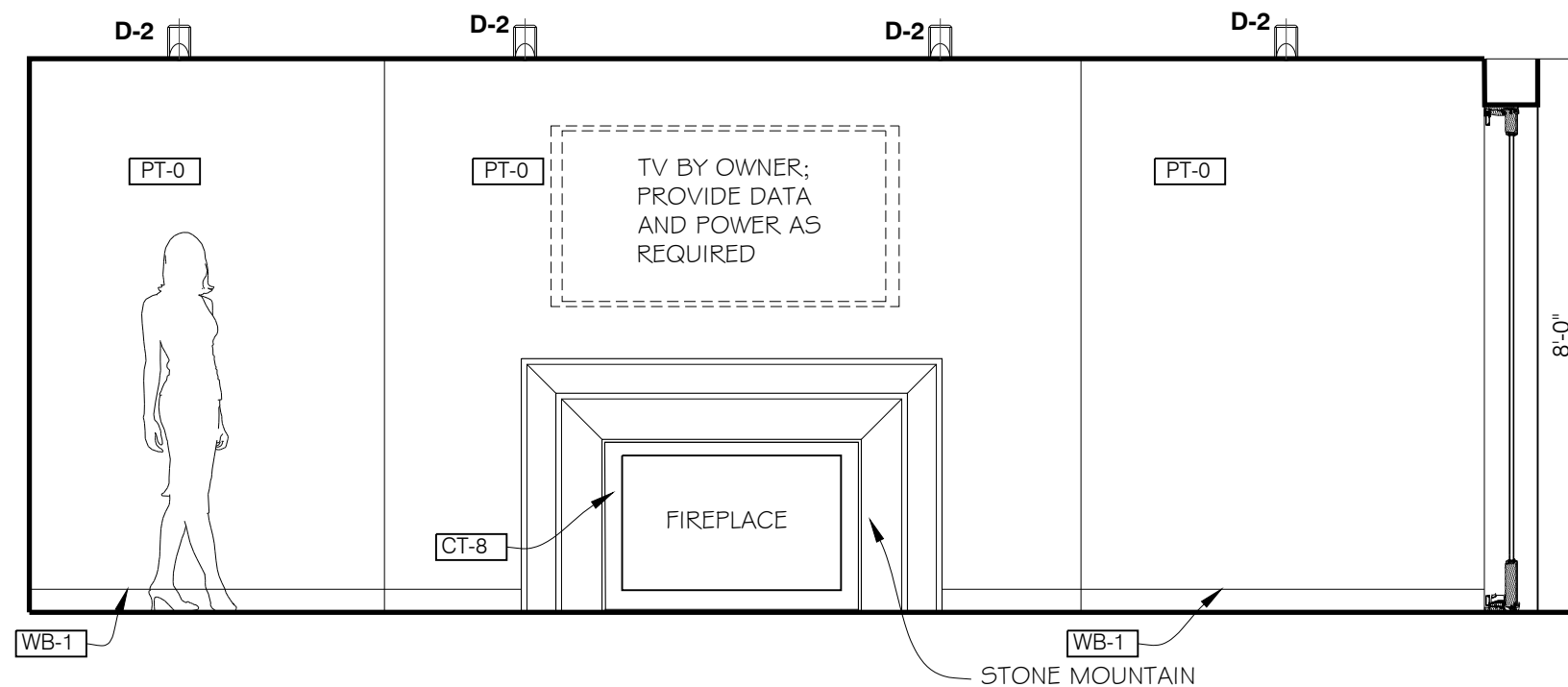
A
KEY PLAN
FAMILY ROOM - 02
SCALE: 1/4" = 1'-0"



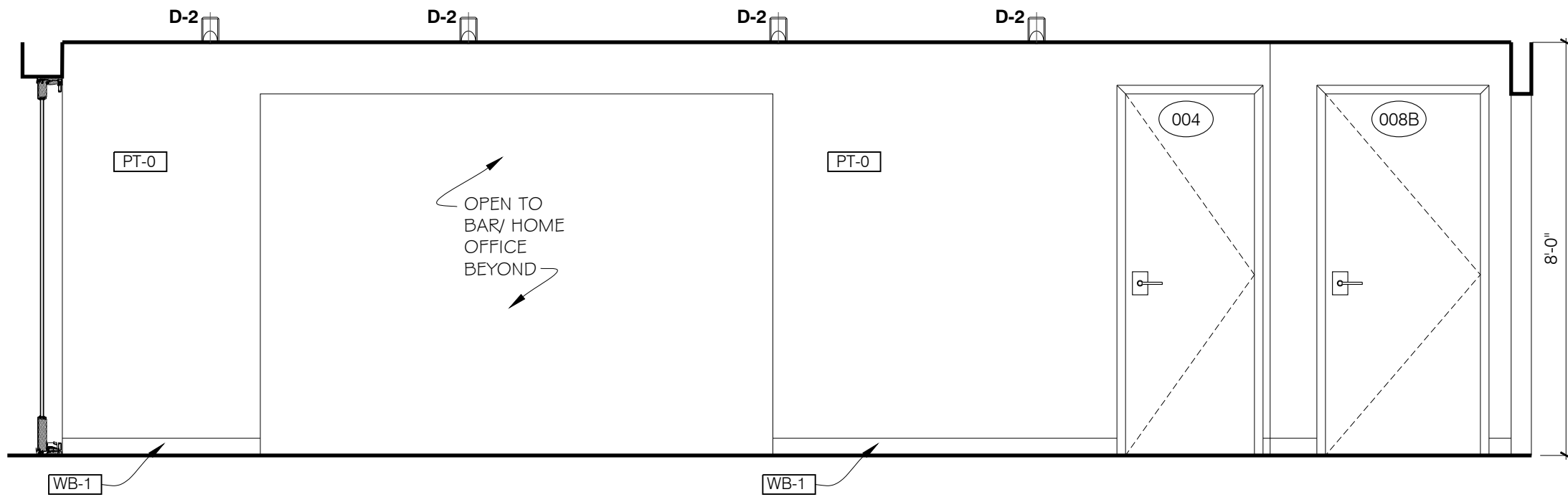
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KEY PLAN
BAR/HOME OFFICE - 03
SCALE: 1/4" = 1'-0"



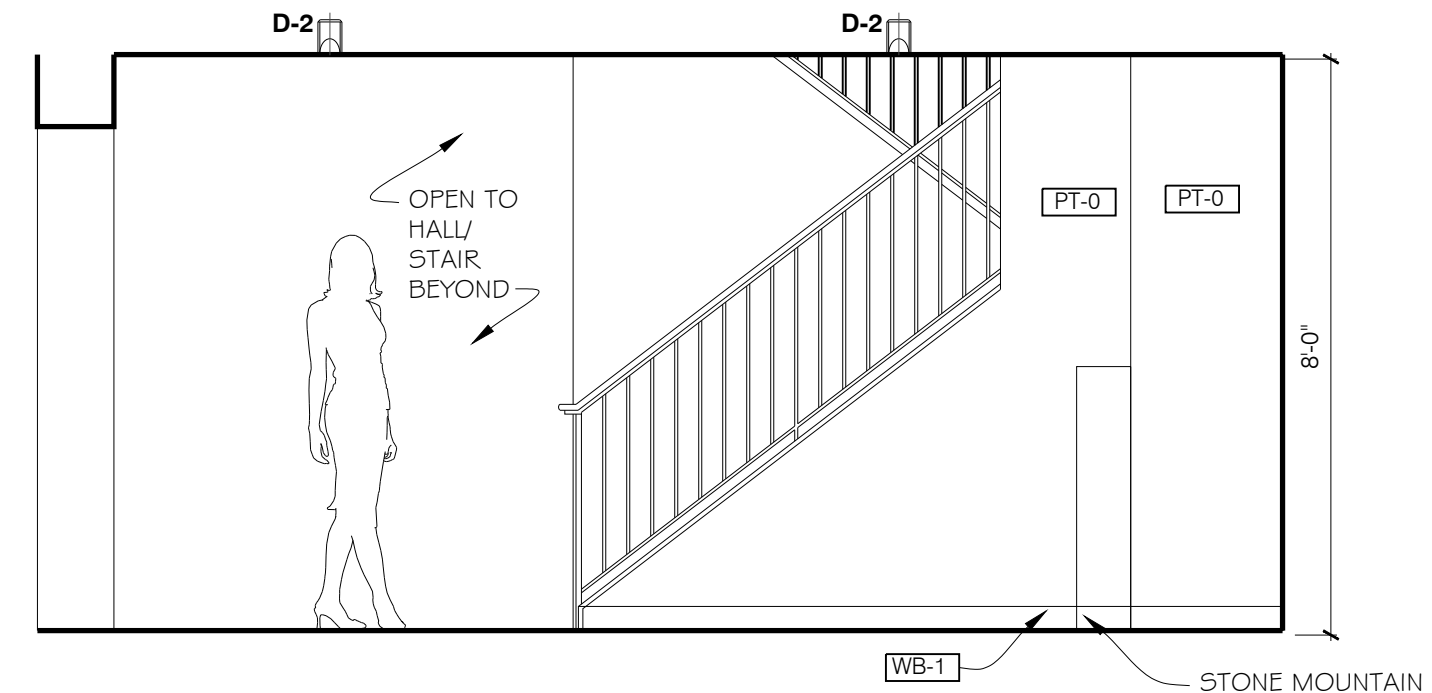
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INTERIOR ELEVATION
FAMILY ROOM - 02
SCALE: 3/8" = 1'-0"



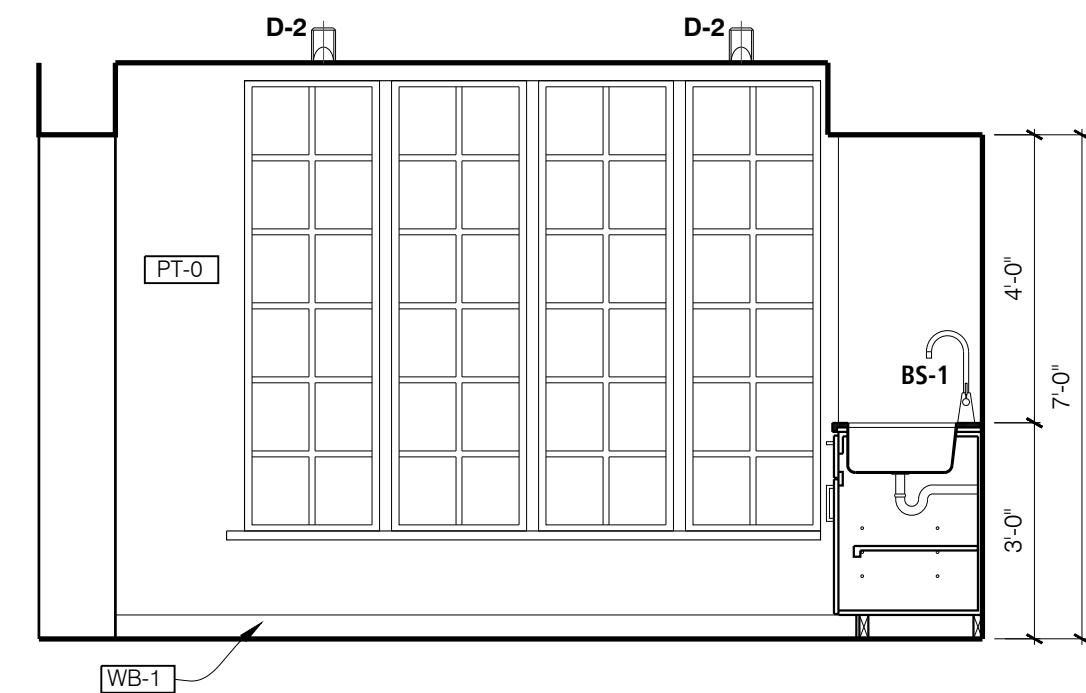
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INTERIOR ELEVATION
FAMILY ROOM - 02
SCALE: 3/8" = 1'-0"



