

THE WEIDEMER RESIDENCE



ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800

CONTACT: CHAD M. COSTELLO

INTERIOR DESIGN

STELLA INTERIORS

P: 330.842.0810

CONTACT: ASHLEY PAUL

STRUCTURAL

LEWIN AND ASSOCIATES
4110 MAYFIELD ROAD, SOUTH EUCLID, OHIO
P: 216.291.3131

CONTACT: ISAAC LEWIN

CIVIL

BUILDER

OSTER SERVICES LLC
17415 NORTHWOOD AVENUE, LAKEWOOD OHIO
P: 440.652.8104

CONTACT: BRENNAN RICKETTS

Peninsula

www.pa-architects.com

1775 Main Street
Peninsula, Ohio 44264
T 330.657.2800

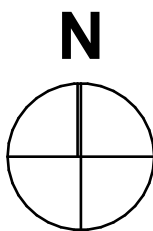
**PROGRESS
NOT FOR
CONSTRUCTION**

3/1/2023

PROJECT TEAM:



THE WEIDEMER RESIDENCE
21468 AVALON DRIVE, ROCKY RIVER, OHIO 44116



PROJECT #: 2105
ISSUE:
DD REVISIONS 03-01-2023

COVER SHEET

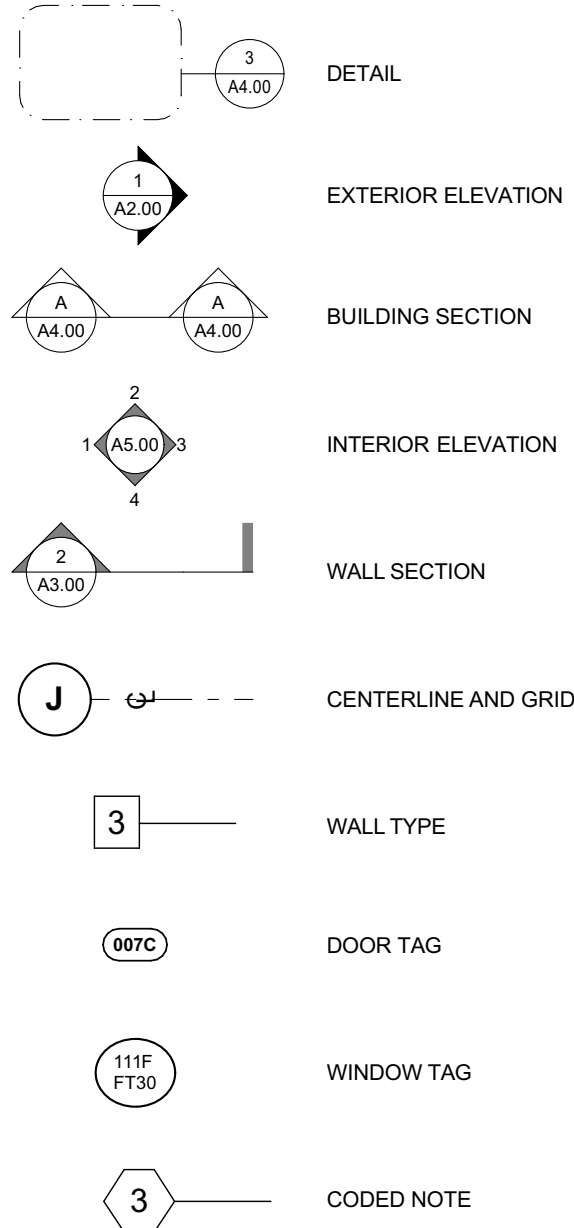
G1.00

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ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWL	HARDWARE
AF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND
ALJ	AUTHORITY HAVING JURISDICTION	HT	HEIGHT
ALUM	ALUMINUM	INSUL	INSULATION
APPROX.	APPROXIMATELY	JST	JOIST
ARCH	ARCHITECTURAL	LAM	LAMINATED
ASPH	ASPHALT	LF	LINEAR FOOT
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MATL	MATERIAL
BRG	BEARING	MECH	MECHANICAL
BOTT	BOTTOM	MFG.	MANUFACTURER
BTW	BETWEEN	MIN	MINIMUM
CF	CUBIC FEET	MISC	MISCELLANEOUS
CIP	CAST IN PLACE	MC	MOUNTED
CJ	CONTROL JOINT	MTD	MASONRY OPENING
CLG	CEILING	MTL	METAL
CLR	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CONC	CONCRETE	O	OVER
CO	CLEAN OUT	O.C.	ON CENTER
CONT	CONTINUOUS	OPN	OPENING
DBL	DOUBLE	PREFAB	PREFABRICATED
DEPT	DEPARTMENT	PLYWD	PLYWOOD
DIA	DIAMETER	P. LAM	PLASTIC LAMINATE
DN	DOWN	PR	PAIR
DR	DOOR	PSI	POUNDS PER SQUARE INCH
DS	DOWNSPOUT	REF	REFERENCE
DTL	DETAIL	RM	ROOM
DWG	DRAWING	REQ	ROUGH OPENING REQUIRED
E	EACH	SC	SOLID CORE
ELEC	ELECTRICAL	SECT	SECTION
EQ	EQUAL	SH	SIMILAR
EXH	EXHAUST	STRUC	STRUCTURAL
EXIST	EXISTING	TYP	TYPICAL
EXP	EXPOSED	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	WI	WITH
FD	FLOOR DRAIN	WWF	WELDED WIRE FABRIC
FDN	FOUNDATION		
FIN	FINISHED		
FIR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP	GYPSUM BOARD		
GYP	GYPSUM		

SYMBOLS



MATERIALS LEGEND

	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK

PROJECT GENERAL NOTES

CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:

BUILDING CODE 2012 OF OHIO (IBC 2012 + AMENDMENTS)
RESIDENTIAL CODE 2012 OF OHIO (IRC 2012 + AMENDMENTS)
MECHANICAL CODE 2012 OF OHIO
ENERGY CONSERVATION CODE 2012 OF OHIO
NFPA 70 - NATIONAL ELECTRICAL CODE 2014
2012 UNIFORM PLUMBING CODE

