



vocon.

19933 LAKE ROAD  
COMMERCIAL OFFICE BUILDING DEVELOPMENT

FEBRUARY 23, 2023

# LAKE ROAD OFFICE BUILDING

# TABLE OF CONTENTS

- 01 Zoning Analysis
- 02 Site Plan
- 03 Floor Plans
- 04 Exterior Rendered Views

# ZONING ANALYSIS

# ROCKY RIVER, OHIO

**Rocky River Codified Ordinances** - Local Buisness District

Indicates Requested Exemption/Variance

|                           |           |
|---------------------------|-----------|
| Total Lot Area            | 55,389 SF |
| Total Building Footprint  | 10,293 SF |
| Total Gross Building Area | 27,446 SF |
| Total Net Building Area   | 22,125 SF |

Use Regulations

Office - Administrative, Business or Professional

|                                     |          |          |
|-------------------------------------|----------|----------|
| Lot Regulation                      | Required | Proposed |
| Max Coverage By Building            | 30%      | 18.58%   |
| Max Coverage by Impervious Surfaces |          |          |

|                                                   |                 |                         |
|---------------------------------------------------|-----------------|-------------------------|
| Building Setback Requirements                     | Required        | Proposed                |
| Min. Building Setback from Right-of-Way           | 10'-0 to 25'-0" | 25'-0"                  |
| Side and Rear lot line abutting residential dist. | 25'-0"          | 20'-0" (South and East) |

|                                                   |          |                                   |
|---------------------------------------------------|----------|-----------------------------------|
| Parking Setback Requirements                      | Required | Proposed                          |
| Min. Setback from Right-of-Way                    | 10'-0"   | 7'-3"                             |
| Side and Rear lot line abutting residential dist. | 15'-0"   | 10'-6"(East, West) 10'-9" (South) |
| From Principal Building                           | 10'-0"   | 12'-0" (West) 10'-0" (South)      |

|                                   |          |          |
|-----------------------------------|----------|----------|
| Height Requirements               | Required | Proposed |
| Principal buildings or Structures | 35'-0"   | 45'-0"   |

Off-Street Parking Regulations

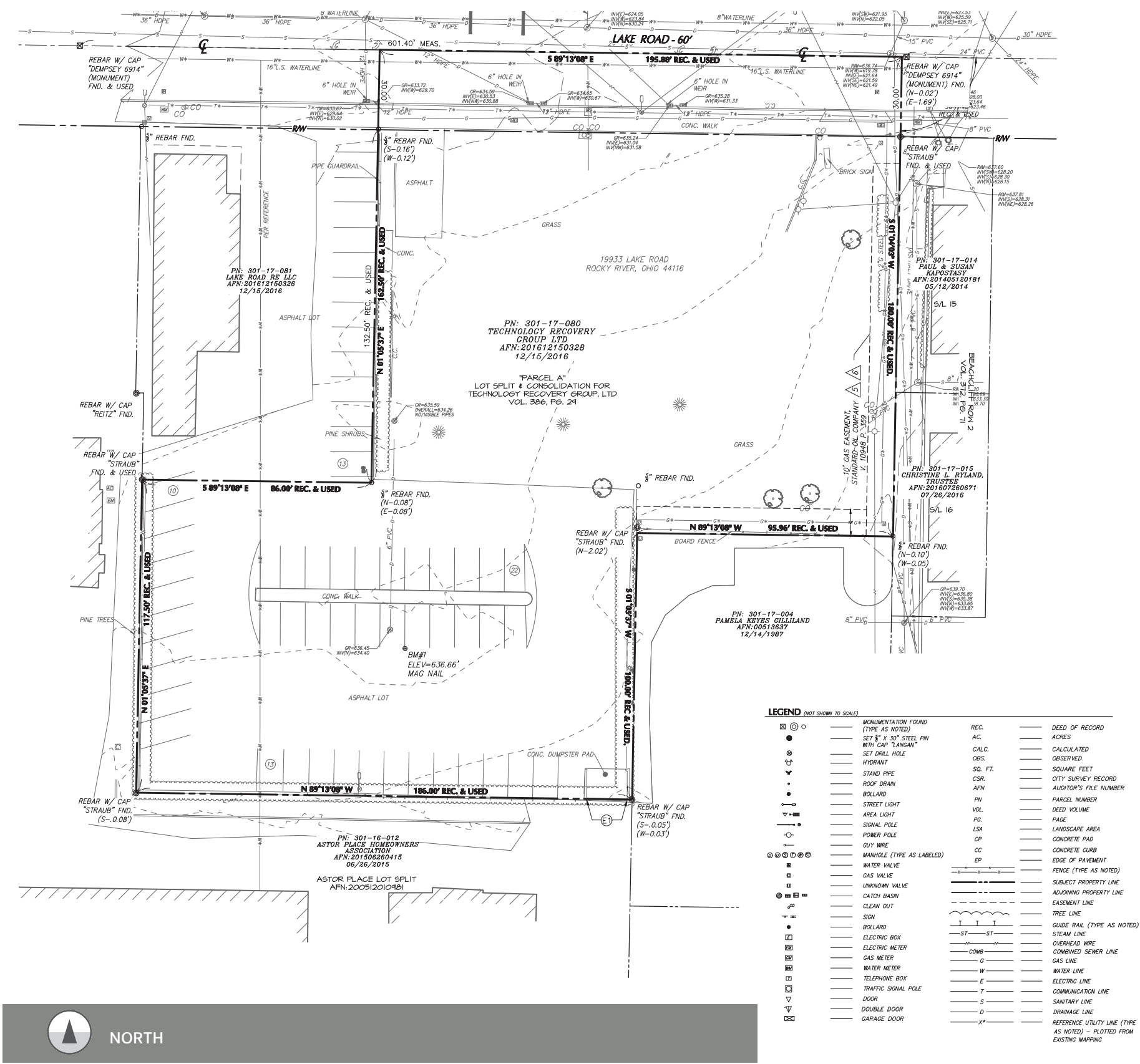
|                             |                          |
|-----------------------------|--------------------------|
| Required Off-Street Parking |                          |
| Per Gross SF (28,686 SF)    | 87 - 115 Spaces          |
| Per Net SF (22,618 SF)      | 67 - 112 Spaces          |
| Provided                    | 68 Spaces (3 Accessible) |

02

**SITE PLAN**



LAKE ROAD OFFICE BUILDING | Zoning Analysis | Existing Survey



**LEGAL DESCRIPTION**

PER FIRST AMERICAN TITLE INSURANCE COMPANY, OWNERS POLICY 5011439-01521516, DATED MAY 20, 2016.

