

KING RESIDENCE

General Notes

1. All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
2. All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
3. All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
4. The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
5. The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.
6. The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
7. Hurst Design Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
8. Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
9. The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

Structural Notes

Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for drywall. Inner trimmer/jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).

All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.

Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Ceiling joists and flat roof joists shall be cross bridged at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanently.

Rafters shall be doubled at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.

All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.

Connections shall be in accordance with the applicable building code as a minimum.

MATERIAL DESIGN STRESSES (Minimum)

Framing Member	Fb(psi)	Fv(psi)	Fc(psi)	E(psi)
SAWN LUMBER				
Wood beams & headers	1000	130	1000	1,400,000
Wood joists	1000	130	1000	1,400,000
Wood studs/misc. framing	875	110	1000	1,400,000
Microllam (LVL)	2600	285	2510	1,900,000

See Drawings for special conditions and/or min. structural requirements
Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



Design Loads

1. Floor Live Loads: First Floor: 40 psf Second Floor: 30 psf Floor Dead loads: 10 psf
2. Roof Live Loads (snow): 30 psf Roof/Clg Dead loads: 12 psf Total Roof Loads: 42 psf

FIRST FL REMODEL=	449 S.F.
FIRST FL ADDITION=	363 S.F.
GARAGE ADDITION=	701 S.F.
SECOND FL REMODEL=	193 S.F.
SECOND FL ADDITION=	665 S.F.
COVERED DECK ADDITION=	255 S.F.
STAMPED PATIO AREA=	541 S.F.
DRIVEWAY=	NO WORK

Project Description

The Project Scope includes a large 2.5 car Garage and 2nd floor addition on the side (East) of the home. The second story addition includes a Master Suite and Laundry Room. The project also includes an addition to the rear (North) of the home for a new Kitchen, Pantry, and Family Room extension. Convert old Kitchen into a Butler's pantry and Mudroom area. Outdoor entertaining area includes Covered Patio area with open-air patio. Includes a built in grill area and Fireplace.

Common Abbreviations

R/R = Remove & Replace
EX. = Existing
TYP. = Typical
U.N.O. = Unless noted otherwise
V.I.F. = Verify in field
R.O. = Rough opening
F.F. = Finished floor
L.B.P. = Load bearing point

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PRESENTATION VIEWS

Not to Scale

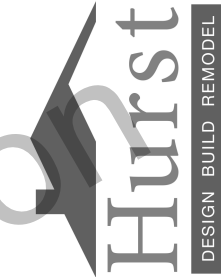
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Date:	Date:

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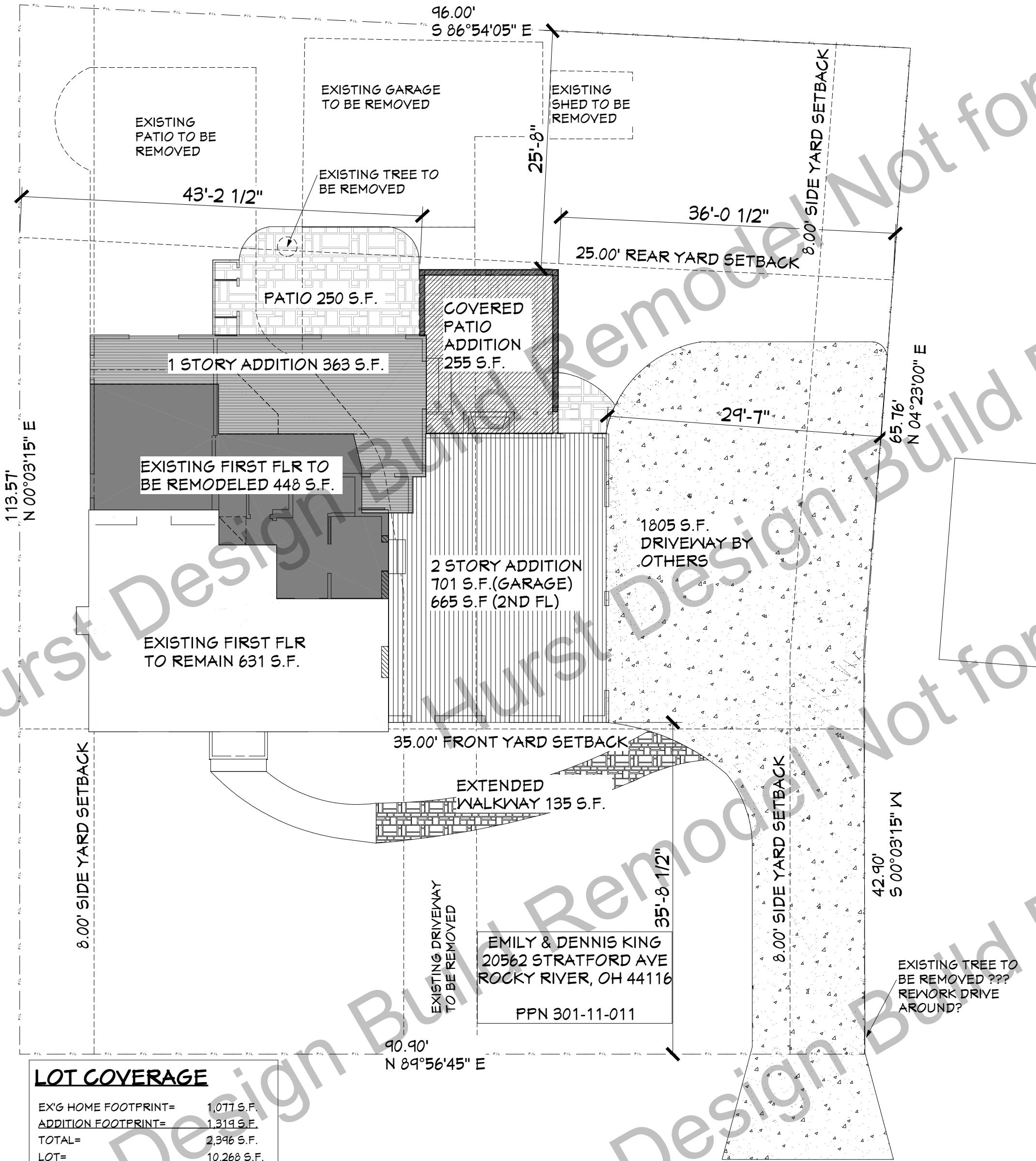
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LOT COVERAGE	
EXG HOME FOOTPRINT=	1,077 S.F.
ADDITION FOOTPRINT=	1,319 S.F.
TOTAL=	2,396 S.F.
LOT=	10,268 S.F.
LOT COVERAGE=	23.33%



