

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

1. Materials and methods of construction shall comply with all applicable local, state and federal building codes.
Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.

7. Contractor responsible for verifying locations of existing utilities and roads.

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.

9. Contractor shall patch and repair areas impacted by new work. Finishes to match existing.

10. Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.: casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

EARTHWORK

1. Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all utilities.

2. Unused excavated soil to be transported to on site location as designated by Owner.

3. Prevent surface water and ground water from entering excavations or flooding Project site and surrounding area.

4. Excavate to ensure footings and foundations bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer prior to proceeding with work.

5. Backfill at foundations to within 12" of finish grade with #57 gravel fill.

6. Provide termite control methods per section 318 of RCO.

7. Utility trenches shall be excavated to provide uniform width and working clearance around utility line. Back fill w/ sand then soil.

8. At areas to receive concrete slab, install minimum 4" #57 limestone over compacted soil.
7. All foundation and sewer work in the City or Rocky River will be required to verify and correct if necessary any cross connections of storm vs. sanitary lines. This includes, but is not limited to, downspouts, drain tile, yard, driveway or garage drains.

ENERGY EFFICIENCY REQUIREMENTS

This project shall comply with the RCO requirements for energy efficiency using the prescriptive method outlined in sections 1101.14 - 1104 of the RCO.

BUILDING THERMAL ENVELOPE

1. Insulation R values shall be as follows:
Walls: R=20
Ceilings R=49 for new construction
a. R=38 where insulation is installed over 100% of the area and extends over wall top plate
Floor: R= 30
Basement R=10 to depth of 10' below grade or basement floor.
Slab R=10 at 2' from perimeter Window U= .30
A permanent certificate shall be completed and posted by furnace listing R= values of all insulation components.

2. Where insulation extends over top plate in a vented attic, install an eave baffle. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend over the top of the attic insulation.

8. Contractor must perform dye test or visual inspections of the drainage system and submit results in writing to the Rocky River Building Department prior to any footer inspections.

9. 9. All new work shall comply with section 914.1 of the City's Ordinances.

10. Contractor to finish grade site effected by work. Provide smooth transition between adjacent grades. Slope away from building Owner shall seed and landscape.

CONCRETE

1. Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement. Concrete to have a minimum cement content of 564# / cu.yd., a maximum water to cement ratio of 0.53 and obtain a minimum strength of 4,000 psi at 28 days. (unless noted otherwise - u.n.o.)
2. All garage slabs and exterior slabs shall have a minimum strength of 4,000 psi.
3. All reinforcing steel shall conform with astm #615, 60 ksi yield.
4. Trowel finish for interior concrete and broom finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.

2. All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.

3. Cut joints for all slabs on grade shall be a maximum of 12'-0" O.C. unless otherwise noted. All cuts shall be made 8 hours after placing concrete.

4. At all expansion joints, install backer rod and sealant.

REINFORCING STEEL

1. Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.

2. Lap all horizontal bars at corners and intersection.

3. Dowel all vertical rebar to foundations.

MASONRY

1. Construct all masonry walls in accordance with ACI 530.

2. Foundations walls shall be standard 12x8x16 & 8x8x16 masonry units as shown on plans.

3. Mortar for reinforced masonry and load bearing walls shall be Type S. Non- bearing walls shall use Type N.

4. Grout solid minimum 2 courses (16") below beam bearing.

5. Apply ½" min. cement parging from the bottom of the footing up the foundation wall to grade with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging

6. Provide pipe sleeves for any through wall penetrations per OPC 305.

FRAMING

1. All framing shall be Southern Yellow Pine species #2 grade or better.

2. LVL's shall be Boise Cascade 2.0E GP Lam LVL or equal.

3. Where multiple plies of LVL are used, beams shall be nailed with 3 rows of min. 3" 10d nails, 12" O.C. If three or more plies are used, beams shall be nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners.
4. Plywood shall be standard PS-1 and OSB shall be standard PS-2

5. All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o).
6. All preservative pressure treated (ppt) lumber shall be southern pine #2.

7. Provide blocking at mid span of joists exceeding 2x12.

8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.

9. Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.

10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.

11. Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO.

12. Provide draftstopping in floor/ ceiling locations as outlined n section 302.12 of the RCO.

DOORS AND HARDWARE

1. Provide 2'-6"x 6'-8"x 1 3/8" solid core wood door unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.

2.Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.

3. Exterior doors shall be Fiberglass Pella, Therma Tru or Owner approved equal.

4. Interior & exterior doors & hardware to match exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

WINDOWS

1. Windows shall be Pella 250 vinyl low e glass. Windows shall be double hung & awning with screens, traditional grilles and locks. Finish to match existing. Alternates shall be Andersen, or Owner approved equal.

2. Exterior windows and sliding doors shall be tested by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 1011.S.2/A440.

3. Windows shall meet standards for wind design loads per section 301.2 of RCO.

EXTERIOR FINISHES

1. Shake siding to be JL HARDIE "northwoods" shake siding, slight stagger edge or Owner approved equal. Standard color to be selected by Owner.

Horizontal siding to be JL HARDIE 5" wood grained vinyl siding collection. Standard color to be selected by owner.

2. Roof shingles shall be GAF Timberline "Natural Shadow". Color and texture to be selected by Owner.

3. Metal roof to be 26 ga. steel, 36" wide panel with 3/4" rib Classic rib pattern by ABC or Owner approved equal. Standard color to be selected by Owner.

4. Install self sealing hip and ridge cap shingle matching the color of selected roof shingle.

10. Eave and ridge vents must supply open space for ventilation of not less than 1 to 150 of the area which they are ventilating. provide corrosion-resistant screening over openings as per the details and notes in these construction documents or contact the designer.

5. Provide #30 Roofing Underlayment

6. Provide ice & water shield minimum 5'-0" up from all eaves and valleys and 2'-0" up from walls where abutting roof. Install per manufacturer's recommendation.

7. Exposed flashing shall be pre- finished metal flashing 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.

8. Concealed flashing shall be self-adhesive membrane type flashing.

9. Where applicable, flashing shall extend min. 6" up wall and behind vapor barrier to prevent water entry.

10. Flashing shall be installed in a shingle style or

overlapping to prevent water entry.

11. At valleys Install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.

14. Install 5" K style seamless aluminum gutters with 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per manufacturer's recommendation. Gutter to be white, downspouts to match siding.

INSULATION

1. Provide batt insulation as indicated in building & wall sections.

2.All insulation R values shall meet or exceed minimum standards outlined in RCO.

3. Acceptable manufacturers for batt insulation shall be Owens Corning, Certainteed, John's Manville or Owner approved equal.

INTERIOR FINISHES

1. Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" with tapered edges, as indicated in drawings

2. Provide water resistant gypsum board in all wet rooms such as bathrooms and at kitchen counters.

3. Install "durorock" wall board where tile to be installed.

4. Provide in maximum lengths and widths to minimize joints and correspond with support system.

5. Gypsum board trim shall be galvanized or aluminum coated steel, rolled zinc, plastic, or paper faced galvanized stainless steel. Provide corner beads at outside corners and LC bead, j- shaped, on long exposed edges.

6. Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

7. All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

8. Provide thresholds and reducer strips as needed with finish floor materials.

9. Provide smooth finish at ceiling.

10. All gyp. bd. to be primed and painted.

11. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks runs and other imperfections will not be accepted.

12. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finish, over a primer. Primer shall be interior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin Williams.

13. All finish colors and materials to be selected by Owner.

14. Kitchen countertops to be Quartz. Color & texture to be selected by Owner.

15. Cabinetry design by others.

16. Provide allowance for tile where noted on plan. Tile and grout selection by Owner.

17. Provide concrete substrates with dry-set or latex-portland cement mortar.

18. Trowel level, free of any bumps and protrusions.

19. Install tile under counters and equipment to provide complete floor covering without interruption.

20. Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

supply ducts.