Parcel 1: (PPN: 101-38-013)

SITUATED IN THE CITY OF ROCKY RIVER, COUNTY OF CUYAHOGA AND STATE OF OHIO, KNOWN AS BEING PART OF ORIGINAL ROCKPORT TOWNSHIP SECTION 24, AND BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH REBAR FOUND IN A MONUMENT BOX AT THE INTERSECTION OF THE CENTERLINE OF LAKE ROAD (60 FEET) AND THE CENTERLINE OF LINDA AVENUE (40 FEET)

THENCE NORTH 89° 26' 00" WEST 292.85 FEET ALONG THE CENTERLINE OF LAKE ROAD TO A PK NAIL SET AT THE TRUE POINT OF BEGINNING;

THENCE SOUTH 0° 52' 45" WEST 180.00 FEET ALONG THE WEST LINE OF A PARCEL OF LAND OWNED BY LEO PROPERTIES, INC. AS RECORDED SEPTEMBER 9, 1999 IN DOCUMENT NUMBER 199909092616 TO A POINT WITNESSED BY A 5/8 INCH REBAR FOUND 0.15 FEET WEST, PASSING OVER A 5/8 X 30 INCH REBAR WITH A CAP MARKED WELLERT 6369 SET ON THE SOUTH LINE OF LAKE ROAD AT 30.00 FEET;

THENCE NORTH 89° 26' 00" WEST 96.11 FEET ALONG THE NORTH LINE OF A PARCEL OF LAND OWNED BY PAMELA KEYES GILLILAND AS RECORDED DECEMBER 14, 1987 IN DEED VOLUME 87-7898, PAGE 46 TO A 5/8 X 30 INCH REBAR SET WITH A CAP MARKED WELLERT 6369;

THENCE NORTH 0° 52' 45" EAST 17.50 FEET ALONG THE EAST LINE OF A PARCEL OF LAND OWNED BY LAKE ROAD INC. AS RECORDED JANUARY 31, 1972 IN DEED VOLUME 12968, PAGE 453 TO A 5/8 X 30 INCH REBAR SET WITH A CAP MARKED WELLERT 6369;

THENCE NORTH 89° 26' 00" WEST 100.00 FEET ALONG THE NORTH LINE OF SAID LAKE ROAD INC. PARCEL TO A POINT, WITNESSED BY A 1/2 INCH REBAR FOUND 0.16 FEET NORTH AND 0.10 FEET EAST;

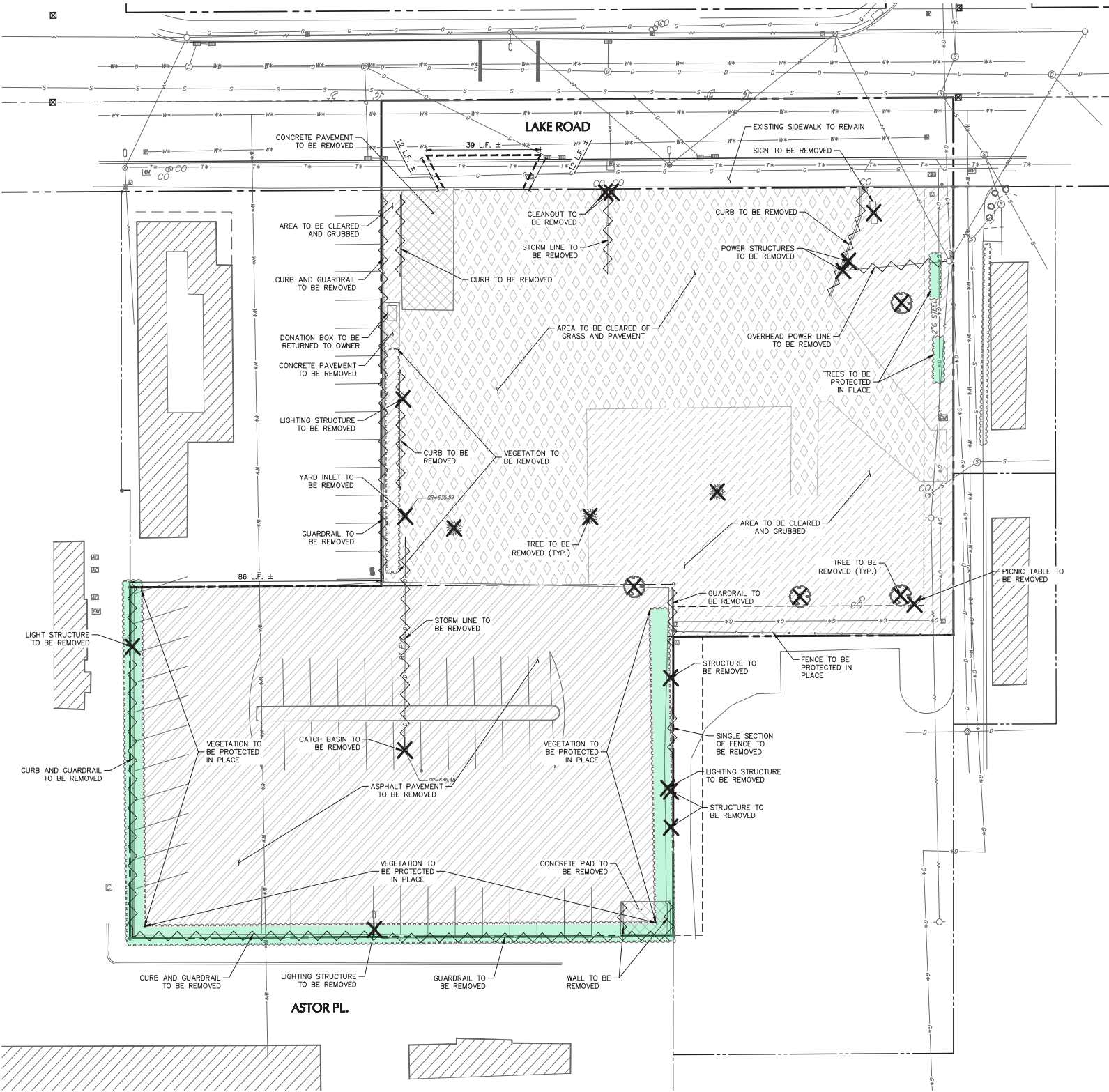
THENCE NORTH 0° 52' 45" EAST 162.50 FEET ALONG THE EAST LINE OF THE LAKE ROAD INC. PARCEL TO A POINT ON THE CENTERLINE OF LAKE ROAD, PASSING OVER THE SOUTH LINE OF LAKE ROAD AT 132.50 FEET, SAID POINT BEING WITNESSED BY A 1/2 INCH REBAR FOUND 0.14 FEET NORTH AND 0.09 FEET EAST;

THENCE SOUTH 89° 26' 00" EAST 196.11 FEET ALONG TO-E CENTERLINE OF LAKE ROAD TO THE TRUE POINT OF BEGINNING, CONTAINING 0.7702 ACRE'S BUT SUBJECT TO ALL LEGAL, HIGHWAYS, EASEMENTS AND COVENANTS OF LEGAL RECORD AS SURVEYED BY ROBERT L. WELLERT, REGISTERED SURVEYOR NO. 6369.

THE BASIS OF BEARING IS THE CENTERLINE OF LAKE ROAD, BEARING NORTH 89° 26' 00" WEST BETWEEN MONUMENTS FOUND, PER DEED VOLUME 97-11850, PAGE 58.

