

OVERTON RESIDENCE

1234 HOMELAND

204 SF 2ND STORY ADDITION TO EXISTING RESIDENTIAL STRUCTURE TO INCLUDE NEW BATHROOM AND CLOSET. RENOVATION TO EXISTING MUD ROOM AND BEDROOM. NO CHANGE TO BUILDING FOOTPRINT.

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

1. Materials and methods of construction shall comply with all applicable local, state and federal building codes.
Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.

7. Contractor responsible for verifying locations of existing utilities and roads.

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.

9. Contractor shall patch and repair areas impacted by new work. Finishes to match existing.

10. Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e., casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

FRAMING

1. All framing shall be Southern Yellow Pine species #2 grade or better.

1. Plywood shall be standard PS-1 and OSB shall be standard PS-2

6. All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o).
7. All preservative pressure treated (ppt) lumber shall be southern pine #2.
rovide blocking at mid span of joists exceeding 2x12.

8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.

9. Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.

10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.

11. Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO. Provide draftstopping in floor/ ceiling locations as outlined in section 302.12 of the RCO.

DOORS AND HARDWARE

2. Provide 2'-6" x 6'-8" x 1 3/8" solid core wood door unless otherwise noted on plan. Panel size and pattern to match existing. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.

3. Exterior doors to have screen door with storms, glazing & lock.

4. Exterior doors shall be fiber glass Pella, Thermo Tru or Owner approved equal. Coordinate keying with Owner.

5. Interior & exterior doors & hardware to match exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

6. Door and window head, sill and jamb details to match existing.

WINDOWS

1. Windows shall be Marvin wood double pane low e glass. Profile to match existing. Windows shall be double hung & casement with screens, traditional grilles and locks. finish to match existing. Alternates shall be Pella or Andersen, or Owner approved equal.

2. Exterior windows and sliding doors shall be tested by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 1011.S.2/A440.
3. Windows shall meet standards for wind design loads per section 301.2 of RCO.

EXTERIOR FINISHES

1. Siding to be Certainteed Mainstreet 5" double lap vinyl siding or Owner approved equal. Match existing color & profile. Owner shall approve match prior to ordering.

2. Roof shingles shall be GAF Timberline "Natural Shadow". Color and texture to match existing. Owner shall approve match prior to ordering.

4. Install self sealing hip and ridge cap shingle matching the color of selected roof shingle.

5. Eave and ridge vents must supply open space for ventilation of not less than 1 to 150 of the area which they are ventilating. provide corrosion-resistant screening over openings as per the details and notes in these construction documents or contact the designer.

6. Provide #30 Roofing Underlayment

7. Provide ice & water shield minimum 5'-0" up from all eaves and valleys and 2'-0" up from walls where abutting roof. Install per manufacturer's recommendation.

8. Exposed flashing shall be pre-finished metal flashing 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.

9. Concealed flashing shall be self-adhesive membrane type flashing.

10. Where applicable, flashing shall extend min. 6" up wall and behind vapor barrier to prevent water entry.

11. Flashing shall be installed in a shingle style or overlapping to prevent water entry.

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12. At valleys install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.

13. Install 5" K style seamless aluminum gutters with 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per manufacturer's recommendation. Gutter to be white, downspouts to match siding.

INSULATION

1. Provide batt & spray foam insulation as indicated in building & wall sections.

2. All insulation R values shall meet or exceed minimum standards outlined in RCO.

3. Acceptable manufacturers for batt insulation shall be Owens Corning, Certainteed, John's Manville or Owner approved equal.

INTERIOR FINISHES

1. Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" as indicated in drawings with tapered edges.

3. Provide water resistant gypsum board in all wet rooms such as bathrooms and at kitchen counters.

4. Install "duronrock" wall board where tile to be installed.

5. Provide in maximum lengths and widths to minimize joints and correspond with support system.
6. Gypsum board trim shall be galvanized or aluminum coated steel, rolled zinc, plastic, or paper faced galvanized stainless steel. Provide corner beads at outside corners and LC bead, j-shaped, on long exposed edges.

7. Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

8. All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

9. Provide thresholds and reducer strips as needed with finish floor materials.

10. All gyp. bd. to be primed and painted.

11. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks runs and other imperfections will not be accepted.

12. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finish, over a primer. Primer shall be interior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin Williams.

13. All finish colors and materials to be selected by Owner.
14. Provide allowance for tile where noted on plan. Tile and grout selection by Owner.

Tile 1 bath floor 12x12 ceramic
Tile 2 bath shower 4x4 ceramic

15. Provide concrete substrates with dry-set or latex-portland cement mortar.

16. Trowel level, free of any bumps and protrusions.

17. Install tile under counters and equipment to provide complete floor covering without interruption.

18. Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

19. Accurately form intersections and evenly space joints.

20. Grout tile completely per grout manufacturer's recommendations. Clean tile after grouting.

21. Toilet room accessories provided by Owner and installed by Contractor.

MECHANICAL, ELECTRICAL & PLUMBING

1. Provide new electrical wiring, outlets, junction boxes etc. in addition.

1. Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture locations where practical.

2. Plumbing systems to connect to existing system. Contractor to notify Owner of any necessary upgrades in existing systems and include work in base bid.

3. All bath exhaust fans and dryer exhaust duct runs shall be vented out through exterior walls or up through the roof. Avoid venting at the front of house where possible. Do not vent through soffits into soffits or into attics. Provide a duct termination kit (energy efficient with screen) and roof flashing as required at the duct exterior outlet. Paint the exterior wall and roof penetrations to match the finished surface. The duct run shall be smooth metal with foil 'mastic' tape joints and clamps (no screws) and insulated or in an insulated cavity for the exterior outlet.

Contractor to verify capacity of existing water heater. Notify Owner of any necessary upgrades in bid.

