### GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS 1. Materials and methods of construction shall comply with all applicable local, state and federal

building codes. Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc. 4. Trowel finish for interior concrete and broom

7. Contractor responsible for verifying locations of

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical,

existing utilities and roads.

plumbing and electrical systems of existing building 3. Cut joints for all slabs on grade shall be a where impacted by new work. 9. Contractor shall patch and repair areas impacted

by new work. Finishes to match existing. 10. Contractor shall cap all electrical and plumbing

lines disconnected by scope of work in these

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.; casework, windows, fixtures, hardware, siding, etc. recommended by Contractor ACI 530. shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior 3. Mortar for reinforced masonry and load bearing to review by Owner. Submittals shall include but not walls shall be type S. Non- bearing walls shall use be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

### **EARTHWORK**

Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all

2. Unused excavated soil to be transported to on site location as designated by Owner.

3. Prevent surface water and ground water from 1. All framing shall be Southern Yellow Pine entering excavations or flooding Project site and surrounding area.

 Excavate to ensure footings and foundations LVL or equal. bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer prior to proceeding with work.

5. Backfill at foundations to within 12" of finish grade with #57 gravel fill.

6. Provide termite control methods per section 318 of RCO.

uniform width and working clearance around utility line. Back fill w/ sand then soil.

8. At areas to receive concrete slab, install minimum 4" #57 limestone over compacted soil. All foundation and sewer work in the City or Rocky River will be required to verify and correct if necessary any cross connections of storm vs. sanitary lines. This includes, but is not limited to, downspouts, drain tile, yard, driveway or garage

8. Contractor must perform dye test or visual inspections of the drainage system and submit results in writing to the Rocky River Building Department prior to any footer inspections.

9. 9. All new work shall comply with section 914.1 of the City's Ordinances.

10. Contractor to finish grade site effected by work. Provide smooth transition between adjacent stories, at stairs, soffits, openings and vents grades. Slope away from building Owner shall seed between floors, at chimneys and other locations

CONCRETE 1.Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement. Concrete to DOORS AND HARDWARE have a minimum cement content of 564# / cu.yd., a

but not be limited to the days and hours of operation, maximum water to cement ratio of 0.53 and obtain a 1. Provide 2'-6"x 6'-8"x 1 3/8" solid core wood door minimum strength of 4,000 psi at 28 days. (unless noted otherwise - u.n.o.)

> a minimum strength of 4,000 psi. All reinforcing steel shall conform with astm a615, 60 ksi yield.

finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.

2. All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.

maximum of 12'-0" O.C. unless otherwise noted. All cuts shall be made 8 hours after placing concrete.

4. At all expansion joints, install backer rod and

REINFORCING STEEL 1. Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.

2. Lap all horizontal bars at corners and intersection. 3. Dowel all vertical rebar to foundations.

1. Construct all masonry walls in accordance with

2. Foundations walls shall be standard 12x8x16 & 8x8x16 masonry units as shown on plans.

4. Grout solid minimum 2 courses (16") below beam by owner.

5. Apply ½" min. cement parging from the bottom of the footing up the foundation wall to grade Owner with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging

6. Provide pipe sleeves for any through wall penetrations per OPC 305.

2. LVL's shall be Boise Cascade 2.0E GP Lam

Where multiple plies of LVL are used, beams documents or contact the designer. shall be nailed with 3 rows of min. 3" 10d nails, 12"

nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners. 4. Plywood shall be standard PS-1 and OSB

shall be standard PS-2 7. Utility trenches shall be excavated to provide 5. All exposed lumber or lumber in contact with 7. Exposed flashing shall be pre- finished metal concrete or masonry shall be ppt (u.n.o). 6. All preservative pressure treated (ppt) lumber complying with ASTM A 653/A 653M, G90/Z275. shall be southern pine #2.

7. rovide blocking at mid span of joists

exceeding 2x12.

8. Provide bridging or lateral support between 9. Where applicable, flashing shall extend min. 6" up rafters and ceiling joists greater that 2x10 at point of wall and behind vapor barrier to prevent water entry. 20. Lay tile in grid pattern on floor and brick

bearing studs shall be in accordance with section 602.6 of RCO.

> 10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO. provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.

outlined in section 302.11 of the RCO. 12. Provide draftstopping in floor/ ceiling locations 1. Provide batt insulation as indicated in building &

as outlined n section 302.12 of the RCO.

unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed 2. All garage slabs and exterior slabs shall have and painted. Color selected by Owner. Door shall be hung level and true.

> 2. Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.

3. Exterior doors shall be Fiberglass Pella, Therma Tru or Owner approved equal. 4. Interior & exterior doors & hardware to match

exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

1. Windows shall be Pella 250 vinvl low e glass. Windows shall be double hung & awning with screens, traditional grilles and locks. finish to match 5.

existing. Alternates shall be Andersen, or Owner approved equal. 2. Exterior windows and sliding doors shall be tested long exposed edges. by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to

indicate compliance with AAMA/WDMA/CSA 101/I.S.2/A440 3. Windows shall meet standards for wind design

loads per section 301.2 of RCO. EXTERIOR FINISHES Shake siding to be JL HARDIE "northwoods"

shake siding, slight stagger edge or Owner

approved equal. Standard color to be selected by Horizontal siding to be JL HARDIE 5" wood grained vinyl siding collection. Standard color to be selected 10. All gyp. bd. to be primed and painted.