- NOTES**
- THIS PLAN WAS PREPARED WITH THE RESPECT TO THE FOLLOWING REFERENCES:
    - FIRST AMERICAN TITLE INSURANCE COMPANY, OWNERS POLICY 5011439-01521516, DATED MAY 20, 2016.
    - LOT SPLIT & CONSOLIDATION FOR TECHNOLOGY RECOVERY GROUP, RECORDED IN VOL. 386, PG. 29 C.C.M.R.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES FIELD WORK COMPLETED DURING THE MONTH OF AUGUST, 2022.
  - UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE. THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
  - ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
  - UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
  - PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
  - THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
  - THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF EARTH-MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS AT THE TIME OF THE FIELD SURVEY.

LAKE ROAD OFFICE BUILDING | Site Demolition Plan



LEGEND

PROPERTY LINE

STRUCTURE TO BE REMOVED

LINEAR STRUCTURE TO BE DEMOLISHED

DENOTES LIMIT OF SAWCUT

CLEARING AND GRUBBING

CONCRETE DEMO

GRASS/PAVEMENT DEMO

ASPHALT DEMO

VEGETATION TO REMAIN

XX

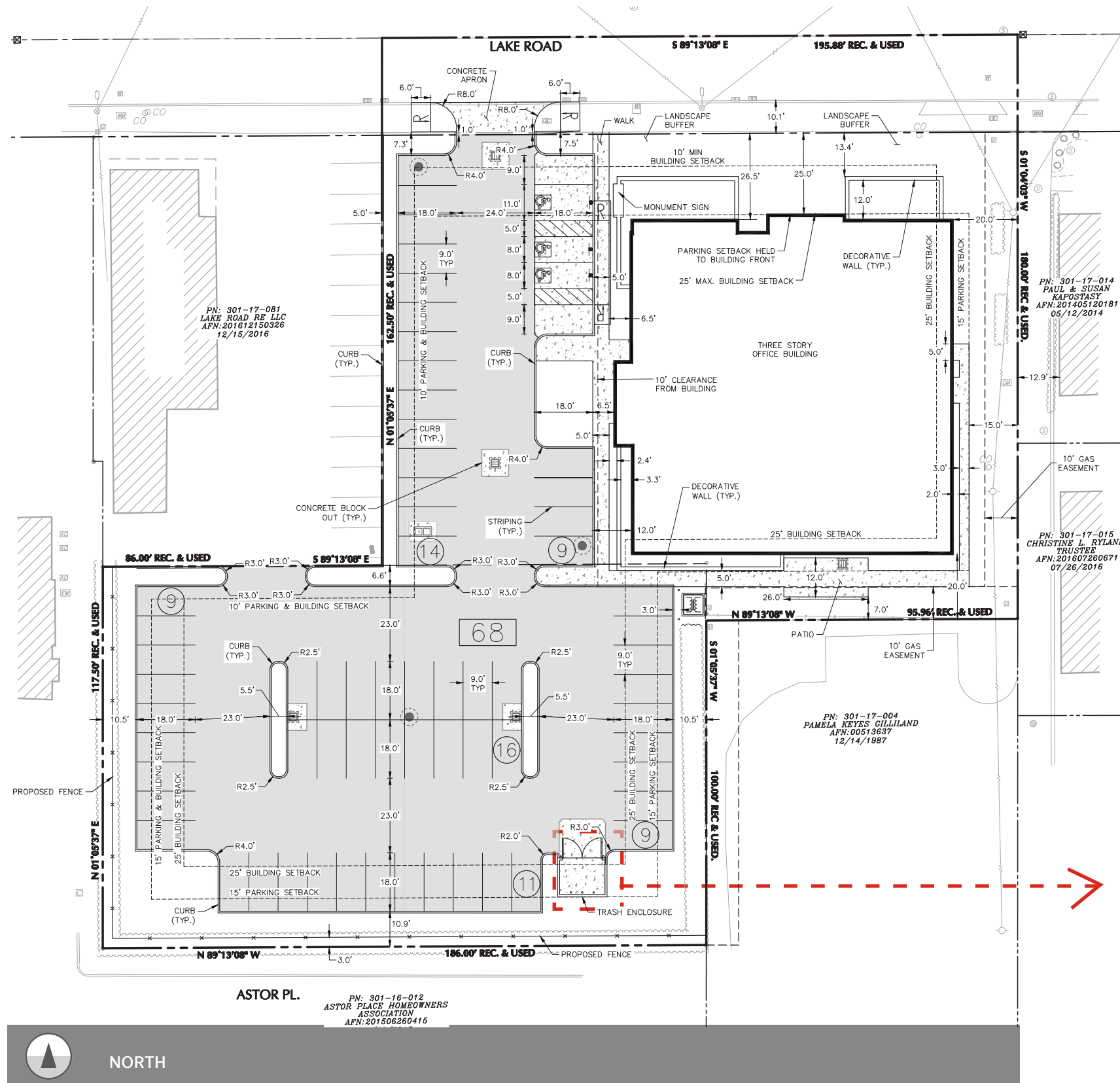
XX L.F.±

DEMOLITION NOTE

1. ALL SURFACE UTILITY STRUCTURES, NOT INDICATED TO BE REMOVED SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION

NORTH

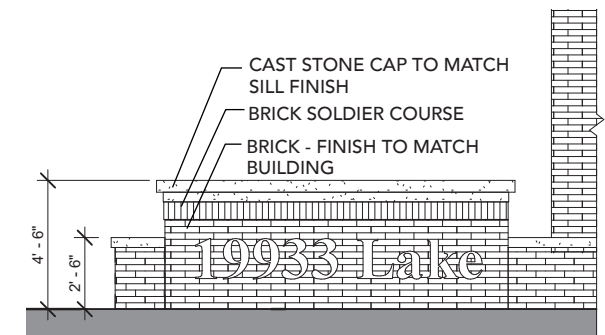
# LAKE ROAD OFFICE BUILDING | Site Plan



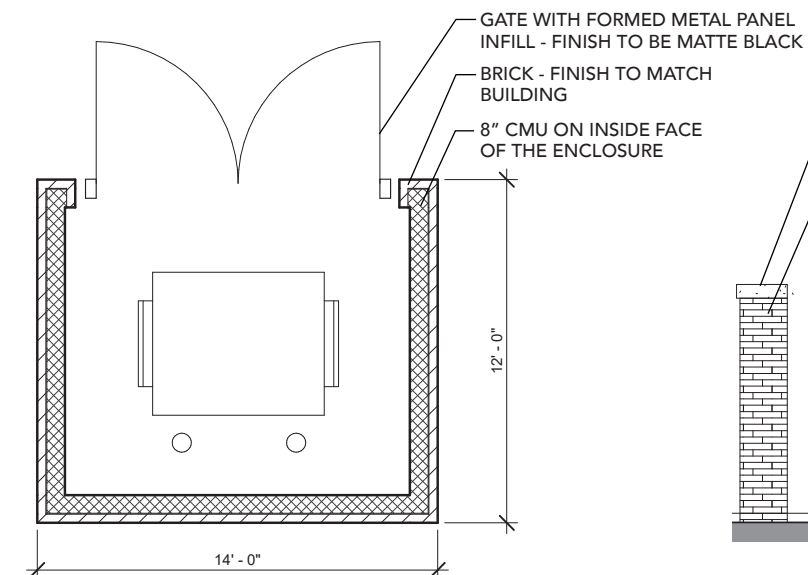
| LEGEND                         |  |
|--------------------------------|--|
| PROPERTY LINE                  |  |
| R.O.W. LINE                    |  |
| EASEMENT LINE                  |  |
| BUILDING LINE                  |  |
| DOOR LOCATION                  |  |
| CURB LINE                      |  |
| PARKING SPACE COUNT            |  |
| OVERALL PARKING SPACE COUNT    |  |
| CONCRETE PAVEMENT              |  |
| STANDARD DUTY ASPHALT PAVEMENT |  |
| FENCE                          |  |
| CATCH BASIN                    |  |
| STORM MANHOLE                  |  |
| HANDICAP SPACE                 |  |



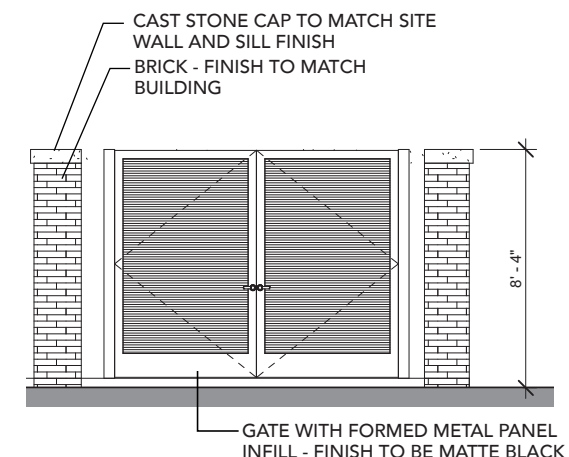
**SITE FENCE - METAL 6'-0" H FENCE**  
FINISH