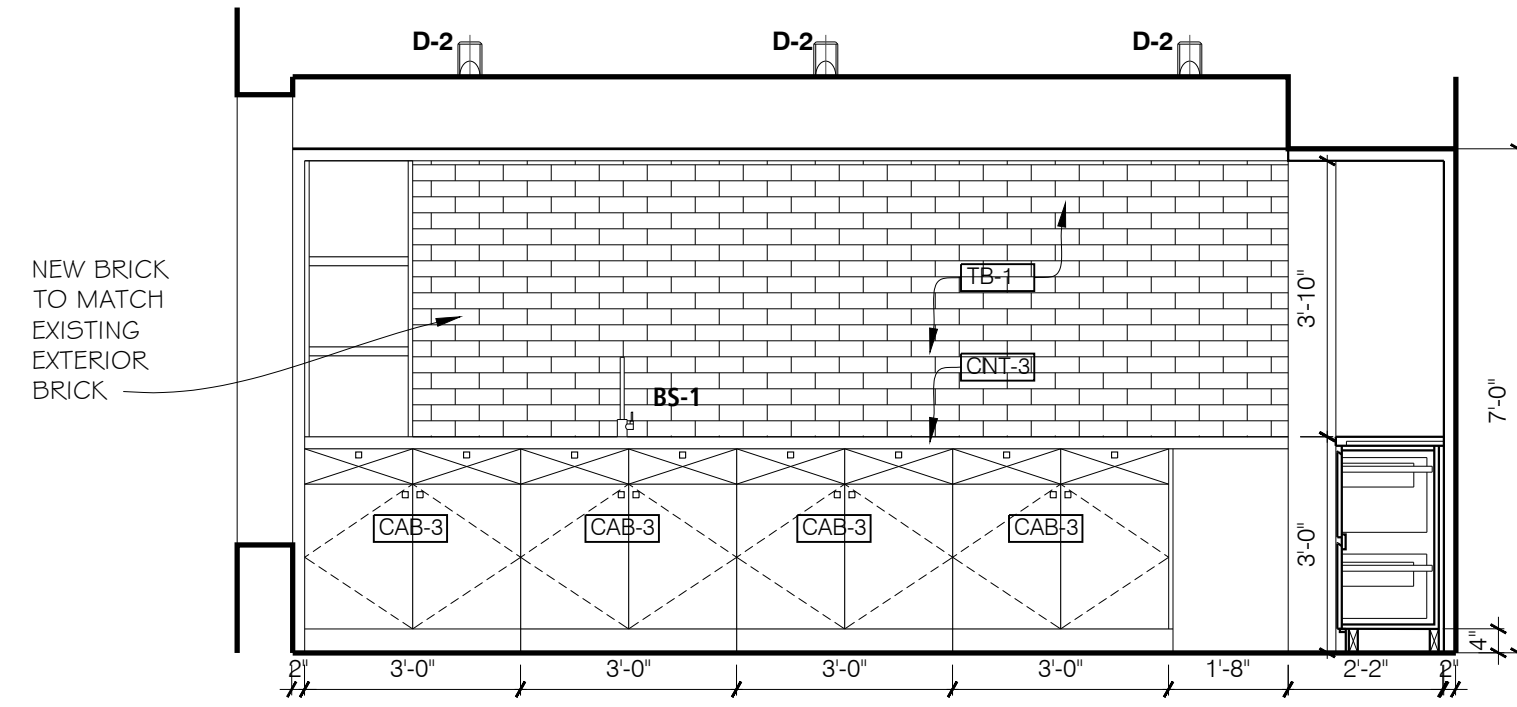
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INTERIOR ELEVATION
FAMILY ROOM - 02
SCALE: 3/8" = 1'-0"



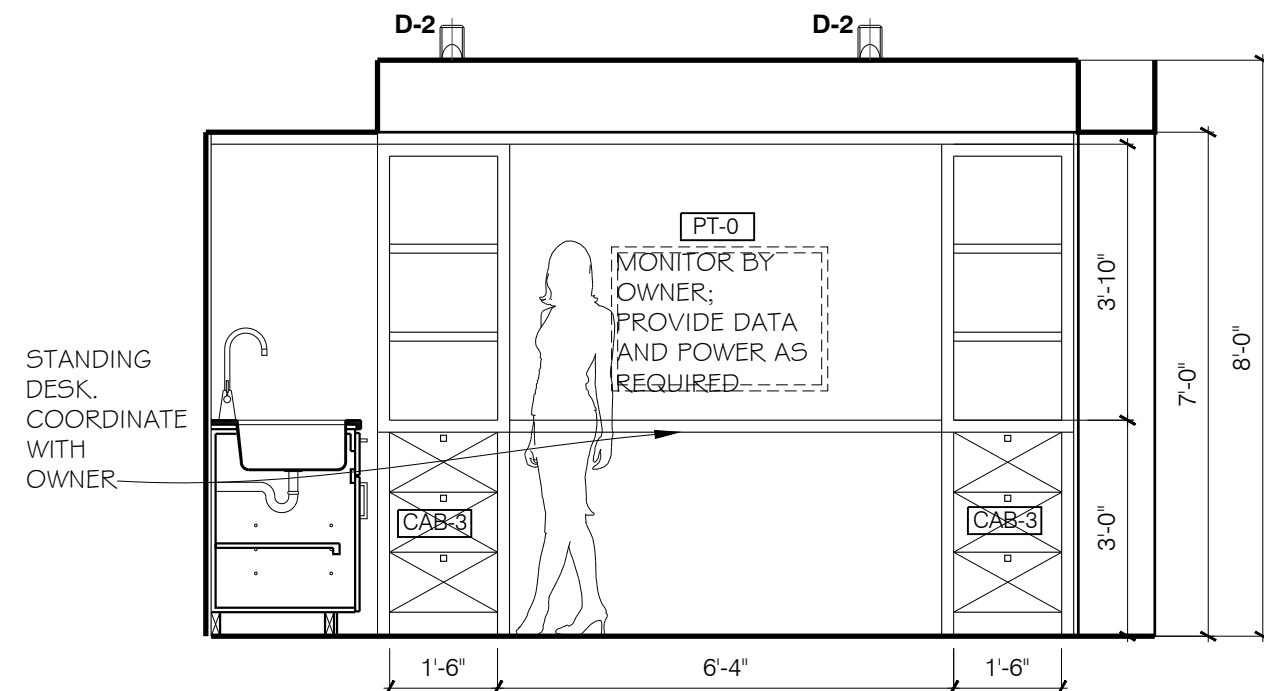
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INTERIOR ELEVATION
FAMILY ROOM - 02
SCALE: 3/8" = 1'-0"



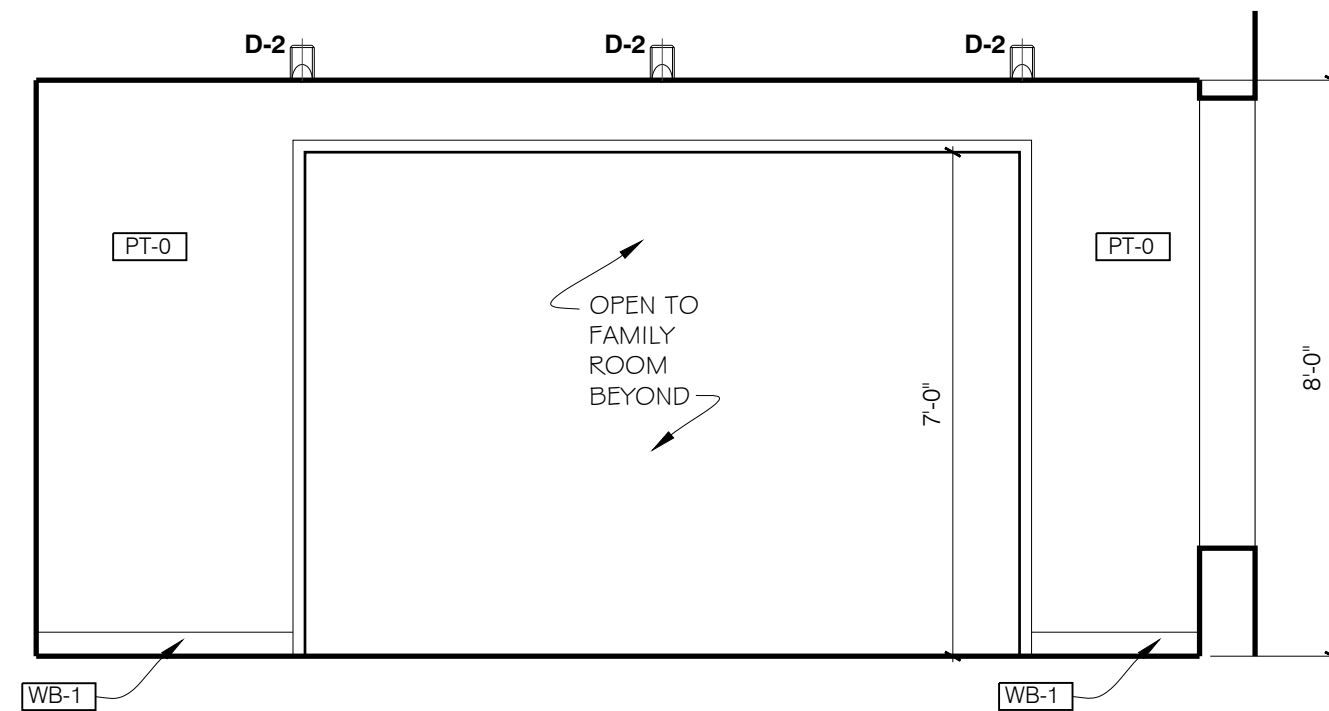
5
INTERIOR ELEVATION
BAR/HOME OFFICE - 03
SCALE: 3/8" = 1'-0"



6
INTERIOR ELEVATION
BAR/HOME OFFICE - 03
SCALE: 3/8" = 1'-0"



7
INTERIOR ELEVATION
BAR/HOME OFFICE - 03
SCALE: 3/8" = 1'-0"



8
INTERIOR ELEVATION
BAR/HOME OFFICE - 03
SCALE: 3/8" = 1'-0"

Seal

NOT FOR
CONSTRUCTION

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PRICING SET-VE REVISION	10/26/23	SMD
REVIEW SET	11/29/23	SMD

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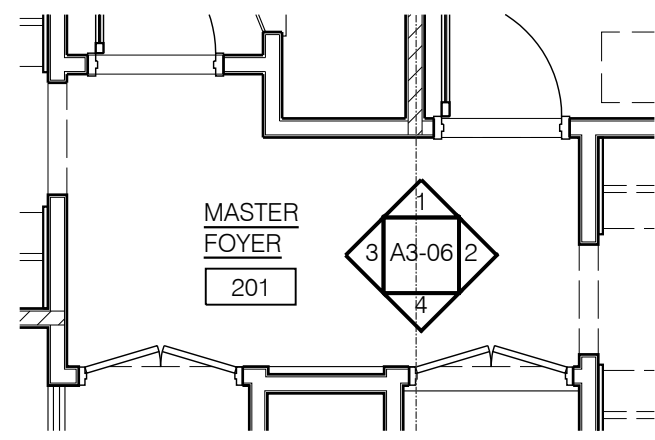
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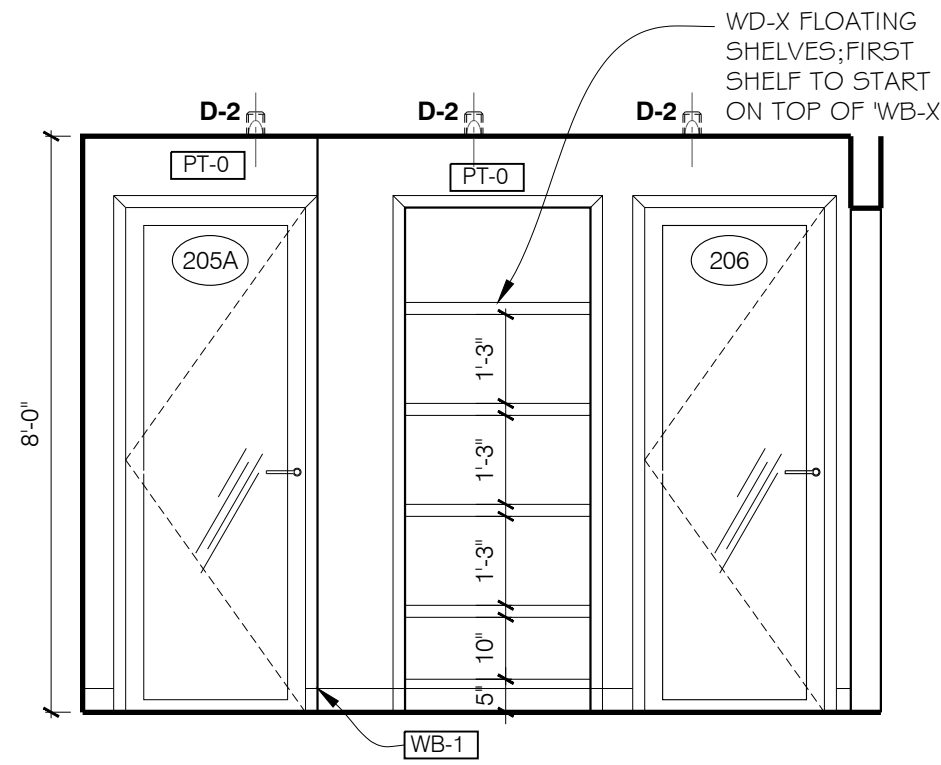
32 Hidden Valley Dr
Rocky River, OH, 44116