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

PROJECT INFORMATION

TWO STORY SINGLE FAMILY RESIDENCE

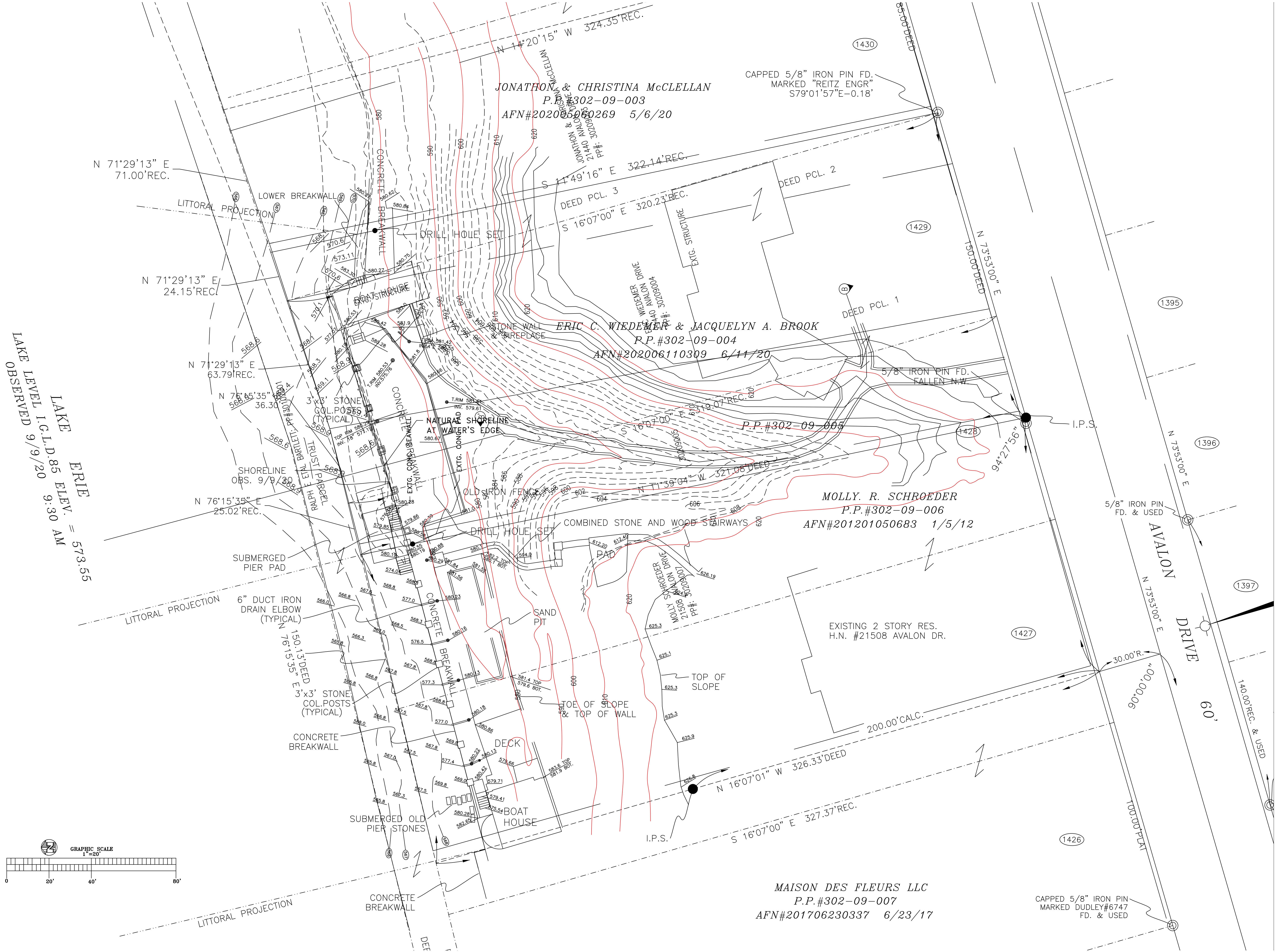
CITY: ROCKY RIVER
COUNTY: CUYAHOGA

SQUARE FOOTAGE	
FLOOR	AREA
FOUNDATION	1,585
FIRST FLOOR	3,108
SECOND FLOOR	918
	5,611 ft²

DRAWING INDEX

G1.00	COVER SHEET
C1.01	EXISTING CONDITIONS
C1.02	OVERALL SITE PLAN
C1.03	SITE PLAN
C1.04	SITE PLAN
C1.05	SWP3
C1.06	SWP3
C1.07	SWP3
C1.08	SWP3
AD1.00	DEMOLITION PLANS AND ELEVATIONS
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	ROOF PLAN
A2.01	BASEMENT REFLECTED CEILING PLAN
A2.02	FIRST FLOOR REFLECTED CEILING PLAN
A2.03	SECOND FLOOR REFLECTED CEILING PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A4.01	BUILDING SECTIONS
A4.02	BUILDING SECTIONS
* A5.01	WALL SECTIONS
A5.02	WALL SECTIONS
A5.03	WALL SECTIONS
A5.04	WALL SECTIONS
A5.05	WALL SECTIONS
A5.06	WALL SECTIONS

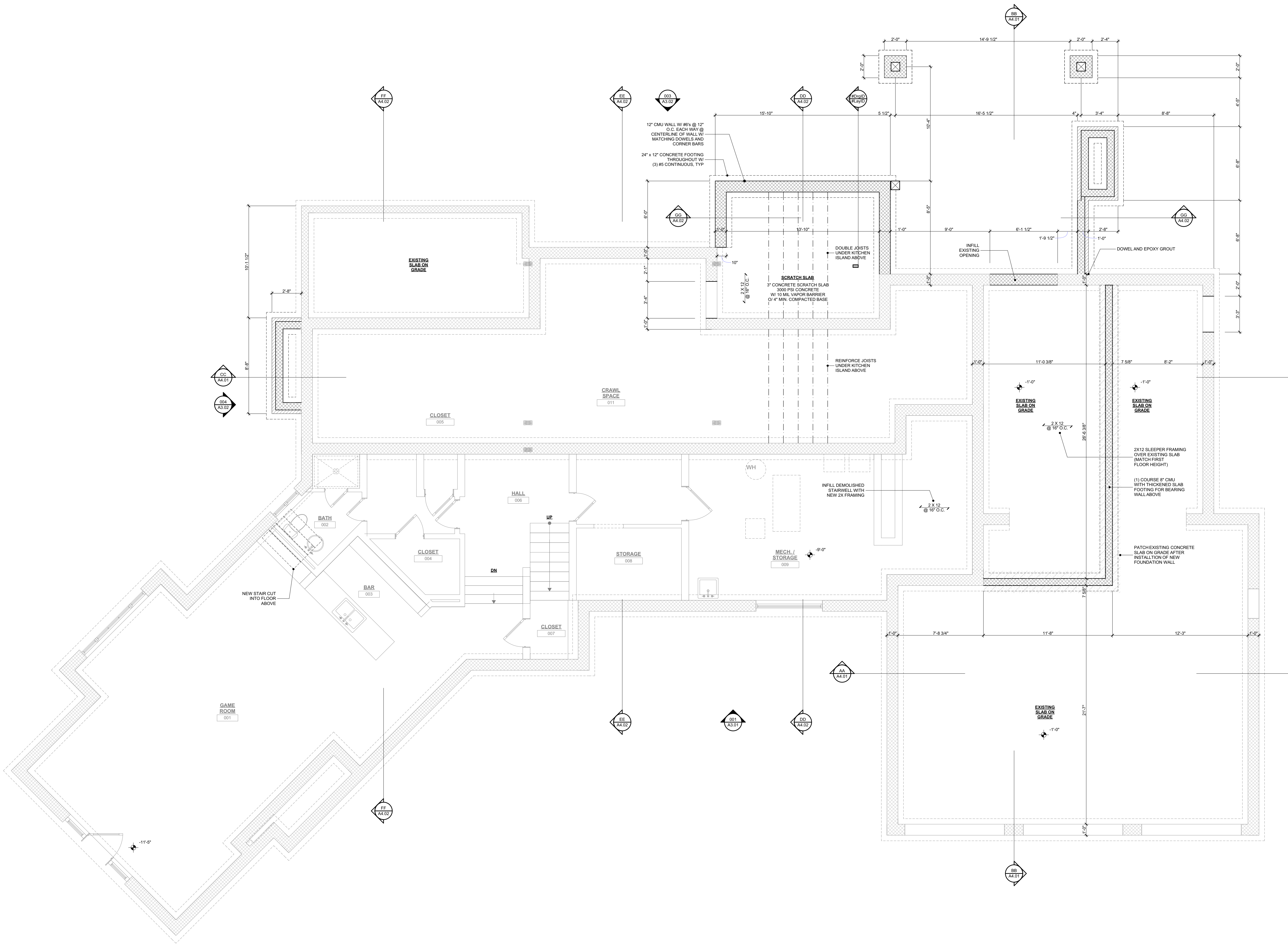
* INDICATES DRAWINGS TO BE PRINTED IN COLOR TO SHOW CORRECT THERMAL AND WEATHER BARRIER DESIGN INTENT