6. Mechanical system piping capable of carrying fluids greater than 105°F (41°C) or less than 55°F (13°C) shall be insulated to an R-value of not less than R-3.

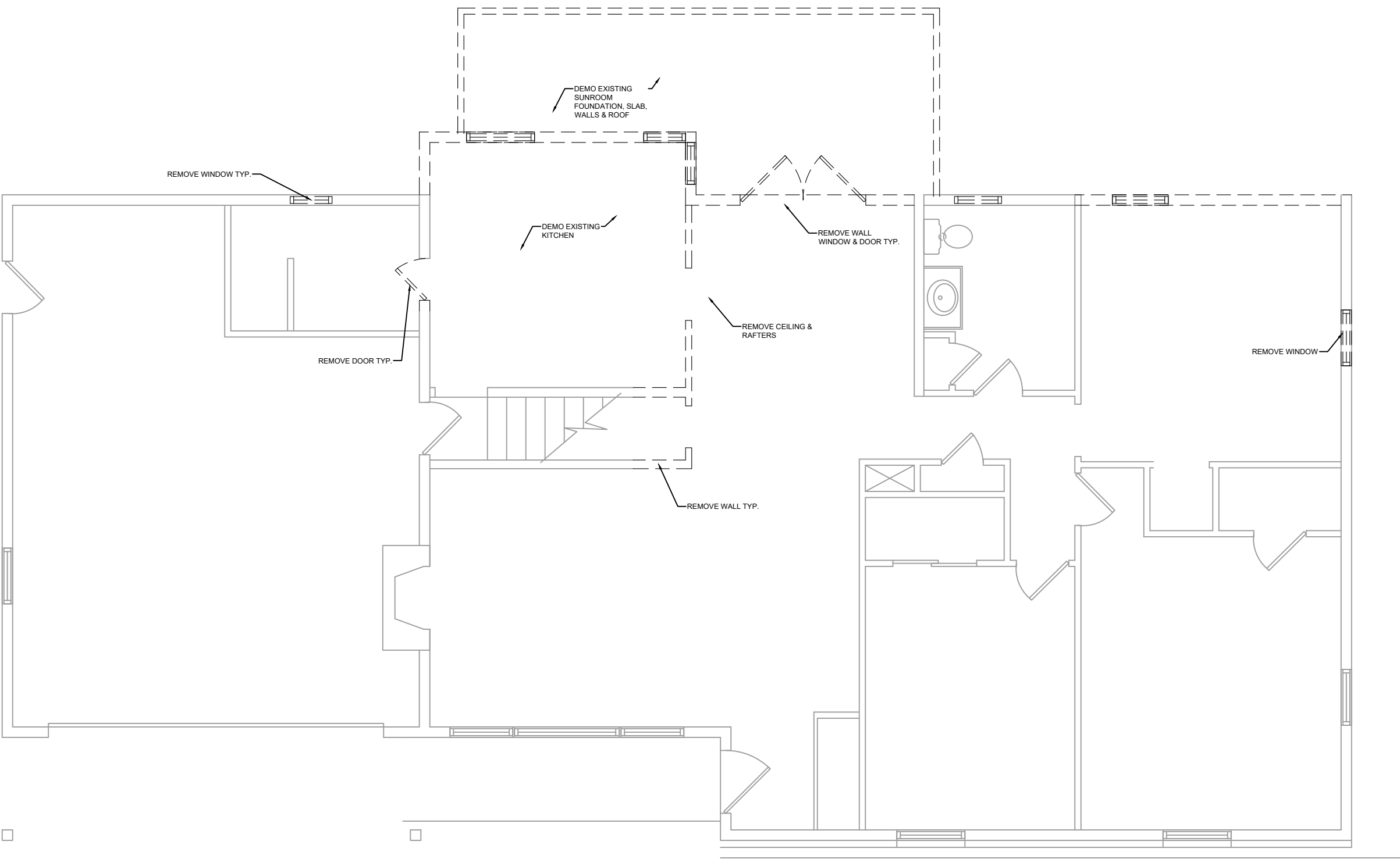
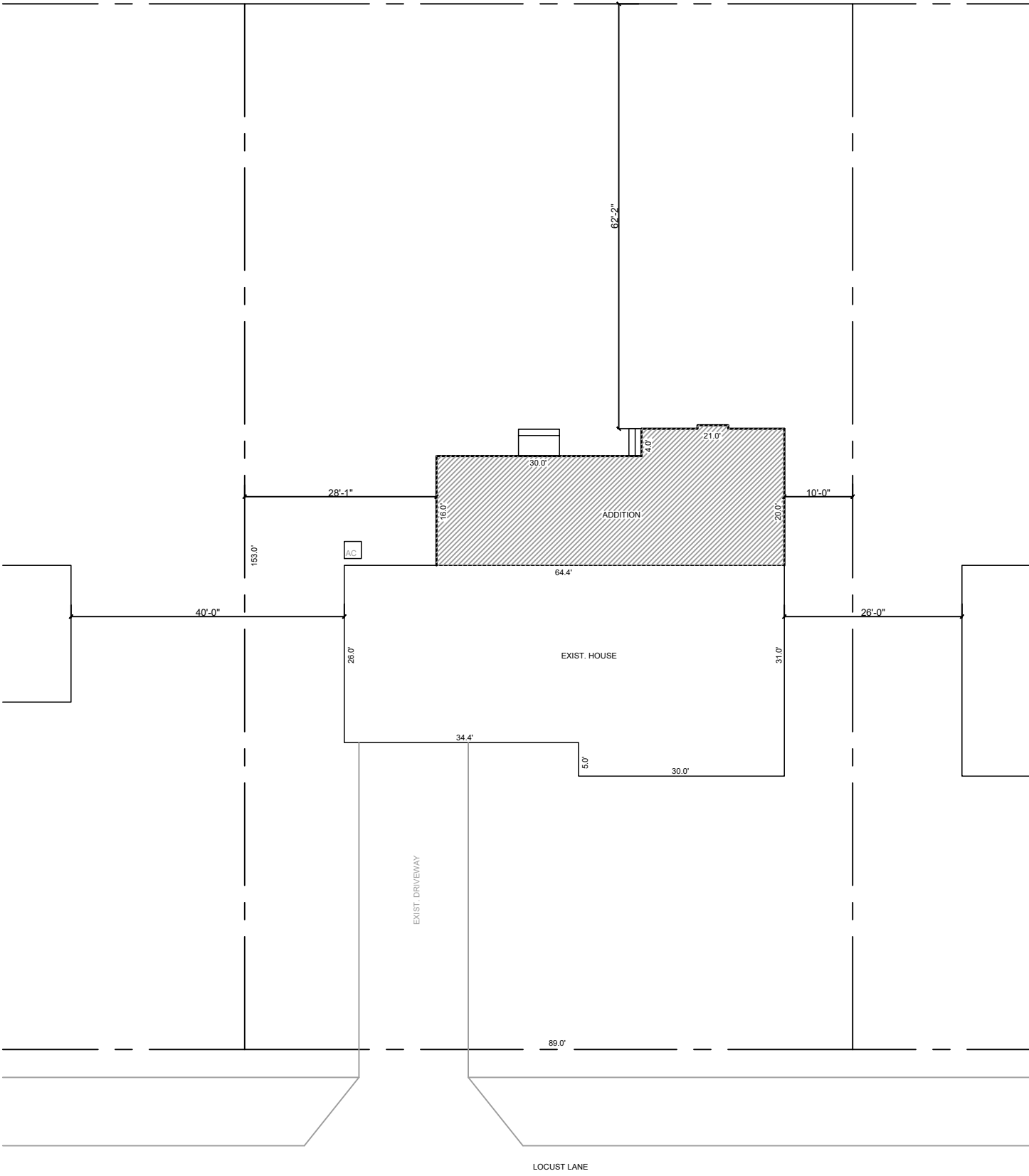
VENTILATION

1. The building shall be provided with ventilation that complies with the requirements of Section 1505

2. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

3. Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

HUNT RESIDENCE 22557 LOCUST LN.

