



vocon.

19621 LAKE ROAD
COMMERCIAL OFFICE BUILDING DEVELOPMENT

MARCH 10, 2023

LAKE ROAD ROCKY RIVER LLC
19621 LAKE ROAD

EXISTING CONTEXT



--- PROPERTY LINE

AREA ZONED R-5

AREA ZONED LB

EXISTING CONTEXT



19537 Lake Road (East of Site)



North of site on Lake Road



19765 Lake Road (West of Site)



Beachcliff Row at intersection of Linda St. and Lake Road



Existing site from railroad tracks



1250 Linda Street - 3 story office use

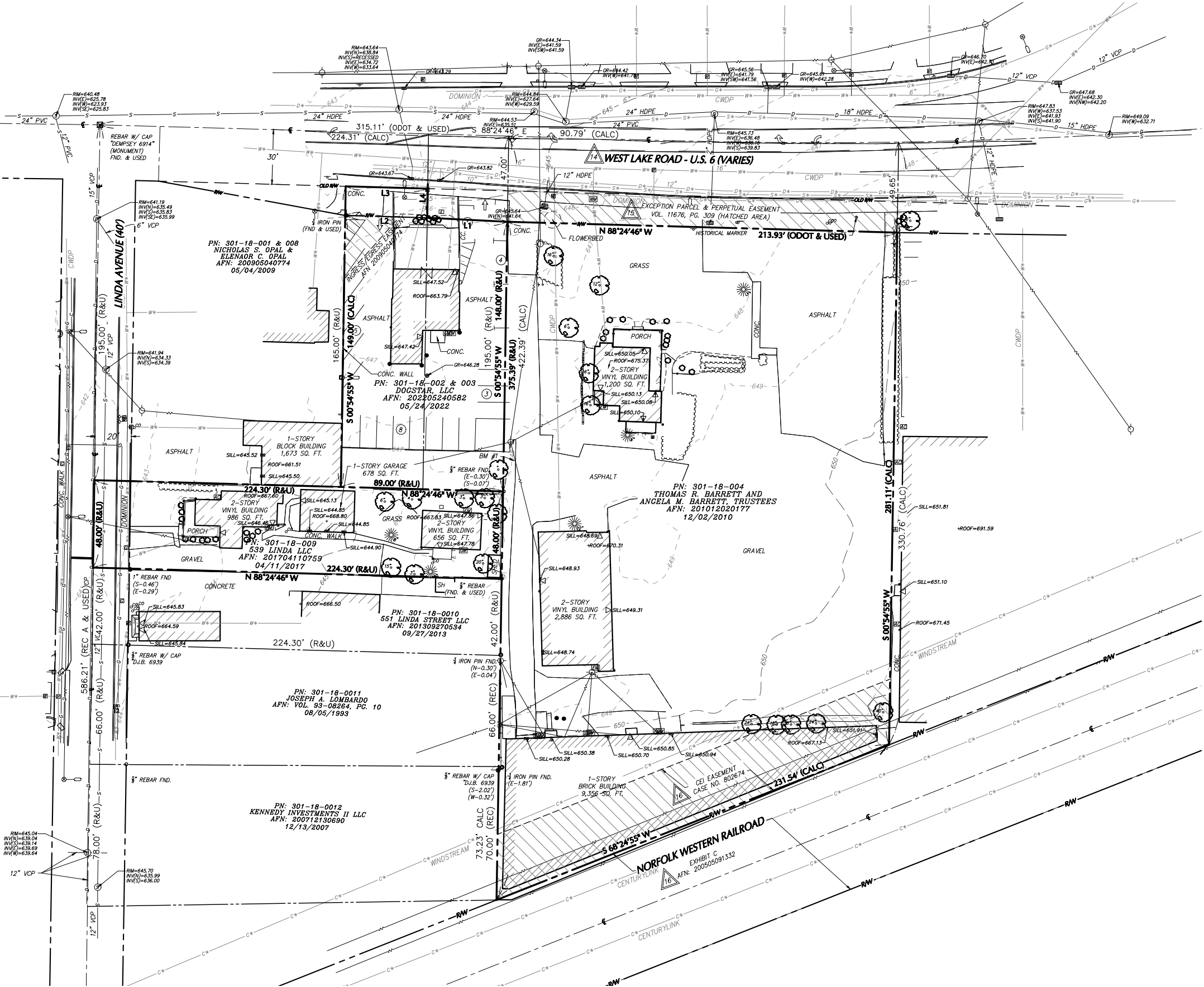


ROCKY RIVER, OHIO

- PROPERTY LINE
- AREA ZONED R-5
- AREA ZONED LB



EXISTING SURVEY



BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

DATUM

VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS OBSERVATIONS ON 01/12/23

BENCHMARK

BM 1 - PIN & CAP, ELEV=648.04
BM 2 - MAG NAIL, ELEV=648.63

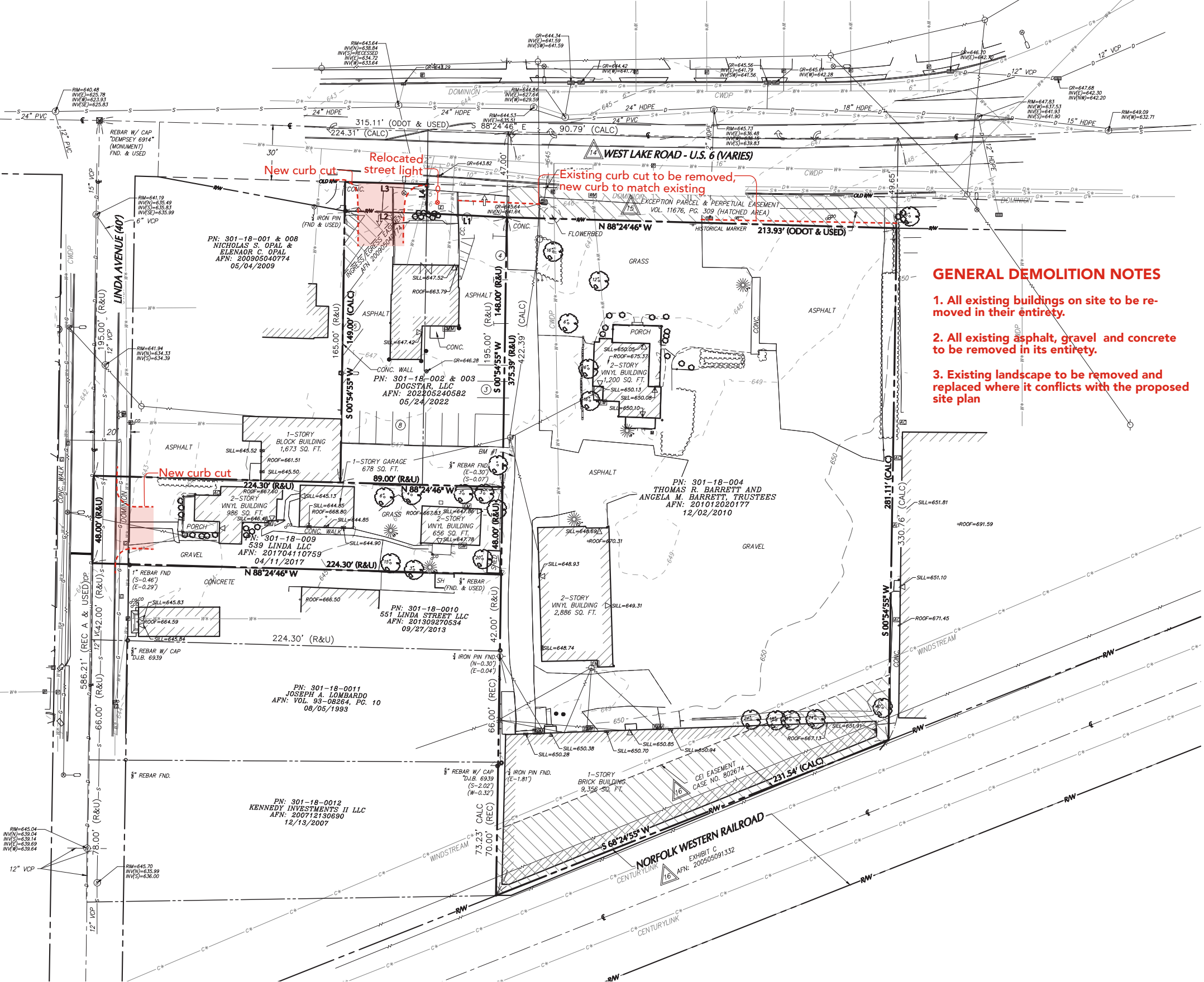
LEGEND

	MONUMENTATION FOUND (TYPE AS NOTED)		REC.		DEED OF RECORD