2. Roof shingles shall be GAF Timberline "Natural Shadow". Color and texture to be selected by

3. Metal roof to be 26 ga. steel, 36" wide panel with spotting, laps, brush marks runs and other 3/4" rib Classic rib pattern by ABC or Owner approved equal. Standard color to be selected by

4. Install self sealing hip and ridge cap shingle matching the color of selected roof shingle.

Eave and ridge vents must supply open space for ventilation of not less than 1 to 150 of the area which they are ventilating. provide corrosion-resistant screening over openings as per by Owner. the details and notes in these construction

O.C. If three or more plies are used, beams shall be 5. Provide #30 Roofing Underlayment

6. Provide ice & water shield minimum 5'-0" up from all eaves and valleys and 2'-0" up from walls where abutting roof. Install per manufacturer's

flashing 24 gauge hot-dip galvanized steel sheet,

8. Concealed flashing shall be self-adhesive

membrane type flashing.

10. Flashing shall be installed in a shingle style or

**9.** Any necessary holes or notching in load overlapping to prevent water entry.

11. At valleys Install eaves protection membrane at valley. Lap ends 6 inches (152mm) and seal.

14. Install 5" K style seamless aluminum gutters with 23. 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per and installed by contractor. 11. Provide fire blocking at exterior walls between manufacturer's recommendation. Gutter to be white, downspouts to match siding.

INSULATION

wall sections. 2.All insulation R values shall meet or exceed

minimum standards outlined in RCO. 3. Acceptable manufacturers for batt insulation shall be Owens Corning, Certainteed, John's Manville or

Owner approved equal.

Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" with tapered edges. as indicated in drawings

wet rooms such as bathrooms and at kitchen

Provide water resistant gypsum board in all

Install "durorock" wall board where tile to be

minimize joints and correspond with support system. Gypsum board trim shall be galvanized or

4. Provide in maximum lengths and widths to

aluminum coated steel, rolled zinc, plastic, or paper faced galvanized stainless steel. Provide corner beads at outside corners and LC bead, j- shaped, on 6. Plumbing systems to connect to existing

Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

Provide thresholds and reducer strips as needed with finish floor materials.

Provide smooth finish at ceiling.

11. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, imperfections will not be accepted.

12. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finfish, over a primer. Primer shall be interior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin

All finish colors and materials to be selected

15. Cabinetry design by others.

texture to be selected by Owner.

plan. Tile and grout selection by Owner.

17. Provide concrete substrates with dry-set or

18. Trowel level, free of any bumps and

19. Install tile under counters and equipment to provide complete floor covering without interruption. 21. Accurately form intersections and evenly

least 36 (914mm) inches wide and centered on the 22. Grout tile completely per grout manufacturer's

recommendations. Clean tile after grouting Toilet room accessories: mirror, soap, towel and toilet paper holders shall be provided by Owner

MECHANICAL, ELECTRICAL & PLUMBING 1. All Kitchen equipment to be purchased by Owner and installed by Contractor. Contractor responsible for coordinating plumbing and electrical requirements for kitchen equipment. Owner shall provide equipment cut - sheets 1 week prior to

2. Provide new 200 amp electric panel. Connect to house service. Field verify location.

3. Provide new electrical wiring, outlets, junction boxes etc. throughout

4. Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture

5. All bath exhaust fans and dryer exhaust duct runs shall be vented out through exterior walls or up through the roof. Avoid venting at the front of house where possible. Do not vent through soffits into soffits or into attics. Provide a duct termination kit (energy efficient with screen) and roof flashing as required at the duct exterior outlet. Paint the exterior wall and roof penetrations to match the finished surface. The duct run shall be smooth metal with foil 'mastic' tape joints and clamps (no screws) and insulated or in an insulated cavity for

domestic supply & wastelines. Contractor to notify Owner of any necessary upgrades in existing systems and include work in base bid.

7. Provide new 50 gallon gas water heater.

8. Provide pipe protection for exterior plumbing line sand utilities per OPC 305.

9. Plumbing contractor to provide isometric of system upon request of the City prior to pulling

10. Plumbing fixtures by Owner. Acceptable manufacturers shall be Moen, Kohler, Delta.

11. Provide new furnace and AC condensor. Coordinate condensor location with Owner.

12. Furnace shall be high efficiency direct vent unit. Contractor to provide heating and ventilation to areas as required by all applicable building codes