1

EXISTING SURVEY AND TOPO

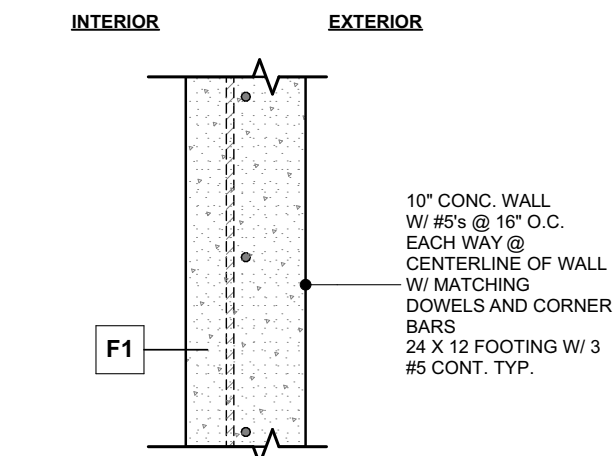
SCALE: 1" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



GENERAL NOTES

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCCING AT ALL POINT LOAD LOCATIONS

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.

INDICATES LOCATION OF POINT LOAD ABOVE

COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR

STEEL LINTEL SCHEDULE

PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L3 1/2 x 3 1/2 x 1/4 FOR OPENINGS UP TO 4'-0"

L3 1/2 x 2 1/8 FOR OPENINGS FROM 4'-1" TO 5'-0"

L6 x 3 1/2 x 5/16 FOR OPENINGS FROM 5'-1" TO 7'-0"

W1 15 MIN 5/16 PLATE FOR OPENINGS FROM 7'-1" TO 10'-0"

FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS, ALLOW FOR MINIMUM BEAM WEIGHT OF 36 PLF PLUS A 5/16" x 11" BOTTOM PLATE

ALL LINTELS SHALL BEAR ON 2" OF SOLID MASONRY, UNO.

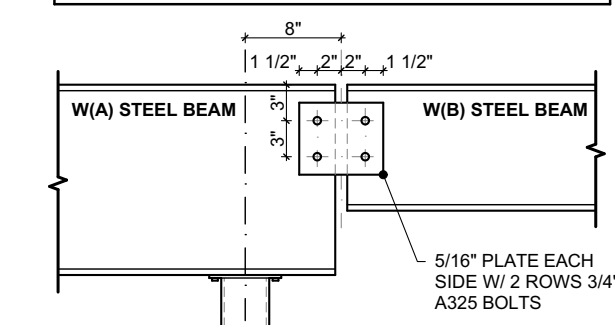
USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16"

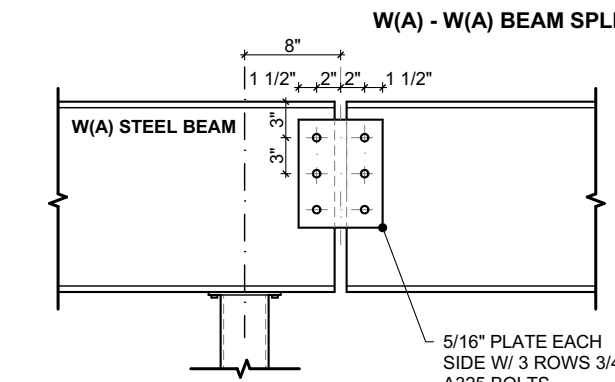
ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS TO BE HOT DIPPED GALVANIZED.

FOR MULTI WYTHE WALLS WITH AIR SPACES, CONTRACTORS IS TO INCLUDE OR ADDITIONAL ANGLES, PLATES, AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.

BEAM SPLICE DETAILS



W(A) - W(B) BEAM SPLICE



FOUNDATION PLAN GENERAL NOTES

COLUMN & FOOTING SCHEDULE

A 3" STD WEIGHT (7.6 PLF) STEEL COLUMN W/ 1/2" CAP AND BASE PLATE W/ 1/2" BOLTS AT EACH PLATE FOOTING TO BE 3/4" x 24" x 12" W/ (4) # 5 EACH WAY

FLOOR JOIST CRITERIA

16" FLOOR TJ

TCL = 40 PSF

TCL = 10 PSF - STRUCT - 25PSF - TILE

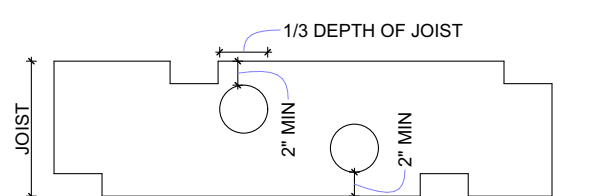
BCCG = 10PSF

ELL = LWB

ATL = LABO

FLANGES IN TJ JOIST OR TRUSSES SHALL NOT BE DRILLED OR NOTCHED UNDER ANY CIRCUMSTANCES.