	SET 1" X 30" STEEL PIN WITH CAP "LANGAN"		AC.		ACRES
	SET DRILL HOLE		SQ. FT.		SQUARE FEET
	BOLLARD		PIW		PARCEL NUMBER
	STREET LIGHT		INST.		INSTRUMENT NUMBER
	POWER POLE		EP		EDGE OF PAVEMENT
	CLAY WIRE				SUBJECT PROPERTY LINE
	MANHOLE (TYPE AS LABELED)				ADJOINING PROPERTY LINE
	WATER VALVE				EASEMENT LINE
	GAS VALVE				TREE LINE
	UNKNOWN VALVE				GUIDE RAIL (TYPE AS NOTED)
	CATCH BASIN		ST-ST		STEAM LINE
	CLEAN OUT				OVERHEAD WIRE
	SIGN		COMB		COMBINED SEWER LINE
	ELECTRIC BOX		G		GAS LINE
	ELECTRIC METER		W		WATER LINE
	GAS METER		E		ELECTRIC LINE
	WATER METER		T		COMMUNICATION LINE
	TELEPHONE BOX		S		SANITARY LINE
	FENCE (TYPE AS NOTED)		D		DRAINAGE LINE
			X*		REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

NORTH



EXISTING SITE - PROPOSED DEMOLITION PLAN



BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

DATUM