PROPOSED



BEFORE



PROPOSED



BEFORE



BEFORE



PROPOSED



BEFORE



PROPOSED



BEFORE



PRESENTATION VIEWS



PAINTED SMOOTH WOOD LAP SIDING (MATCH EXISTING)



PELLA WINDOWS LIFESTYLE W/ GBG



STOETT RETRACTABLE SCREEN SYSTEM



GARAGE WINDOW SHUTTERS: BLACK LOUVERED (MATCH EXISTING)



GARAGE DOOR STYLE



CERTAINTEED LANDMARK SHINGLES MOIRE BLACK MAX DEF



STAMPED CONCRETE PATIO: GRAND ASHLAR PATTERN



BRICK: SIMILAR TO EXISTING



OUTDOOR GRILL/FIREPLACE STONE: CASA DI SASSI BLENDS CREMONA

MATERIALS
Not to Scale

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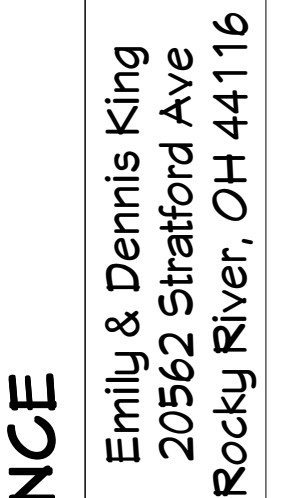
A-3

WALL LEGEND	
	Object to be demolished
	Wall to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2x4 interior wall
	New 2x4 exterior wall
	Existing foundation wall w/ brick to remain
	New CMU foundation w/ brick veneer
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New handrail

1. SALVAGE MATERIAL WHEN POSSIBLE, DONATE TO HUMANITY OR OTHER ORGANIZATION.
2. REMOVE EXISTING FASCIAS, GUTTERS, ROOFING ON EXISTING ROOF STRUCTURE (TO REMAIN)
3. REMOVE EXISTING INTERIOR DOOR HARDWARE ON 1ST FLOOR ONLY AND REPLACE WITH NEW HINGES AND KNOBS.
4. EXISTING SIDING, BRICK, SOFFITS, SHUTTERS, DOORS, SKYLIGHTS, AND WINDOWS TO REMAIN UNLESS OTHERWISE NOTED.
5. EXISTING HARDWOOD FLOORS TO BE REMOVED AND REPLACED WITH NEW IN CURRENT FIRST FLOOR KITCHEN, FAMILY RM, HALL, AND POWDER RM; UNLESS IT IS DETERMINED IN THE FIELD THAT THIS FLOOR CAN BE MATCHED AND SAVED. EXISTING HARDWOOD FLOORS TO REMAIN & REFINISHED WITH NEW ON 2ND FLOOR, DINING, FOYER, AND LIVING ROOMS.
6. PROVIDE TEMPORARY BRACING AND SHORING AS NEEDED DUE TO WALL DEMOLITION.
7. REMOVE & REPLACE ELECTRICAL METER AS NOTED ON PLANS.
8. REMOVE & SET ASIDE PEDESTAL SINK AND TOILET IN POWDER ROOM DUE TO HARDWOOD REPLACEMENT, SALVAGE FOR REINSTALLATION.
9. REMOVE ALL LIGHTING AND ELECTRICAL DEVICES FROM KITCHEN AND FAMILY ROOM. PERFORM ONLY SELECTIVE ELECTRICAL DEMOLITION IN 2ND FLOOR HALL AND BEDROOM #4 AS NEEDED DUE TO WALL REMOVAL.
10. REMOVE SMOKE AND CARBON MONOXIDE DETECTORS IN THE HOME, TO BE REPLACED WITH HARDWIRED DETECTORS.
11. RE-ROUTE ANY VENTS RUNNING THROUGH THE DEMOLISHED CHIMNEY AS NEEDED.
12. RE-ROUTE ANY DUCTWORK OR PLUMBING STACKS RUNNING THROUGH DEMOLISHED WALLS AS NEEDED.
13. SAVE ALL TREES ON SITE UNLESS IT IS DETERMINED THAT REMOVAL IS NEEDED DUE TO EXCAVATION.