### SITE WALL AND MONUMENT SIGN

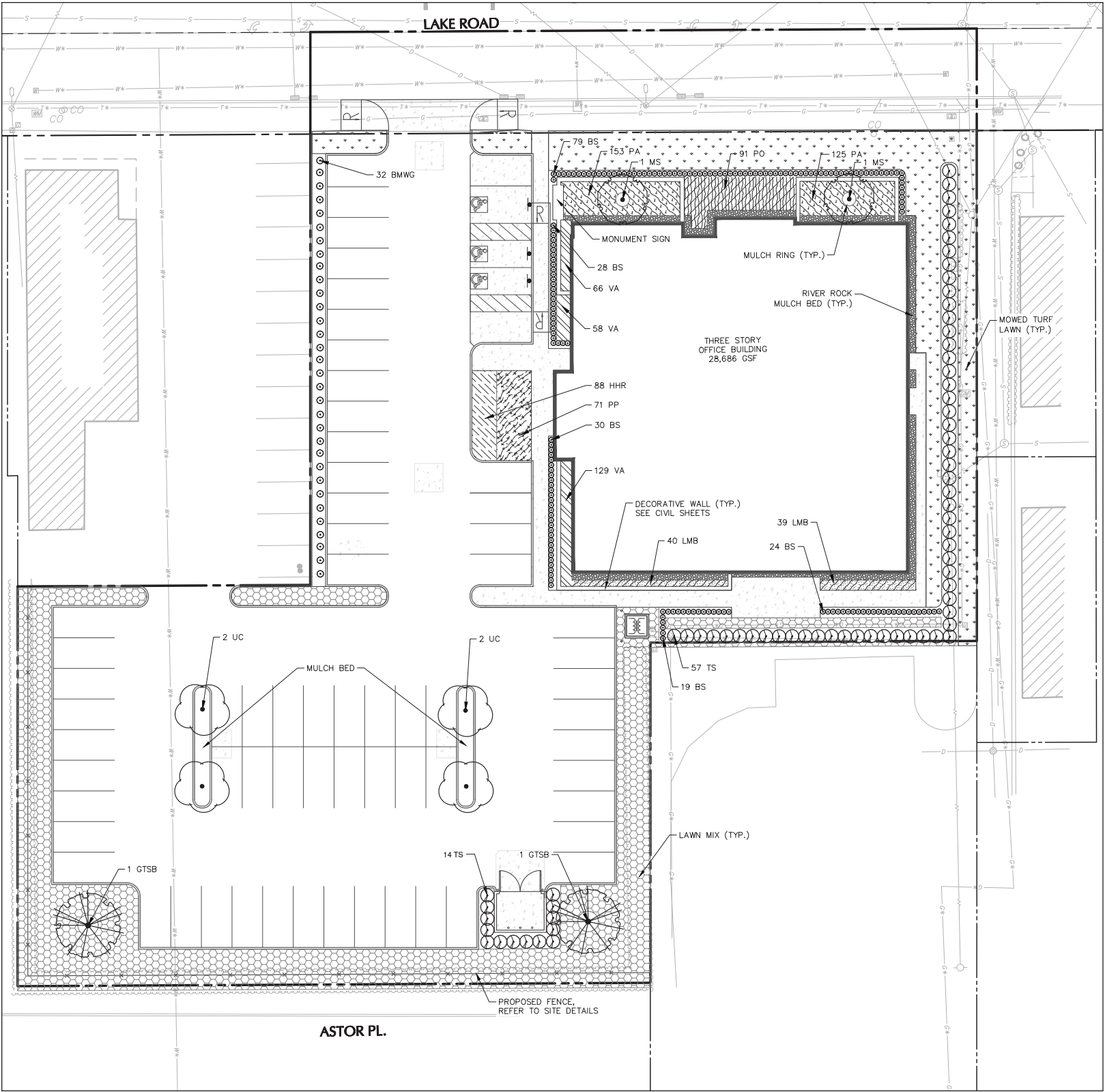


## TRASH ENCLOSURE ENLARGED PLAN



### TRASH ENLOSURE NORTH ELEVATION

LAKE ROAD OFFICE BUILDING | Landscape Plan



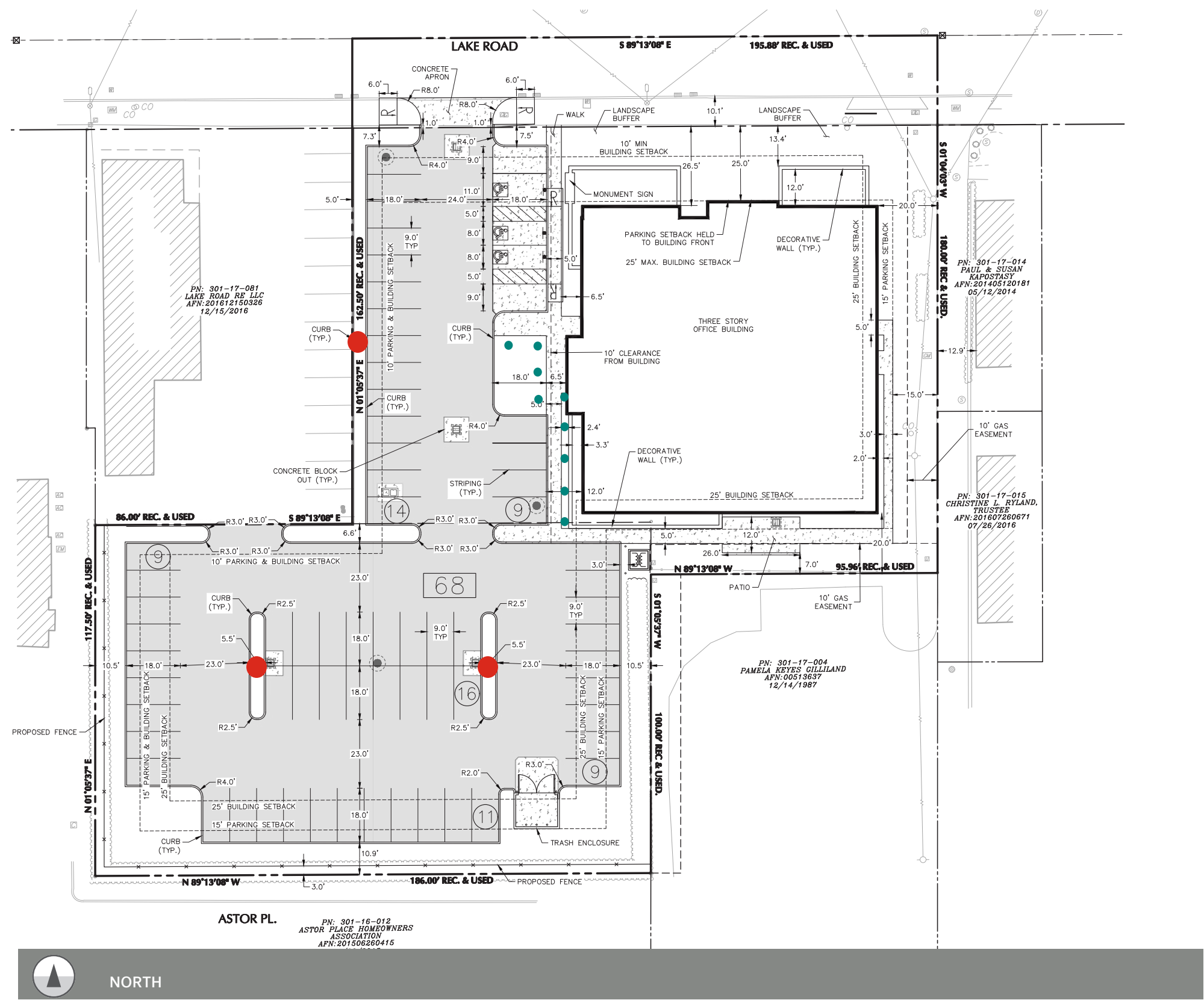
| PLANT SCHEDULE   |     |                                                                       |               |             |
|------------------|-----|-----------------------------------------------------------------------|---------------|-------------|
| DECIDUOUS TREES  | QTY | BOTANICAL / COMMON NAME                                               | SIZE          | NOTES       |
| GTSB             | 2   | GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST      | 2 1/2-3" CAL. |             |
| UC               | 4   | ULMUS X 'FRONTIER' / FRONTIER ELM                                     | 2 1/2-3" CAL. |             |
| FLOWERING TREES  | QTY | BOTANICAL / COMMON NAME                                               | SIZE          | NOTES       |
| MS               | 2   | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE                         | 10-12' HT.    | SINGLE STEM |
| EVERGREEN SHRUBS | QTY | BOTANICAL / COMMON NAME                                               | SIZE          | NOTES       |
| BMWG             | 32  | BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD | 5 GAL.        |             |
| BS               | 180 | BUXUS SEMPERVIRENS 'SUFFRUTICOSA' / SUFFRUTICOSA COMMON BOXWOOD       | 5 GAL.        |             |
| TS               | 71  | THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE               | 5' HT.        |             |
| GROUND COVERS    | QTY | BOTANICAL / COMMON NAME                                               | SIZE          | SPACING     |
| HHR              | 88  | HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY                | 2 GAL.        | 18" o.c.    |
| LMB              | 79  | LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF                        | 2 GAL.        | 18" o.c.    |
| PA               | 278 | PACHYSANDRA AXILLARIS / PACHYSANDRA                                   | 2 GAL.        | 18" o.c.    |
| PO               | 91  | PENNISETUM ORIENTALE / ORIENTAL FOUNTAIN GRASS                        | 2 GAL.        | 24" o.c.    |
| PP               | 71  | PENNISETUM ALOPECUROIDES 'PIGLET' / PIGLET DWARF FOUNTAIN GRASS       | 2 GAL.        | 24" o.c.    |
| VA               | 253 | VINCA MINOR 'ATROPURPUREA' / WINE PERIWINKLE                          | 2 GAL.        | 12" o.c.    |