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BENCHMARK

BM 1 - PIN & CAP, ELEV=648.04
BM 2 - MAG NAIL, ELEV=648.63

LEGEND (NOT SHOWN TO SCALE)

	MONUMENTATION FOUND (TYPE AS NOTED)	REC.	DEED OF RECORD
	SET 8" X 30" STEEL PIN WITH CAP "LANGAN"	AC.	ACRES
	SET DRILL HOLE	SQ. FT.	SQUARE FEET
	BOLLARD	PN	PARCEL NUMBER
	STREET LIGHT	INST.	INSTRUMENT NUMBER
	POWER POLE	EP	EDGE OF PAVEMENT
	GUY WIRE		SUBJECT PROPERTY LINE
	MANHOLE (TYPE AS LABELED)		ADJOINING PROPERTY LINE
	WATER VALVE		EASEMENT LINE
	GAS VALVE		TREE LINE
	UNKNOWN VALVE		GUIDE RAIL (TYPE AS NOTED)
	CATCH BASIN	ST-ST	STEAM LINE
	CLEAN OUT		OVERHEAD WIRE
	SIGN	COMB	COMBINED SEWER LINE
	ELECTRIC BOX	G	GAS LINE
	ELECTRIC METER	W	WATER LINE
	GAS METER	E	ELECTRIC LINE
	WATER METER	T	COMMUNICATION LINE
	TELEPHONE BOX	S	SANITARY LINE
	FENCE (TYPE AS NOTED)	D	DRAINAGE LINE
		X*	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