**FAMILY ROOM 02 &
BAR/HOME OFFICE 03
INTERIOR ELEVATIONS**

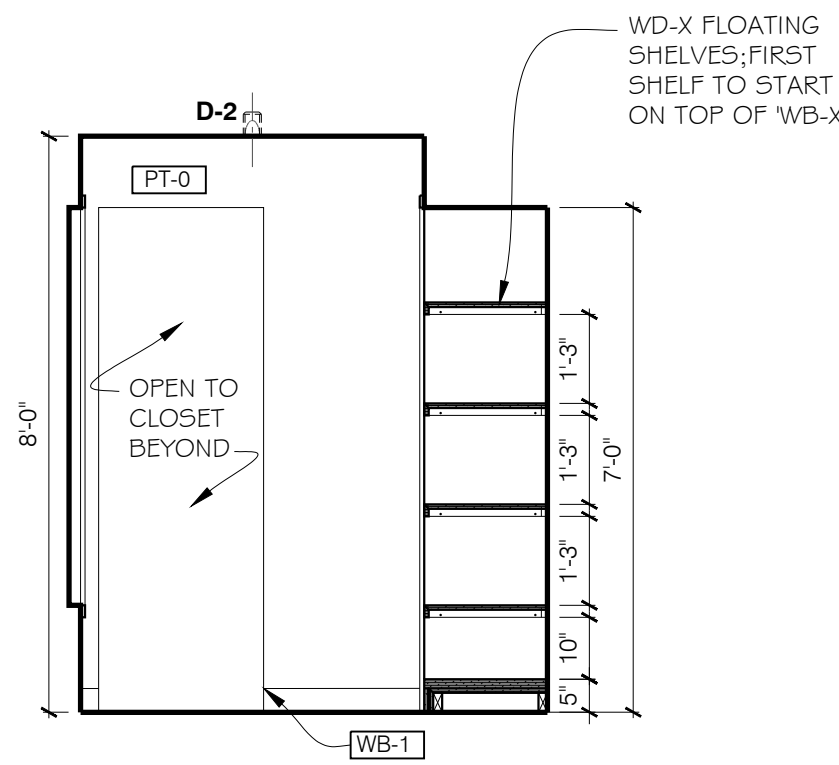
Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: A5-05
Checked by: SMD/AND	
Approved: SMD/AND	



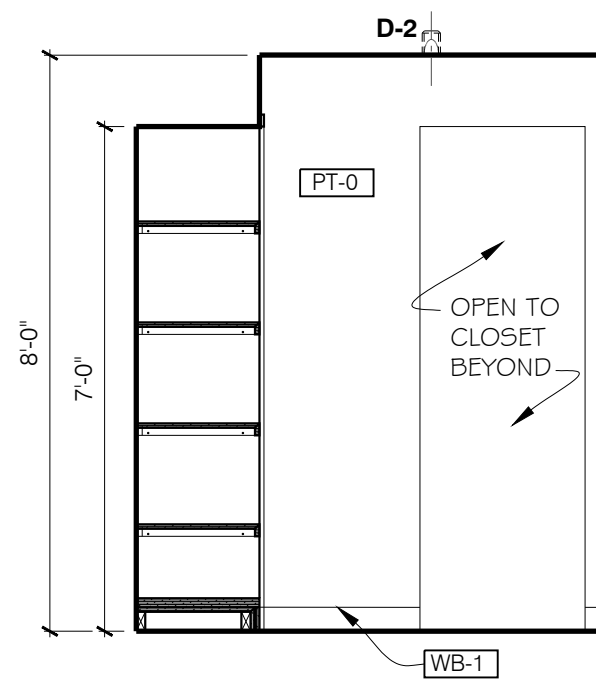
A
A3-06
KEY PLAN
MASTER FOYER - 201
SCALE: 1/4" = 1'-0"



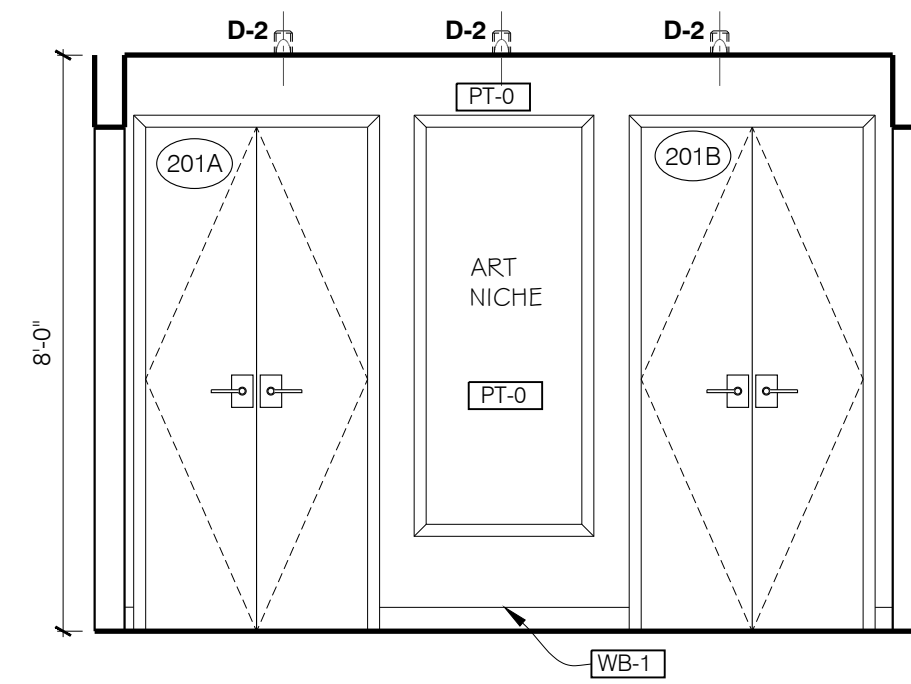
1
A3-06
INTERIOR ELEVATION
MASTER FOYER - 201
SCALE: 3/8" = 1'-0"



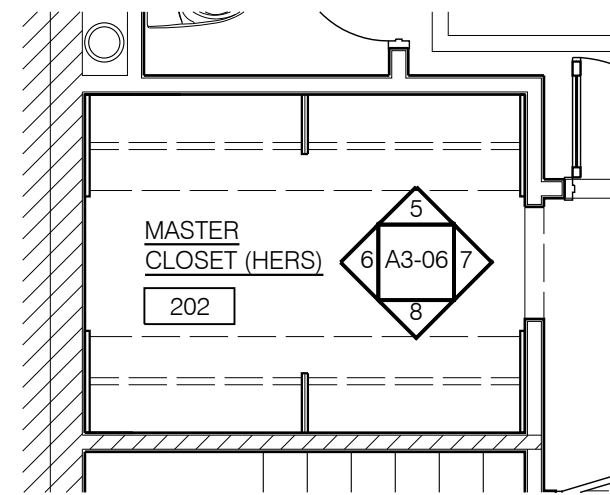
2
A3-06
INTERIOR ELEVATION
MASTER FOYER - 201
SCALE: 3/8" = 1'-0"



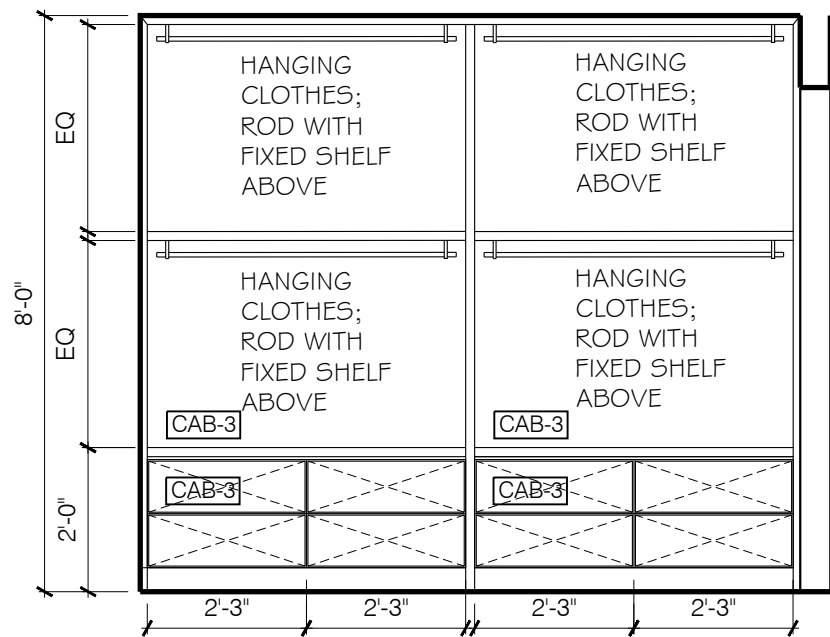
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A3-06
INTERIOR ELEVATION
MASTER FOYER - 201
SCALE: 3/8" = 1'-0"



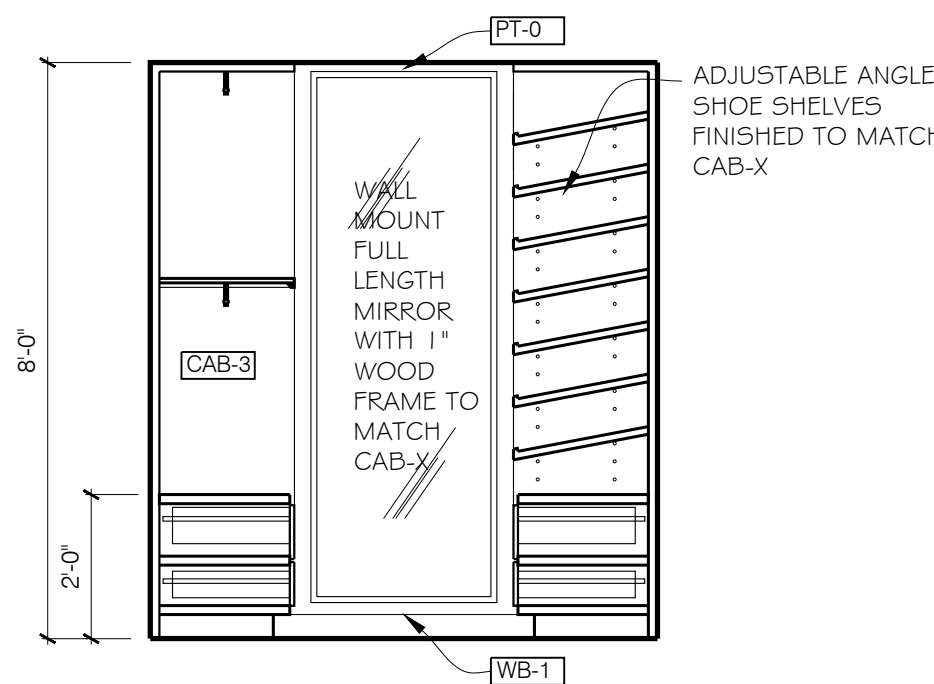
4
A3-06
INTERIOR ELEVATION
MASTER FOYER - 201
SCALE: 3/8" = 1'-0"