SUBSTITUTION CHART:	
LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(3) 12" LVL	W10 x 17
(3) 14" LVL	W12 x 18
(3) 16" LVL	W14 x 22
(3) 18" LVL	W16 x 26
(2) 16" LVL W/ 1/2" PL	W16 x 28
(2) 18" LVL W/ (2) 1/2" PL	W18 x 40



SECTION 502.5

NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.

HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OR THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION 502.6

ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN SIX INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

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Peninsula, Ohio 44264
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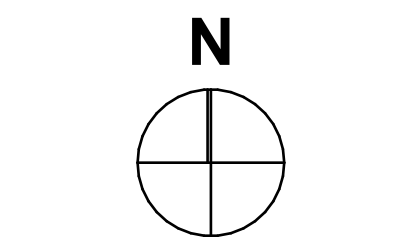
3/10/2023

PROJECT TEAM:

P PENINSULA
ARCHITECTS

THE WEIDEMER RESIDENCE

21468 AVALON DRIVE, ROCKY RIVER, OHIO 44116



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FOUNDATION PLAN

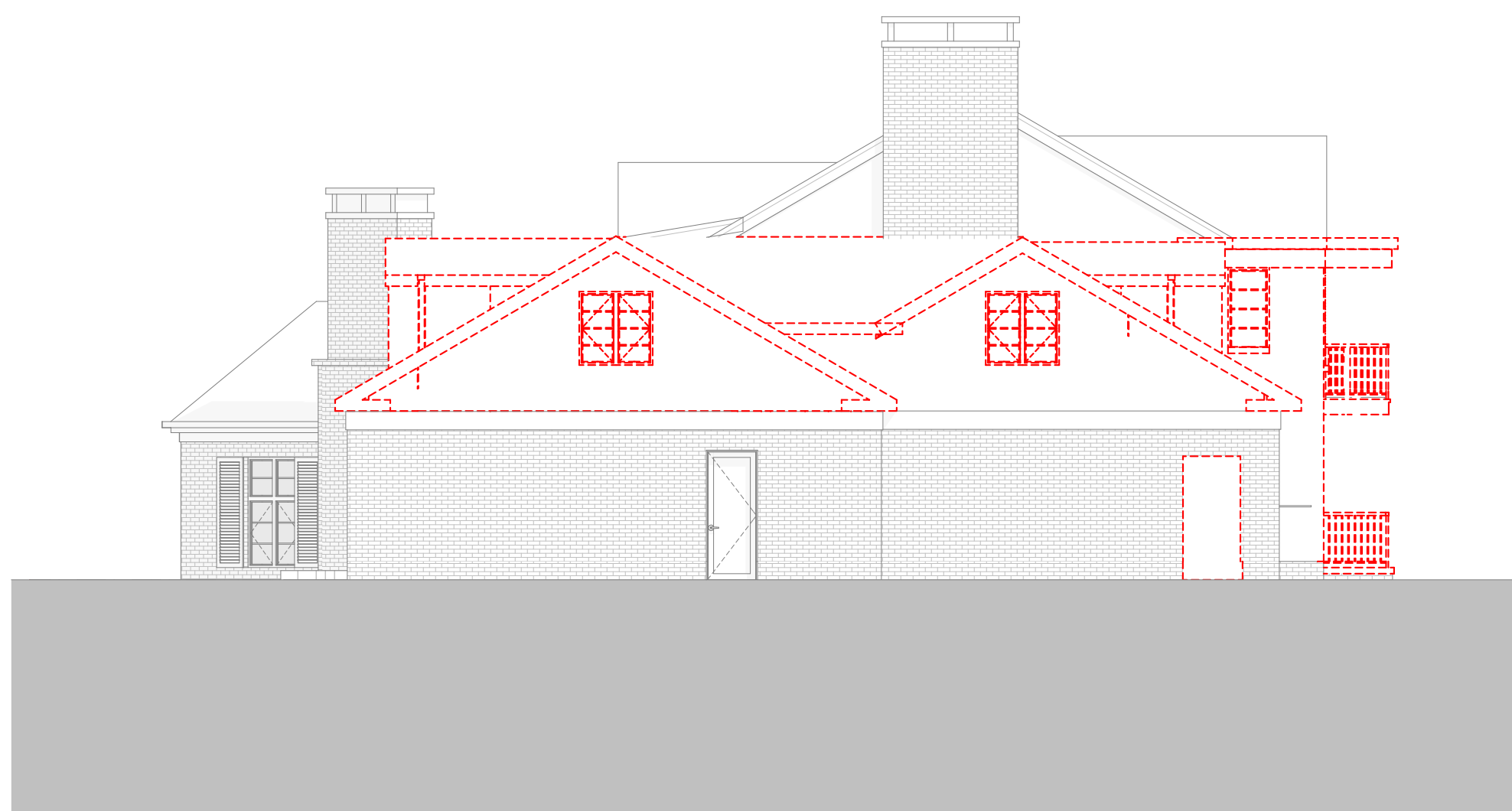
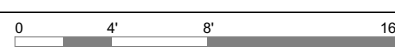
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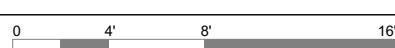
A FRONT ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



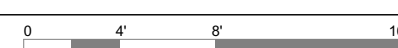
B GARAGE SIDE ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



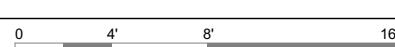
C SIDE ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