4. Provide pipe protection for exterior plumbing lines and utilities per OPC 305.

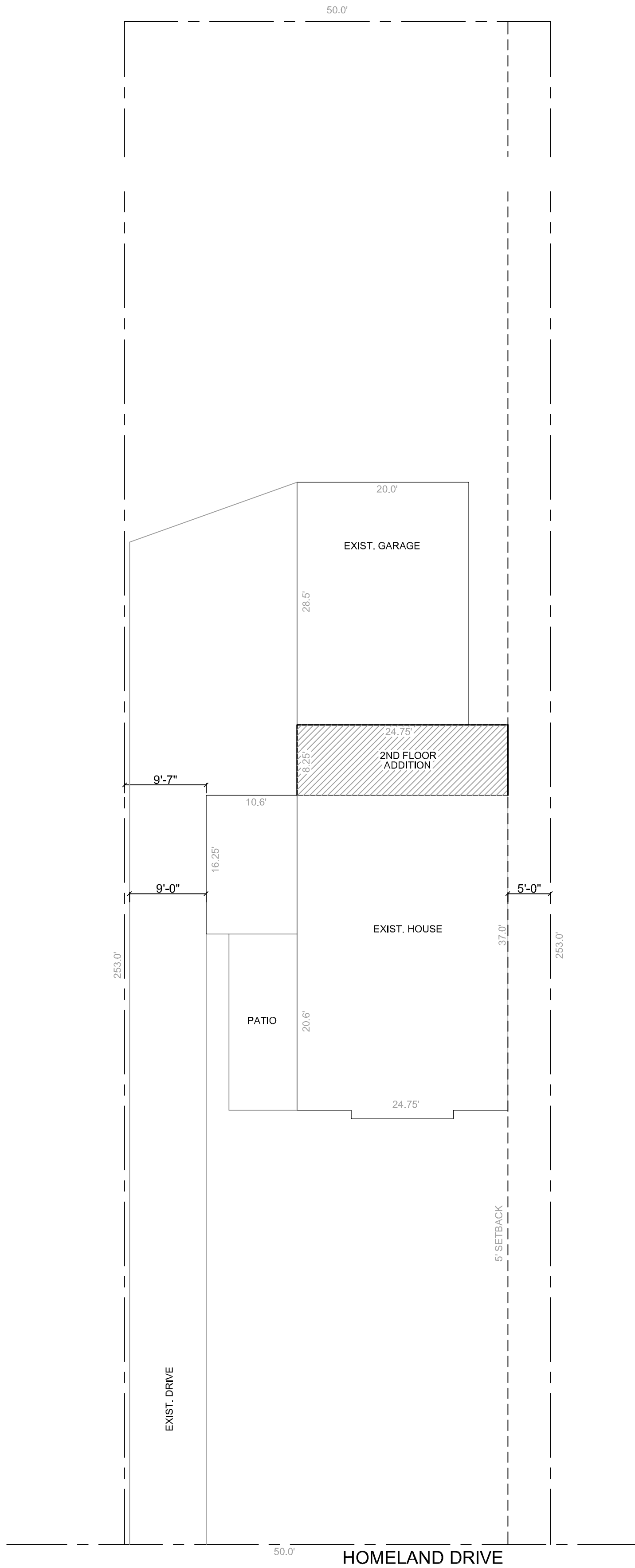
5. Plumbing contractor to provide isometric of system upon request of the City.

6. Plumbing fixtures by Owner. Acceptable manufacturers shall be American Standard, Moen, Kohler, Delta.

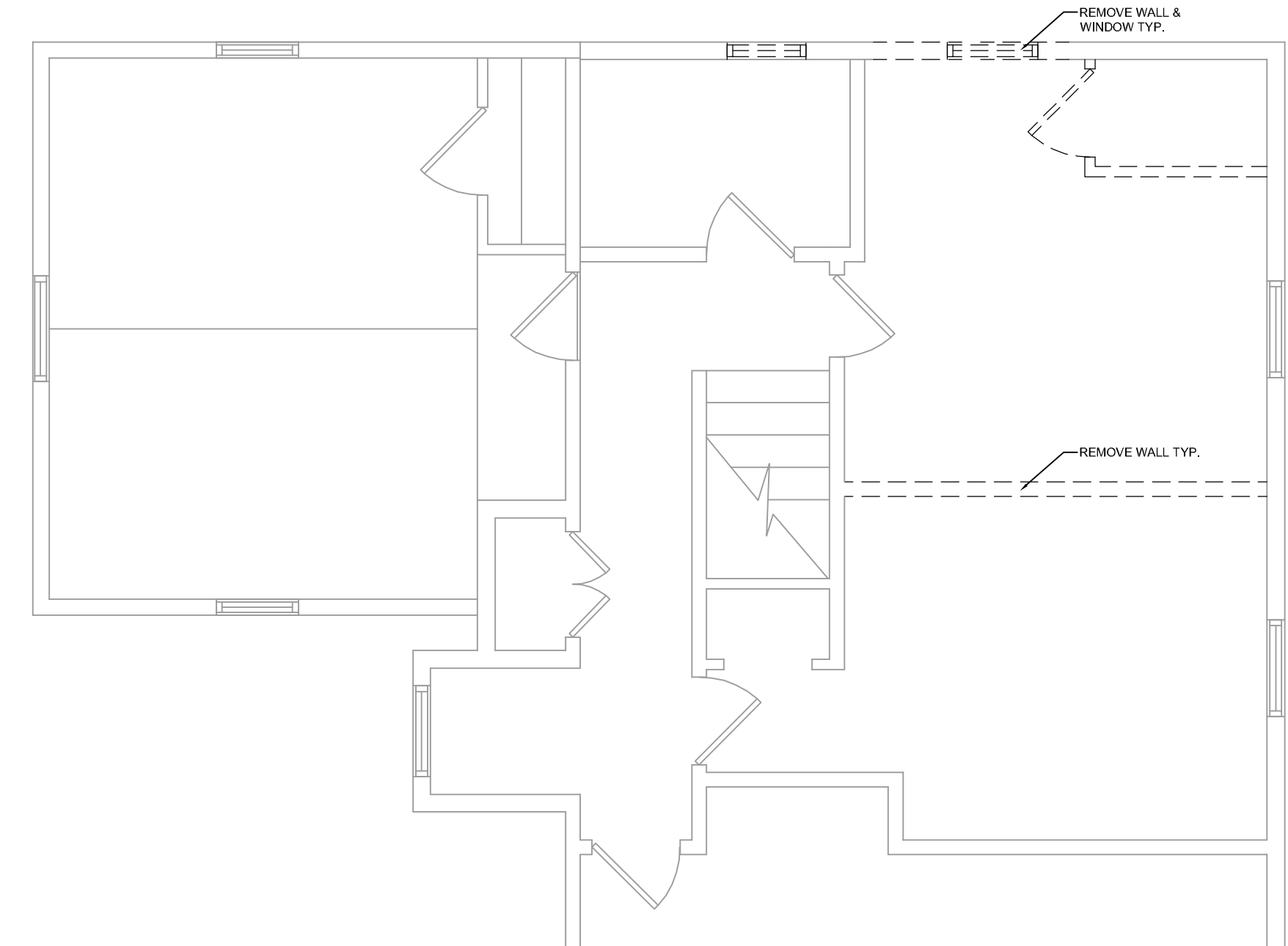
7. Contractor to provide heating and ventilation to areas as required by all applicable building codes. Connect to existing HVAC system. Contractor to field verify capacity of existing furnace.