LAWN MIX

MOWED TURF LAWN



LAKE ROAD OFFICE BUILDING | Lighting Plan



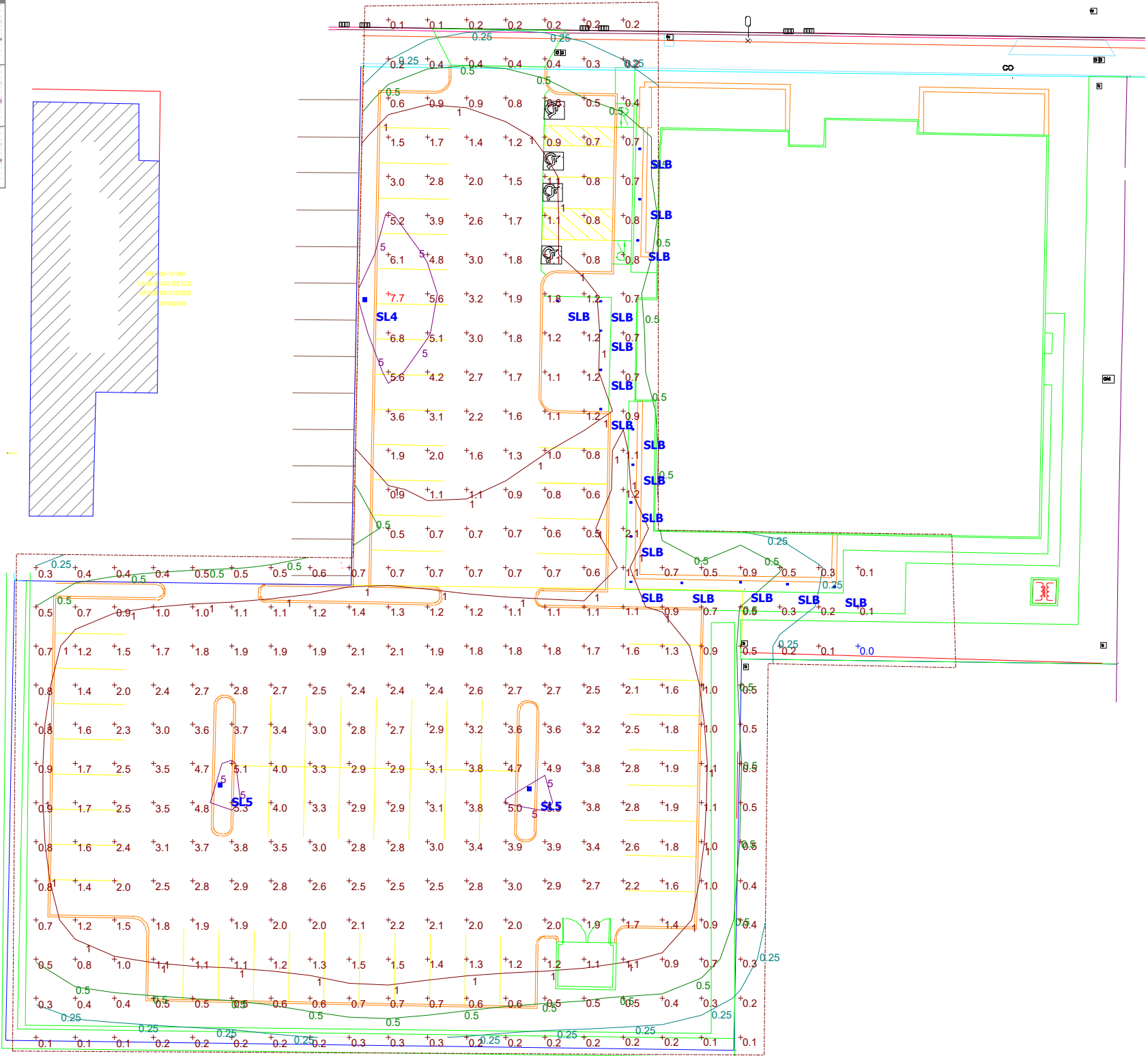
McGraw-Edison - GLEON Galleon



Rincon Pathway Bollard - 8'-0" O.C.

LAKE ROAD OFFICE BUILDING | Site Photometrics

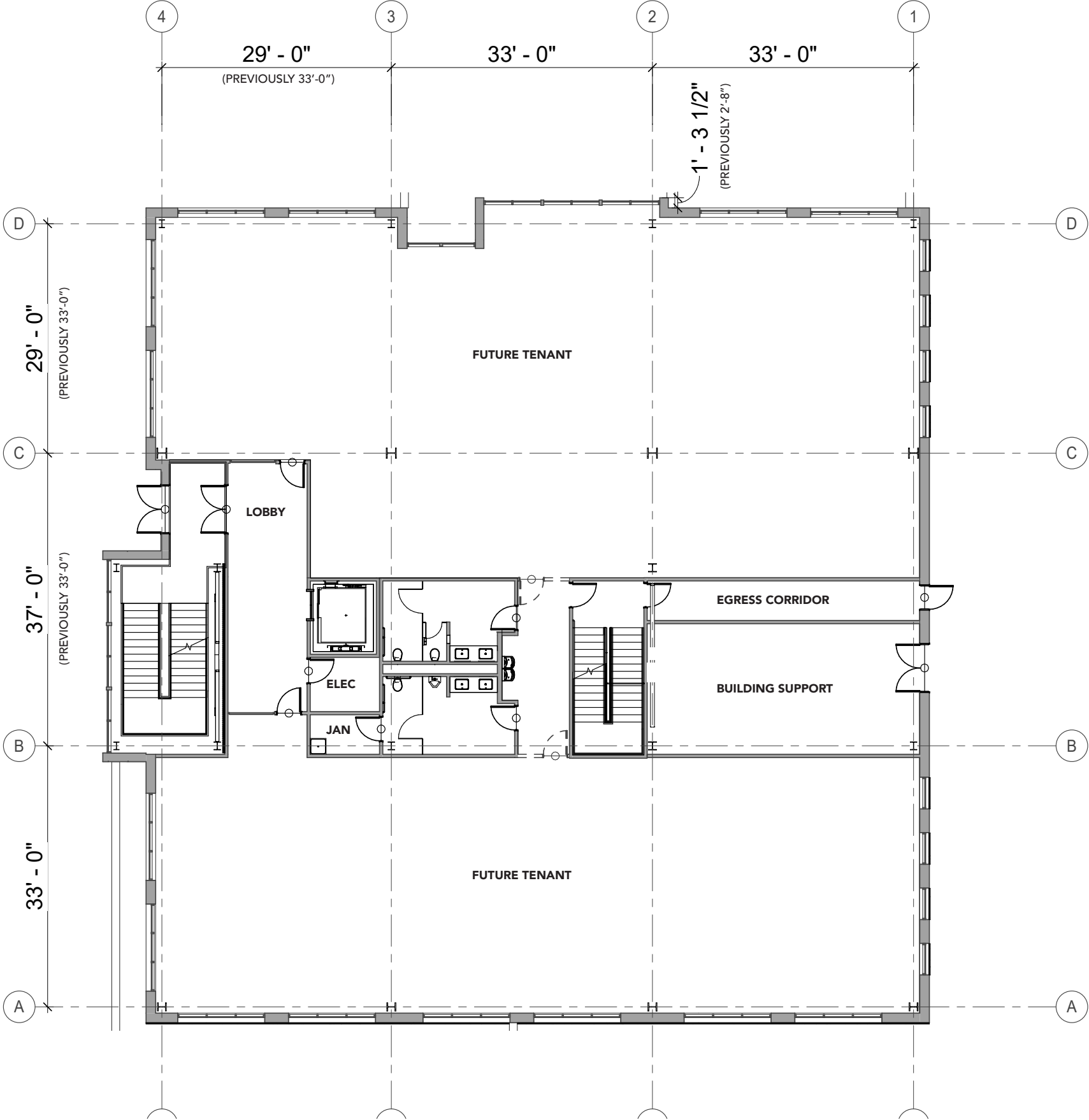
| Photometric Data |       |       |          |                                                          |                      |                                                                                                                                      |              |                 |                   |         |
|------------------|-------|-------|----------|----------------------------------------------------------|----------------------|--------------------------------------------------------------------------------------------------------------------------------------|--------------|-----------------|-------------------|---------|
| Symbol           | Label | Image | Quantity | Manufacturer                                             | Catalog Number       | Description                                                                                                                          | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage |
|                  | SL5   |       | 2        | COOPER LIGHTING SOLUTIONS - MCGRAW-HILL (FORMERLY EATON) | GLEON-SA4B-740-U-SM2 | GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE V MEDIUM OPTICS                  | 64           | 378             | 0.9               | 171     |
|                  | SLB   |       | 17       | Forma+Surfaces                                           |                      | Rincon Pathway Bollard                                                                                                               | 32           | 50              | 0.9               | 14.56   |
|                  | SL4   |       | 1        | COOPER LIGHTING SOLUTIONS - MCGRAW-HILL (FORMERLY EATON) | GLEON-SA4B-740-U-SL4 | GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS | 64           | 342             | 0.9               | 171     |