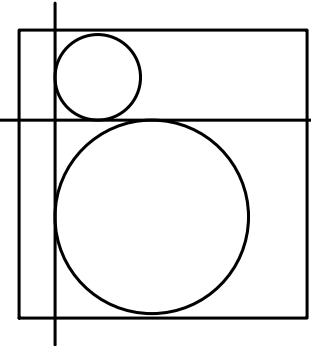


DRAWING INDEX

- T-1 SITE PLAN & DEMO PLAN
- A-1 ROOF & FOUNDATION PLAN
- A-2 FLOOR PLANS & SCHEDULE
- A-3 ELEVATIONS
- A-4 SECTION
- E-1 ELECTRICAL PLANS

LOT COVERAGE:	
LOT SIZE:	= 13,617 SF
EXIST. HOUSE FOOTPRINT:	= 1,982 SF
	14.5%
NEW FOOTPRINT:	
EXISTING HOUSE TO REMAIN	= 1,817 SF
NEW ADDITION FOOTPRINT	= 898 SF
TOTAL :	= 2,715 SF
	19.9%

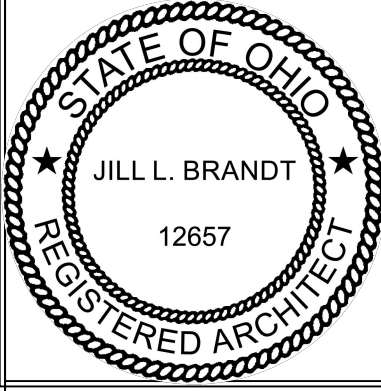
SCOPE OF WORK:
NEW CONSTRUCTION OF 898 SF SINGLE STORY ADDITION & 460 SF INTERIOR RENOVATION OF EXISTING HOME TO INCLUDE OWNERS SUITE, GREAT ROOM, KITCHEN, LOUNGE, PANTRY, AND HALF BATH, NEW BASEMENT AND CRAWLSPACE.



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10/11/22	REVIEW
10/28/22	REVIEW
11/3/22	REVIEW
12/5/22	PERMIT
2/6/23	REVISIONS