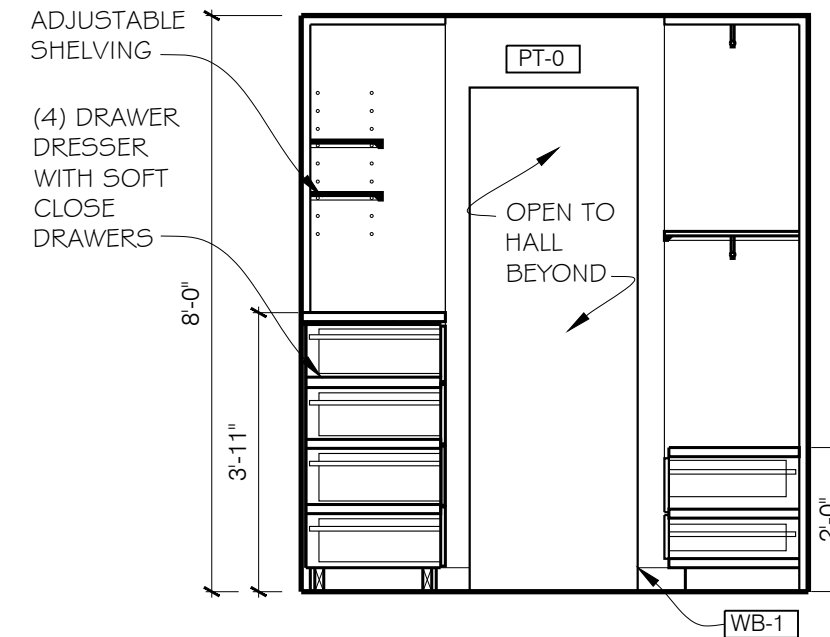
B
A3-06
KEY PLAN
MASTER CLOSET (HERS) - 202
SCALE: 1/4" = 1'-0"



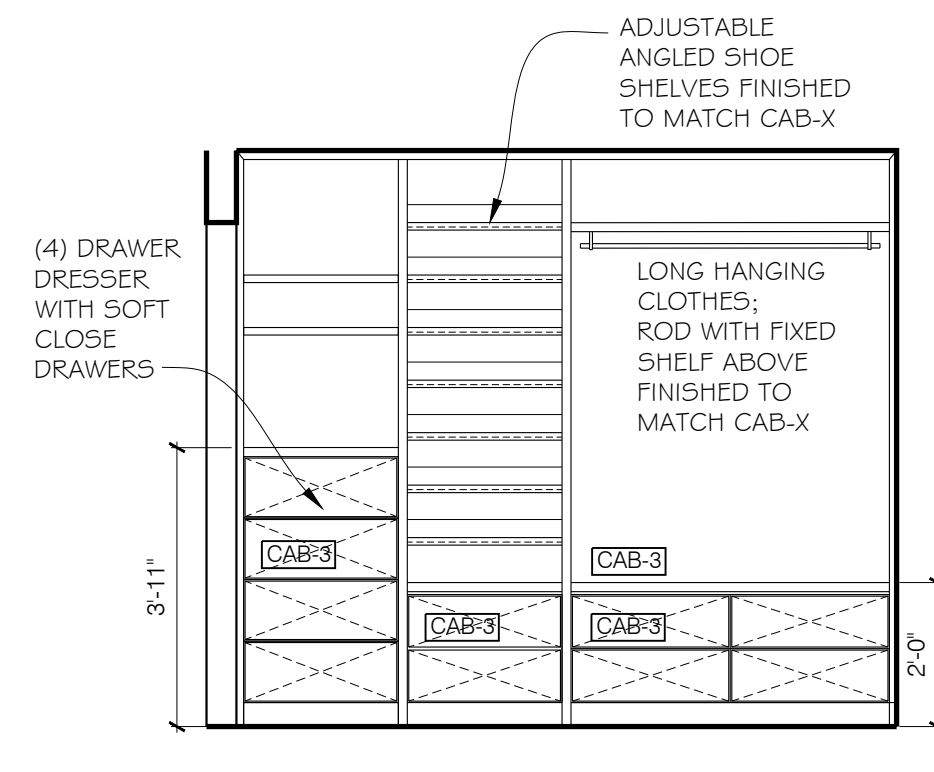
5
A3-06
INTERIOR ELEVATION
MASTER CLOSET (HERS) - 202
SCALE: 3/8" = 1'-0"
NOTE: CONFIRM CLOSET STORAGE REQUIREMENTS AND LAYOUT WITH OWNERS PRIOR TO FABRICATION



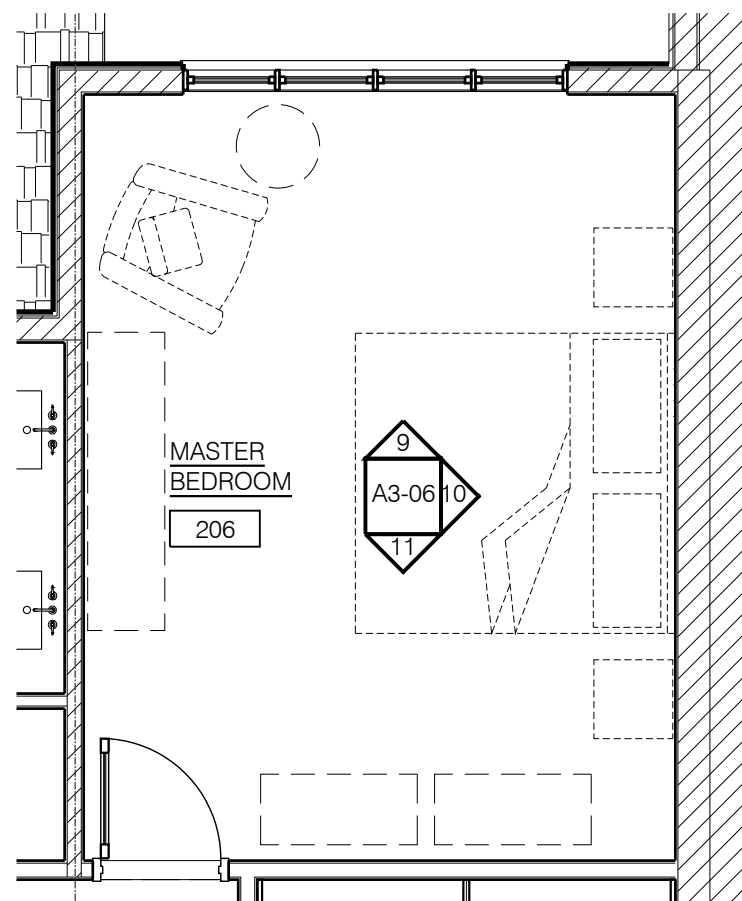
6
A3-06
INTERIOR ELEVATION
MASTER CLOSET (HERS) - 202
SCALE: 3/8" = 1'-0"



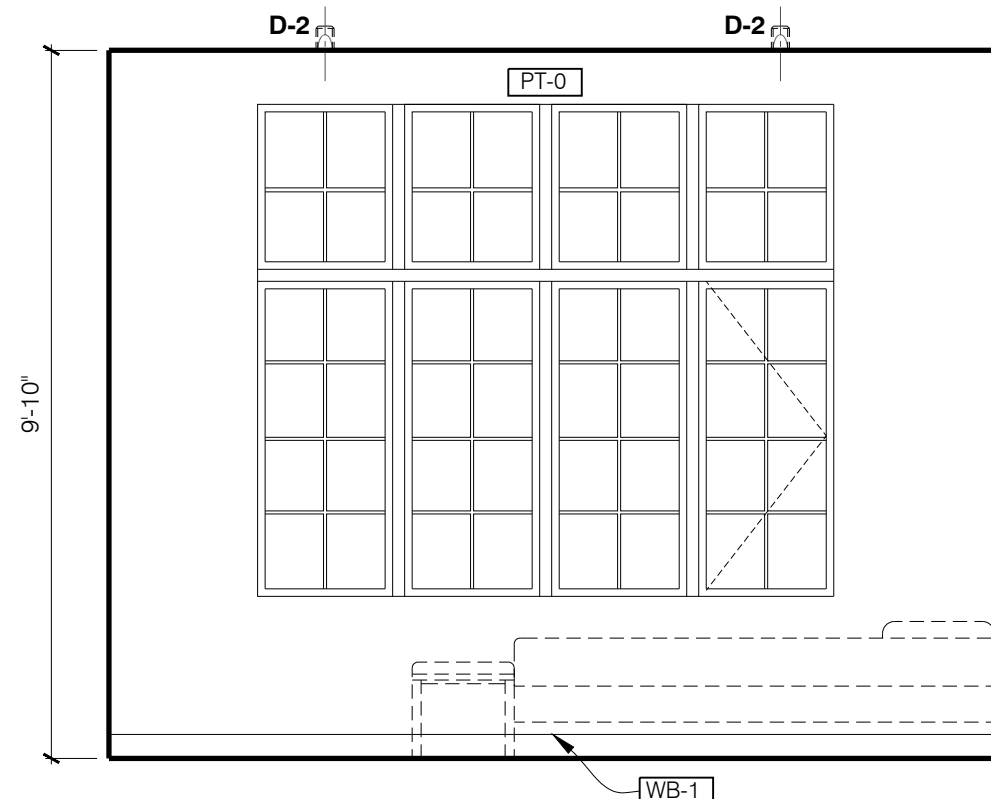
7
A3-06
INTERIOR ELEVATION
MASTER CLOSET (HERS) - 202
SCALE: 3/8" = 1'-0"



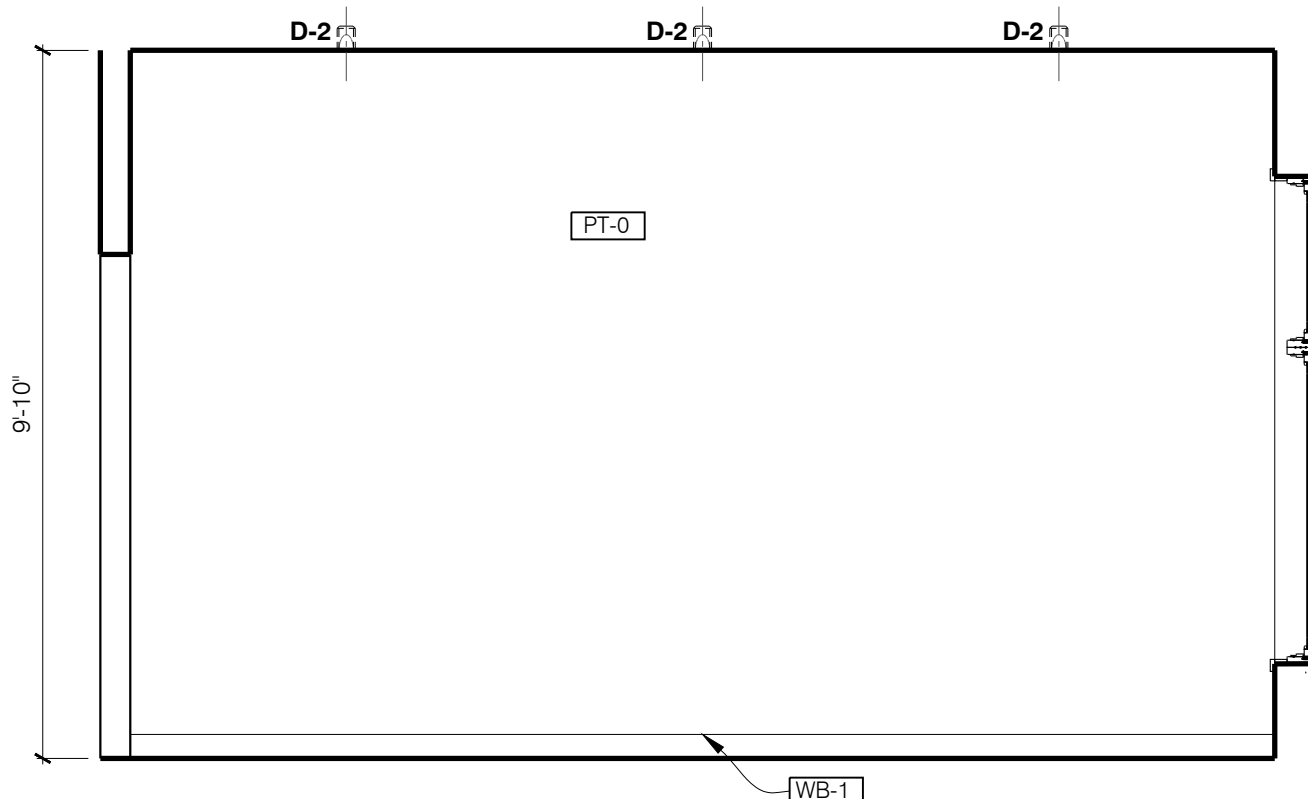
8
A3-06
INTERIOR ELEVATION
MASTER CLOSET (HERS) - 202
SCALE: 3/8" = 1'-0"