8. Furnace and duct sizing and layout by mechanical contractor.

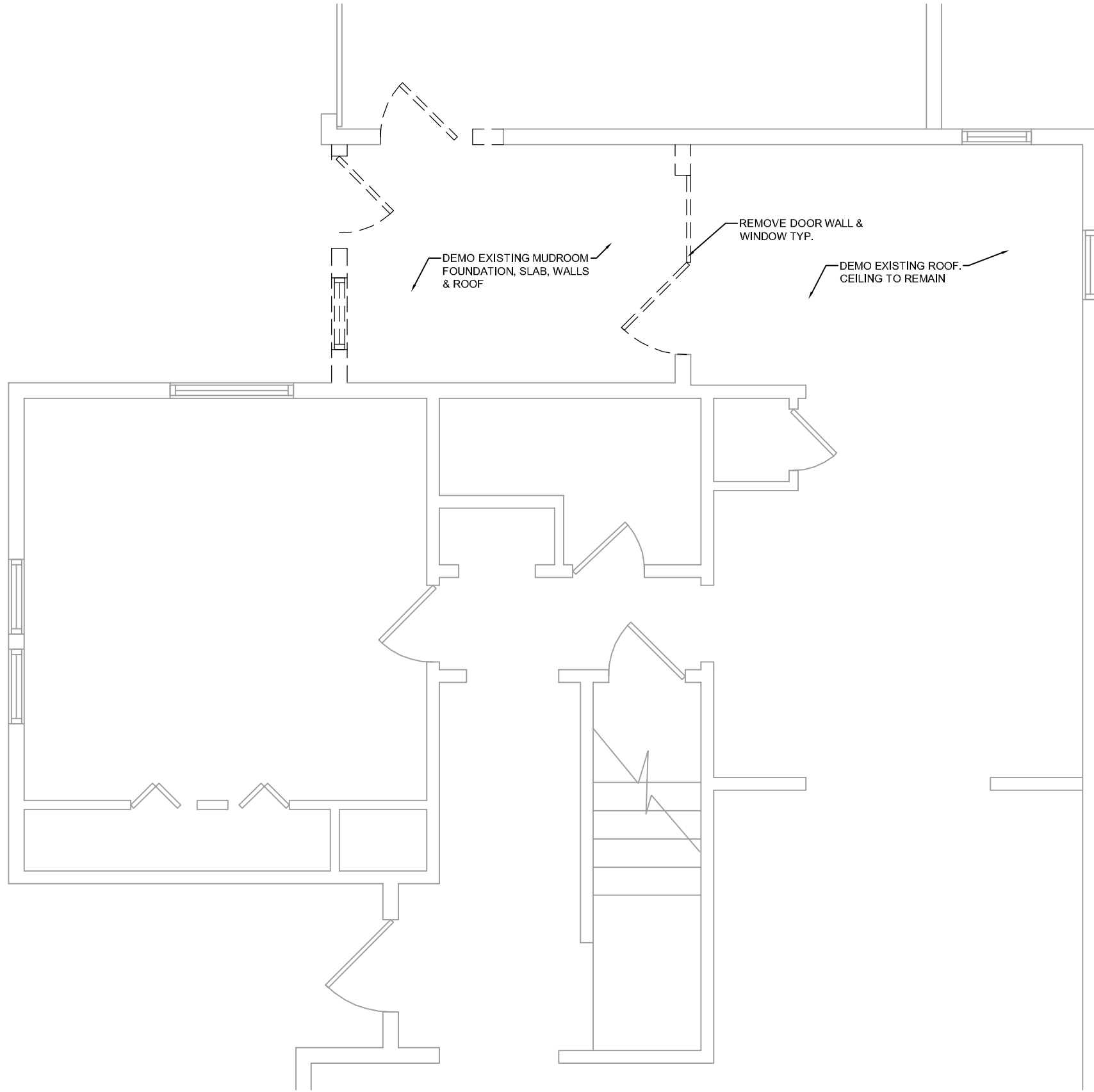
9. J Schedule provided by HVAC contractor.



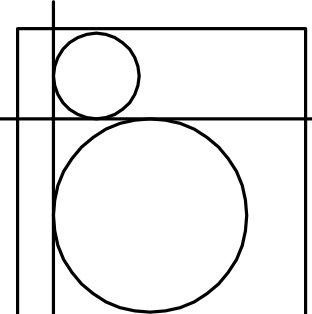
1 SITE PLAN
T-1 SCALE: 1" = 10'-0"



2 SECOND FLOOR DEMO PLAN
T-1 SCALE: 1/4" = 1'-0"



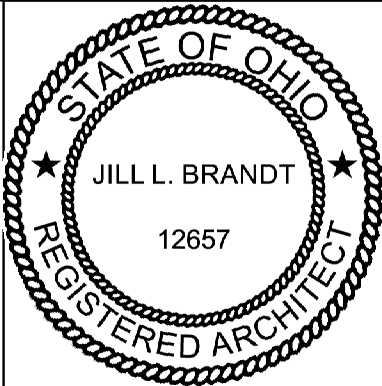
3 FIRST FLOOR DEMO PLAN
T-1 SCALE: 1/4" = 1'-0"



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9/29/22 REVIEW
10/25/22 REVIEW
11/1/22 BID/ PERMIT

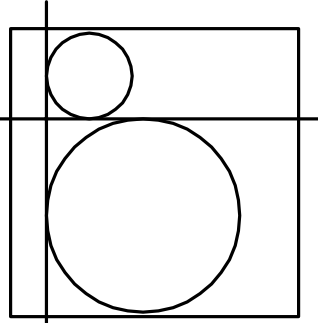


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EXP 12/31/23

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TITLE
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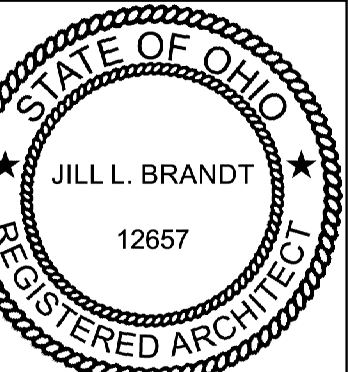
T-1