NORTH

03

**FLOOR PLANS**



FIRST FLOOR PLAN

10,293 Gross Construction Square Feet  
(Previously 10,338 GSF)  
2,268 SF Building/Floor Service Area  
7,878 SF Occupant Area (Previously 7,923 SF)

BUILDING TOTAL

27,446 Gross Construction Square Feet  
(Previously 27,581 GSF)

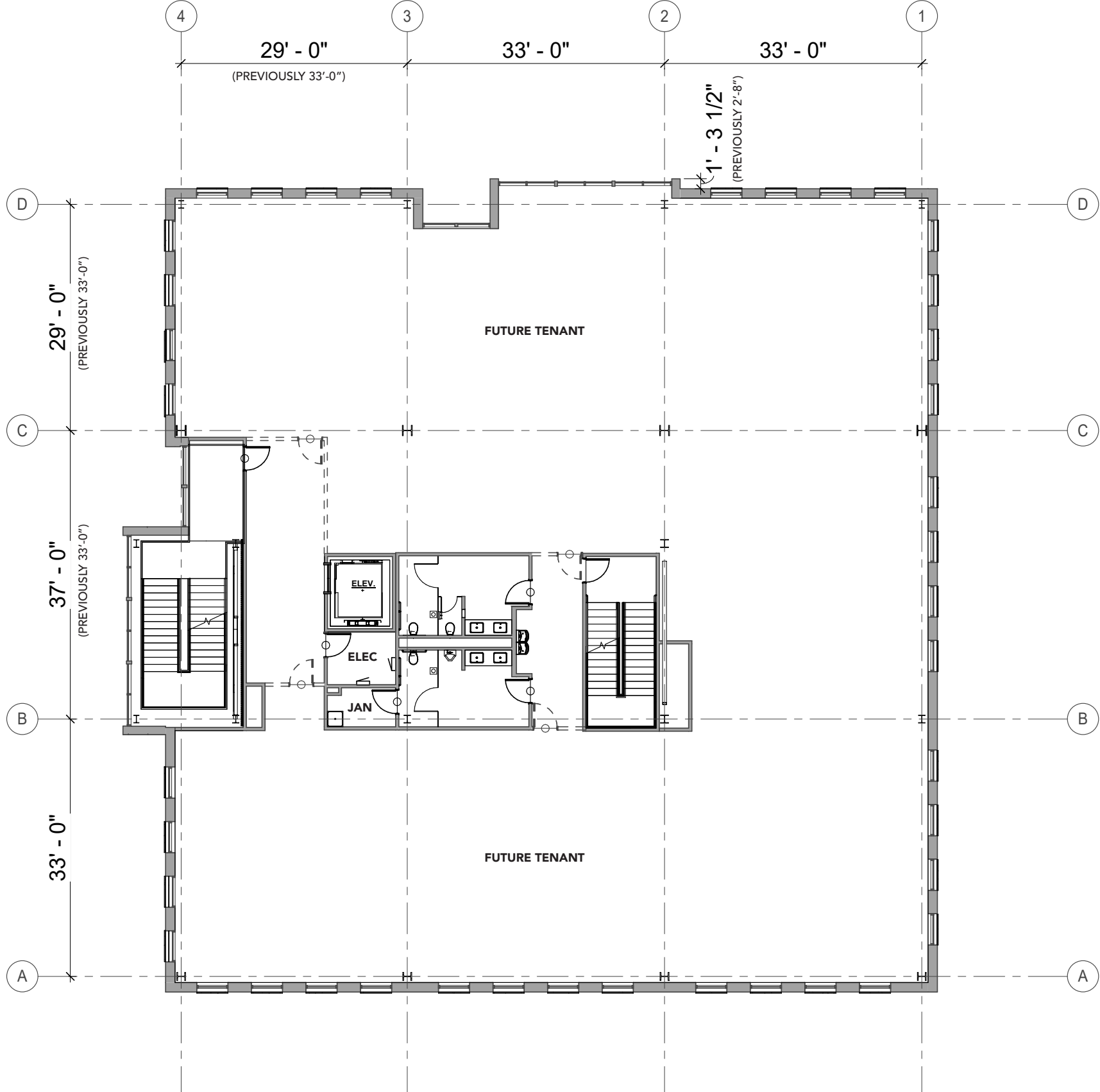
Note:  
**Gross Construction SF** is calculated to the exterior face of exterior wall.

**Gross Interior SF** is calculated to the interior face of the dominant exterior wall and excludes vertical shafts. (This is used for BOMA calculations.)

**Building/Floor Service SF** includes building areas such as building lobby, upper floor elevator lobbies, restrooms, janitorial, electrical, corridors and building support.

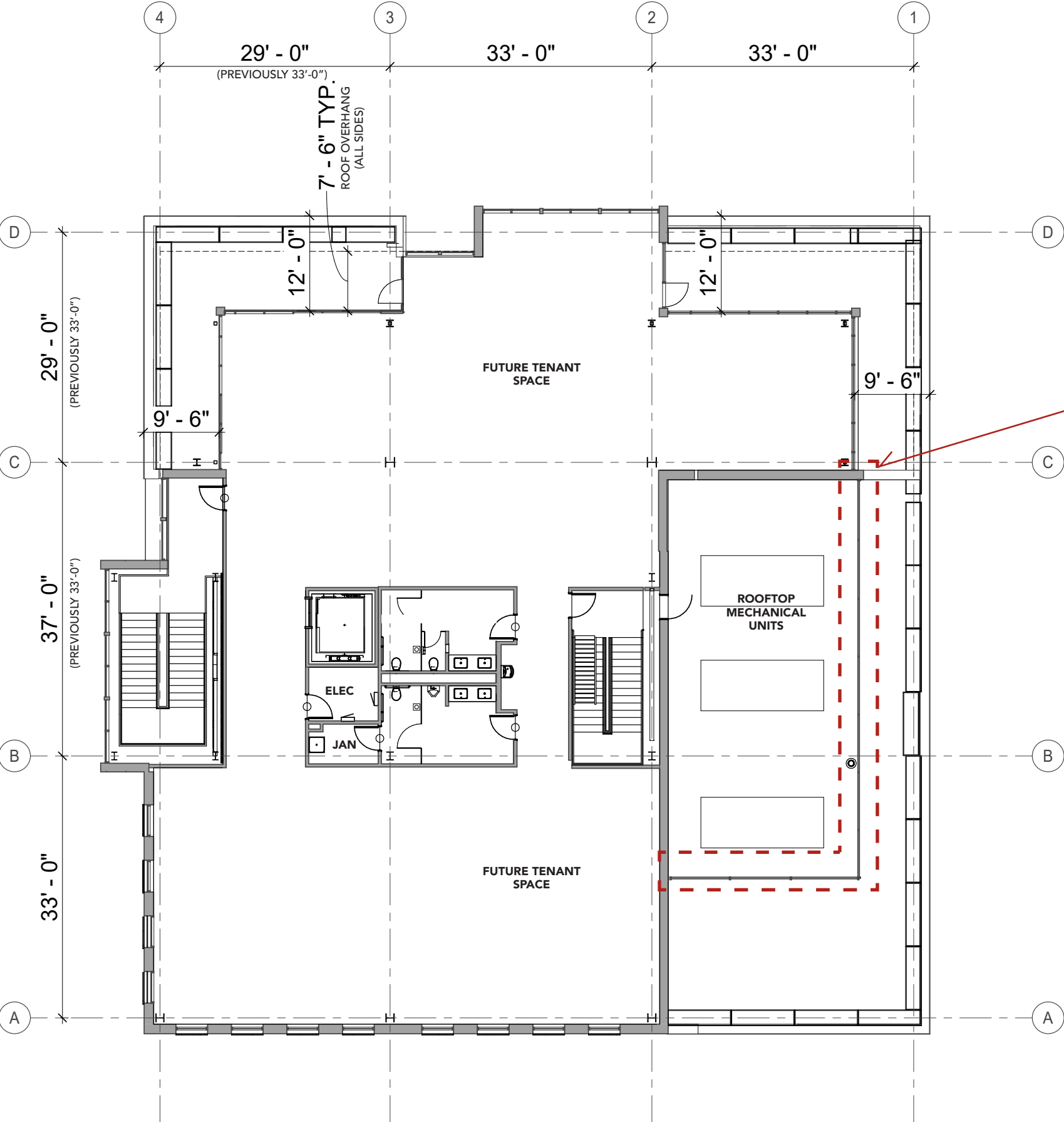
**Occupant Area** includes leasable areas.