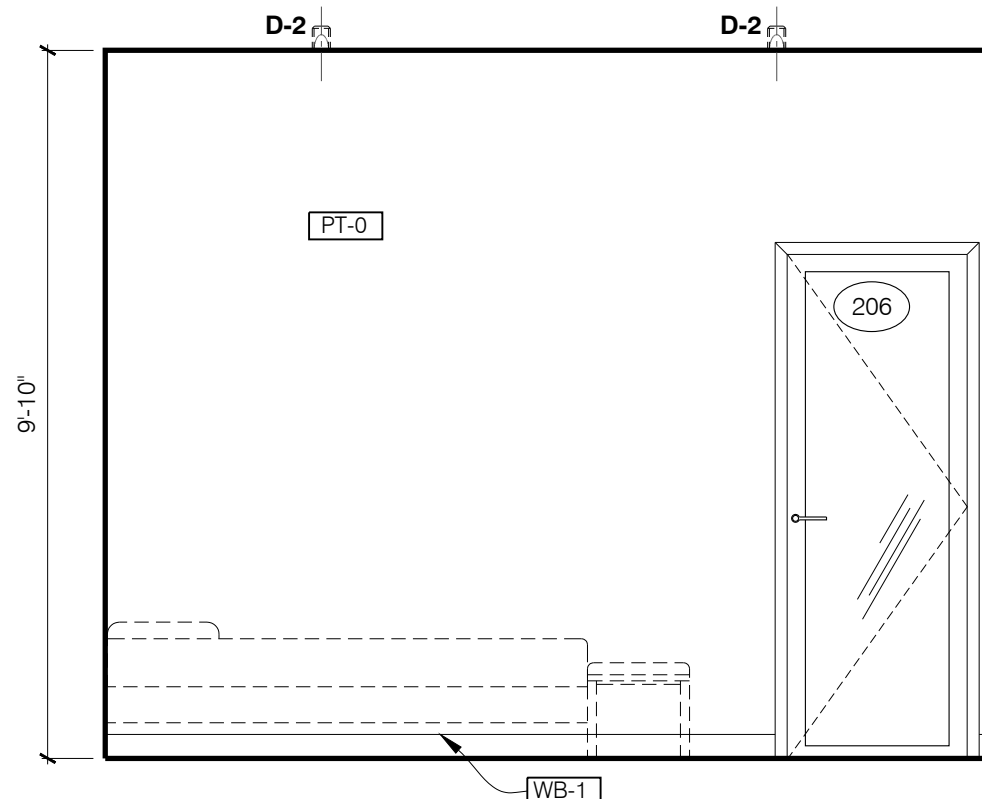
C
A3-06
KEY PLAN
MASTER BEDROOM - 206
SCALE: 1/4" = 1'-0"



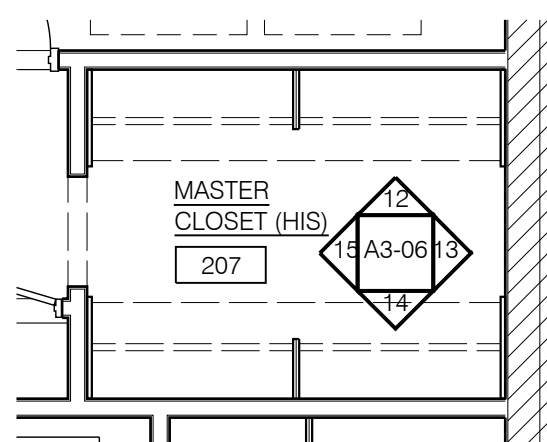
9
A3-06
INTERIOR ELEVATION
MASTER BEDROOM - 206
SCALE: 3/8" = 1'-0"



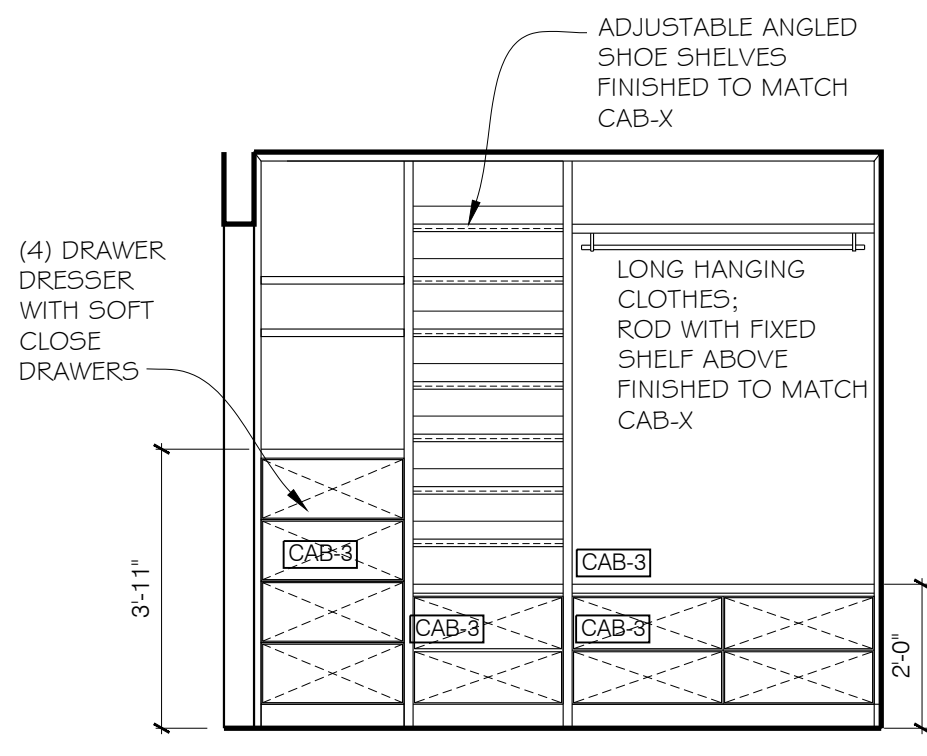
10
A3-06
INTERIOR ELEVATION
MASTER BEDROOM - 206
SCALE: 3/8" = 1'-0"



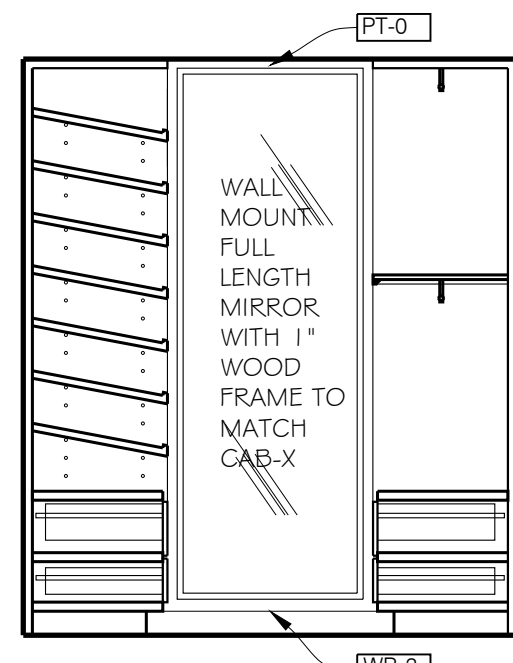
11
A3-06
INTERIOR ELEVATION
MASTER BEDROOM - 206
SCALE: 3/8" = 1'-0"



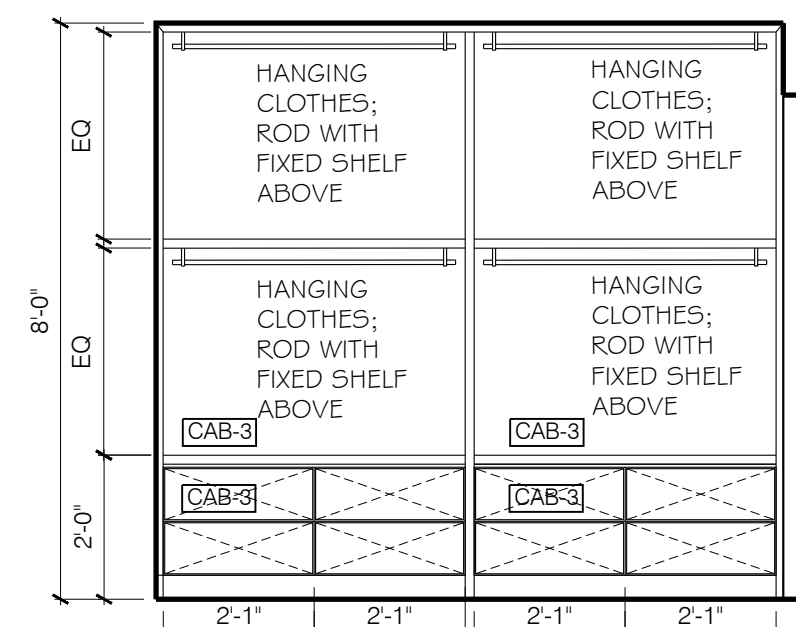
D
A3-06
KEY PLAN
MASTER CLOSET- (HIS) 207
SCALE: 1/4" = 1'-0"



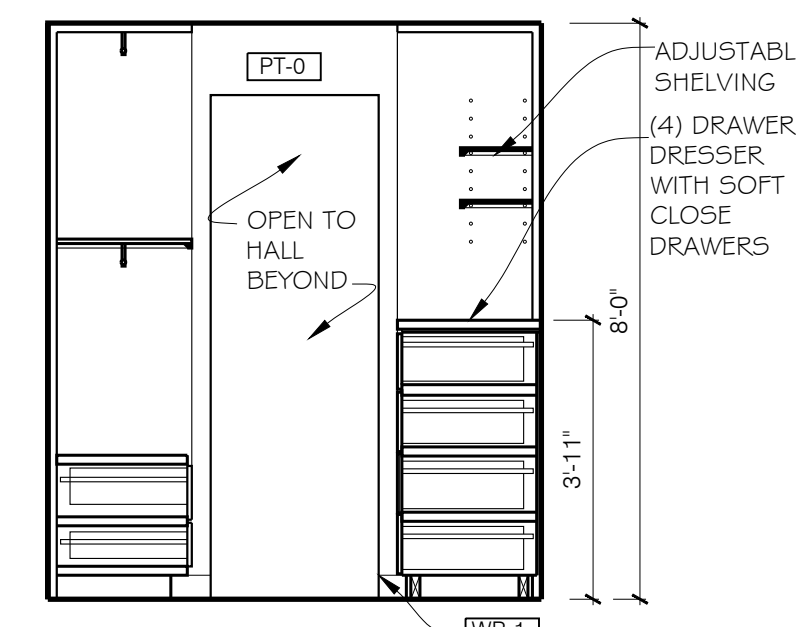
12
A3-06
INTERIOR ELEVATION
MASTER CLOSET- (HIS) 207
SCALE: 3/8" = 1'-0"
NOTE: CONFIRM CLOSET STORAGE REQUIREMENTS AND LAYOUT WITH OWNERS PRIOR TO FABRICATION



13
A3-06
INTERIOR ELEVATION
MASTER CLOSET- (HIS) 207
SCALE: 3/8" = 1'-0"



14
A3-06
INTERIOR ELEVATION
MASTER CLOSET- (HIS) 207
SCALE: 3/8" = 1'-0"



15
A3-06
INTERIOR ELEVATION
MASTER CLOSET- (HIS) 207
SCALE: 3/8" = 1'-0"

Seal

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Issue:	Date:	By:
PRICING SET	09/11/23	SMD
PRICING SET-VE REVISION	10/26/23	SMD
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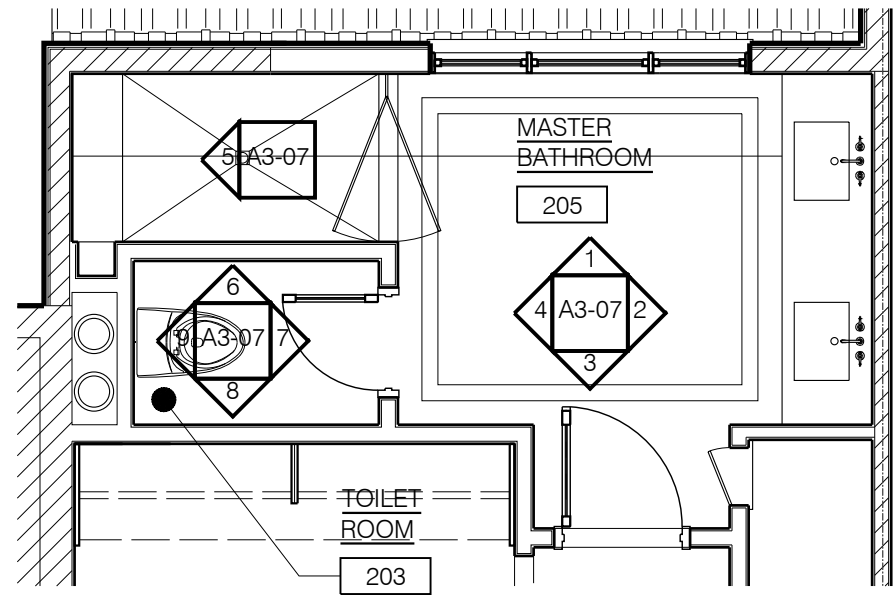
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Townhouse Renovation**