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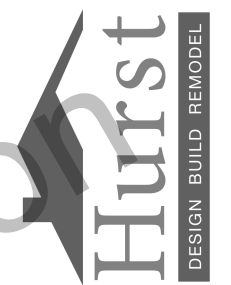
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WALL LEGEND	
	Object to be demolished
	Wall to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2x4 interior wall
	New 2x4 exterior wall
	Existing foundation wall w/ brick to remain
	New CMU foundation w/ brick veneer
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New handrail

1. SALVAGE MATERIALS WHEN POSSIBLE, DONATE TO HABITAT FOR HUMANITY OR OTHER ORGANIZATION.
2. REMOVE EXISTING FASCIAS, GUTTERS, ROOFING ON EXISTING ROOF STRUCTURE (TO REMAIN)
3. REMOVE EXISTING INTERIOR DOOR HARDWARE ON 1ST FLOOR ONLY AND REPLACE WITH NEW HINGES AND KNOBS.
4. EXISTING SIDING, BRICK, SOFFITS, SHUTTERS, DOORS, SKYLIGHTS, AND WINDOWS TO REMAIN UNLESS OTHERWISE NOTED.
5. EXISTING HARDWOOD FLOORS TO BE REMOVED AND REPLACED WITH NEW IN CURRENT FIRST FLOOR KITCHEN, FAMILY RM, HALL, AND POWDER RM; UNLESS IT IS DETERMINED IN THE FIELD THAT THIS FLOOR CAN BE MATCHED AND SAVED. EXISTING HARDWOOD FLOORS TO REMAIN & REFINISHED WITH NEW ON 2ND FLOOR, DINING, FOYER, AND LIVING ROOMS.
6. PROVIDE TEMPORARY BRACING AND SHORING AS NEEDED DUE TO WALL DEMOLITION.
7. REMOVE & REPLACE ELECTRICAL METER AS NOTED ON PLANS.
8. REMOVE & SET ASIDE PEDESTAL SINK AND TOILET IN POWDER ROOM DUE TO HARDWOOD REPLACEMENT, SALVAGE FOR REINSTALLATION.
9. REMOVE ALL LIGHTING AND ELECTRICAL DEVICES FROM KITCHEN AND FAMILY ROOM. PERFORM ONLY SELECTIVE ELECTRICAL DEMOLITION IN 2ND FLOOR HALL AND BEDROOM #4 AS NEEDED DUE TO WALL REMOVAL.
10. REMOVE SMOKE AND CARBON MONOXIDE DETECTORS IN THE HOME, TO BE REPLACED WITH HARDWIRED DETECTORS.
11. RE-ROUTE ANY VENTS RUNNING THROUGH THE DEMOLISHED CHIMNEY AS NEEDED.
12. RE-ROUTE ANY DUCTWORK OR PLUMBING STACKS RUNNING THROUGH DEMOLISHED WALLS AS NEEDED.
13. SAVE ALL TREES ON SITE UNLESS IT IS DETERMINED THAT REMOVAL IS NEEDED DUE TO EXCAVATION.