Comprehensive BOMA calculations are recommended for final proforma analysis.



SECOND FLOOR PLAN

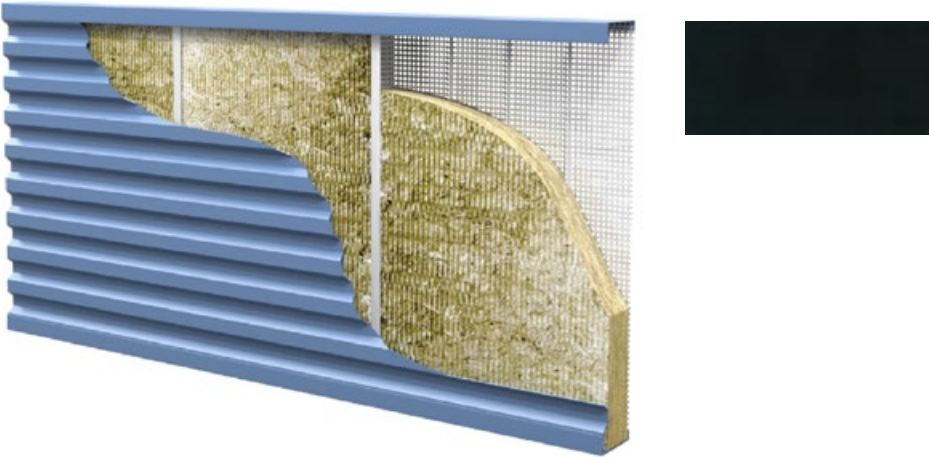
10,293 Gross Construction Square Feet  
(Previously 10,338 GSF)  
2,268 SF Building/Floor Service Area  
7,878 SF Occupant Area (Previously 7,923 SF)



THIRD FLOOR PLAN

6,860 Gross Square Feet (Previously 6,905 GSF)  
1,217 SF Building/Floor Service Area  
5,219 SF Occpant Area (Previously 5,264 SF)  
Excludes Terrace

Rooftop Mechanical Unit Screen  
Product: Roofscreen Soundguard Assembly  
Corrugated Metal Panel, Finish to be Matte black



04

**EXTERIOR DESIGN**





North Elevation (Lake Road)



East Elevation



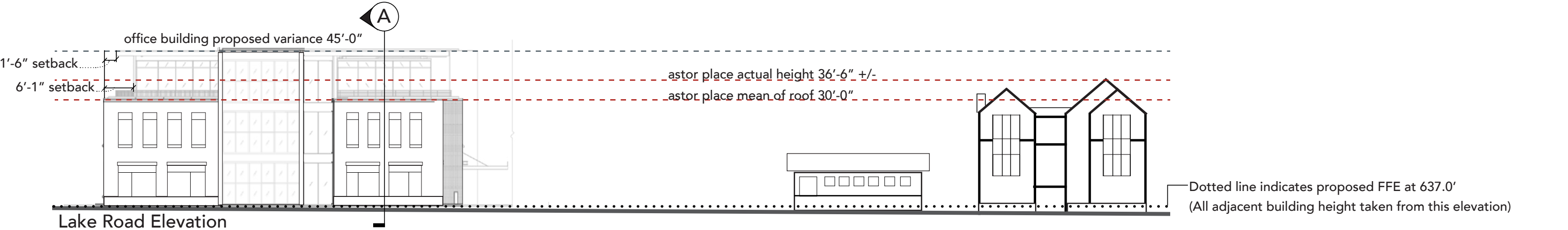
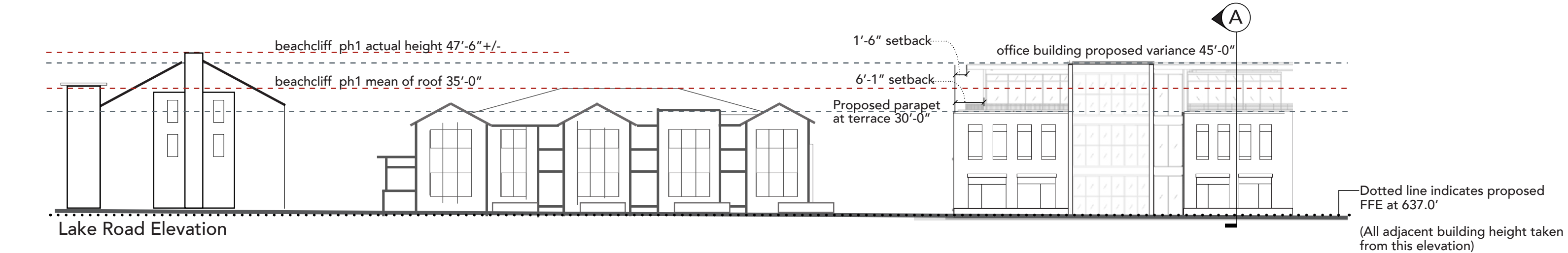
South Elevation



West Elevation (Main Entry)



LAKE ROAD OFFICE BUILDING | Lake Road Elevation | Height Comparisson to Adjacent Developments









**vocon.**

**LET YOUR  
SPACES SPEAK.**