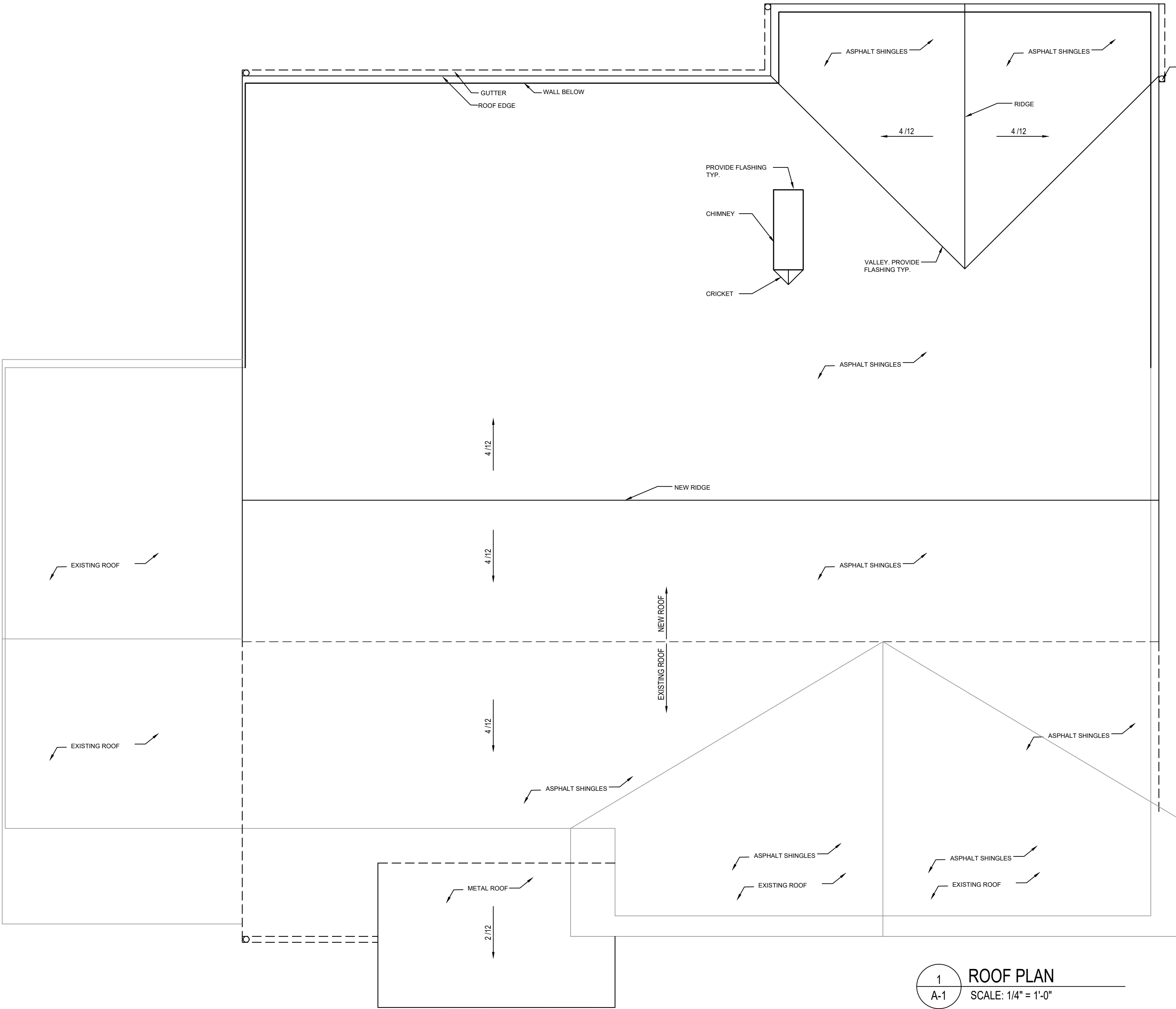


Jill L. Brandt
OH #12657
EXP 12/31/23

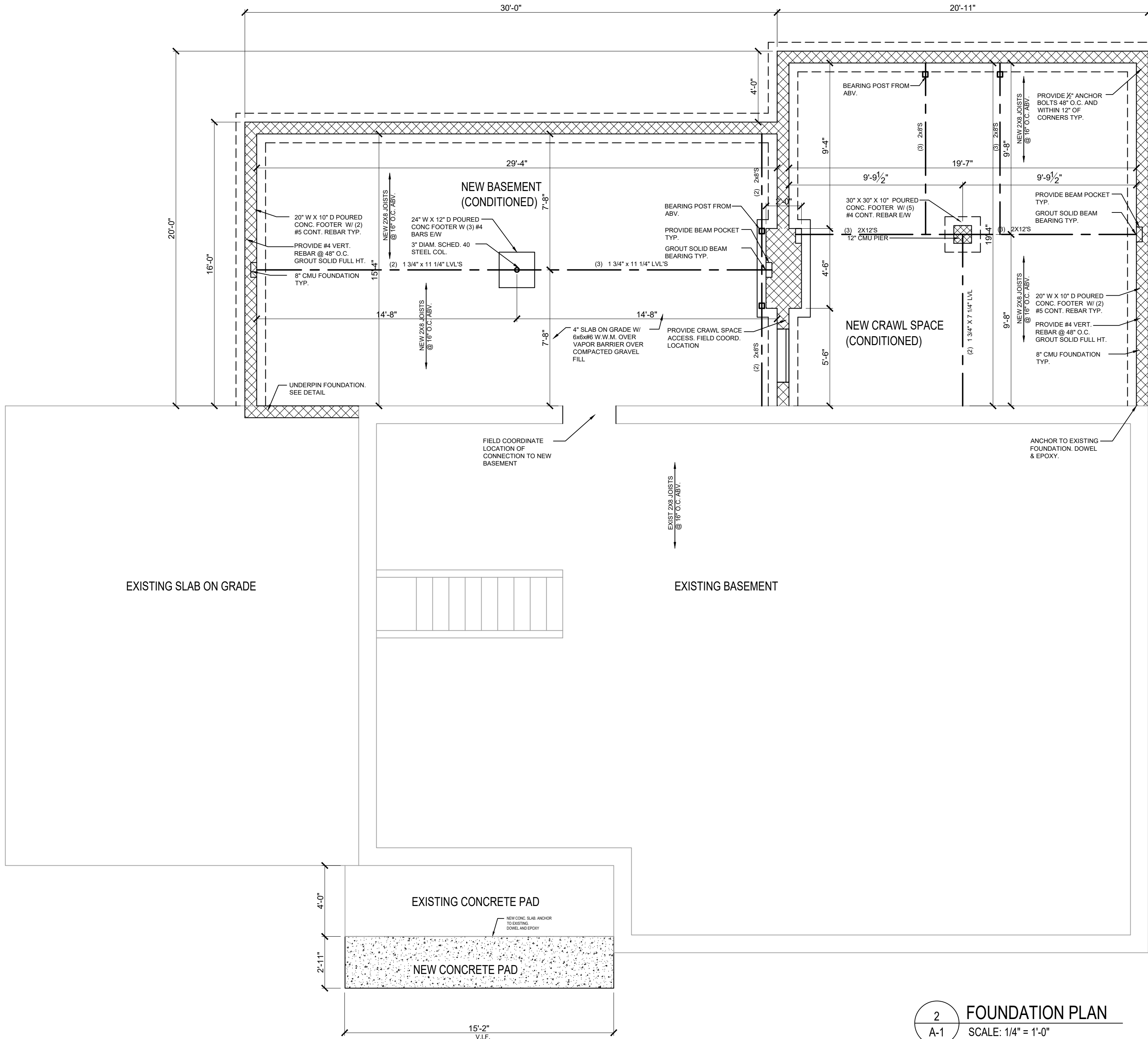
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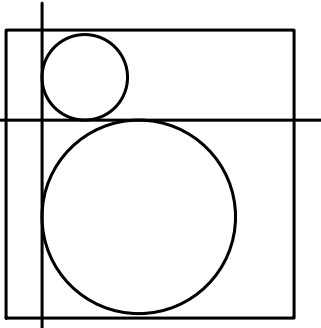
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1
A-1
ROOF PLAN
SCALE: 1/4" = 1'-0"



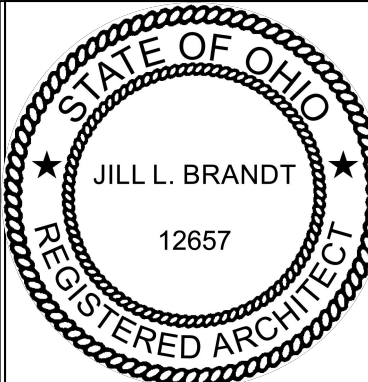
2
A-1
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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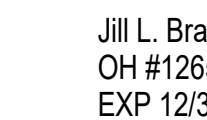
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FLOOR
PLANS

A-1



10/11/22	REVIEW
10/28/22	REVIEW
11/3/22	REVIEW
12/5/22	PERMIT
2/6/23	REVISION



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FL
PL

A

FINISH NOTES:

1. PROVIDE 1/2" GYP BD AT ALL WALLS AND CEILING OF ADDITION.
2. IN ALL AREAS MODIFIED BY THIS SCOPE OF WORK PROVIDE BASE TRIM, DOOR & WINDOW CASING TO MATCH EXISTING.
3. PAINT ALL WALLS, CEILINGS AND TRIM IN AREAS IMPACTED BY SCOPE OF WORK. COLORS TO BE SELECTED BY OWNER.
4. PROVIDE NEW FLOORING AS INDICATED ON PLANS. PROVIDE TRANSITION STRIPS AT CHANGES IN MATERIAL.

DOOR SCHEDULE

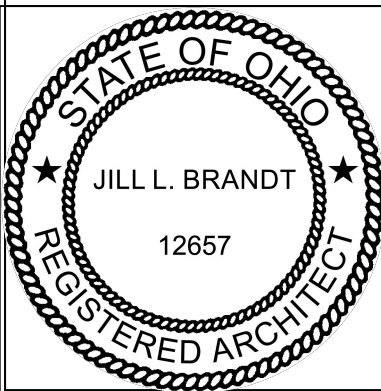
GENERAL NOTES:

1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA, EGGERS, OR OWNER APPROVED EQUAL.
2. NEW DOORS TO BE STAINED TO MATCH EXISTING.
3. ALL LOOKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 39" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL.
5. VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.
6. PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