13. New furnace & duct sizing and layout by mechanical contractor. 14. J Schedule provided by HVAC contractor.

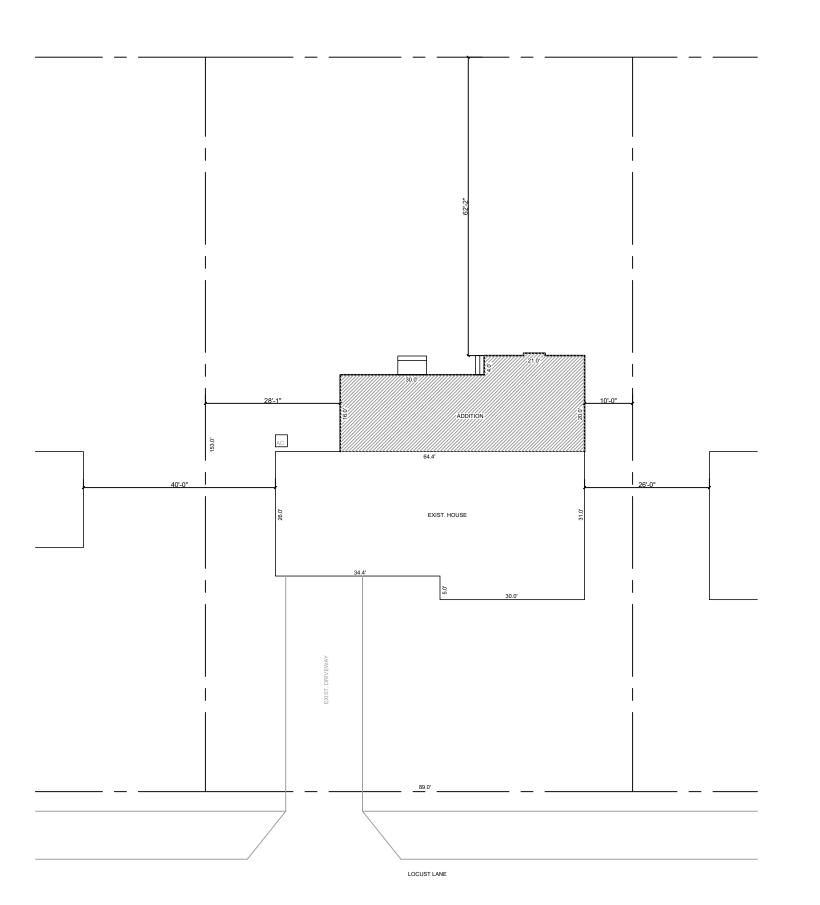
14. Kitchen countertops to be Quartz . Color &

Provide allowance for tile where noted on

latex-portland cement mortar.

pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

HUNT RESIDENCE **22557 LOCUST LN.** 



SITE PLAN

SCALE: 1" = 10'-0"

DRAWING INDEX

SITE PLAN & DEMO PLAN

**ROOF & FOUNDATION PLAN** 

FLOOR PLANS & SCHEDULE

**ELEVATIONS** 

**ELECTRICAL PLANS** 

LOT COVERAGE: LOT SIZE: EXIST. HOUSE FOOTPRINT:

NEW FOOTPRINT: = 1,817 SF EXISTING HOUSE TO REMAIN NEW ADDITION FOOTPRINT = 898 SF TOTAL: = 2,715 SF

= 13,617 SF

= 1,982 SF

14.5%

19.9%

JILL L. BRANDT

SCOPE OF WORK: NEW CONSTRUCTION OF 898 SF SINGLE STORY ADDITION & 460 SF INTERIOR RENOVATION OF EXISTING HOME TO INCLUDE OWNERS SUITE, GREAT ROOM, KITCHEN, LOUNGE, PANTRY, AND HALF BATH, NEW BASEMENT AND CRAWLSPACE.

9

REMOVE WINDOW TYP. REMOVE WINDOW REMOVE DOOR TYP.

1. Insulation R values shall be as follows: Walls: R=20 Ceilings R=49 for new construction a. R=38 where insulation is installed

**ENERGY EFFICIENCY REQUIREMENTS** 

This project shall comply with the

method outlined in sections 1101.14 -

**BUILDING THERMAL ENVELOPE** 

RCO requirements for energy

efficiency using the perscritive

1104 of the RCO.

extends over wall top plate Floor: R= 30 Basement R=10 to depth of 10' below grade or basement floor.

over 100% of the area and

Slab R=10 at 2' from perimeter Window U=.30 A permanent certificate shall be completed and posted by furnace

listing R= values of all insulation

components. 2. Where insulation extends over top plate in a vented attic, install an eave baffle. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend

over the top of the attic insulation.

3. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the

surrounding surfaces. 4. Floor framing-cavity insulation shall be installed to maintain permanent contact with the underside of the

subfloor decking AIR LEAKAGE

1. The building thermal envelope shall be constructed to limit air leakage and comply with sections 1102.4 of the

2. Sealing methods between dissimilar materials shall allow for differential expansion and contraction.

3. The building or dwelling unit shall be tested and verified as having an air leakage rate of not more than five air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or ASTM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals)

A written report of the results of the

conducting the test and provided to the

performed at any time after creation of

test shall be signed by the party

building official. Testing shall be

all penetrations of the building thermal 4. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces Recessed luminaires shall be IC-rated and labeled as having an air leakage

rate of not greater than 2.0 cfm SYSTEMS 1. Not less than one thermostat shall be provided for each separate heating

and cooling system. 2. Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than

> mm) in diameter. 3. Seal all ducts, air handlers and filter boxes. Joints and seams shall comply

R-6 for ducts smaller than 3 inches (76

with Section 1601.4.1. 4. Ducts shall be pressure tested to determine air leakage per section 1103.3.3 of the RCO. Ducts can be tested at rough-in or post construction. A written report of the results of the test shall be signed by the party conducting the test and provided to the

5. Building cavities shall not be used as

building official

6. Mechanical system piping capable of carrying fluids greater than 105°F (41°C) or less than 55°F (13°C) shall be insulated to an R-value of not less than R-3.