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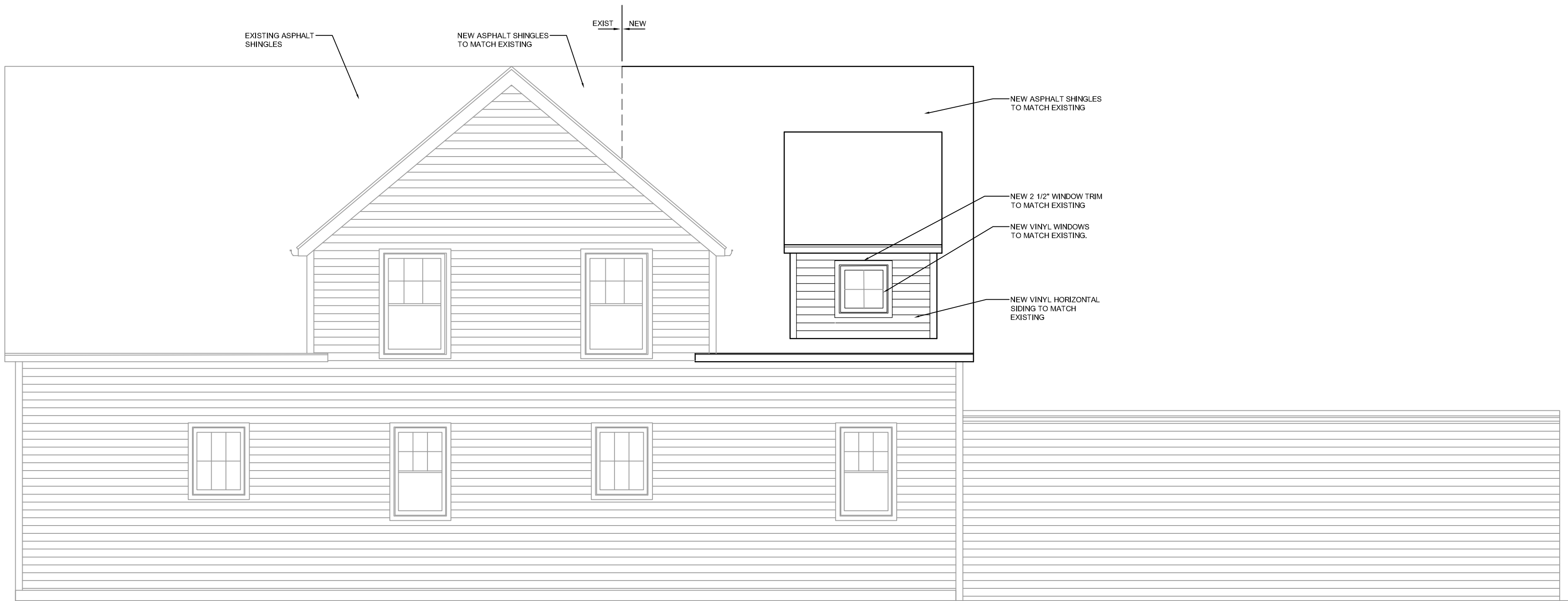


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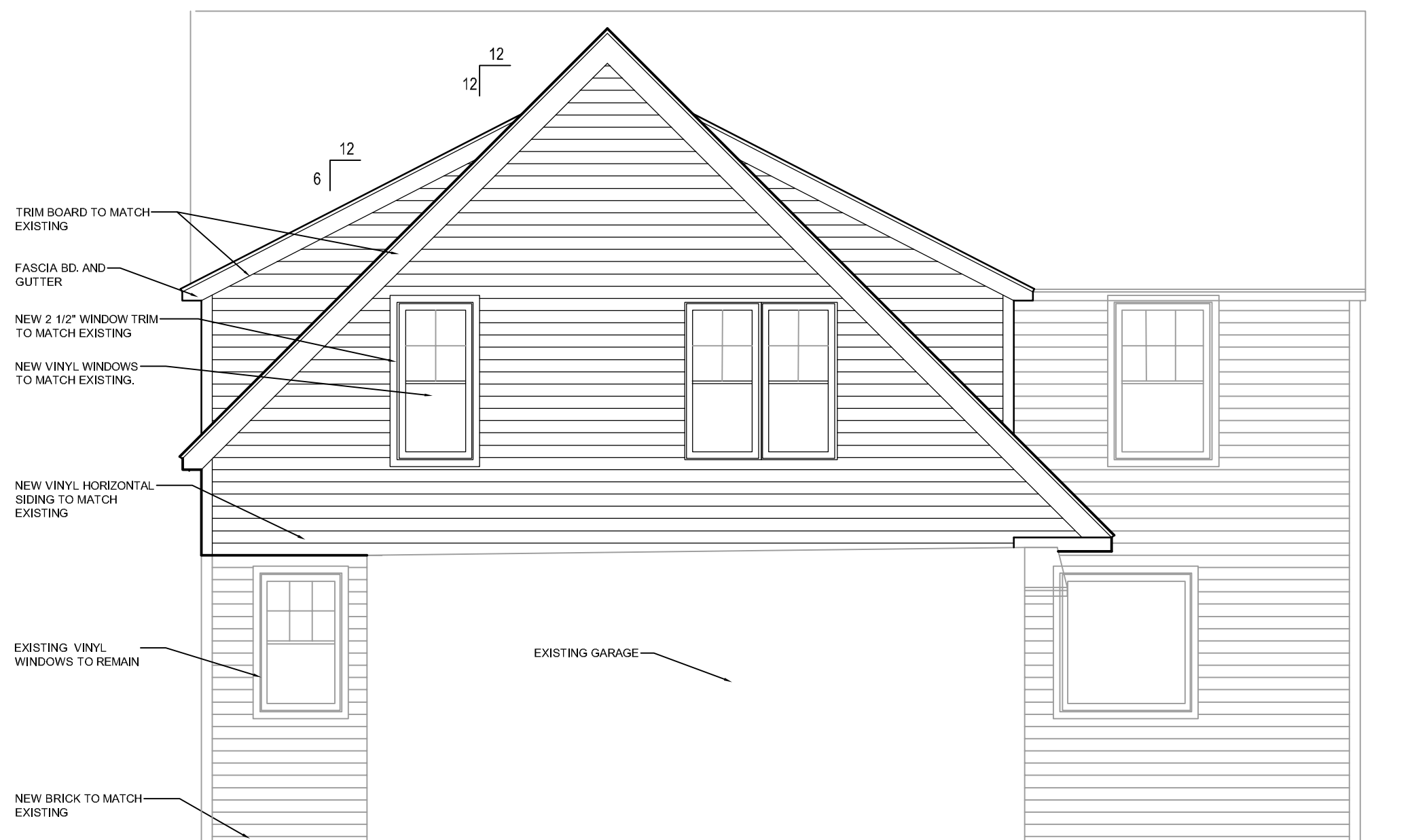
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ELEVATIONS