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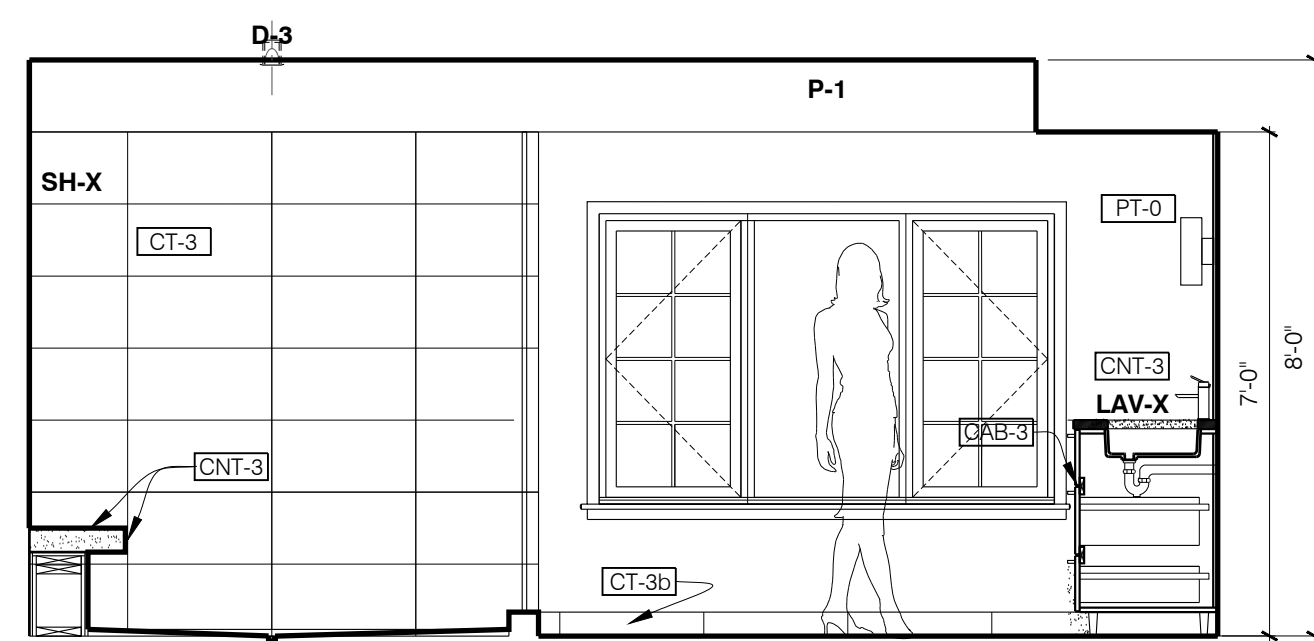
**MASTER FOYER 202,
MASTER CLOSET (HERS)
203, MASTER CLOSET
(HIS) 207, & MASTER
BEDROOM 206
INTERIOR ELEVATIONS**

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number:
Checked by: SMD/AND	
Approved: SMD/AND	

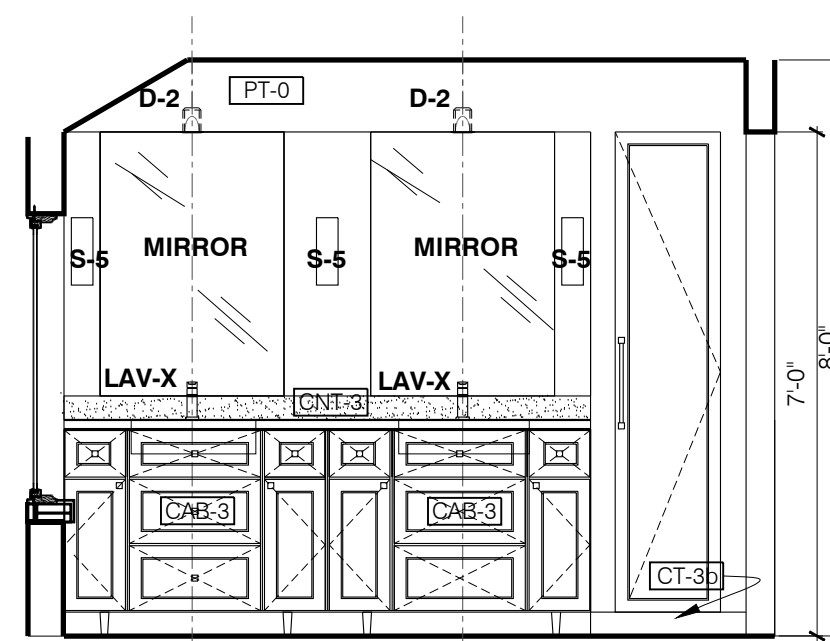
A5-06



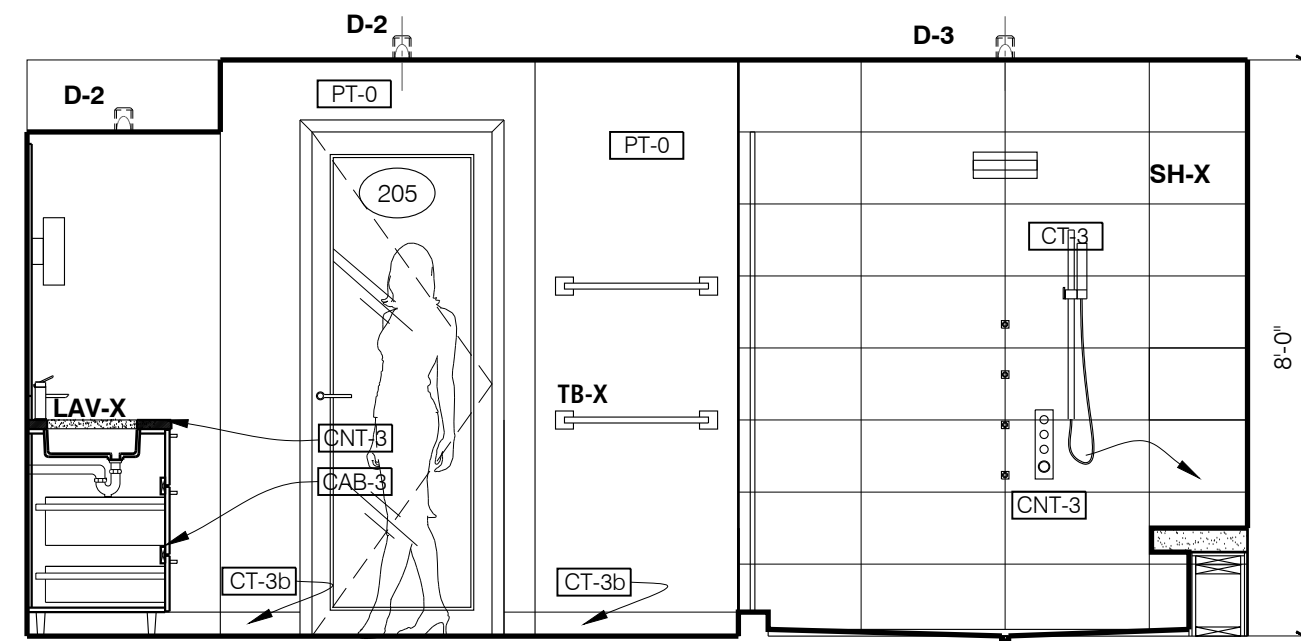
A
A3-07
KEY PLAN
MASTER BATHROOM - 205
SCALE: 1/4" = 1'-0"



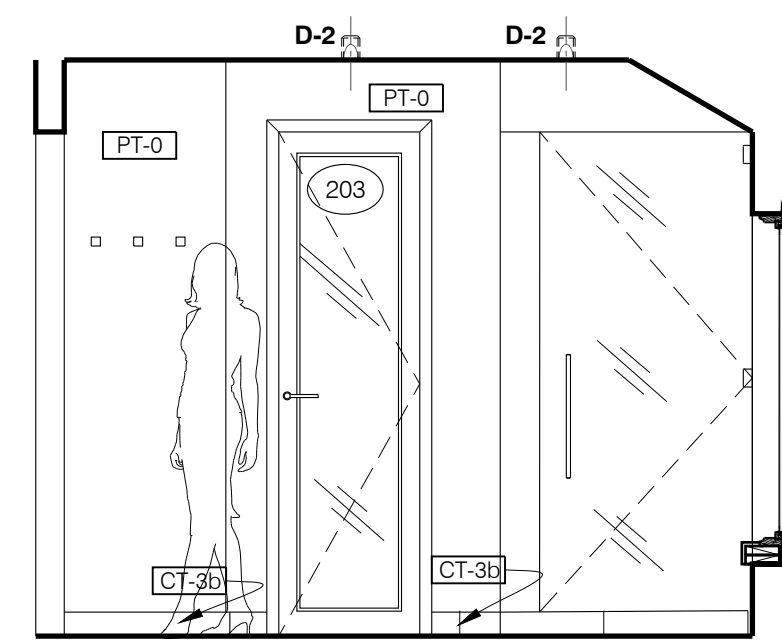
1
A3-07
INTERIOR ELEVATION
MASTER BATHROOM - 205
SCALE: 3/8" = 1'-0"



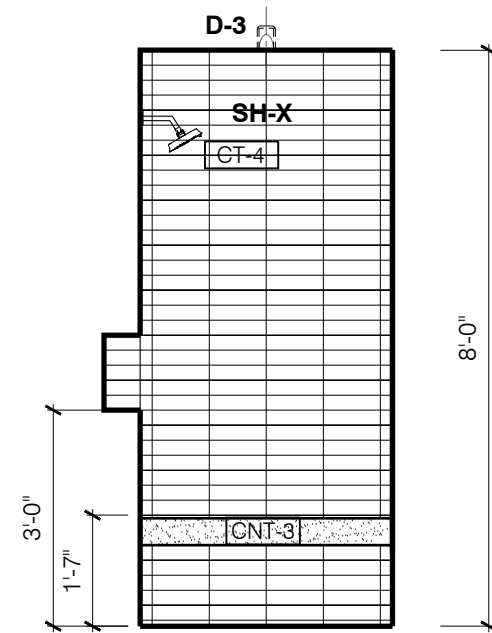
2
A3-07
INTERIOR ELEVATION
MASTER BATHROOM - 205
SCALE: 3/8" = 1'-0"



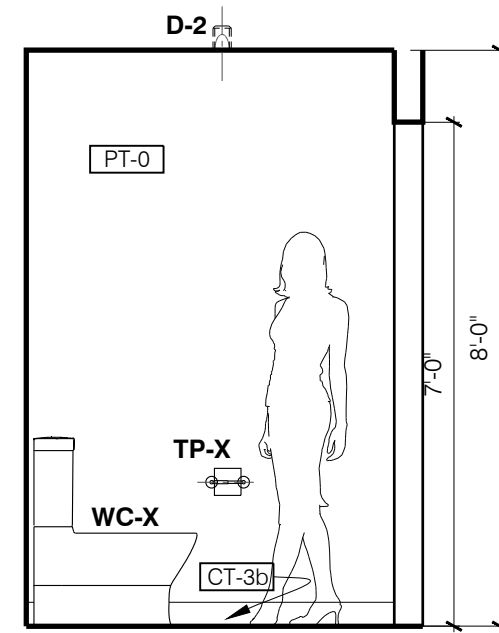
3
A3-07
INTERIOR ELEVATION
MASTER BATHROOM - 205
SCALE: 3/8" = 1'-0"