**VENTILATION** 1. The building shall be provided with ventilation that complies with the requirements of Section 1505 2. Outdoor air intakes and exhausts shall

that close when the ventilation system is not operating. 3. Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies New or replacement heating and cooling equipment shall have an

efficiency rating equal to or greater

than the minimum required by federal

law for the geographic location where

the equipment is installed.

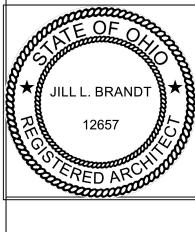
have automatic or gravity dampers

**DEMO PLAN** 

BRANDT ARCHITECTURE, LLC

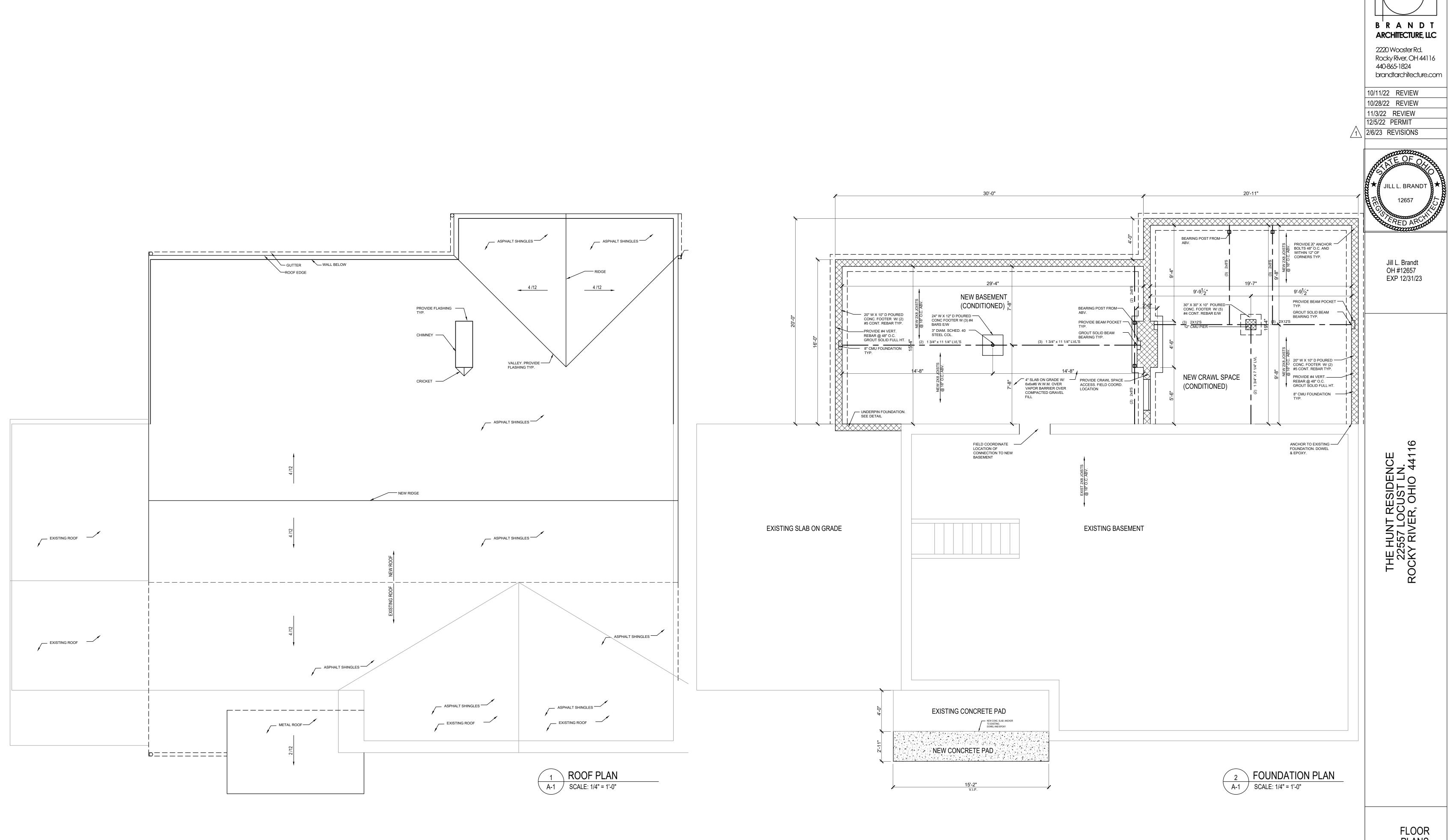
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Jill L. Brandt OH #12657 EXP 12/31/23

THE HUN 22557 L ROCKY RIVE



FLOOR PLANS

WALL TYPES EXISTING 2X4 STUD WALL TO REMAIN. PROVIDE NEW INSULATION IN ALL EXTERIOR WALLS. EXISTING 2X4 STUD WALL WITH SIDING & SHEATHING EXT. SIDE TO REMAIN. INSTALL R-13 KRAFT FACED BATT INSULATION, + 1/2" GYP. BD. INTERIOR SIDE NEW INTERIOR PARTITION WALL: 2X4 STUDS 16" O.C. W/ ½" GYP. BD. EACH NEW EXTERIOR WALL: 2X6 STUDS 16" O.C. W/ R= 19 KRAFT FACED

SIDING. PROVIDE 1/2" GYP. BD. INTERIOR SIDE. **DIMENSIONAL NOTES:** 1. INTERIOR DIMENSIONS ARE STUD TO STUD. 2. ALL WINDOW DIMENSIONS ARE TO CENTERLINE ON WINDOW UNIT. SEE WINDOW SCHEDULE FOR SIZES . COORDINATE WITH MANUFACTURER FOR ROUGH OPENING SIZES.