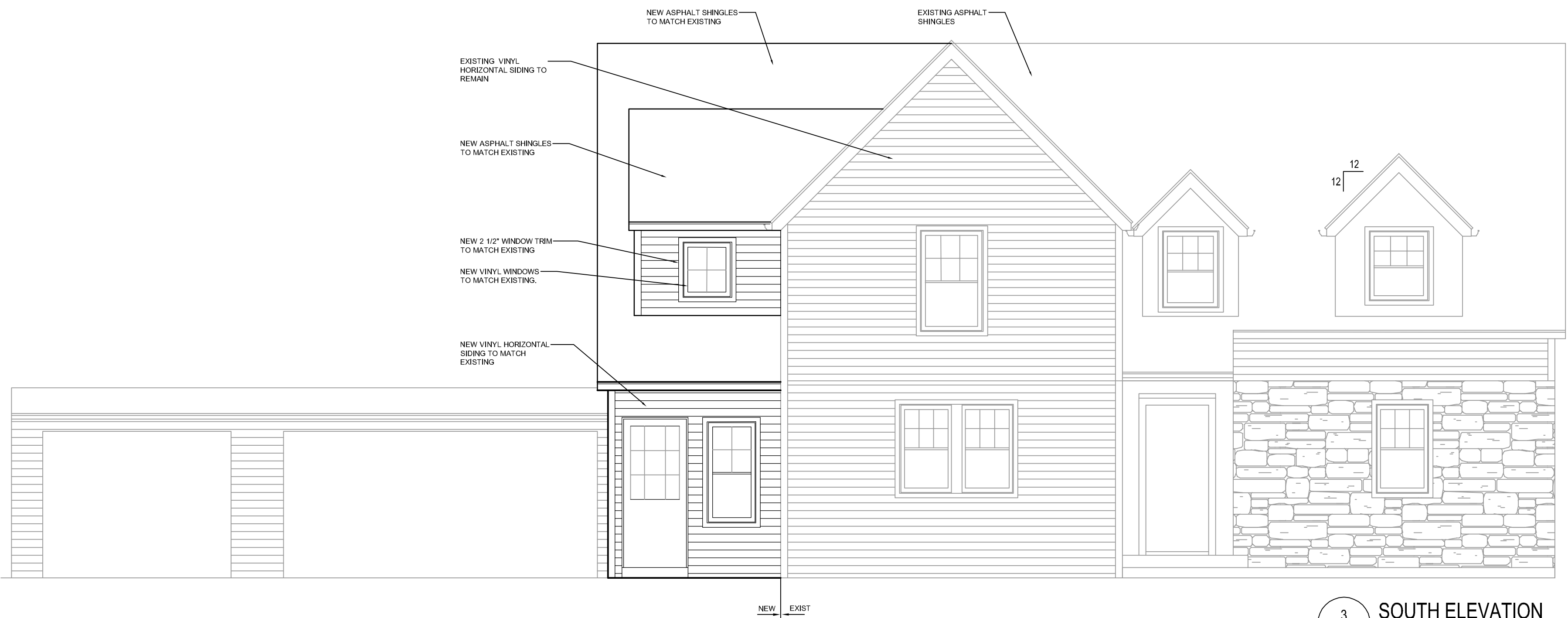
A-2



1 NORTH ELEVATION
A-2 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A-2 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
A-2 SCALE: 1/4" = 1'-0"