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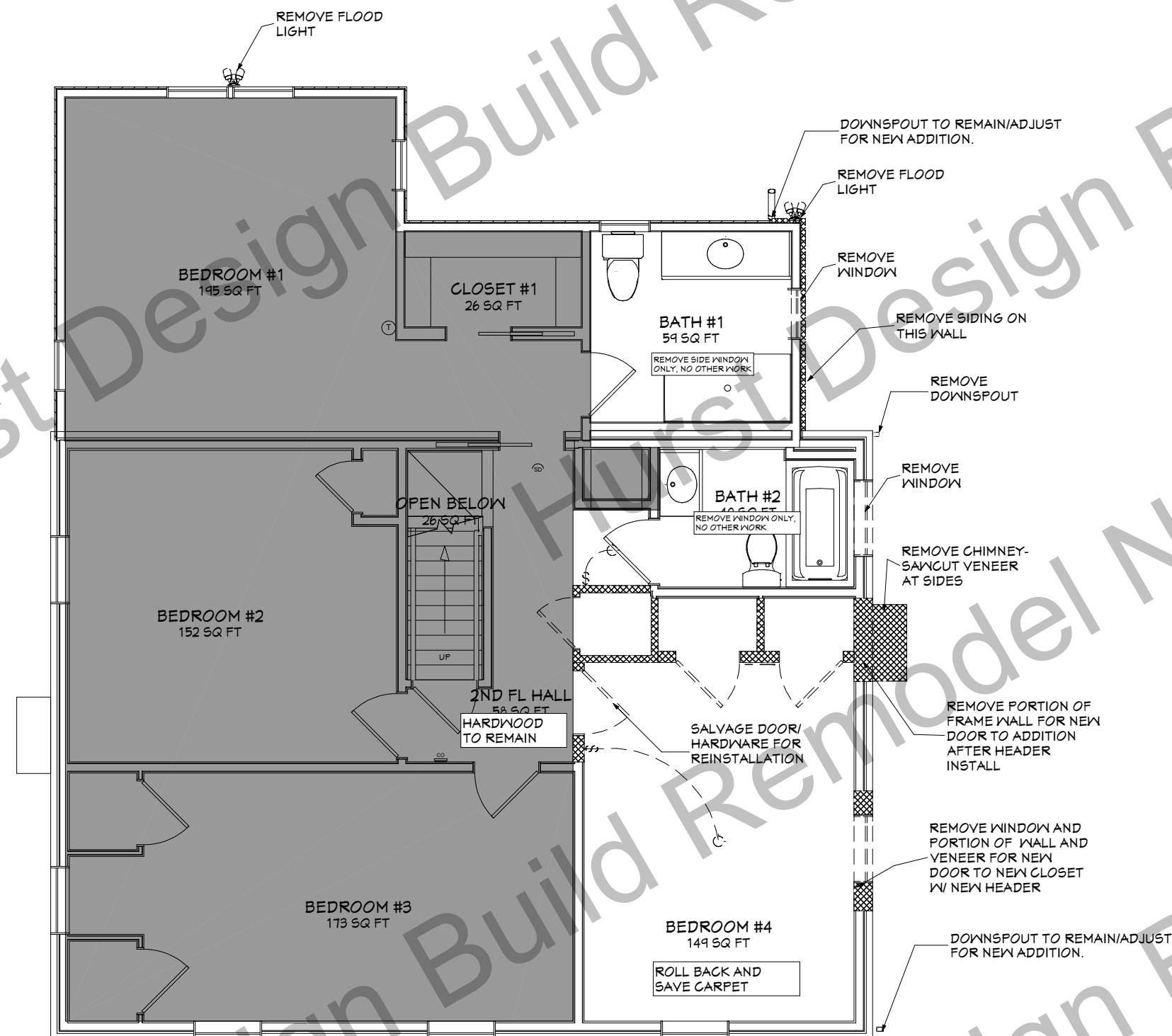
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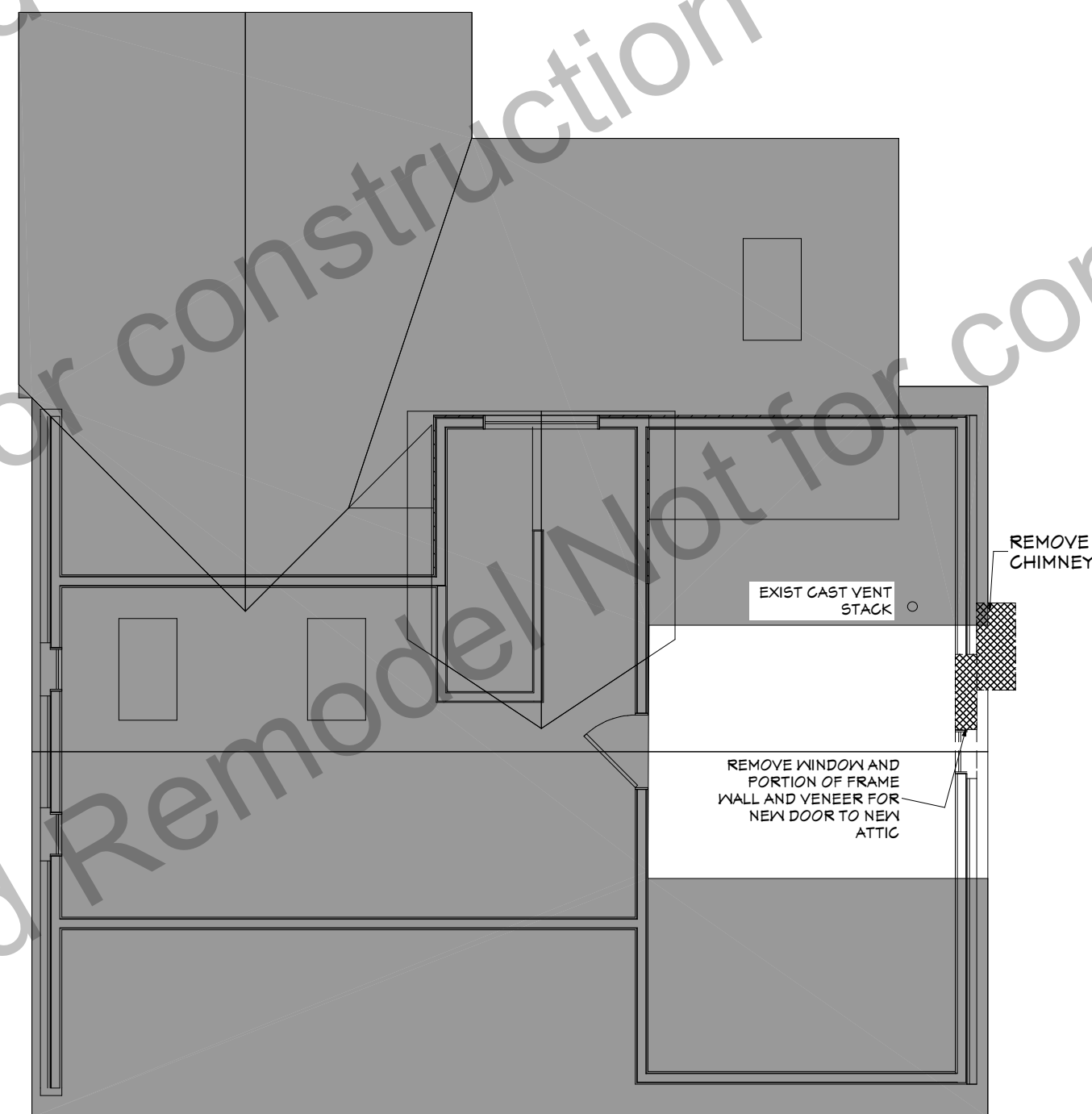
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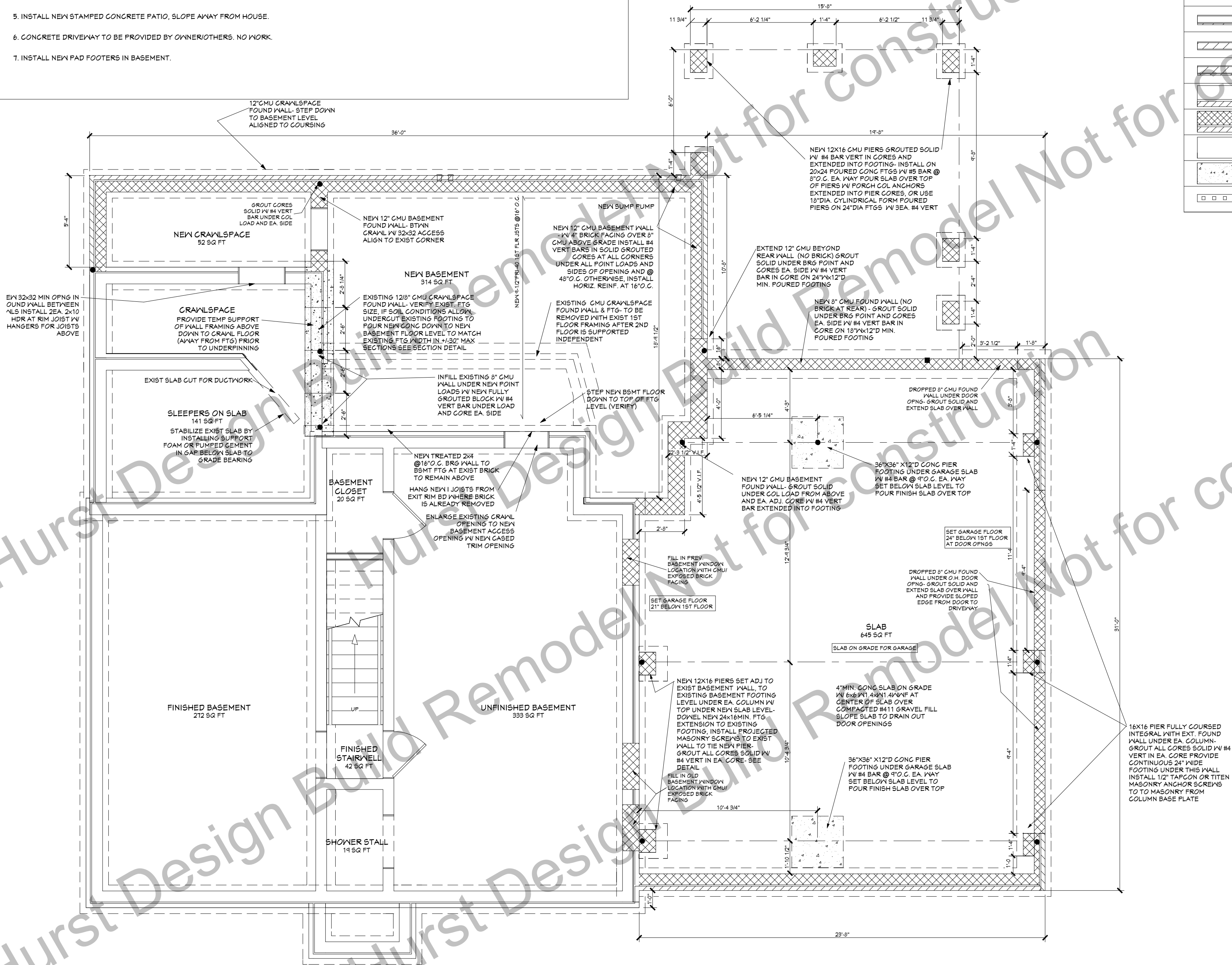
EX/DEMO SECOND FLOOR PLAN
3/16" = 1'-0"