3. ALL DOOR DIMENSIONS ARE TO DOOR SIZE.

COORDINATE WITH DOOR SCHEDULE.

BATT INSUL + 1/2" OSB + TYVEK + VINYL

FINISH NOTES: 1. PROVIDE 1/2" GYP BD AT ALL WALLS AND CEILING OF ADDITION. 2. IN ALL AREAS MODIFIED BY THIS SCOPE OF WORK PROVIDE BASE TRIM, DOOR & WINDOW CASING TO MATCH EXISTING. 3. PAINT ALL WALLS, CEILINGS AND TRIM IN AREAS IMPACTED BY SCOPE OF WORK. COLORS TO BE SELECTED BY OWNER. 4.PROVIDE NEW FLOORING AS INDICATED ON PLANS. PROVIDE TRANSITION STRIPS AT CHANGES IN MATERIAL.

### DOOR SCHEDULE

		DC	OOR			FR/	AME	HARDV	/ARE				REMARKS
#	WIDTH	HEIGHT	THICK.	MAT'L	FINISH	MAT'L	FINISH	LOCKSET	HINGE	SILENCERS	KICKPLATE	HAND	
1	(2) 3'-0"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD	PAINT	DEADBOLT ENTRACE	BUTT	YES	-	RH ACTIVE	SLIDING DOOR 15 LIGHT
2	3'-0"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD	PAINT	DEADBOLT ENTRACE	BUTT	YES		LH	15 LIGHT
3													NOT USED
4	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB	
5	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	LH	
6	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB	
7	3'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	LH	
8	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	LH	POCKET DOOR
9	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	RH	POCKET DOOR
10	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	LH	POCKET DOOR
11	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RH	POCKET DOOR

GENERAL NOTES:

1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA,

EGGERS, OR OWNER APPROVED EQUAL.

2. NEW DOORS TO BE STAINED TO MATCH EXISTING.

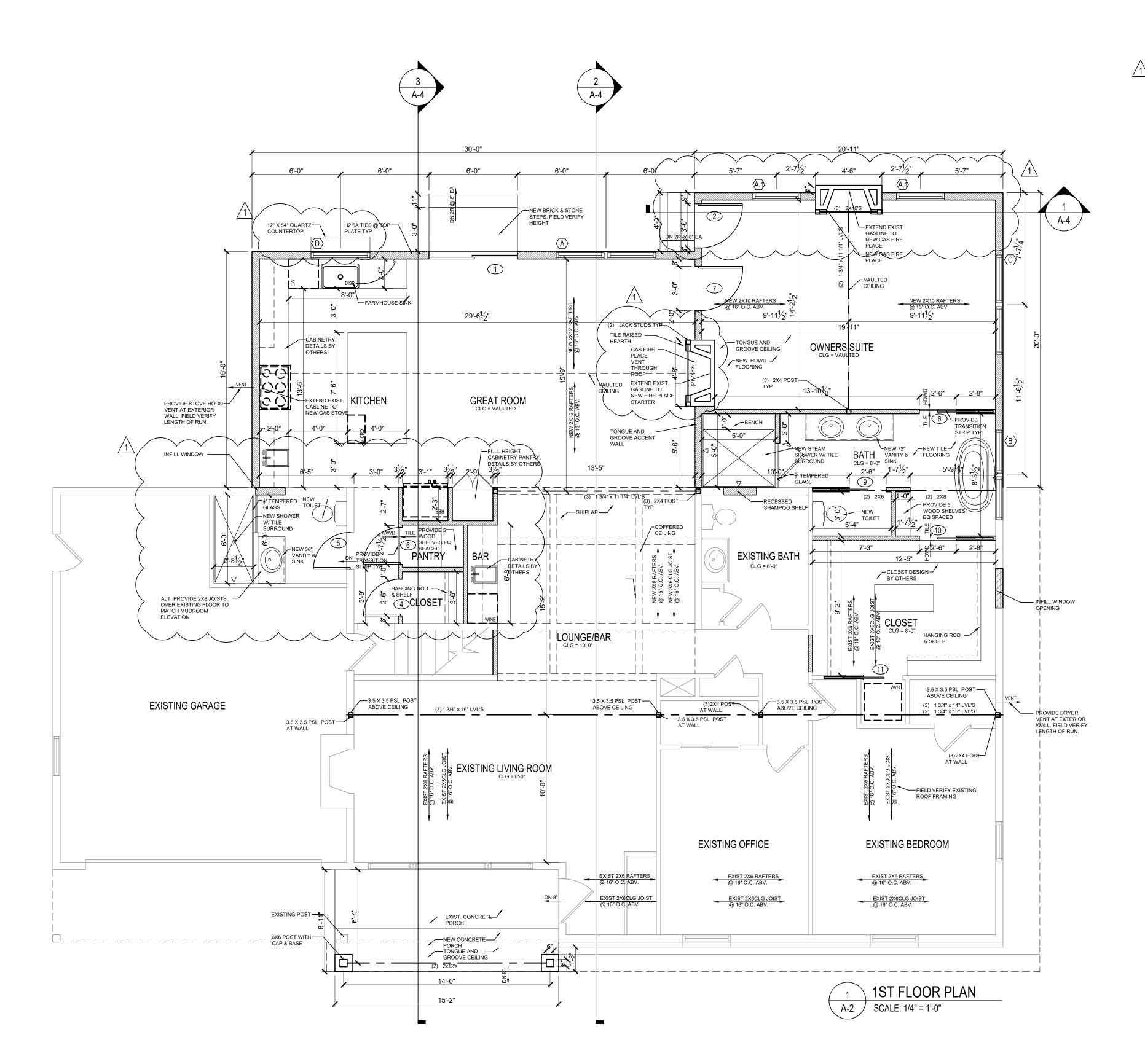
3. ALL LOCKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE . HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES