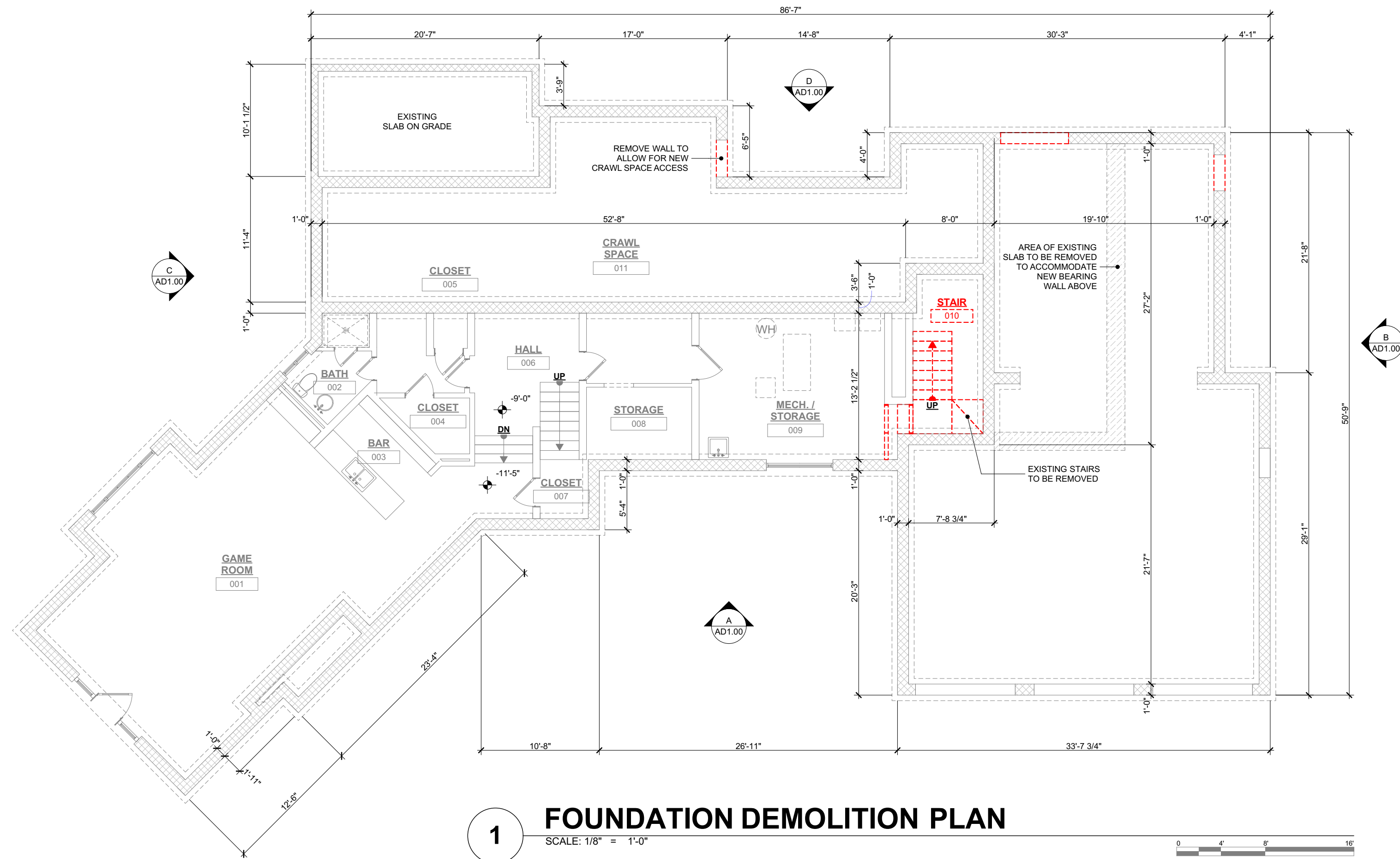
D REAR ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



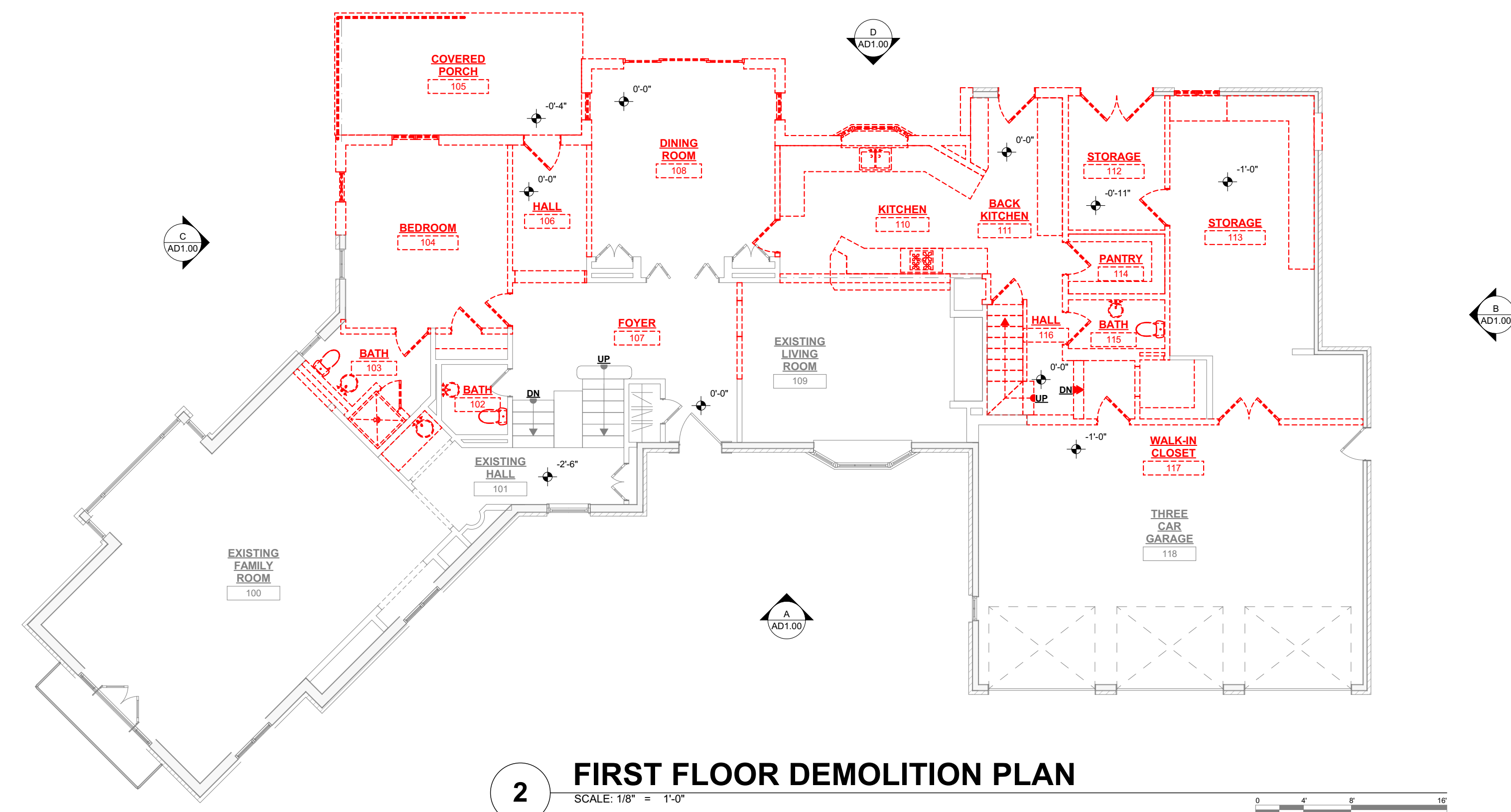
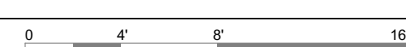
DEMOLITION GENERAL NOTES