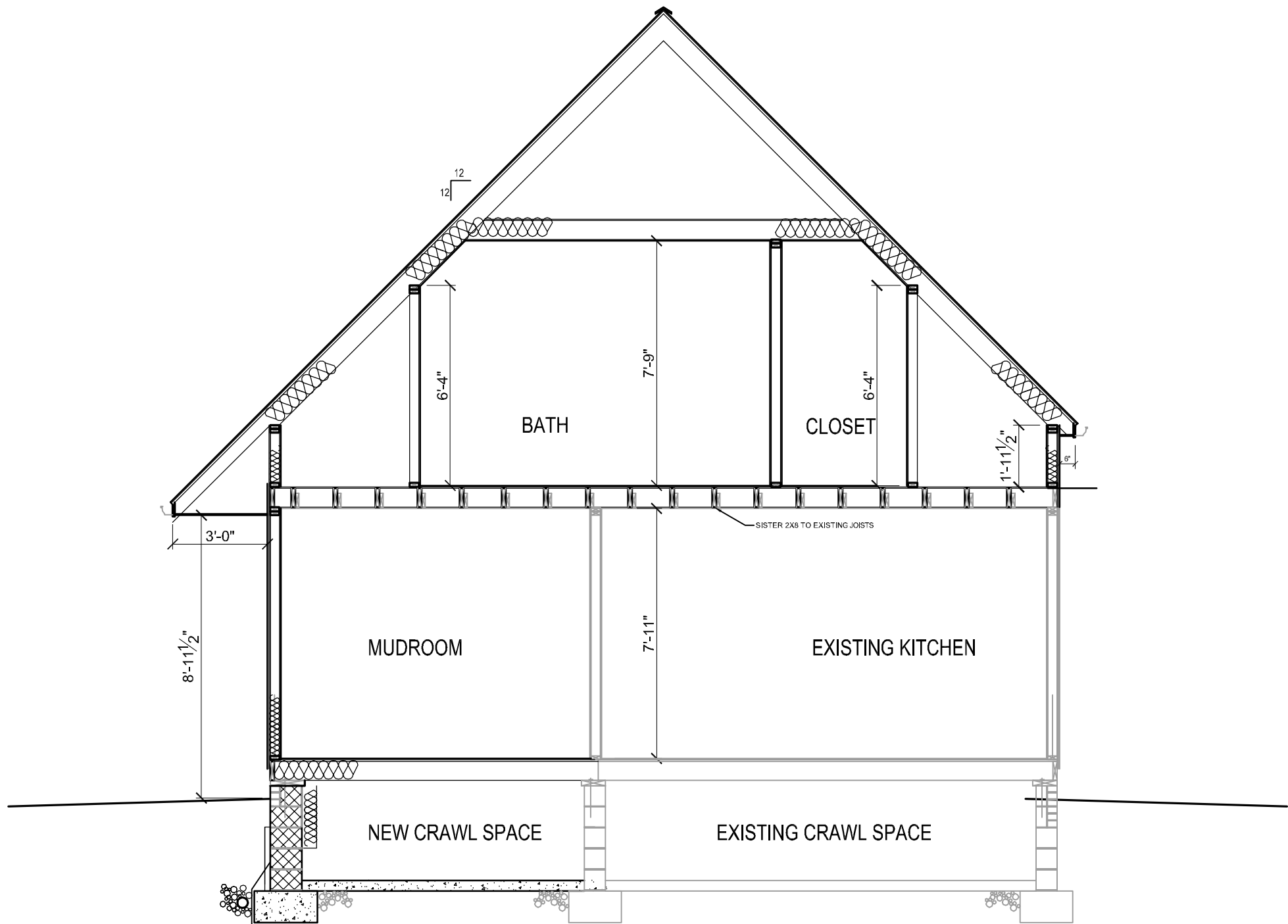
DOOR SCHEDULE

#	WIDTH	HEIGHT	THICK	MATL	FINISH	MATL	FINISH	LOCKSET	HINGE	SILENCERS	KICKPLATE	HAND	REMARKS
1	3'-0"	6'-8"	1 1/2"	STEEL	PAINT	WOOD	PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	LH	20 MIN. FIRERATED
2	3'-0"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD	PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	LH	9 LIGHT
3	(2) 2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
4	3'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	RH	9 LIGHT
5	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	RH	
6	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	LH	

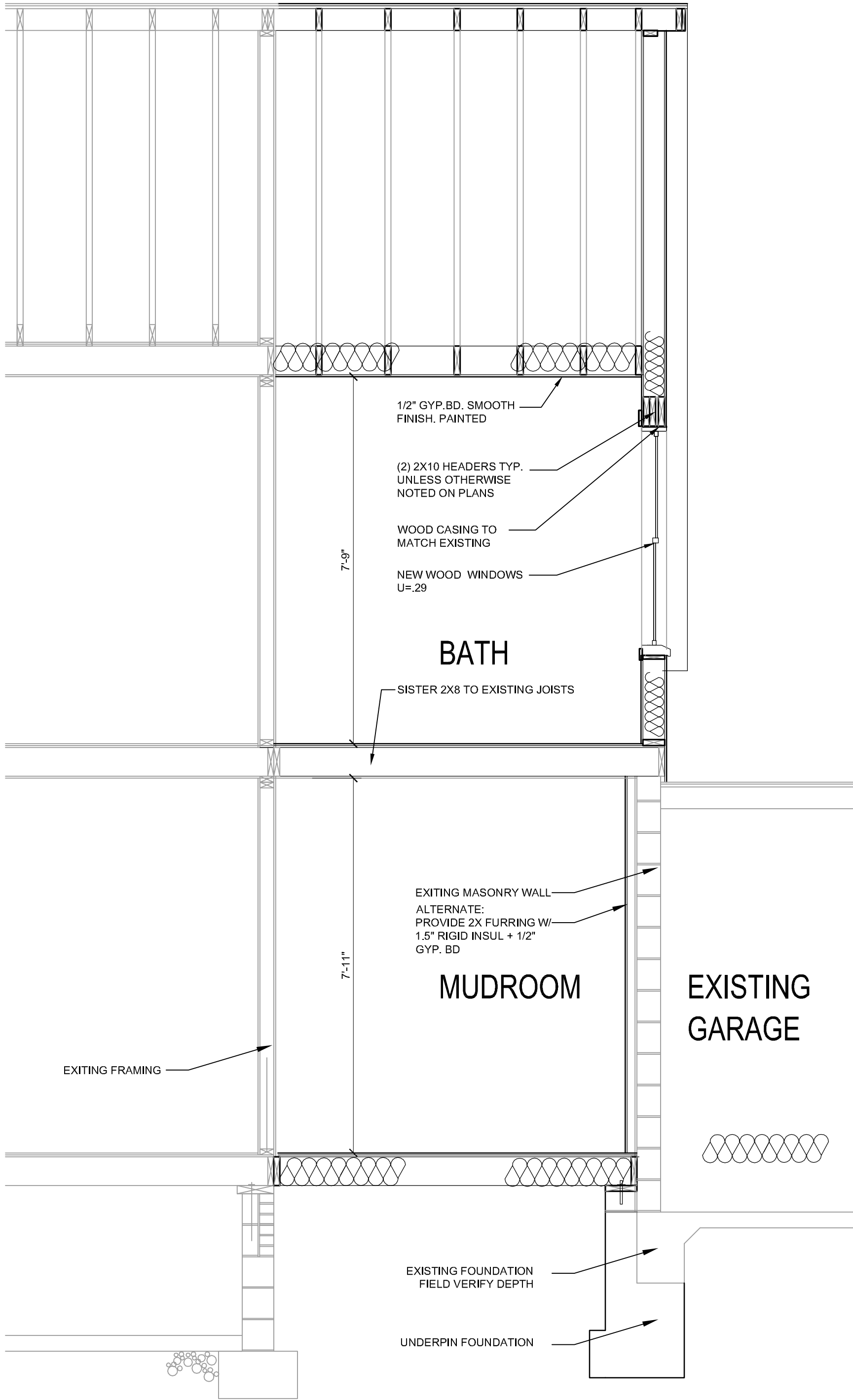
GENERAL NOTES:
1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA, EGGERS, OR OWNER APPROVED EQUAL.
2. NEW DOORS TO BE STAINED TO MATCH EXISTING.
3. ALL LOCKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL.
5. VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.
6. PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