4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL 5.VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.

6. PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

## WINDOW SCHEDULE

	#	QTY	UNIT SIZE W X H	MAT'L	FUNCTION	GLASS	REMARKS
$\langle A \rangle$	A	1	39" X 72"	VINYL	DOUBLE HUNG	TEMPERED	DOUBLE
	A.1	2	39" X 72"	VINYL	DOUBLE HUNG	TEMPERED	
	В	1	39" X 36"	VINYL	DOUBLE HUNG	TEMPERED	
$\sim$	4	1	39" <del>X 5</del> 2"	VINYL	DOUBLE HUNG		DOUBLE EGRESS
$\bigwedge$	D	1	48" X 36"	VINYL	BI-FOLD		
11	<u></u>	<u> </u>					

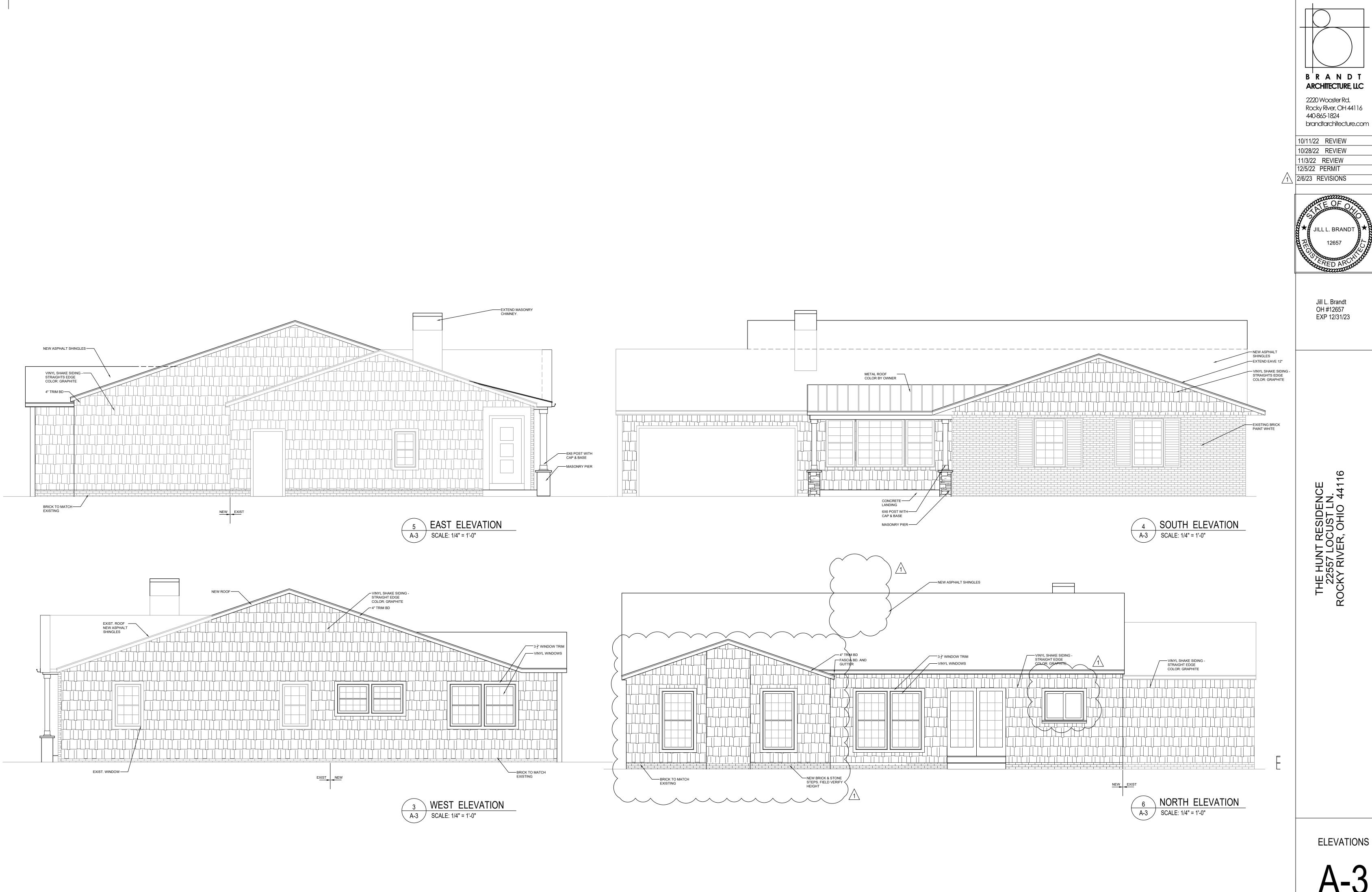


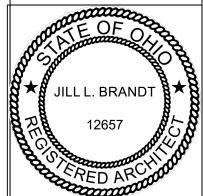
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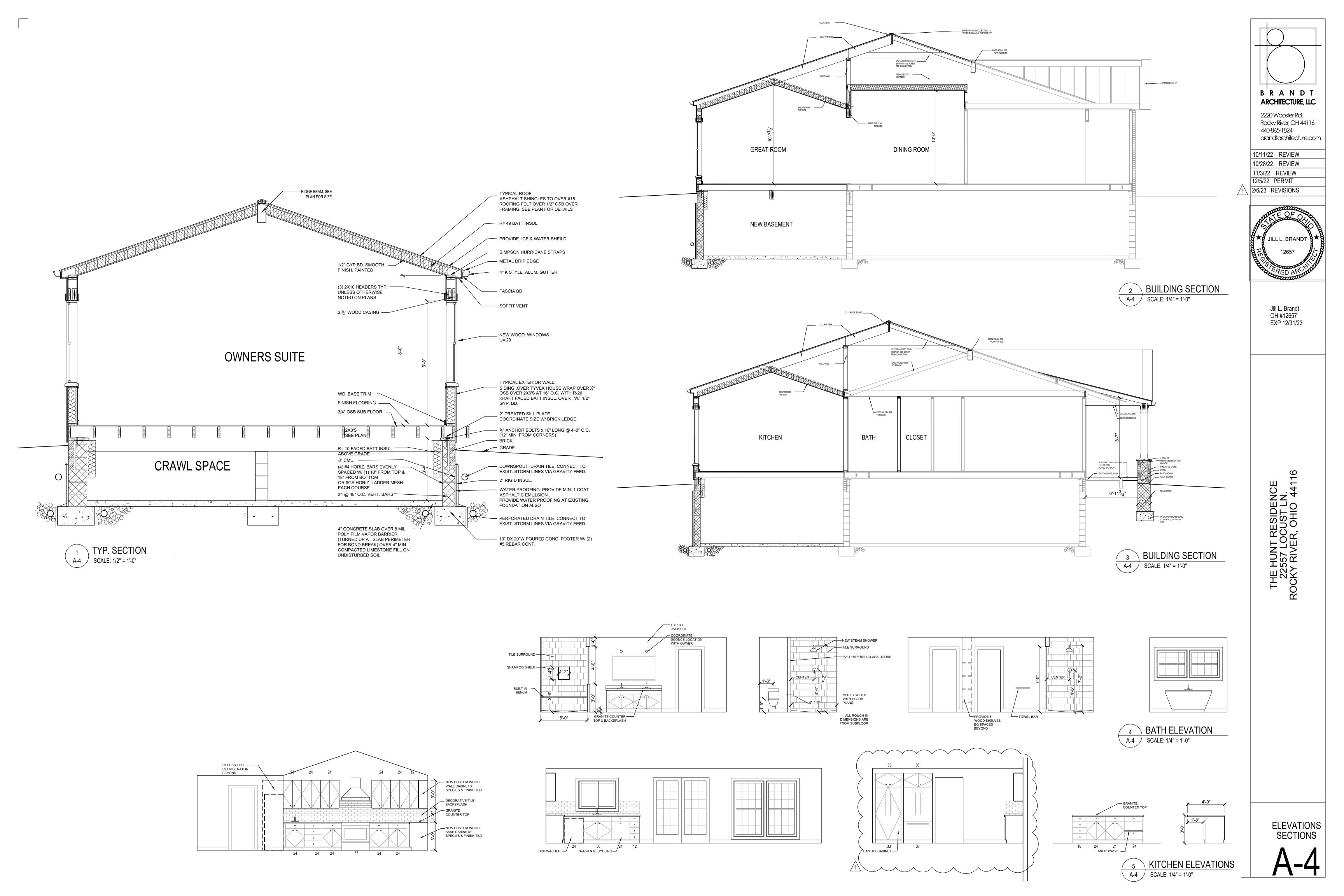
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SYMBOL	DESCRIPTION
Ф	DUPLEX OUTLET
<b>\Phi</b>	DEDICATED APPLIANCE OUTLET
$\Phi_{GFCI}$	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
$\Phi_{\sf WP}$	WATER PROOF OUTLET
$\oplus$	CEILING MOUNTED LIGHT FIXTURE
₿	WALL MOUNTED LIGHT FIXTURE
$\circ$	PENDANT LIGHT FIXTURE
0	4" RECESSSED LIGHT FIXTURE
	UNDER CABINET LIGHT FIXTURE
•	WALL WASH LIGHT FIXTURE
44	FLOOD LIGHT
EF	EXHAUST FAN VENT TO EXTERIOR
EF	COMBINATION EXHAUST FAN / LIGHT
	CEILING FAN/ LIGHT FIXTURE
(SD)	HARDWIRED SMOKE DETECTOR
(SD)	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

# **ELECTRICAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES. 2. ANY INCOMPTABILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.