ITEMS TO BE REMOVED SHOWN DASHED, TYPICAL
WHERE WINDOWS AND DOORS TO BE REMOVED, INFILL WALLS WITH
FINISHES TO MATCH SURROUNDING AREAS
COORDINATE WITH FLOOR PLANS FOR NEW DOOR AND WINDOW
OPENINGS
PROVIDE TEMPORARY SHORING FOR FLOOR AND ROOF FRAMING TO
REMAIN
PERFORM PARTIAL WALL DEMOLITION IN ORDER TO ACCOMMODATE NEW
HEADERS, BEAMS, AND POSTS/COLUMNS



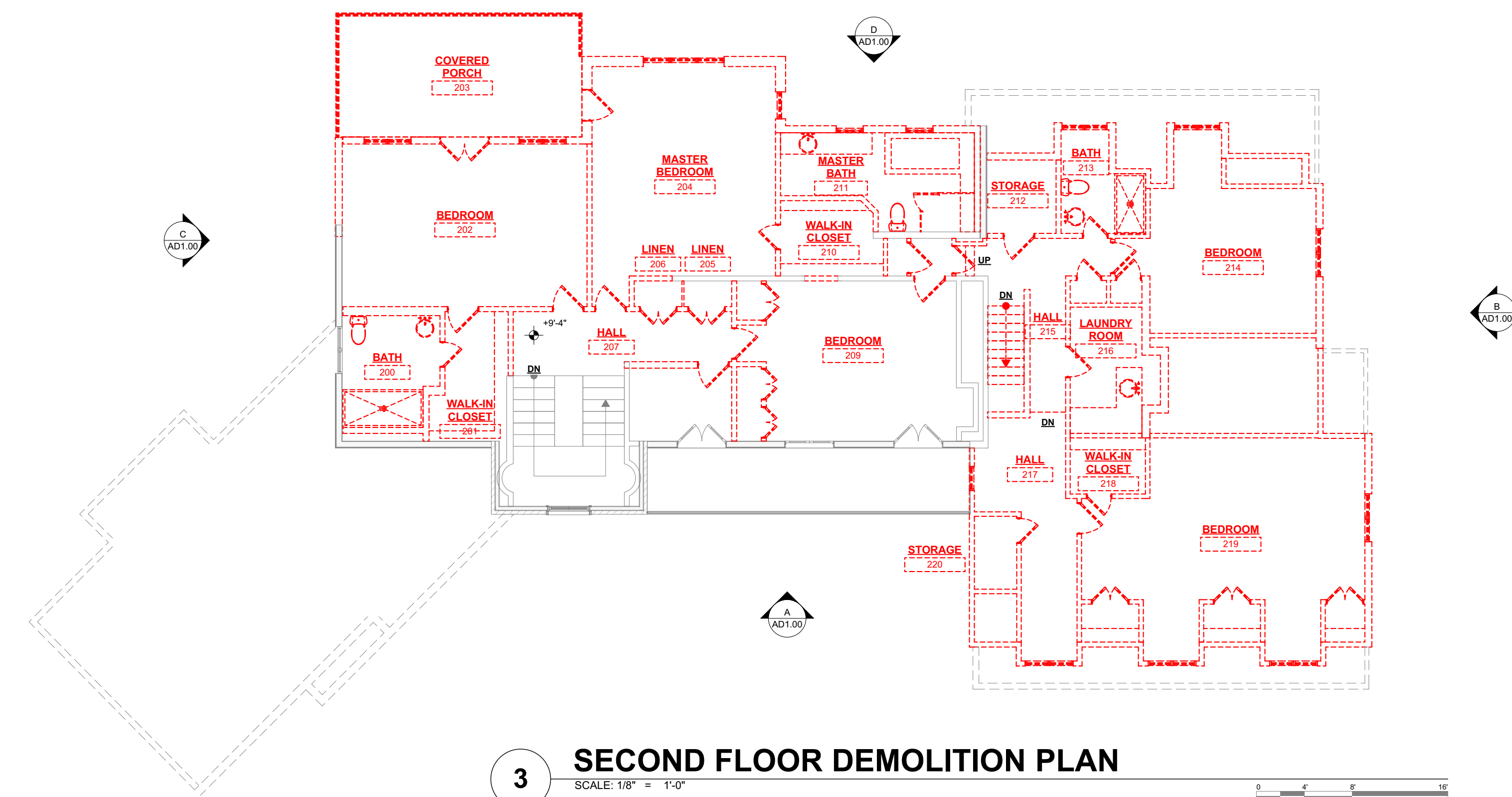
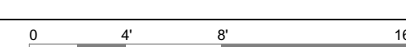
1 FOUNDATION DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



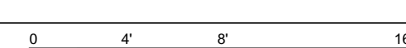
2 FIRST FLOOR DEMOLITION PLAN

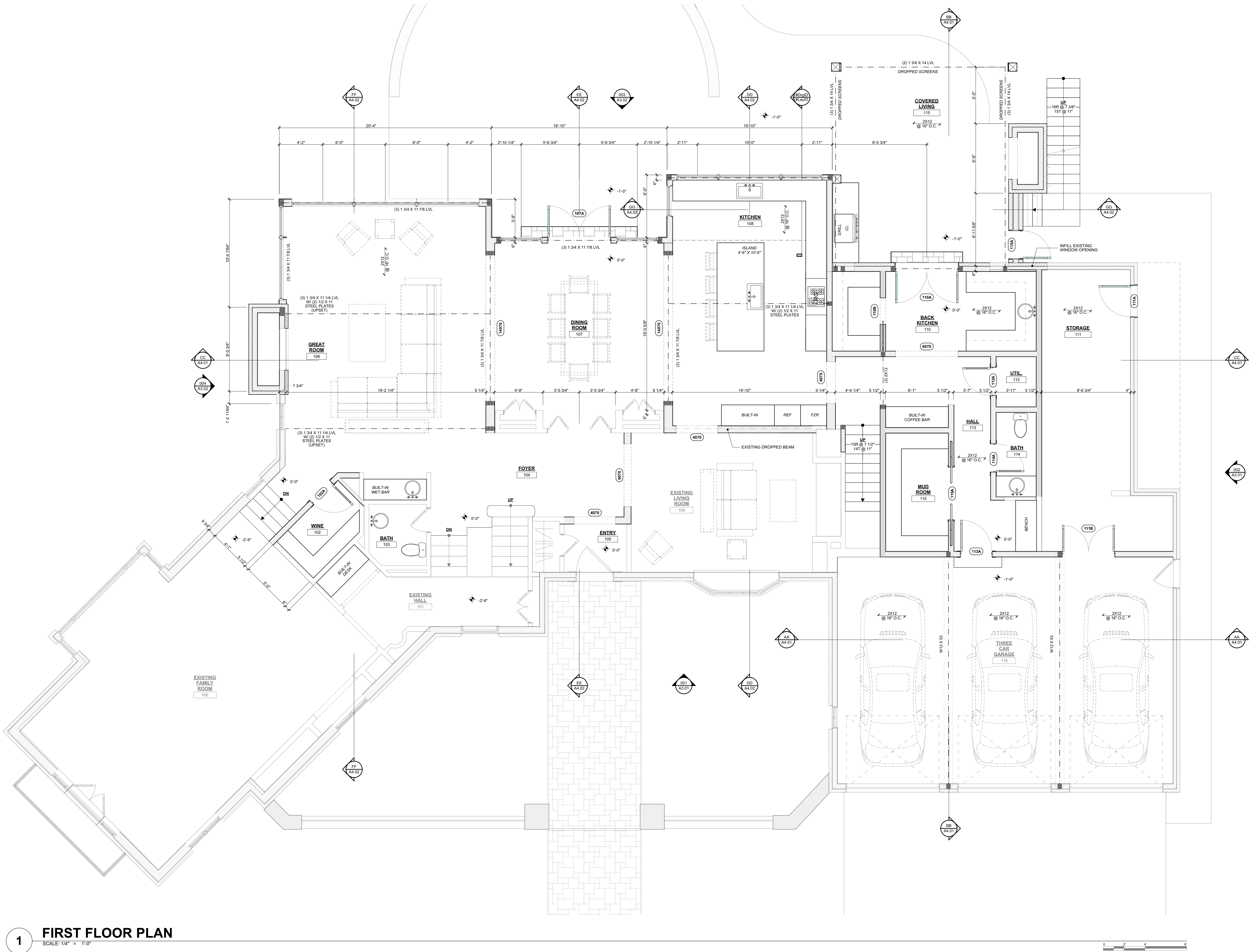
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"