WINDOW SCHEDULE

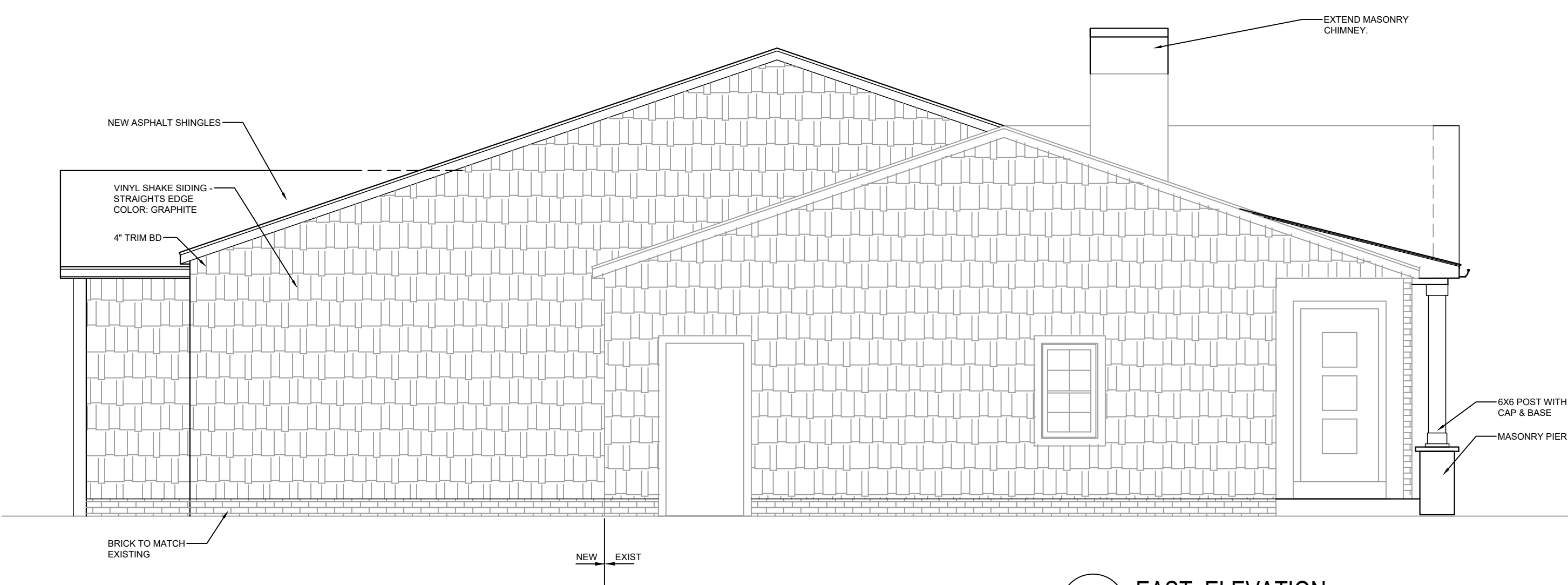


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11/3/22	REVIEW
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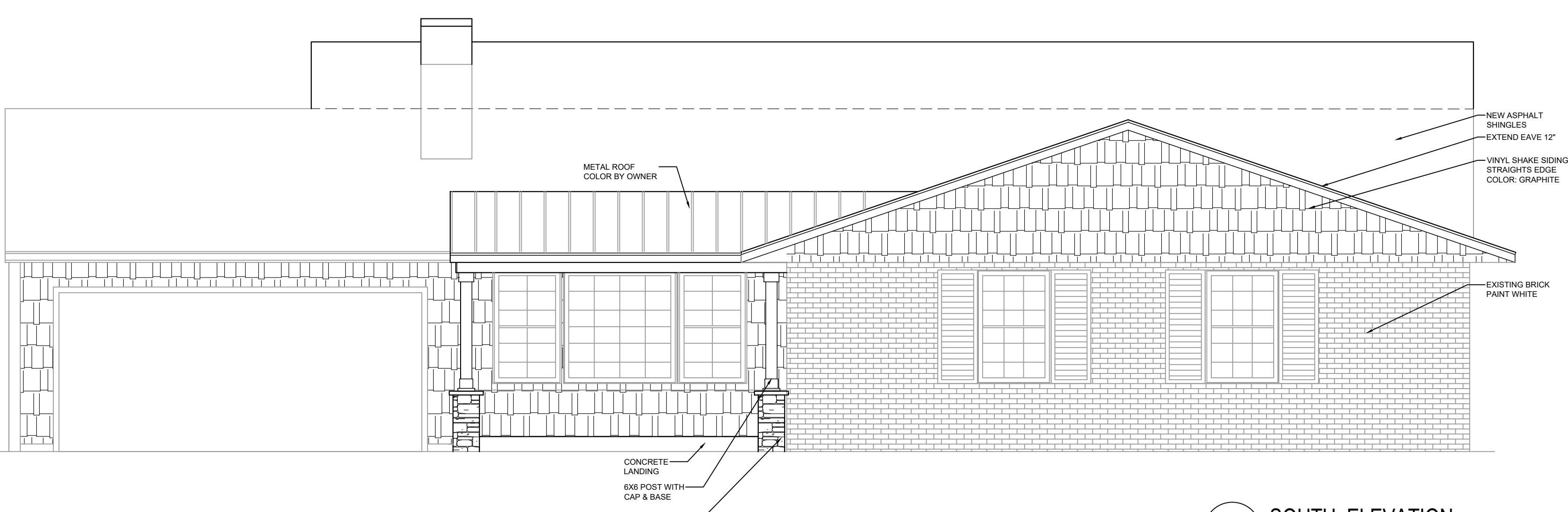


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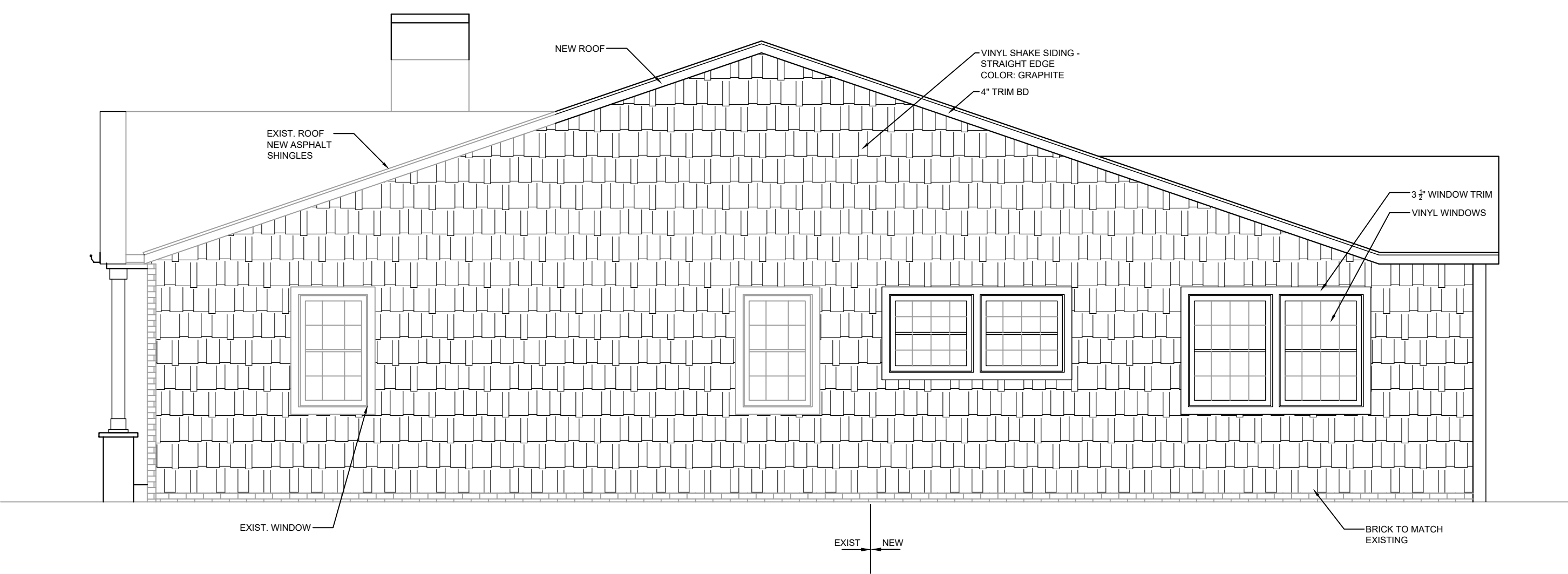
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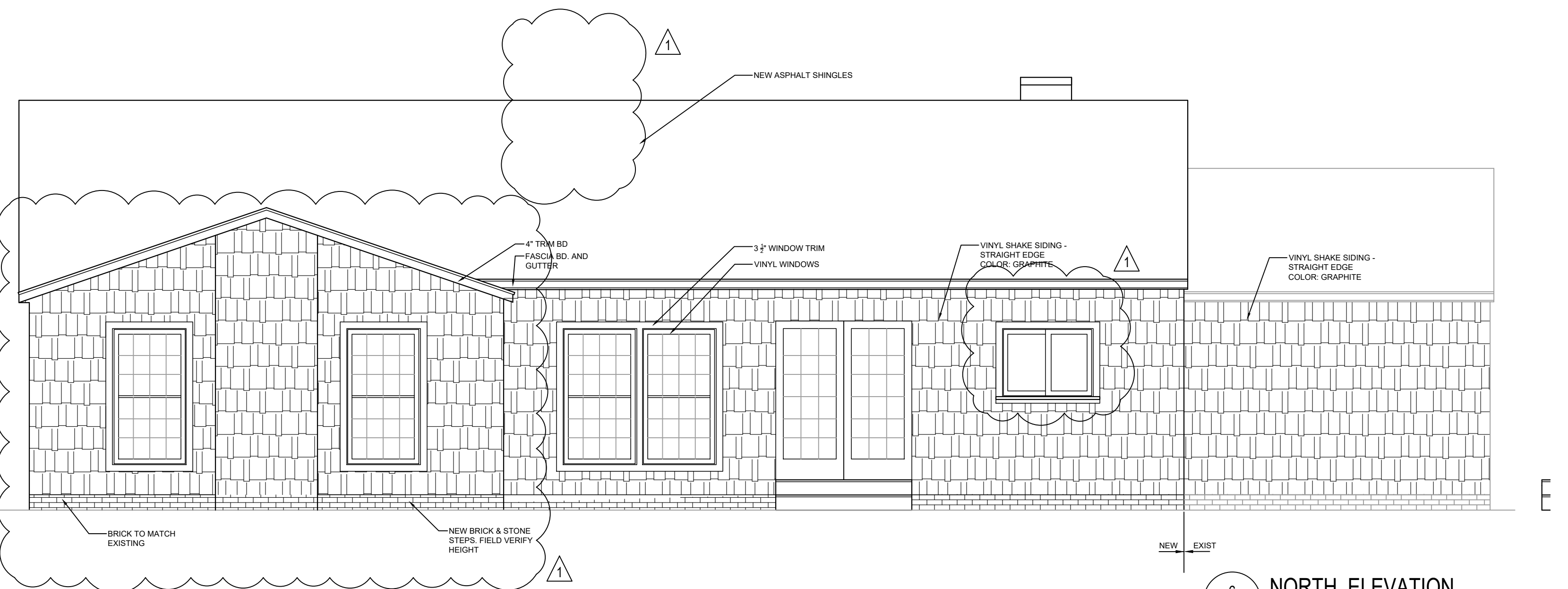
5 EAST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