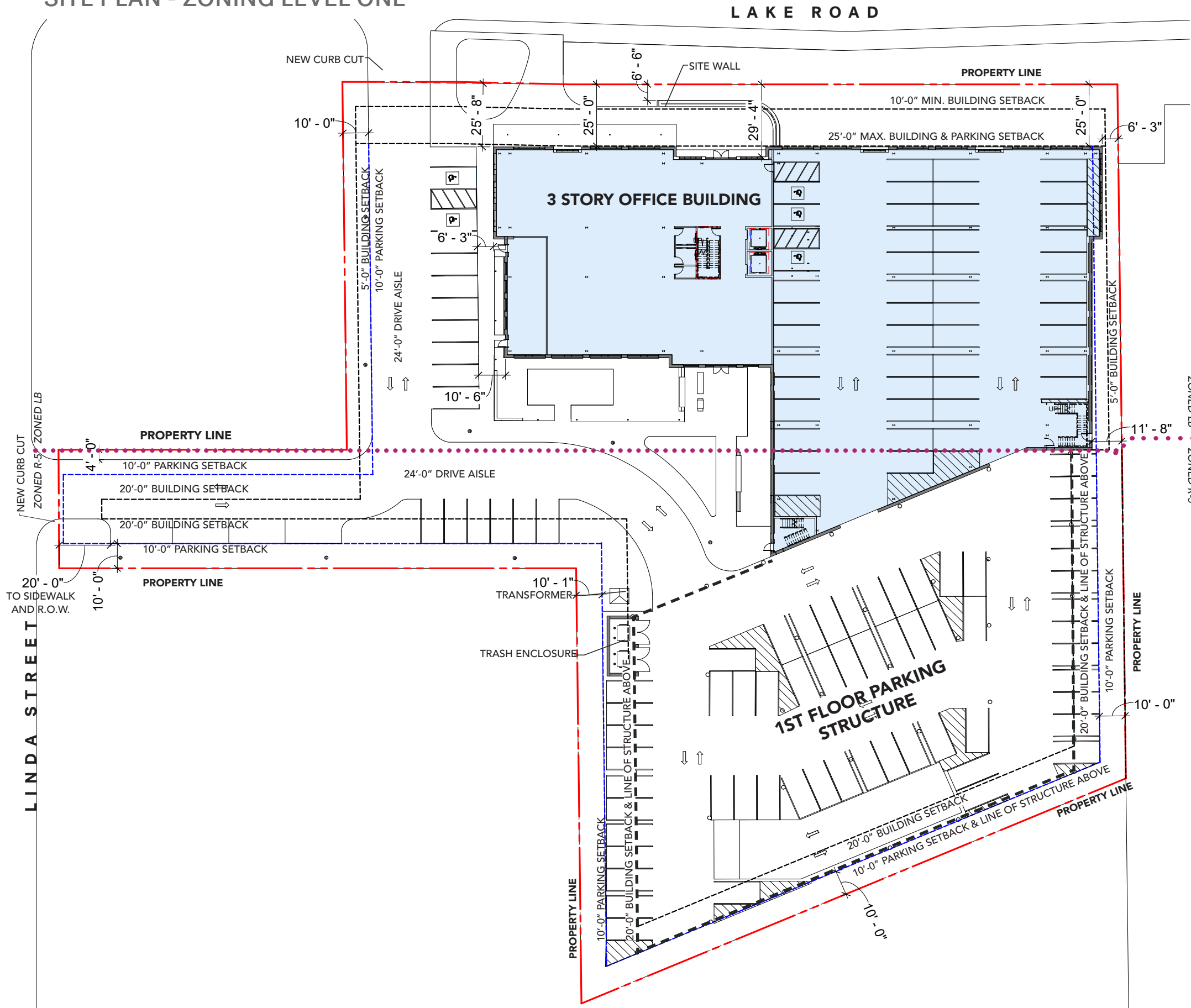
NORTH



GENERAL DEMOLITION NOTES

1. All existing buildings on site to be removed in their entirety.
2. All existing asphalt, gravel and concrete to be removed in its entirety.
3. Existing landscape to be removed and replaced where it conflicts with the proposed site plan

SITE PLAN - ZONING LEVEL ONE



DEVELOPMENT DATA
Three-Story Office Building & Parking Garage

Total Site Area	92,786 sf	
Office Building Footprint	26,864 sf	29%
Garage Footprint	23,721 sf	26%
Total Lot Coverage		55%
Total Impervious Surface	75,030 sf	81%
Total Gross Building Area	76,721 gsf	
Total Gross Office Area	59,005 gsf	
Total Gross Parking Structure	66,326 gsf	

Parking Required
178 spaces min at 3:1000
296 spaces max at 5:1000

Parking Provided
21 surface spaces
48 enclosed spaces in office building
59 spaces level one parking structure
57 spaces level two parking structure

185 spaces total (9'-0" x 18'-0" spaces)