1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

REFERENCED 0'-0" FIRST FLOOR ELEVATION IS ----

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

ALL EXTERIOR WALLS TO BE TYPE (1) UNLESS NOTED OTHERWISE. REFER TO WALL TYPE SCHEDULE THIS SHEET.

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILING.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

WALL BASE: FLAT STOCK POPLAR, PAINTED
WINDOW: GYPSUM BOARD RETURNS
DOOR JAMBS: FLAT STOCK POPLAR, PAINTED
CROWN: N.A.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS. REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR JOIST CRITERIA

FLOOR SHEATHING
3/4" ADVANTECH
TCL-4015P
TCL-1015P
BCDL = 10 PSF
SCL = 8 PSF
BOL = 10 PSF

ROOF TRUSS

SEE A1.03 FOR ROOF TRUSS CRITERIA & LINTEL SCHEDULE

ΔTL ≤ L/480
ΔTL ≤ L/360 @ TILE FLOOR
ΔTL ≤ L/480 @ STONE FLOOR
ΔTL ≤ L/720

WOOD HEADERS (U.N.O.)

SPACING	JOIST/BEAM	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-0" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-0" - 10'-0"	(2) 11 X 14 LVL	2 JACK, 1 KING	3 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL

Peninsula

www.pa-architects.com

1775 Main Street
Peninsula, Ohio 44264
T 330.657.2900

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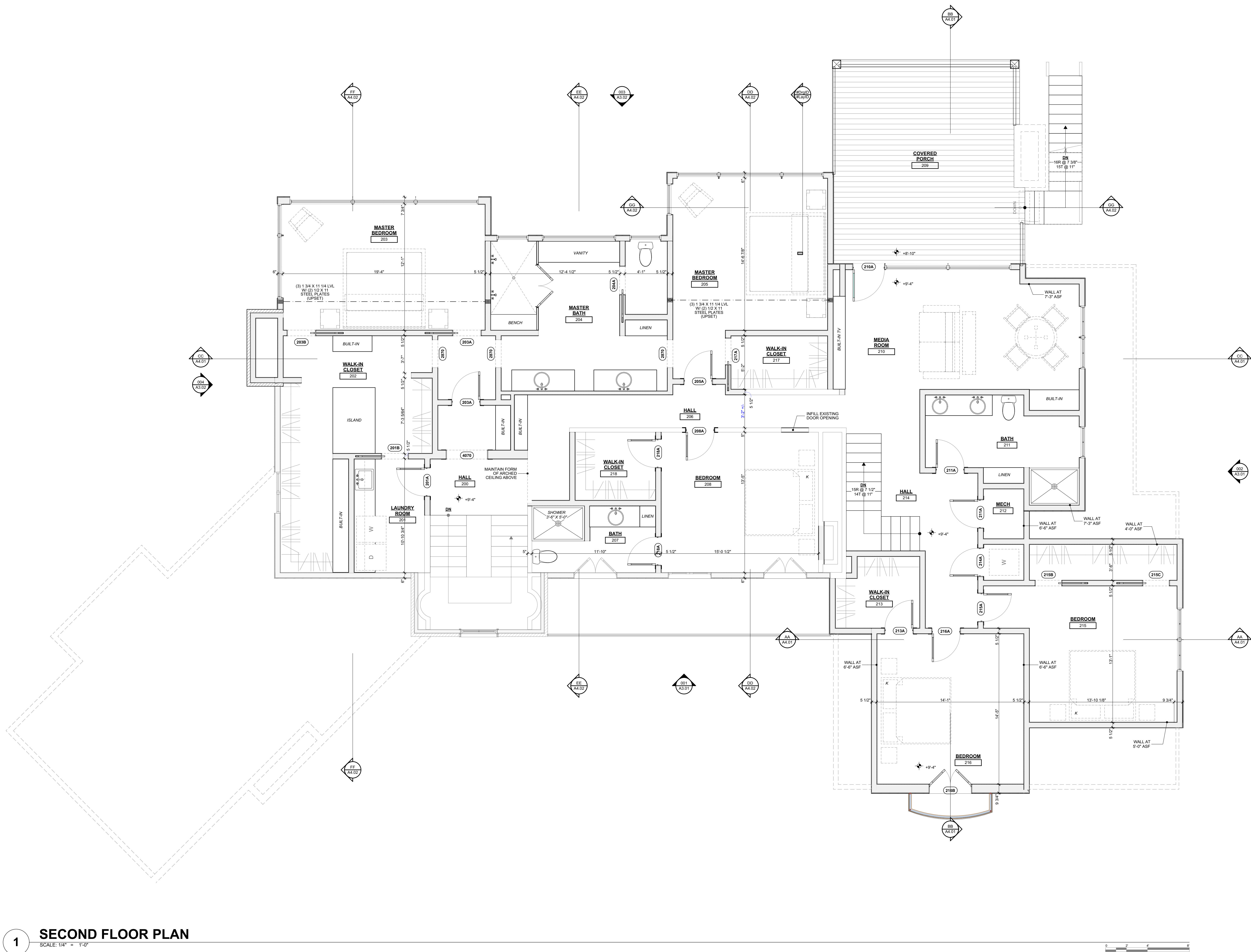
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FIRST FLOOR PLAN