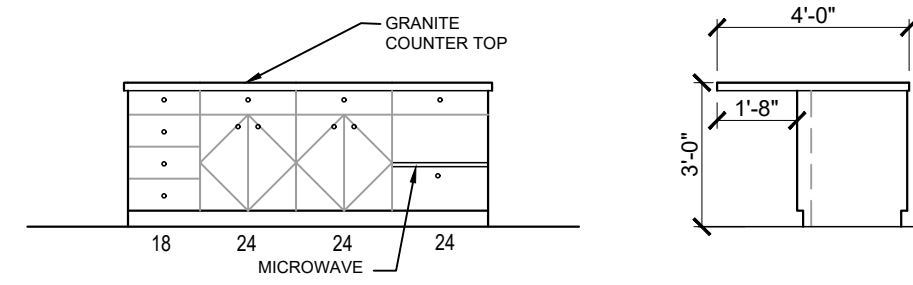
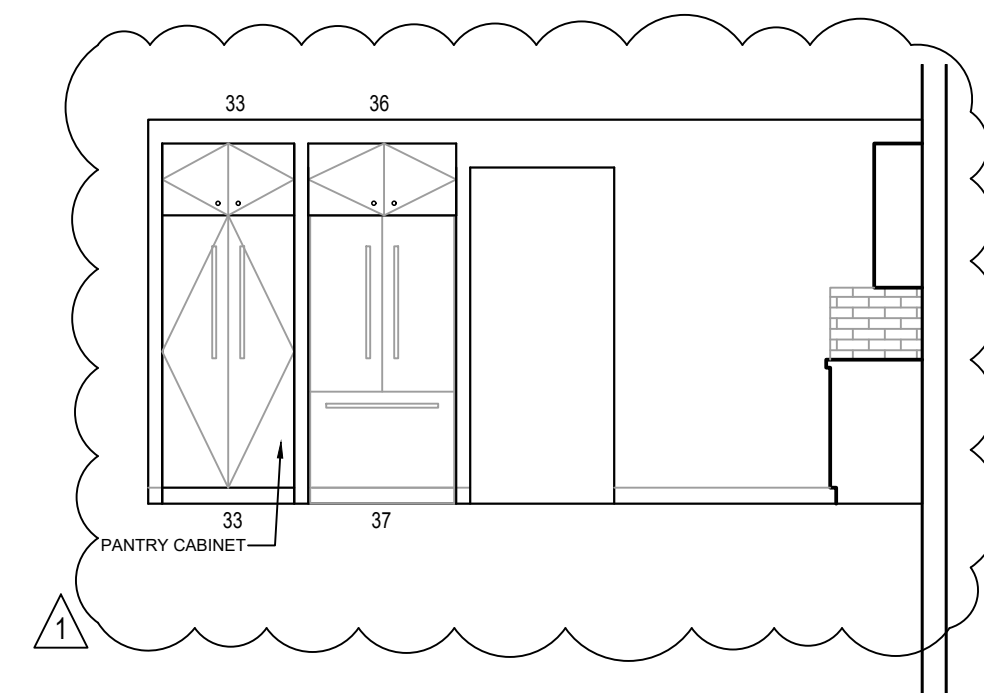
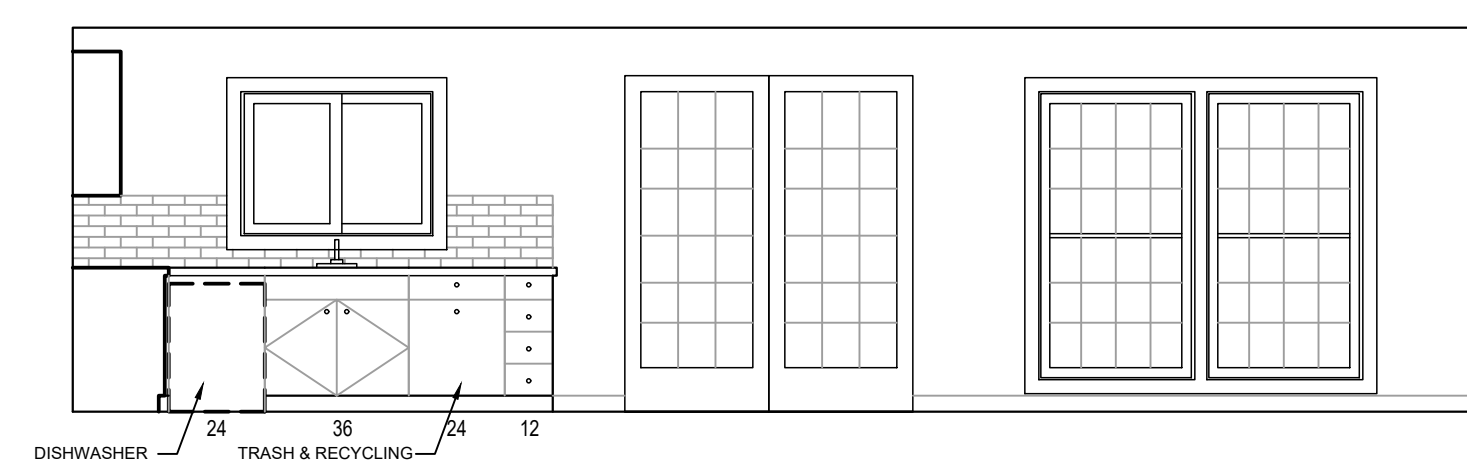
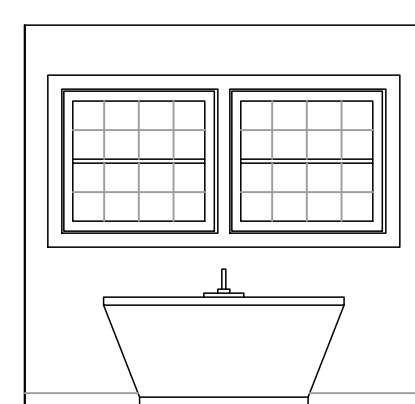
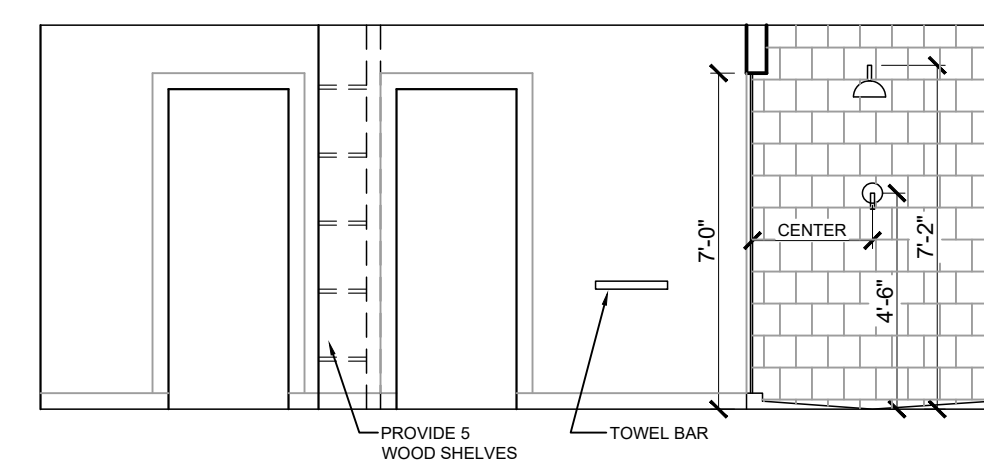
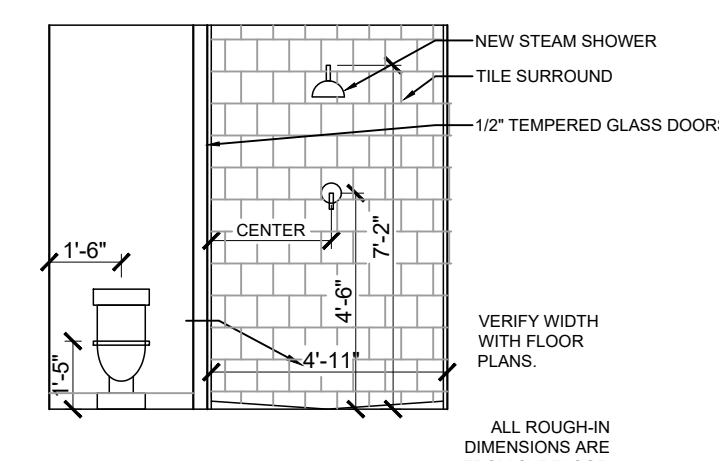
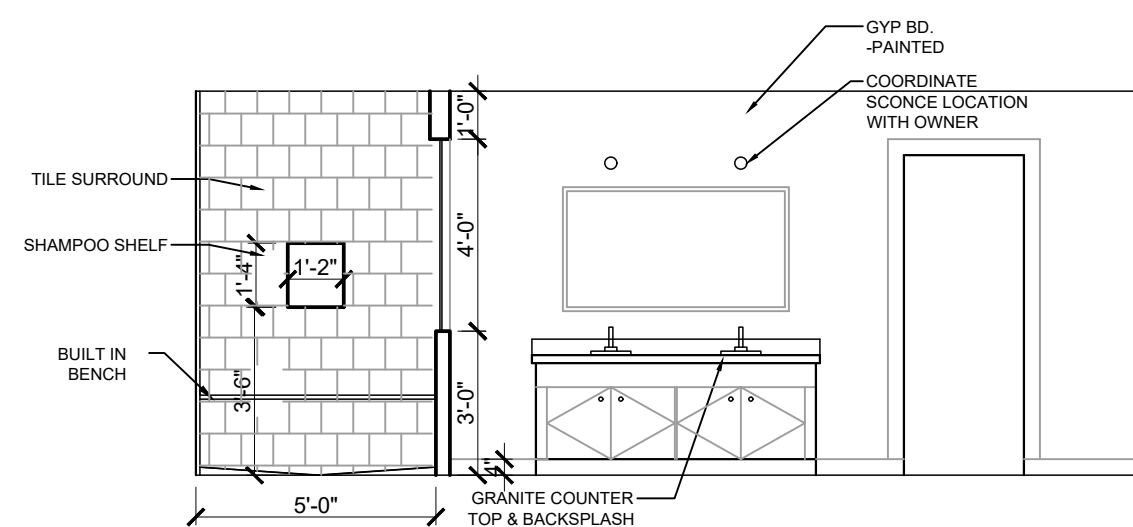
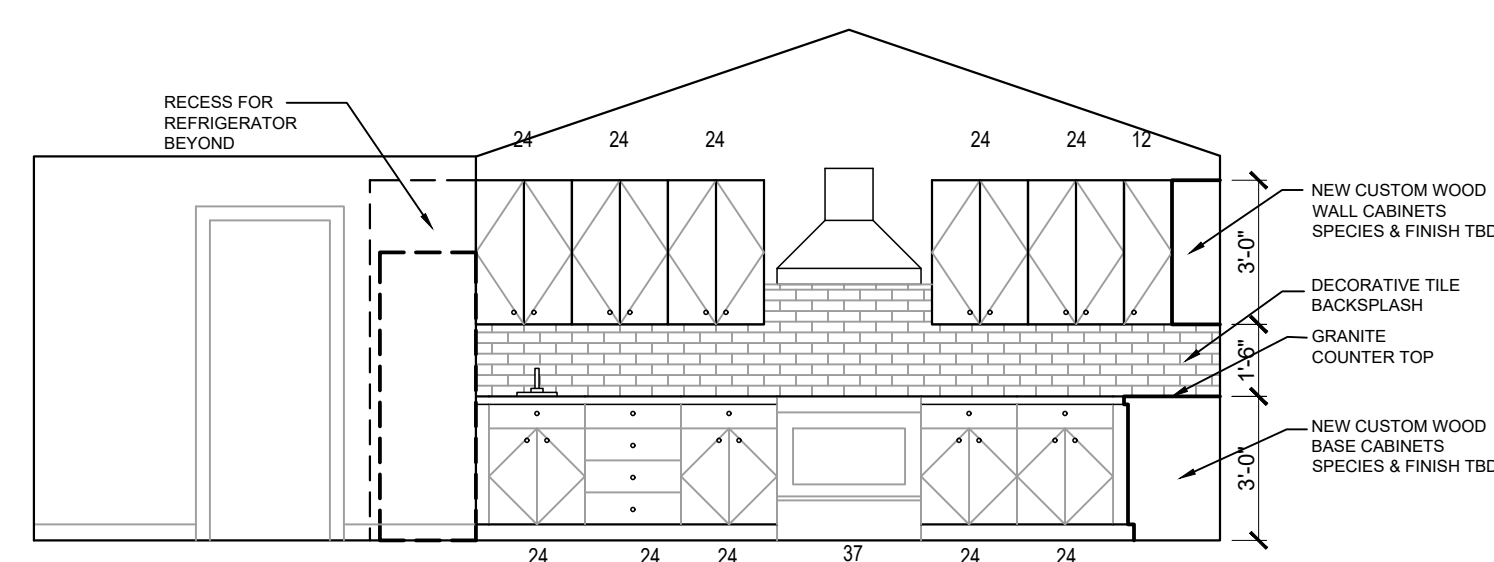
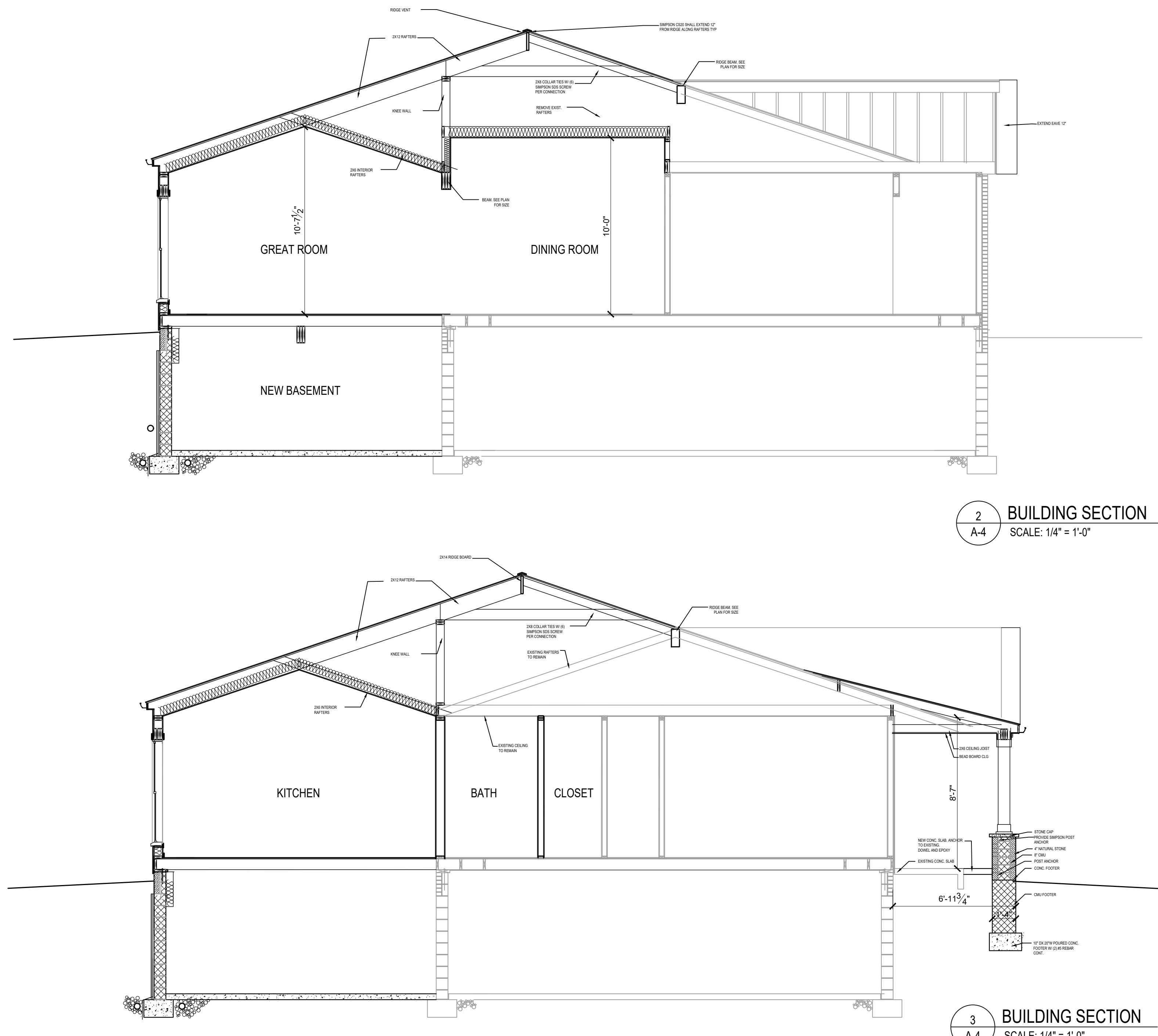
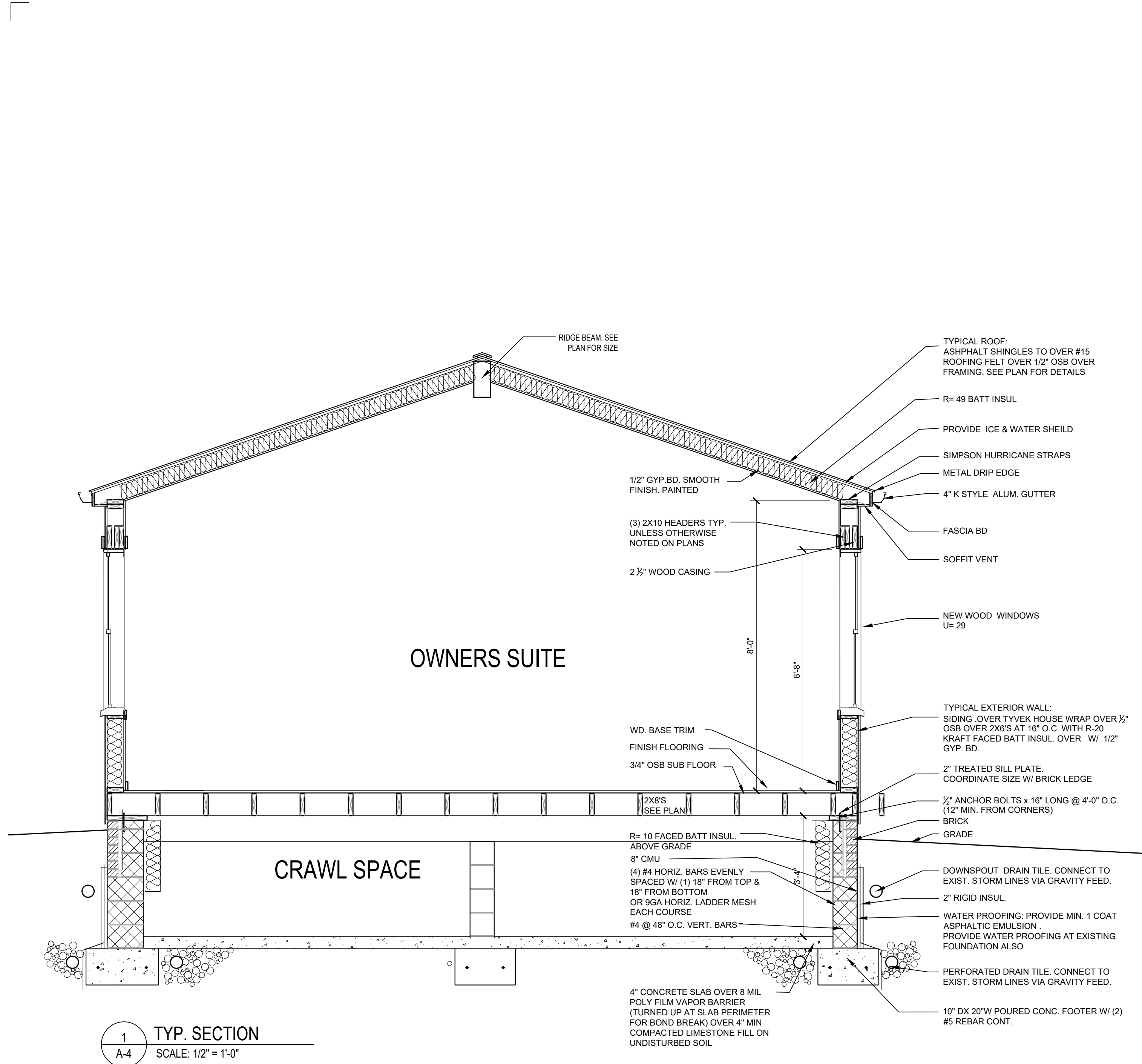
4 SOUTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



6 NORTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



SYMBOL	DESCRIPTION
	DUPLEX OUTLET
	DEDICATED APPLIANCE OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	4" RECESSED LIGHT FIXTURE
	UNDER CABINET LIGHT FIXTURE
	WALL WASH LIGHT FIXTURE
	FLOOD LIGHT
	EXHAUST FAN VENT TO EXTERIOR
	COMBINATION EXHAUST FAN / LIGHT
	CEILING FAN / LIGHT FIXTURE
	HARDWIRED SMOKE DETECTOR
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES.
2. ANY INCOMPTABILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
3. FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS
4. PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3: 1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR.
5. EACH FLOOR SHALL HAVE BOTH IONIZATION AND PHOTOELECTRIC SMOKE ALARMS.
6. PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316: 1 PER FLOOR.
7. OWNER SHALL PROVIDE DECORATIVE LIGHTING. RECOMMENDED MANUFACTURERS FOR NEW 9. FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL.
8. ALL EQUIPMENTS AND SYSTEM COMPONENTS SHALL BE SQUARE D OR APPROVED EQUAL.
9. NEW LIGHT FIXTURES SHALL USED CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.