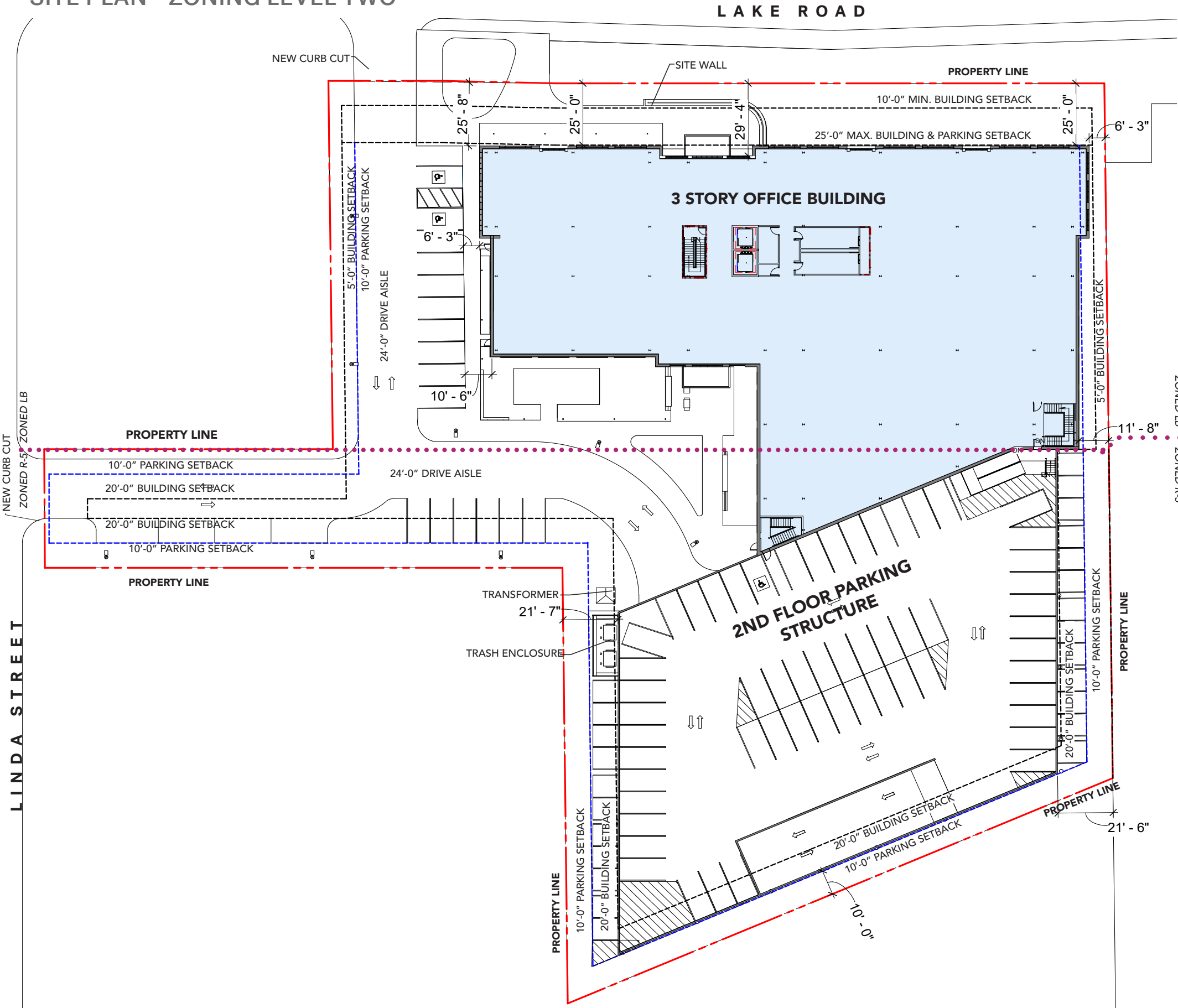
NORTH

PROPERTY LINE

BUILDING SETBACK

PARKING SETBACK

SITE PLAN - ZONING LEVEL TWO



DEVELOPMENT DATA
Three-Story Office Building & Parking Garage

Total Site Area	92,786 sf	
Office Building Footprint	26,864 sf	29%
Garage Footprint	23,721 sf	26%
Total Lot Coverage		55%
Total Impervious Surface	75,030 sf	81%
Total Gross Building Area	76,721 gsf	
Total Gross Office Area	59,005 gsf	
Total Gross Parking Structure	66,326 gsf	

Parking Required
178 spaces min at 3:1000
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NORTH