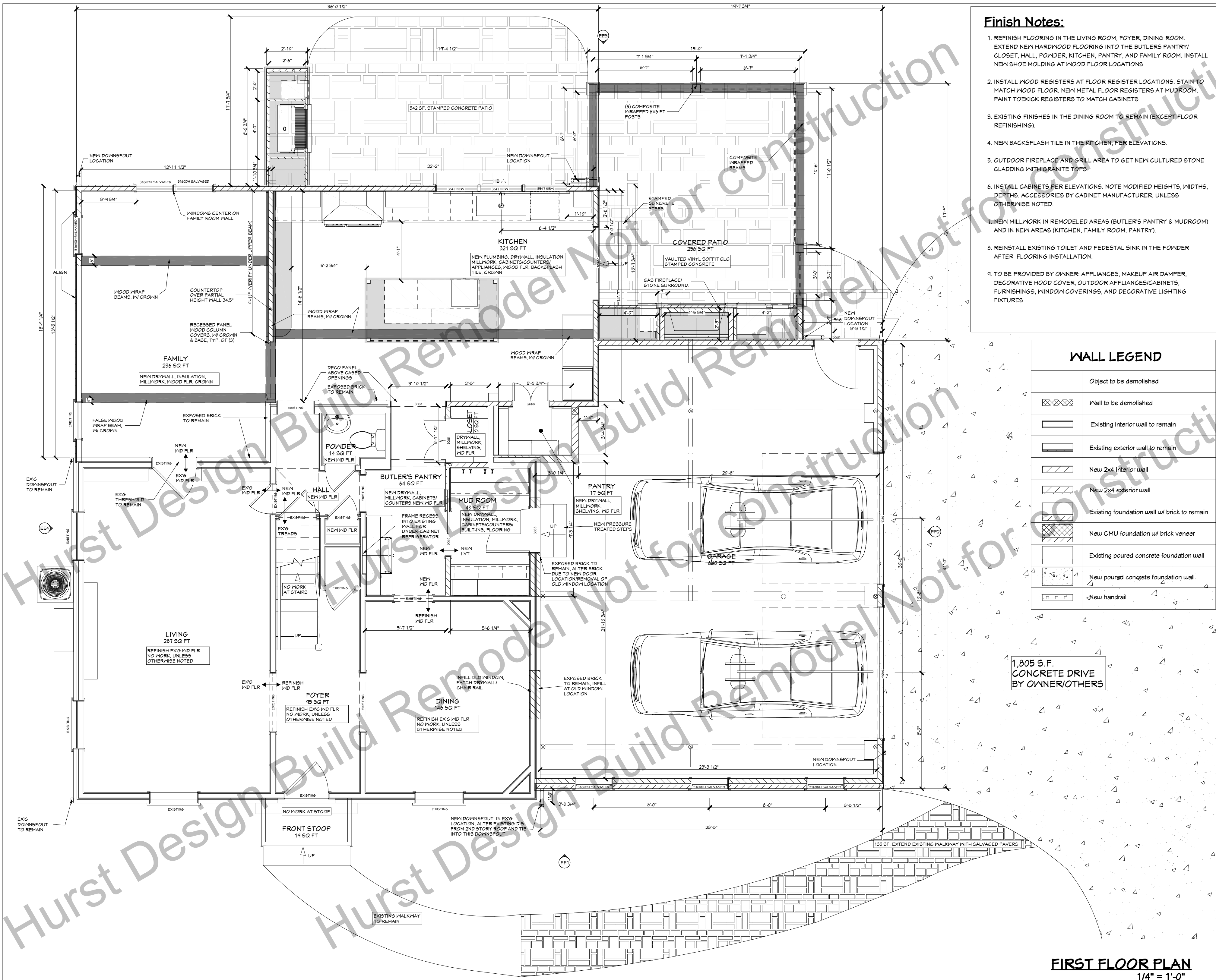
EX/DEMO ATTIC PLAN
3/16" = 1'-0"