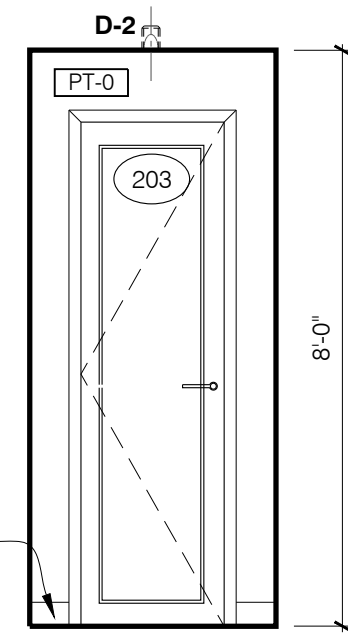
4
A3-07
INTERIOR ELEVATION
MASTER BATHROOM - 205
SCALE: 3/8" = 1'-0"



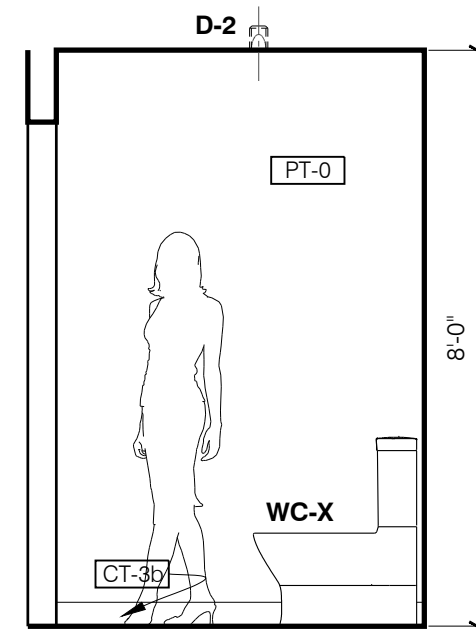
5
A3-07
INTERIOR ELEVATION
MASTER BATHROOM - 205
SCALE: 3/8" = 1'-0"



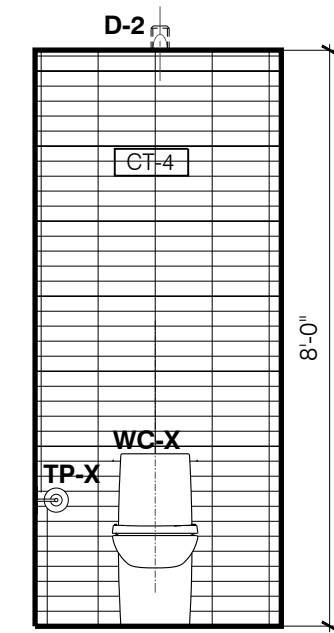
6
A3-07
INTERIOR ELEVATION
TOILET ROOM - 203
SCALE: 3/8" = 1'-0"



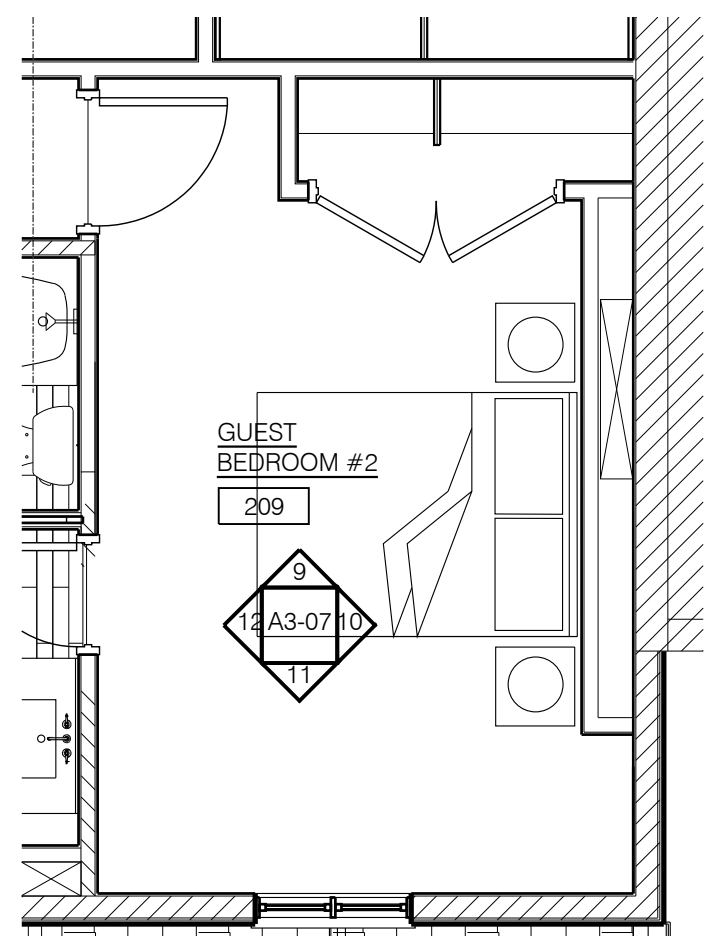
7
A3-07
INTERIOR ELEVATION
TOILET ROOM - 203
SCALE: 3/8" = 1'-0"



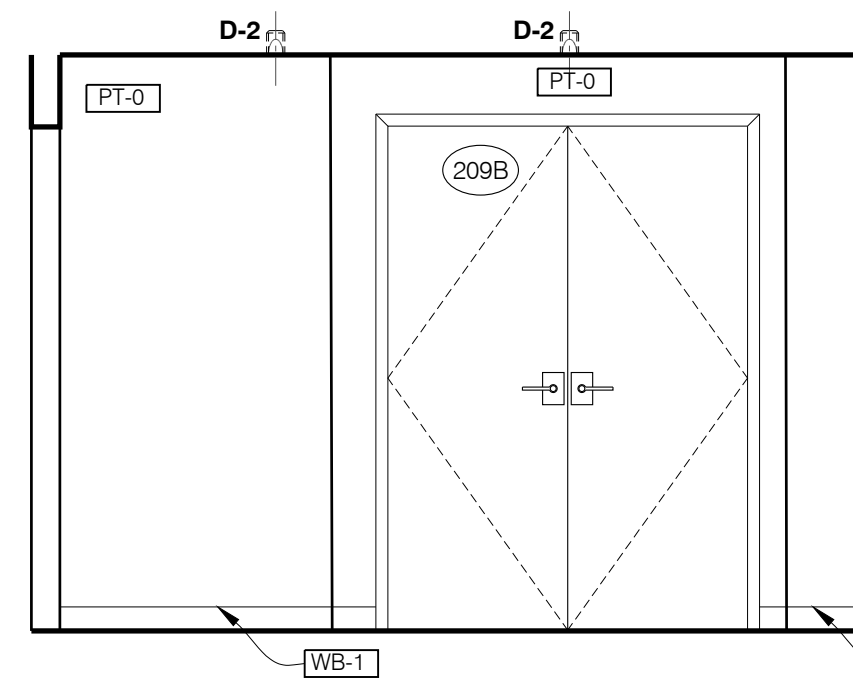
8
A3-07
INTERIOR ELEVATION
TOILET ROOM - 203
SCALE: 3/8" = 1'-0"



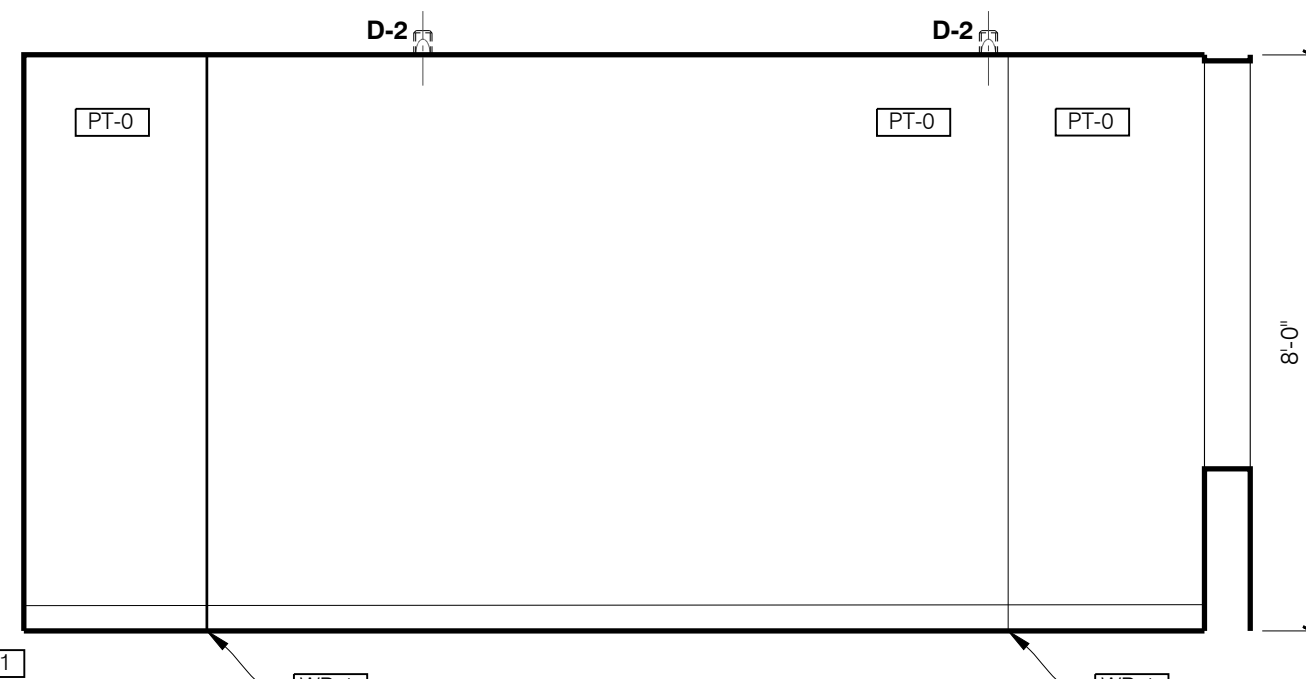
9
A3-07
INTERIOR ELEVATION
TOILET ROOM - 203
SCALE: 3/8" = 1'-0"



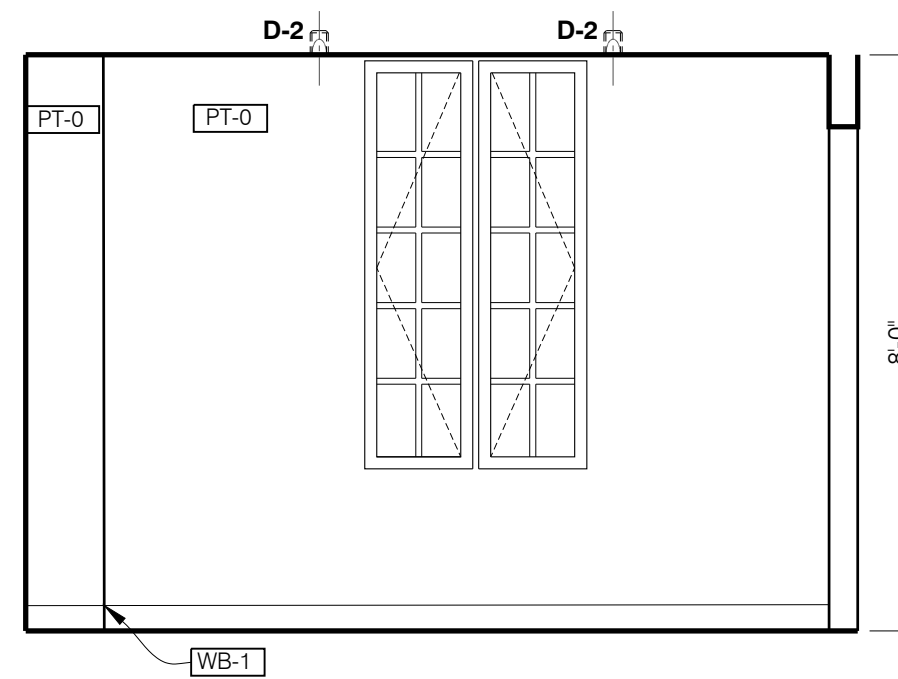
B
A3-07
KEY PLAN
GUEST BEDROOM #2 - 209
SCALE: 1/4" = 1'-0"