PROPERTY LINE

BUILDING SETBACK

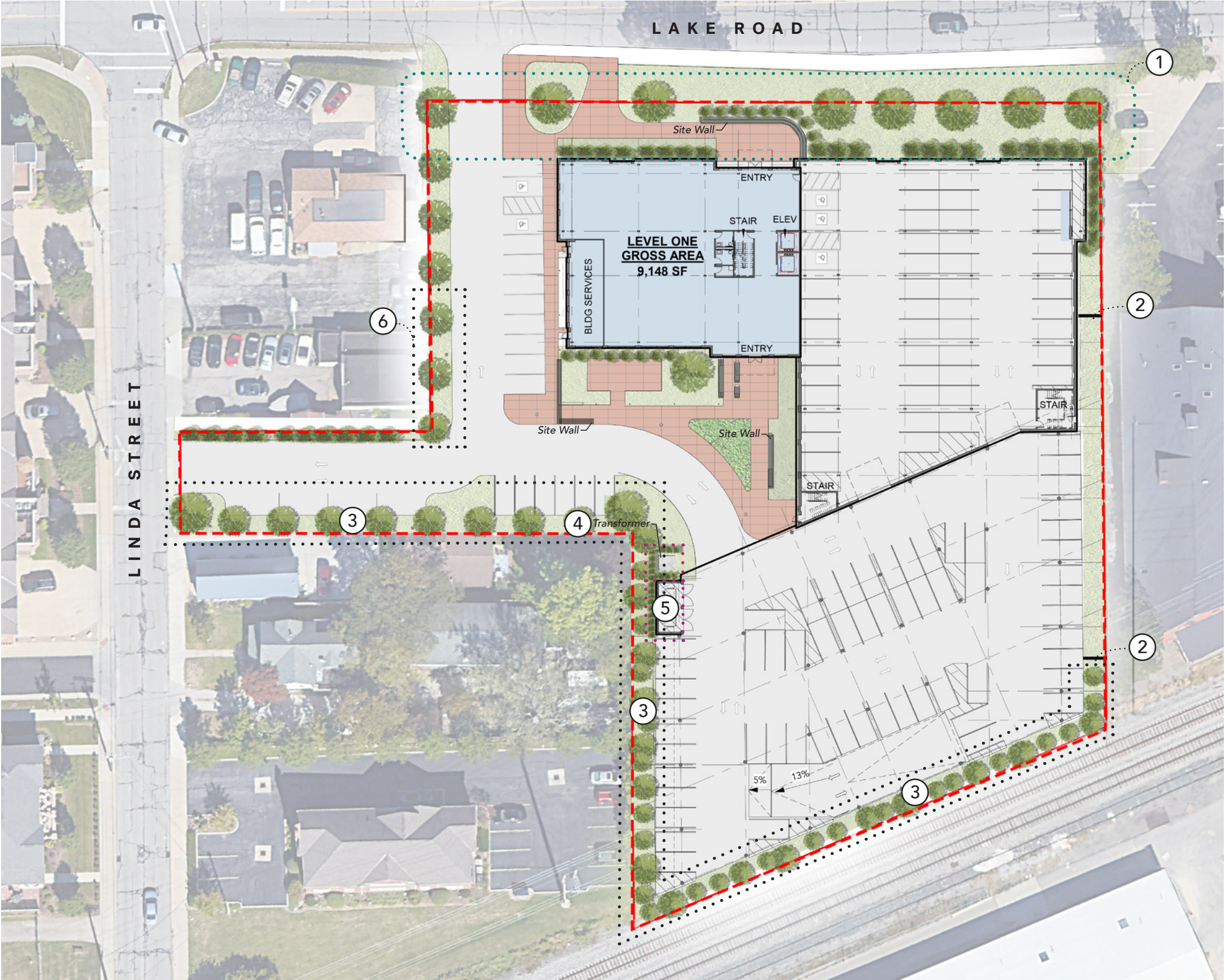
PARKING SETBACK

SITE PLAN - ZONING

Rocky River Codified Ordinances

Total Lot Area	93,870 SF	Deviation - Variance or Exception Required	
Total Building Coverage	50,512 SF		
Office Building Footprint	26,864 SF		
Parking Structure Footprint	23,721 SF		
Total Impervious Surface Coverage	75,030 SF		
	<u>Local Business (LB)</u>	<u>Multifamily Residential (R-5)</u>	<u>Proposed</u>
<u>Use Regulations</u>			
Office - Administrative, Business or Professional	Use Permitted	Not Permitted	4,375 Gross SF of Office Use on R-5 Zoned portion of lot
Off-Street Parking Facility (Section 1167.03)	Accessory Use	-	
Off-Street Parking Structure (Section 1157.03)	-	Conditional Use (See below)	Conditional Use
Off-Street Parking (Section 1157.03)	-	Accessory Use	
<u>Conditional Use - Parking Structure in R-5</u>			
Minimum Lot Size	-	2 Acres	2.15 Acres
Minimum Lot Width	-	200'-0"	214'-0"
<u>Lot Regulation</u>			
Minimum Lot Width	-	150'-0"	214'-0"
Max Coverage By Building	30%	40%	55% Lot coverage (for both office and parking)
Max Coverage by All Impervious Surfaces	-	75%	81% Lot coverage
<u>Building Setback Requirements</u>			
Min. Building Setback from Right-of-Way	10'-0 to 25'-0"	25'-0"	Proposed 25'-0"
Side lot line abutting non-residential district	5'-0"	-	11'-6" East; 55'-10" West
Min. Building Setback from boundry line abutting any district other than R-1 & R-2	-	20'-0"	Side yard 20'-0"; Rear setback 10'-0"
<u>Parking Setback Requirements</u>			
Min. Setback from Right-of-Way	Face of Principal Building	10'-0"	38'-0" (Face of Building at 25'-0")
Side and Rear lot line abutting non-residential district	10'-0"	10'-0"	10'-0"
Side and rear lot line abutting residential district	15'-0"	10'-0"	4'-1" North setback, all other setbacks comply
From Principal Building	10'-0"		6'-3" (west building face to surface parking)
<u>Height Requirements</u>			
Principal buildings or Structures	35'-0"	50'-0"	45'-0" (On LB Zoned portion of Lot)
<u>Off-Street Parking Regulations</u>			
Min. 3 spaces per 1000 SF of Floor Area	=	178 Spaces	
Max. 5 spaces per 1000 SF of Floor Area	=	296 Spaces	
Total		178-296 Spaces	185 spaces provided

SITE PLAN - LANDSCAPE PLAN



① Per section 1185.07
Three large deciduous trees per every 100 lineal feet
Twenty shrubs provided per every 100 lineal feet
All areas not devoted to planting to be covered with grass, groundcover or other live landscape treatment.