Foundation Notes:

1. DIRECTIONAL CLEAN OUTS SHALL BE INSTALLED ON THE DRAIN TILE, AND ALL GUTTERS SHALL BE TIED TO THE STORM SEWER. SECTION 408.4/OPC
2. THE FOUNDATION MUST EXTEND A MINIMUM OF 6" ABOVE GRADE. SECTION 404.1.6
3. NEW CRAWL OR BASEMENT AREA TO REMAIN UNFINISHED. UNFINISHED BLOCK AND DRYWALL WALLS. NO FLOORING OR DRYWALL ON CEILING. NEW SLIDING GLASS DOOR. NO FINISH WORK ON BASEMENT LEVEL.
4. INSTALL NEW CONCRETE GARAGE FLOOR, SLOPE TO FLOOR DRAIN.
5. INSTALL NEW STAMPED CONCRETE PATIO, SLOPE AWAY FROM HOUSE.
6. CONCRETE DRIVEWAY TO BE PROVIDED BY OWNER/OTHERS. NO WORK.
7. INSTALL NEW PAD FOOTERS IN BASEMENT.



FOUNDATION PLAN
1/4" = 1'-0"



Finish Notes:

1. REFINISH FLOORING IN THE LIVING ROOM, FOYER, DINING ROOM. EXTEND NEW HARDWOOD FLOORING INTO THE BUTLER'S PANTRY/ CLOSET, HALL, POWDER, KITCHEN, PANTRY, AND FAMILY ROOM. INSTALL NEW SHOE MOLDING AT WOOD FLOOR LOCATIONS.
2. INSTALL WOOD REGISTERS AT FLOOR REGISTER LOCATIONS. STAIN TO MATCH WOOD FLOOR. NEW METAL FLOOR REGISTERS AT MUDROOM. PAINT TOE KICK REGISTERS TO MATCH CABINETS.
3. EXISTING FINISHES IN THE DINING ROOM TO REMAIN (EXCEPT FLOOR REFINISHING).
4. NEW BACKSPLASH TILE IN THE KITCHEN, PER ELEVATIONS.
5. OUTDOOR FIREPLACE AND GRILL AREA TO GET NEW CULTURED STONE CLADDING WITH GRANITE TOPS.
6. INSTALL CABINETS PER ELEVATIONS. NOTE MODIFIED HEIGHTS, WIDTHS, DEPTHS. ACCESSORIES BY CABINET MANUFACTURER, UNLESS OTHERWISE NOTED.
7. NEW MILLWORK IN REMODELED AREAS (BUTLER'S PANTRY & MUDROOM) AND IN NEW AREAS (KITCHEN, FAMILY ROOM, PANTRY).
8. REINSTALL EXISTING TOILET AND PEDESTAL SINK IN THE POWDER AFTER FLOORING INSTALLATION.
9. TO BE PROVIDED BY OWNER: APPLIANCES, MAKEUP AIR DAMPER, DECORATIVE HOOD COVER, OUTDOOR APPLIANCES/CABINETS, FURNISHINGS, WINDOW COVERINGS, AND DECORATIVE LIGHTING FIXTURES.