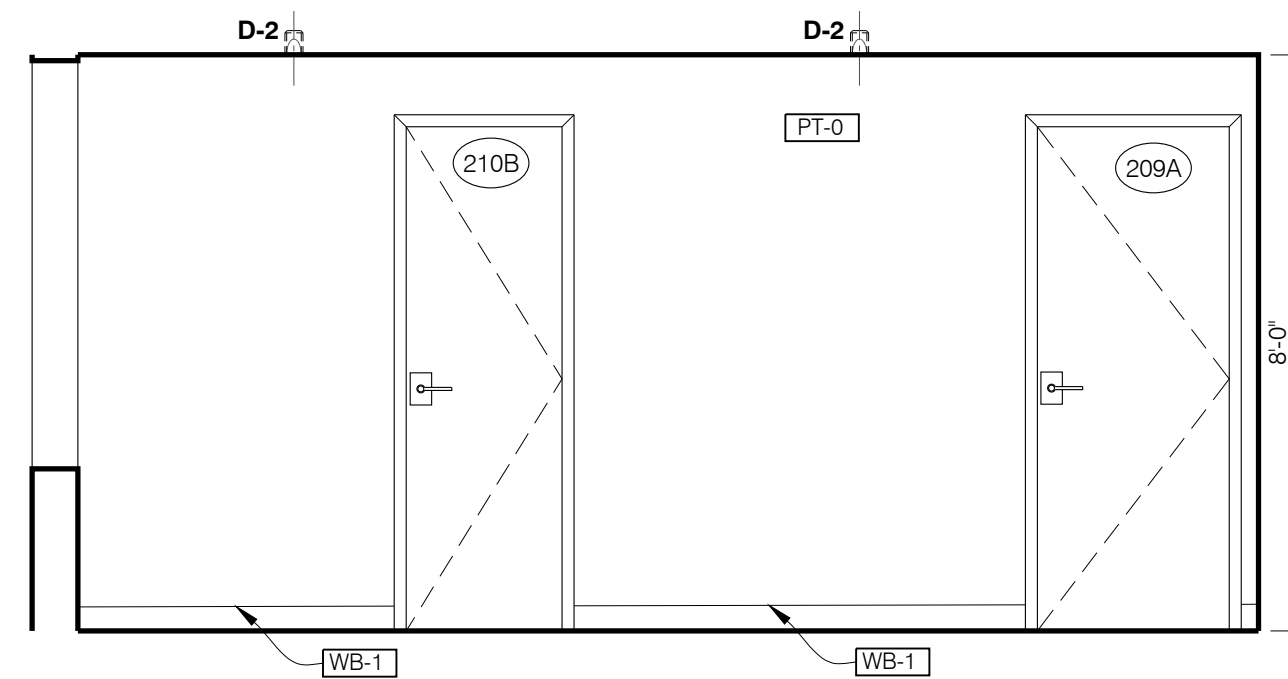
9
A3-07
INTERIOR ELEVATION
GUEST BEDROOM #2 - 209
SCALE: 3/8" = 1'-0"



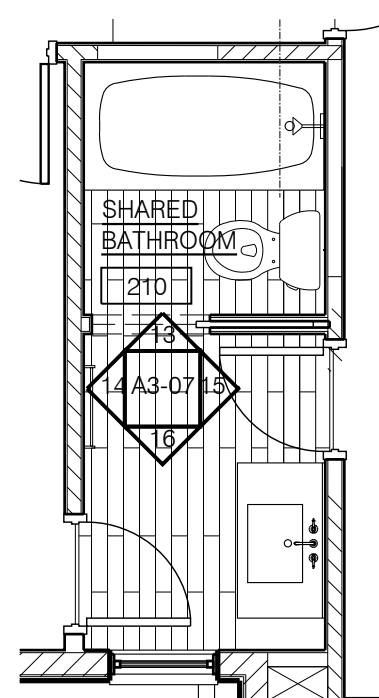
10
A3-07
INTERIOR ELEVATION
GUEST BEDROOM #2 - 209
SCALE: 3/8" = 1'-0"



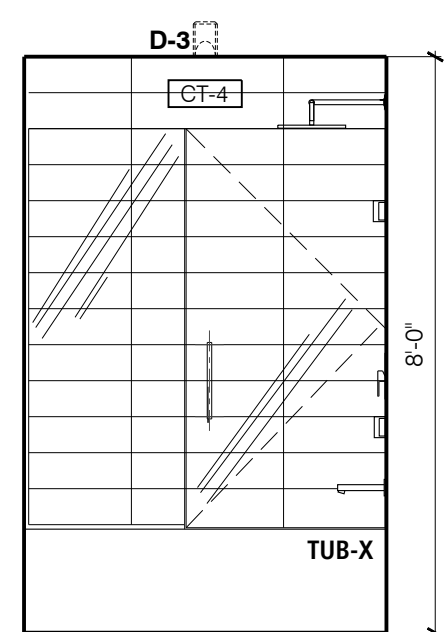
11
A3-07
INTERIOR ELEVATION
GUEST BEDROOM #2 - 209
SCALE: 3/8" = 1'-0"



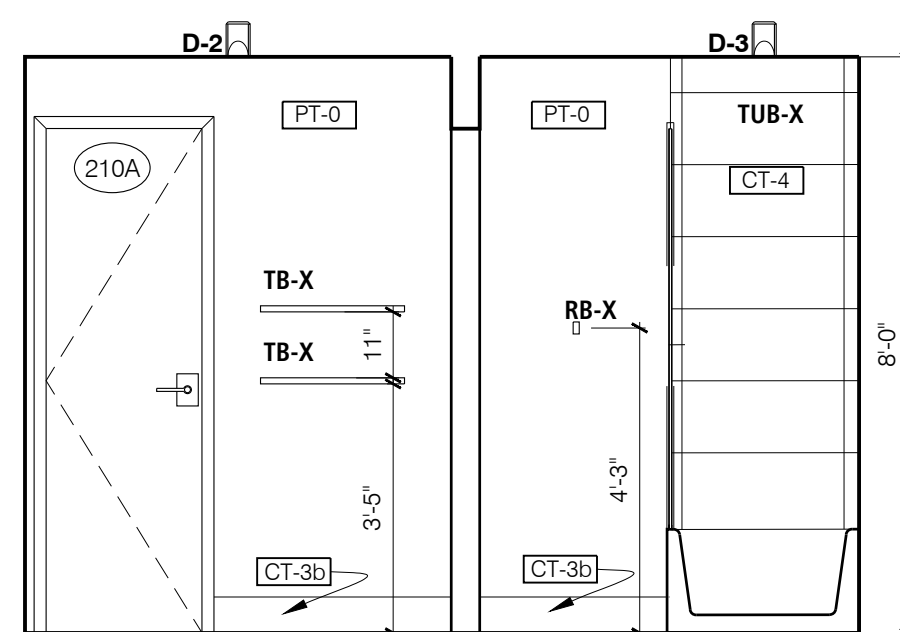
12
A3-07
INTERIOR ELEVATION
GUEST BEDROOM #2 - 209
SCALE: 3/8" = 1'-0"



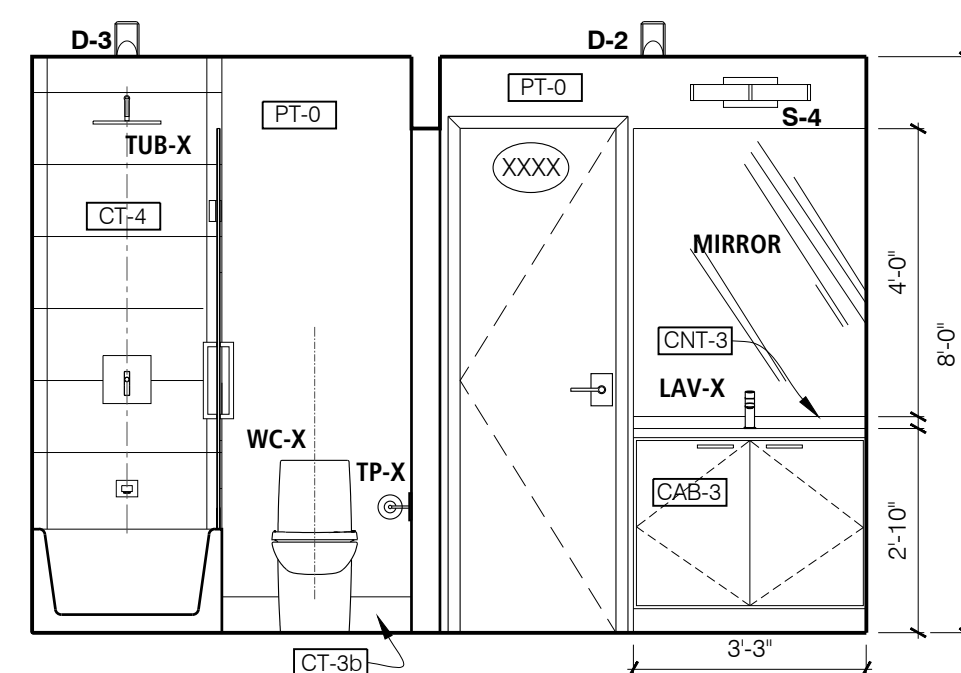
C
A3-07
KEY PLAN
SHARED BATHROOM - 210
SCALE: 1/4" = 1'-0"



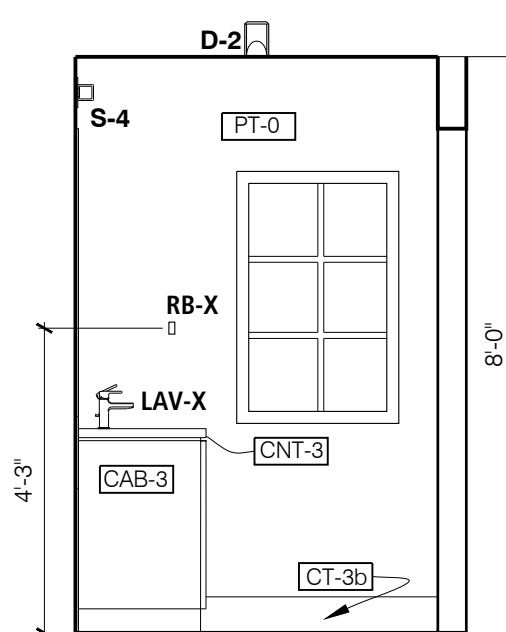
13
A3-07
INTERIOR ELEVATION
SHARED BATHROOM - 210
SCALE: 3/8" = 1'-0"



14
A3-07
INTERIOR ELEVATION
SHARED BATHROOM - 210
SCALE: 3/8" = 1'-0"



15
A3-07
INTERIOR ELEVATION
SHARED BATHROOM - 210
SCALE: 3/8" = 1'-0"



16
A3-07
INTERIOR ELEVATION
SHARED BATHROOM - 210
SCALE: 3/8" = 1'-0"

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**MASTER BATHROOM
205, GUEST BEDROOM
#2 208, & SHARED
BATHROOM 209
INTERIOR ELEVATIONS**

Date:
11/29/2023
Drawn by
JTK/ AND/ KH
Checked by
SMD/AND
Approved
SMD/AND

Project Number
23-054
Drawing Number

A5-07



2 RENDERING SOUTH FACADE
AR-1



1 RENDERING NORTH FACADE
AR-1

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EXTERIOR RENDERING

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: AR-1
Checked by: SMD/AND	
Approved: SMD/AND	



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CONSTRUCTION**

Issue:	Date:	By:
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INTERIOR RENDERING

Date	Project Number
11/29/2023	23-054
Drawn by	Drawing Number
JTK/ AND/ KH	AR-2
Checked by	
SMD/AND	
Approved	
SMD/AND	



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INTERIOR RENDERING

Date	Project Number
11/29/2023	23-054
Drawn by	Drawing Number
JTK/ AND/ KH	AR-3
Checked by	
SMD/AND	
Approved	
SMD/AND	



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PRICING SET-VE REVISION	10/26/23	SMD
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INTERIOR RENDERING

Date	Project Number
11/29/2023	23-054

Drawn by JTK/ AND/ KH	Drawing Number
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Checked by SMD/AND	AR-4
Approved SMD/AND	

1
AR-4



Issue:	Date:	By:
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Date	Project Number
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Drawn by	Drawing Number
JTK/ AND/ KH	AR-6
Checked by	
SMD/AND	
Approved	
SMD/AND	

1
AR-6



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INTERIOR RENDERING

Date:
11/29/2023

Drawn by:
JTK/ AND/ KH

Checked by:
SMD/AND

Approved:
SMD/AND

Project Number:
23-054

Drawing Number

AR-7



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INTERIOR RENDERING

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number:
Checked by: SMD/AND	AR-8
Approved: SMD/AND	





Issue:	Date:	By:
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Approved SMD/AND	Approved

AR-10



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INTERIOR RENDERING

Date: 11/29/2023	Project Number: 23-054
Drawn by: JTK/ AND/ KH	Drawing Number: AR-11
Checked by: SMD/AND	
Approved: SMD/AND	