A1.01

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Z-4" - L3 1/2X 3 1/2X 5/16
4'-6" - L6X 3 1/2X 5/16 LLV
MIN 6" BRG



1 SECOND FLOOR PLAN



001 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



002 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:
O1 WEATHER BARRIER
O2 7/16" EXTERIOR GRADE OSB SHEATHING
O3 2X6 STUDS W/ R-19 KRAFT FACED BATT INSULATION
BRICK VENEER (BR-1)
1" STONE VENEER
O4 AIR SPACE
FIBER CEMENT SIDING (FC-1)
FIBER CEMENT LAP SIDING TO BE JAMES HARDIE LAP SIDING OR APPROVED EQUAL. REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS FOR EXPOSURE NOTING. ALL LAP SIDING IS TO BE PAINTED, COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER
ASPHALT SHINGLE ROOF (RS-1)
O1 15 YEAR ARCHITECTURAL SHINGLE
O2 15 YEAR ARCHITECTURAL SHINGLE UNDERLAYMENT
O3 15/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 1/2" AND WRAPPED OVER THE FACE OF ALL FASCIAS.
RUBBER ROOF (RE-1)
RUBBER ROOF MEMBRANE (TPO OR EPDM)
O1 15/32" APA RATED EXTERIOR GRADE SHEATHING/
MINIMUM SLOPE 1/4" PER FOOT. COORDINATE SELECTION WITH ARCHITECT AND OWNER
WOOD SOFFIT (WO-1)
1x TONGUE & GROOVE WOOD SIDING W/ STAIN & SEALANT

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.
ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL PAINTED, OR APPROVED EQUAL.
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILING IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R301)

WINDOW LEGEND

W

FIXED

CASEMENT

AWNING

BASIS OF DESIGN:
ALL WINDOWS ARE TO BE KOOLBE ULTRA SERIES ALUMINUM CLAD WOOD WINDOWS OR APPROVED EQUAL.
JED HARTZLER - FENESTROM 330.495.6359
WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.
* WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WINDOW SCHEDULE			
ID	QTY	W x H	REMARKS
01A	1	3'-0"x5'-0"	
01B	1	3'-0"x5'-0"	
02A	1	3'-0"x4'-0"	
03A	1	3'-0"x4'-0"	
03B	1	3'-0"x4'-0"	
04A	1	6'-0"x7'-0"	
04B	1	6'-0"x7'-0"	
05A	1	4'-0"x7'-0"	
05C	1	6'-0"x7'-0"	
05D	1	4'-0"x7'-0"	
05F	1	3'-0"x7'-0"	
06A	1	4'-0"x4'-6"	
06B	1	6'-0"x4'-6"	
06C	1	4'-0"x4'-6"	
06D	1	3'-0"x4'-6"	
07A	1	3'-0"x4'-6"	
07C	1	7'-0"x4'-6"	
07D	1	3'-0"x4'-6"	
08A	1	4'-0"x7'-0"	
08B	1	4'-0"x7'-0"	
09B	1	6'-0"x7'-0"	
09C	1	6'-0"x7'-0"	
09D	1	6'-0"x7'-0"	
09E	1	3'-0"x7'-0"	
09F	1	6'-0"x7'-0"	
10B	1	6'-0"x7'-0"	
10C	1	6'-0"x7'-0"	
10D	1	6'-0"x7'-0"	
10E	1	3'-0"x7'-0"	
10F	1	6'-0"x7'-0"	

Peninsula
www.pa-architects.com
1775 Main Street
Peninsula, Ohio 44264
T 330.657.2900

PROGRESS
NOT FOR
CONSTRUCTION
3/1/2023

PROJECT TEAM:
P PENINSULA
ARCHITECTS

THE WEIDEMER RESIDENCE
21468 AVALON DRIVE, ROCKY RIVER, OHIO 44116

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PROJECT #: 2105
ISSUE:
DD REVISIONS 03-01-2023

EXTERIOR ELEVATIONS

A3.01
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003 REAR ELEVATION
SCALE: 1/4" = 1'-0"



004 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

DI WEATHER BARRIER
DI 7/16" EXTERIOR GRADE OSB SHEATHING
DI 2X6 STUDS W/ R-19 KRAFT FACED BATT INSULATION

BRICK VENEER (BRL-1)
1" STONE VENEER
DI AIR SPACE

FIBER CEMENT SIDING (FC-1)
FIBER CEMENT LAP SIDING TO BE JAMES HARDIE LAP SIDING OR APPROVED EQUAL. REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS FOR EXPOSURE NOTING. ALL LAP SIDING IS TO BE PAINTED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER

ASPHALT SHINGLE ROOF (RS-1)
DI 15 YEAR ARCHITECTURAL SHINGLE
DI 1/2" MANUFACTURER'S RECOMMENDED UNDERLAYMENT
DI 1/8" 32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL BAYS AND VALLEYS, UP 1/2" AND WRAPPED OVER THE FACE OF ALL FASCIAS.

RUBBER ROOF (RR-1)
RUBBER ROOF MEMBRANE (TPO OR EPDM)
DI 1/8" 32" APA RATED EXTERIOR GRADE SHEATHING/
MINIMUM SLOPE 1/4" PER FOOT. COORDINATE SELECTION WITH ARCHITECT AND OWNER

WOOD SOFFIT (WDS-1)
1x TONGUE & GROOVE WOOD SIDING W/ STAIN & SEALANT

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL PAINTED, OR APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILING IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

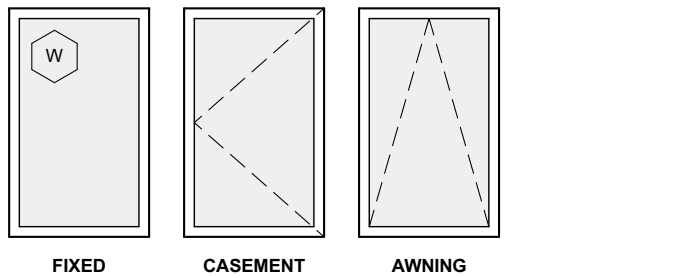
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308).

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R301).

WINDOW LEGEND



BASIS OF DESIGN:
ALL WINDOWS ARE TO BE KOOLBE ULTRA SERIES ALUMINUM CLAD WOOD WINDOWS OR APPROVED EQUAL.
JED HARTZLER - FENESTROM 330.495.6599
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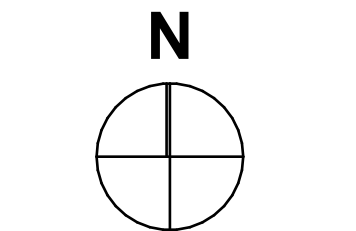
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EXTERIOR ELEVATIONS

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