WINDOW SCHEDULE

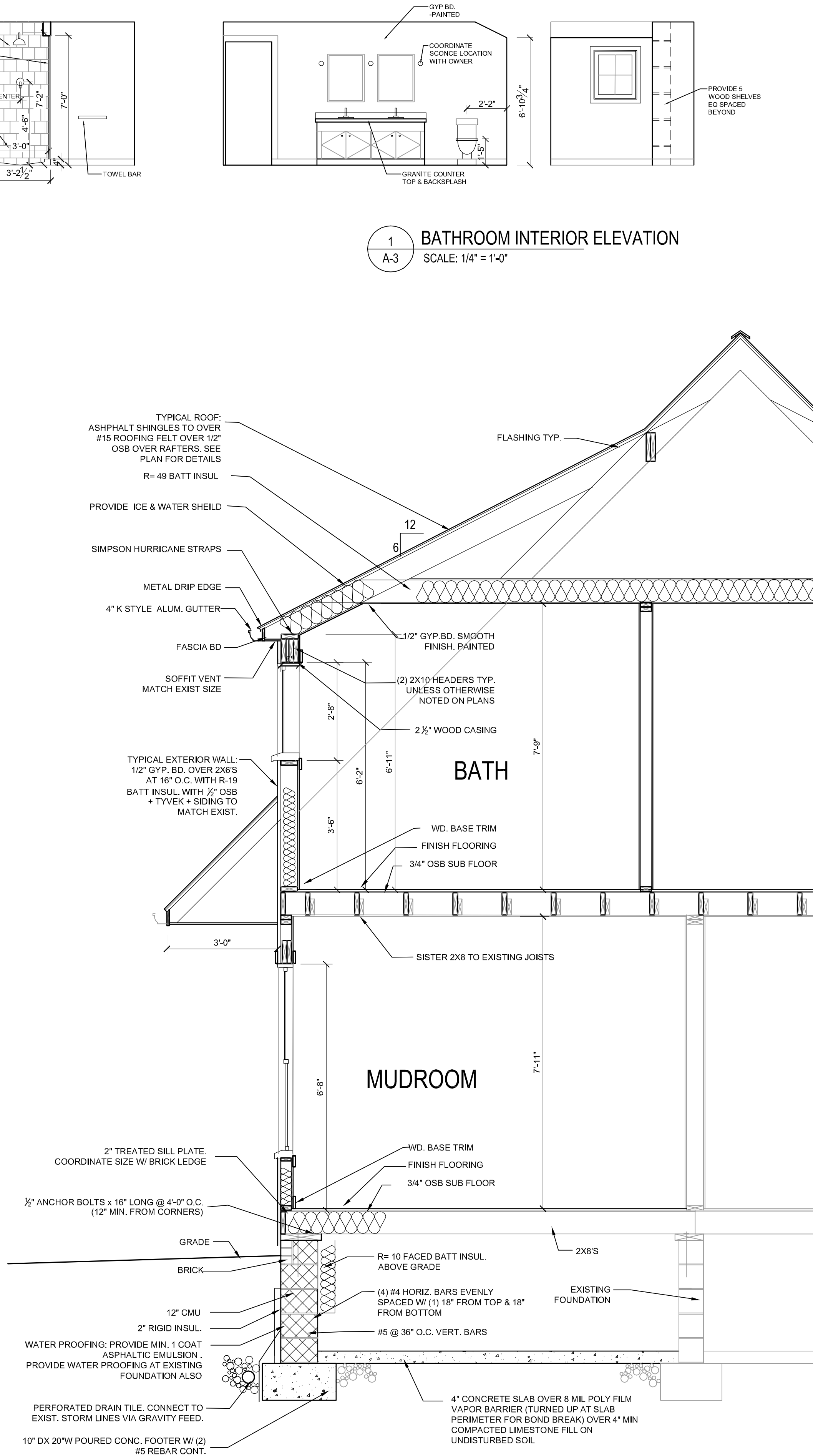
#	QTY	UNIT SIZE W X H	MATL	FUNCTION	GLASS	REMARKS
A	1	28" X 58"	VINYL	DOUBLE HUNG		DOUBLE TEMPERED
B	2	28" X 58"	VINYL	DOUBLE HUNG		
C	2	28" X 28"	VINYL	CASEMENT		