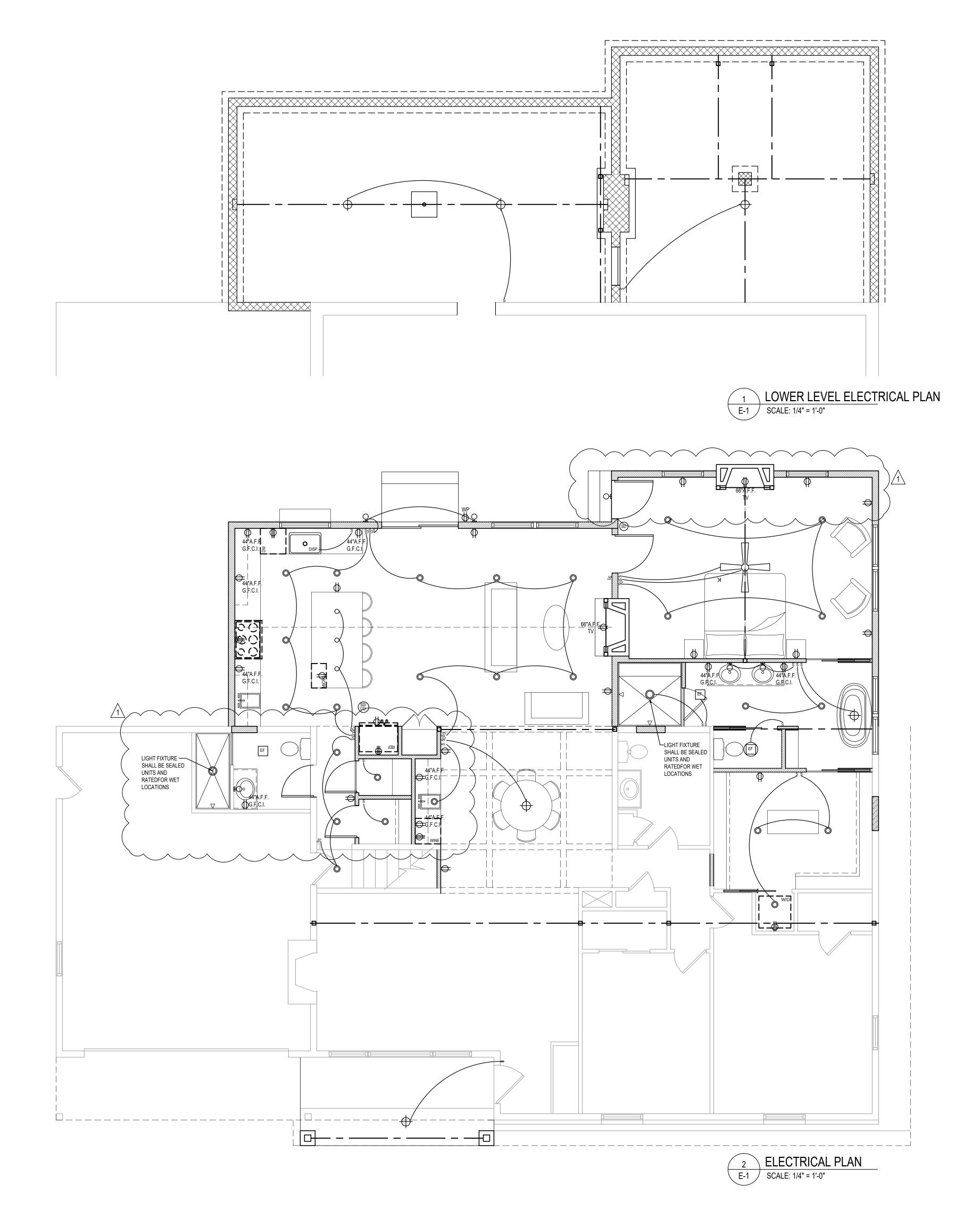
3. FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS

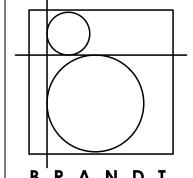
4. PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3: 1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR. 5. EACH FLOOR SHALL HAVE BOTH IONIZATION AND

PHOTOELECTRIC SMOKE ALARMS. 6. PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316: 1 PER FLOOR. 7. OWNER SHALL PROVIDE DECORATIVE LIGHTING.

.RECOMMENDED MANUFACTURERS FOR NEW 9. FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL. 8. ALL EQUIPMENTS AND SYSTEM COMPONENTS

SHALL BE SQUARE D OR APPROVED EQUAL. 9. NEW LIGHT FIXTURES SHALL USED CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.



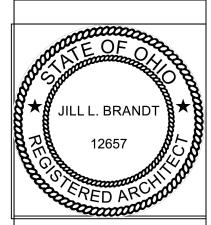


B<sup>'</sup>R A N D T ARCHITECTURE, LLC

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Jill L. Brandt OH #12657

EXP 12/31/23

THE HUNT RESIDENCE 22557 LOCUST LN. ROCKY RIVER, OHIO 44116

FLOOR **PLANS**