WALL LEGEND

---	Object to be demolished
XXXX	Wall to be demolished
----	Existing interior wall to remain
=====	Existing exterior wall to remain
=====	New 2x4 interior wall
=====	New 2x4 exterior wall
=====	Existing foundation wall w/ brick to remain
=====	New CMU foundation w/ brick veneer
=====	Existing poured concrete foundation wall
=====	New poured concrete foundation wall
=====	New handrail

1,805 S.F. CONCRETE DRIVE BY OWNER/OTHERS

FIRST FLOOR PLAN
1/4" = 1'-0"

Job #
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Date
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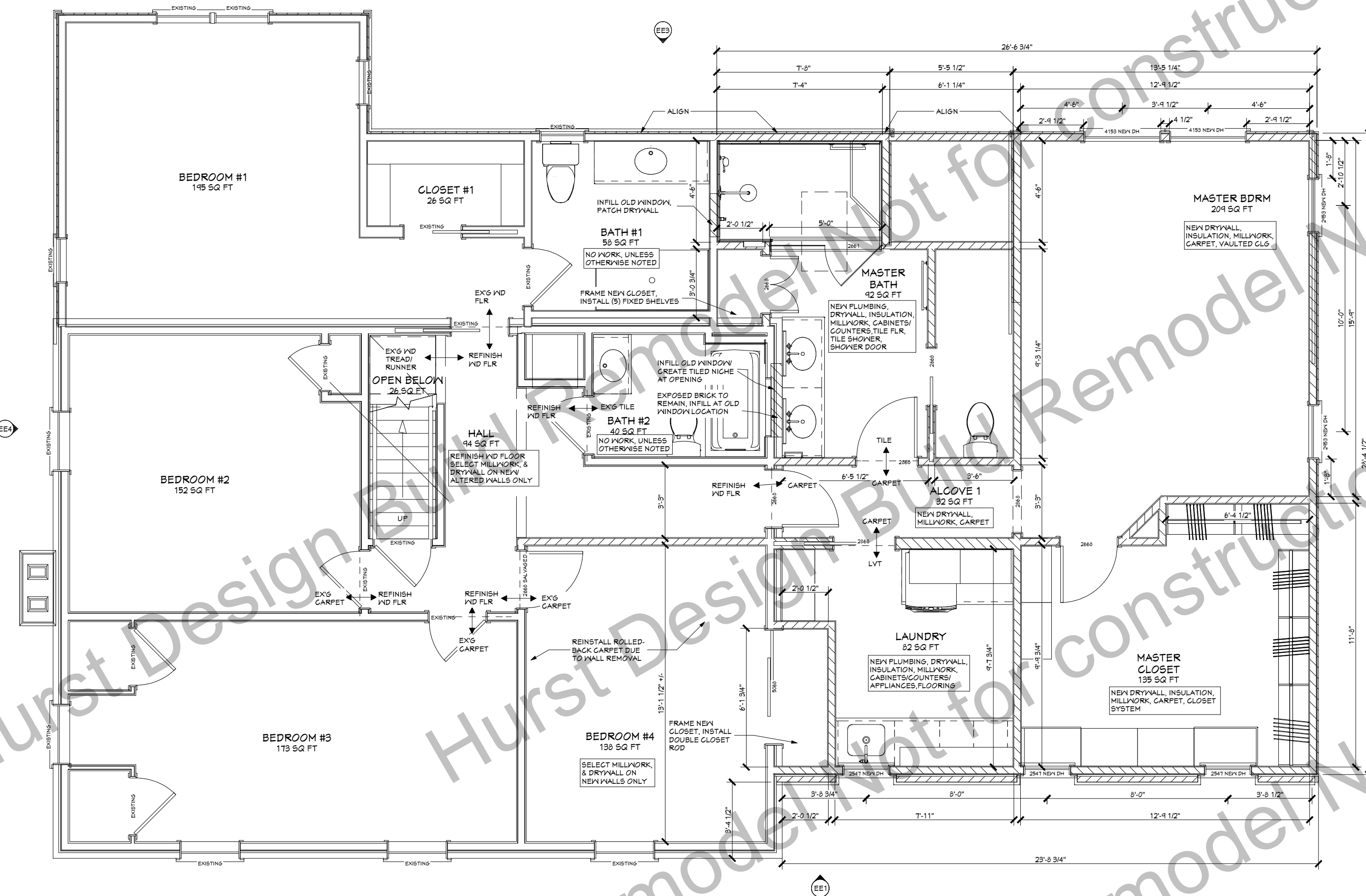
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Hurst
DESIGN BUILD REMODEL

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- Finish Notes:**
- 1. REFINISH FLOORING IN THE HALL AND HALL EXTENSION (FORMERLY IN BEDROOM #4). TOOTH IN WOOD FLOORING AS NEEDED WHERE WALLS WERE REMOVED.
 - 2. NEW TILE IN SHOWER, PER ELEVATIONS.
 - 3. INSTALL CABINETS PER ELEVATIONS. NOTE MODIFIED HEIGHTS, WIDTHS, DEPTHS. ACCESSORIES IN LAUNDRY BY 3RD PARTY MANUFACTURERS.
 - 4. NEW MILLWORK ON NEW WALLS IN HALL AND BEDROOM #4, AND NEW AREAS (LAUNDRY, ALCOVE, MASTER BATH, MASTER CLOSET, AND MASTER BEDROOM).
 - 5. TO BE PROVIDED BY OWNER: MIRRORS, APPLIANCES, FURNISHINGS, WINDOW COVERINGS, AND DECORATIVE LIGHTING FIXTURES.