2 TYPICAL SECTION
SCALE: 1/2" = 1'-0"



3 TYPICAL SECTION
SCALE: 1/2" = 1'-0"

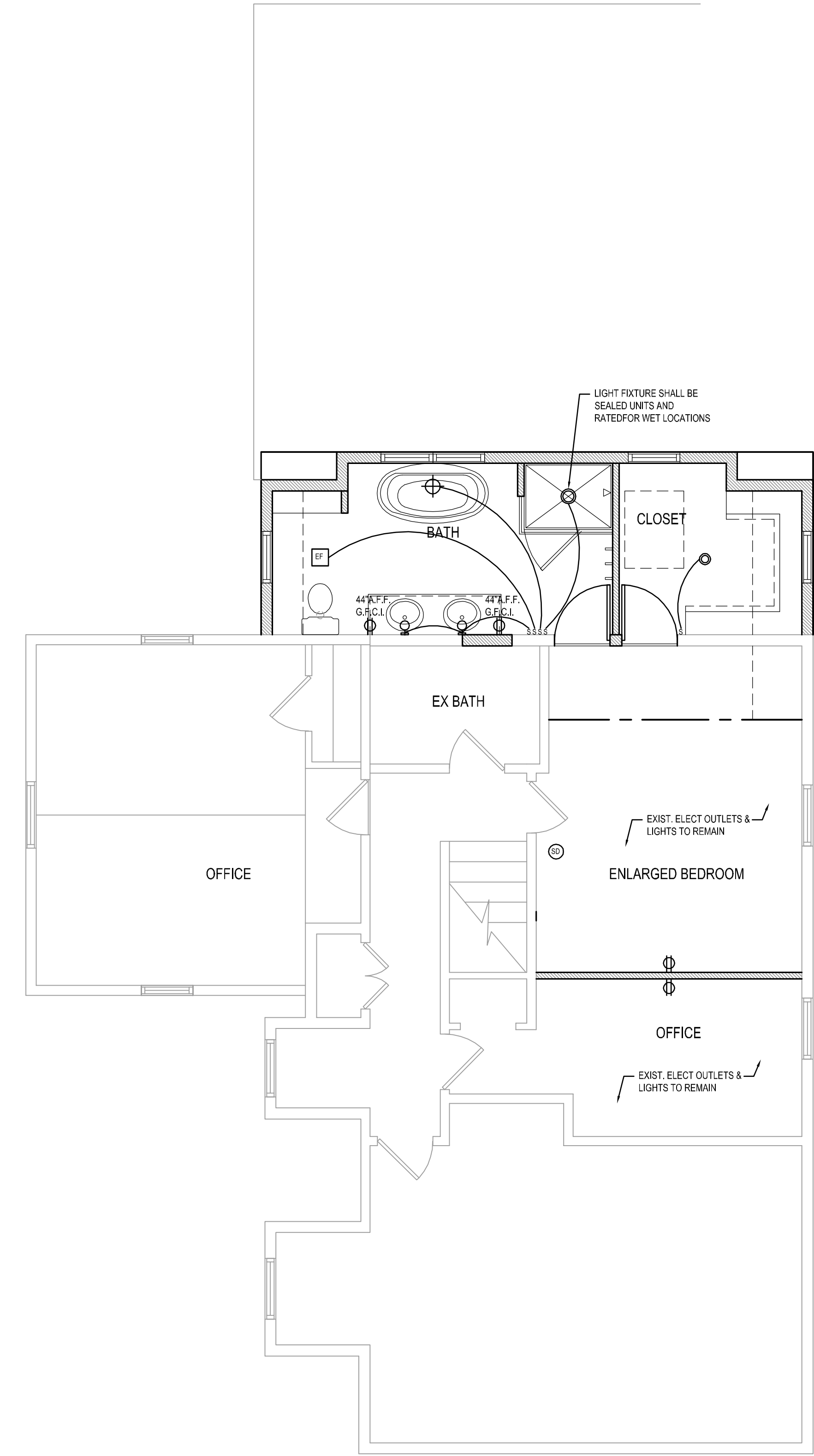


4 TYPICAL SECTION
SCALE: 1/2" = 1'-0"

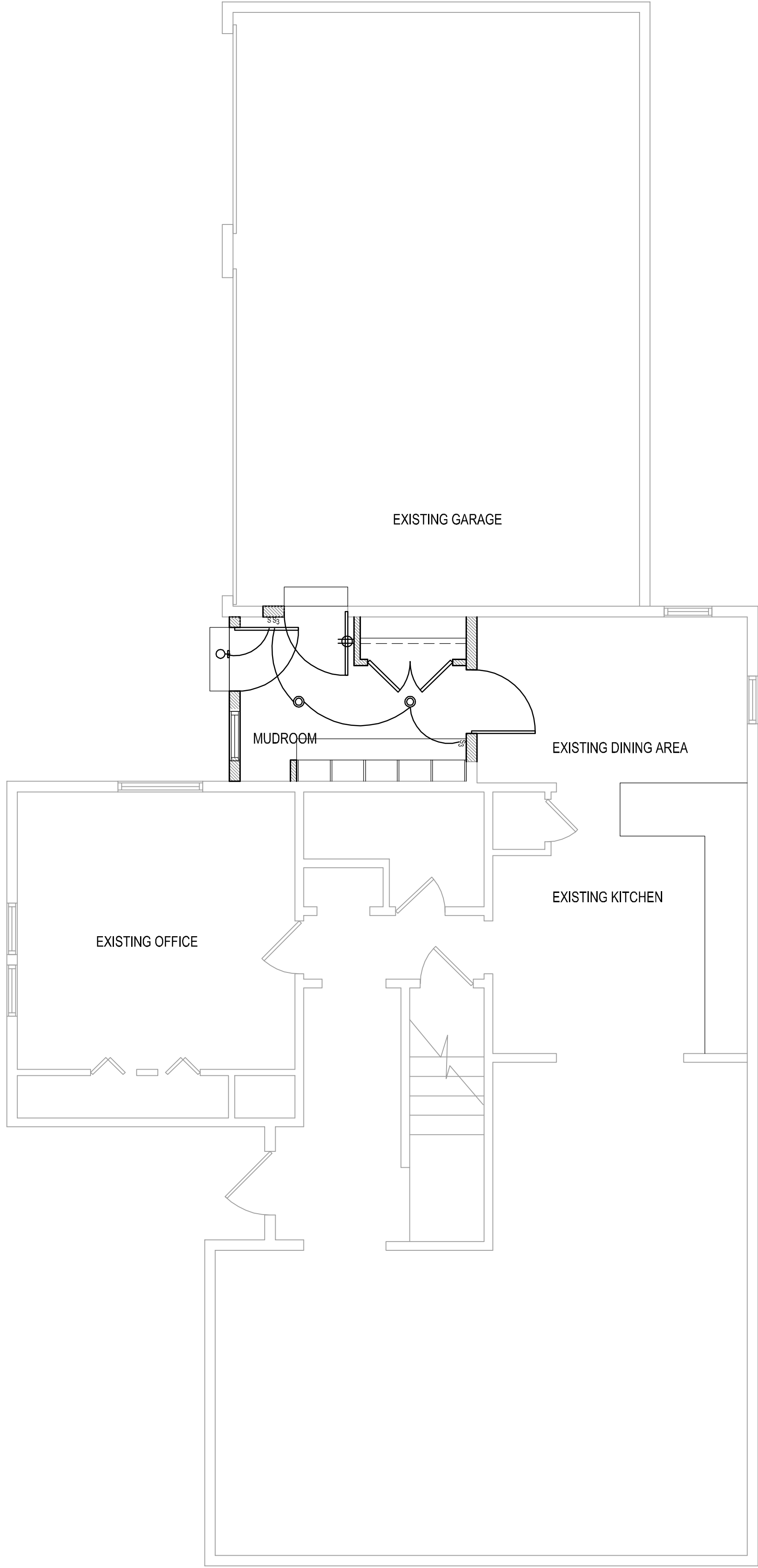
1 BATHROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

SYMBOL	DESCRIPTION
Φ	DUPLEX OUTLET
Φ	DEDICATED APPLIANCE OUTLET
Φ_{GFCI}	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
Φ_{WP}	WATER PROOF OUTLET
$\oplus$	CEILING MOUNTED LIGHT FIXTURE
$\oslash$	WALL MOUNTED LIGHT FIXTURE
$\bigcirc$	PENDANT LIGHT FIXTURE
$\bigcirc$	4" RECESSED LIGHT FIXTURE
—	UNDER CABINET LIGHT FIXTURE
$\square_{EF}$	EXHAUST FAN VENT TO EXTERIOR
$\square_{EF}$	COMBINATION EXHAUST FAN / LIGHT
$\oplus$	CEILING FAN/ LIGHT FIXTURE
$\odot$	HARDWIRED SMOKE DETECTOR
$\odot$	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

- ELECTRICAL NOTES:
- ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES.
 - ANY INCOMPATIBILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
 - FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS
 - NEW AND EXTENDED CIRCUITS (EXCEPT THOSE AT KITCHEN COUNTERTOPS) SHALL RECEIVE AFCI PROTECTION.
 - PROVIDE A MINIMUM OF ONE (1) 20 AMP SMALL DEDICATED BRANCH CIRCUIT FOR EACH BATHROOM & POWDER ROOM.
 - PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3: 1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR.
 - EACH FLOOR SHALL HAVE BOTH IONIZATION AND PHOTOELECTRIC SMOKE ALARMS.
 - PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316: 1 PER FLOOR.
 - OWNER SHALL PROVIDE DECORATIVE LIGHTING.
 - RECOMMENDED MANUFACTURERS FOR NEW FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL.
 - ALL EQUIPMENTS AND SYSTEM COMPONENTS SHALL BE SQUARE D OR APPROVED EQUAL.
 - NEW LIGHT FIXTURES SHALL USED CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.
 - ALL RECEPTACLES SHALL BE TAMPER RESISTANT.



1
E-1
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2
E-1
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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STATE OF OHIO

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REGISTERED ARCHITECT

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ELECTRICAL
PLANS
E-1