② Fenced in area between adjacent properties (6'-0" H)



③ Per section 1185.09 (b)
One large or two small shade trees for each 40 lineal feet

④ Per section 1185.13(b)
Ground mounted transformer to be screened by evergreen plant material so that within four years it is completely obscured from view.

⑤ Per section 1185.13(a)
Trash enclosure shall be enclosed on all sides by a solid wall atleast 1 foot higher tan the highest refuse container.

⑥ Per section 1185.11 - LB abbuts Residential
Dense vegetative planting incorporating trees and/or shrubs which will be equally effective in winter and summer.
Spacing of trees shall not exceed 12 feet on center
Screening should be a minimum of 6 feet high



SITE PLAN - LIGHTING PLAN



● McGraw-Edison
GLEON Galleon
14'-0"H



● BEGA Garden
27.5" H

○ Existing Street
Light to remain

● Street light to be
relocated



FLOOR PLAN - LEVEL 1



FLOOR PLAN - LEVEL 2



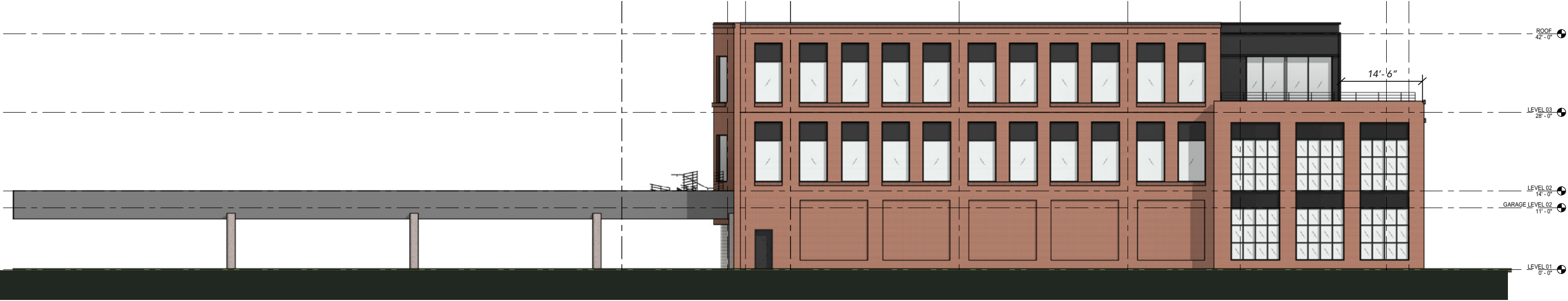
FLOOR PLAN - LEVEL 3



EXTERIOR ELEVATIONS



North Elevation



East Elevation

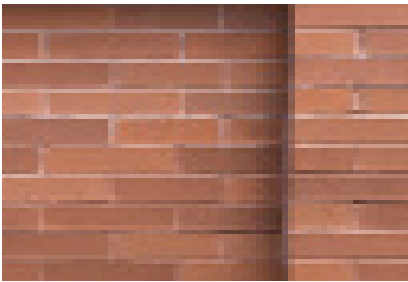
EXTERIOR ELEVATIONS



STOREFRONT - BLACK FINISH



FLUSH METAL PANEL - BLACK FINISH



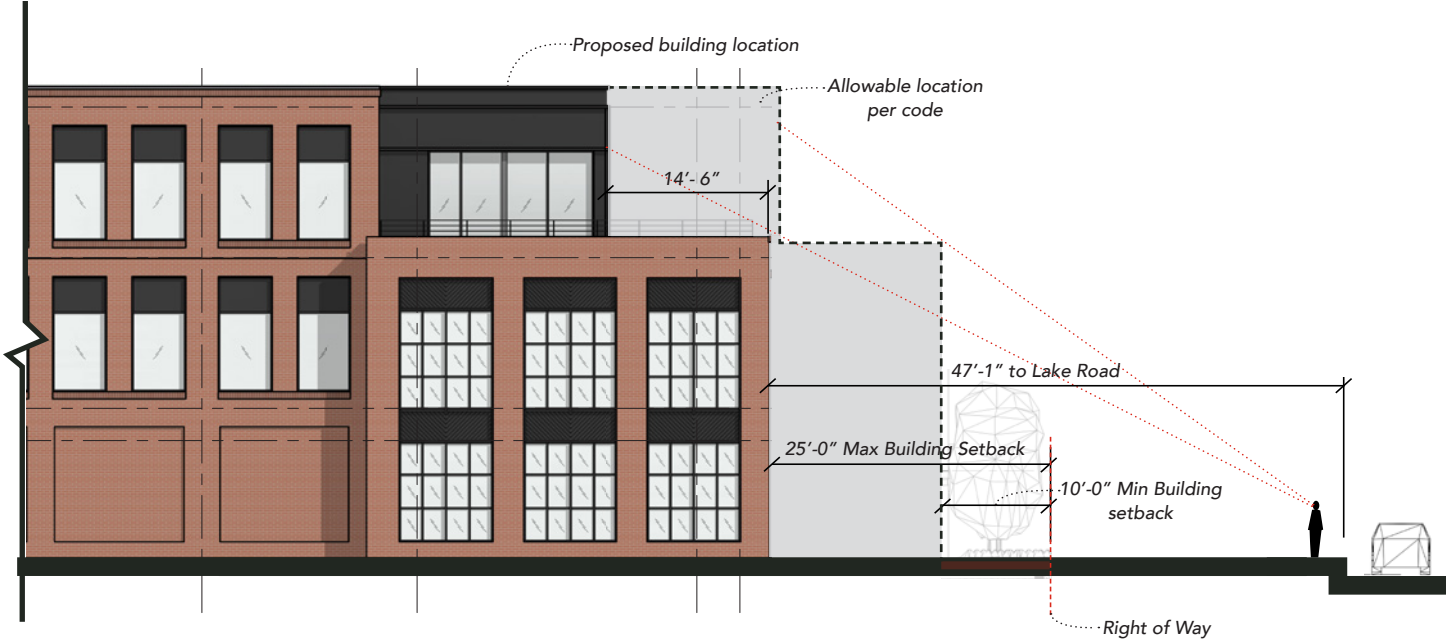
BRICK

South Elevation

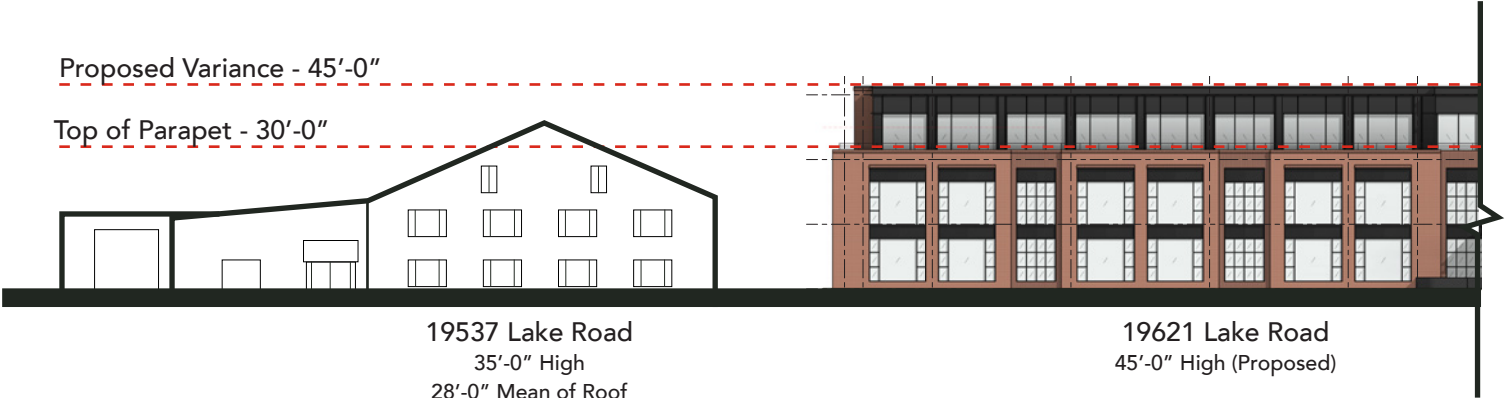


West Elevation

SITE CONTEXT - LAKE ROAD ELEVATION



Proposed Front Yard Setback (25'-0")



Elevation along Lake Road



EXTERIOR RENDERINGS - Northeast Corner



EXTERIOR RENDERINGS - Lake Road Entrance



EXTERIOR RENDERINGS - Northwest Corner