WALL LEGEND	
---	Object to be demolished
XXXX	Wall to be demolished
---	Existing interior wall to remain
---	Existing exterior wall to remain
---	New 2x4 interior wall
---	New 2x4 exterior wall
---	Existing foundation wall w/ brick to remain
XXXX	New CMU foundation w/ brick veneer
---	Existing poured concrete foundation wall
---	New poured concrete foundation wall
---	New handrail

2ND FLOOR FINISH PLAN
1/4" = 1'-0"

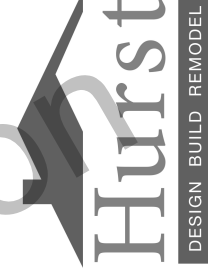
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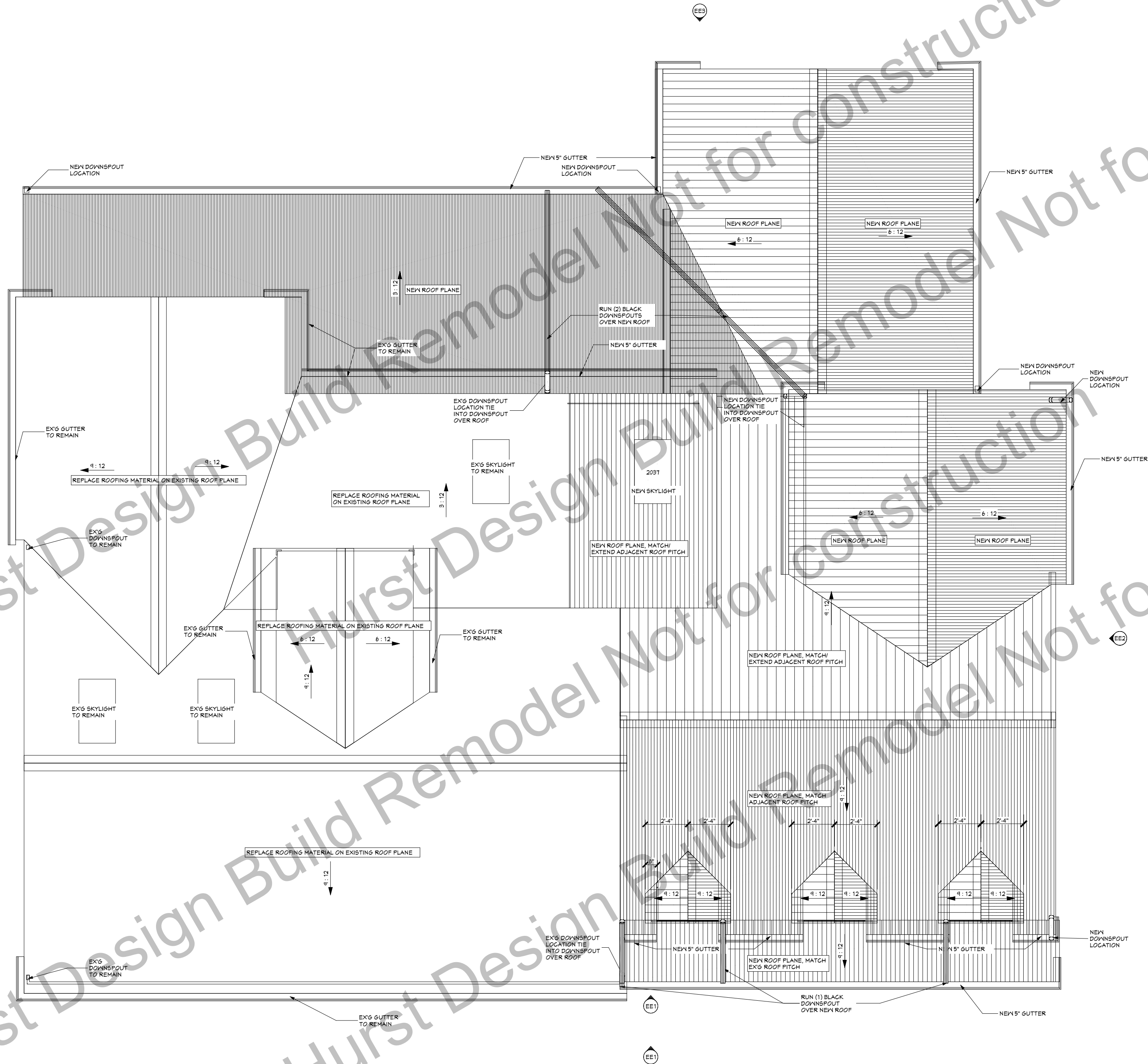
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ROOF PLAN
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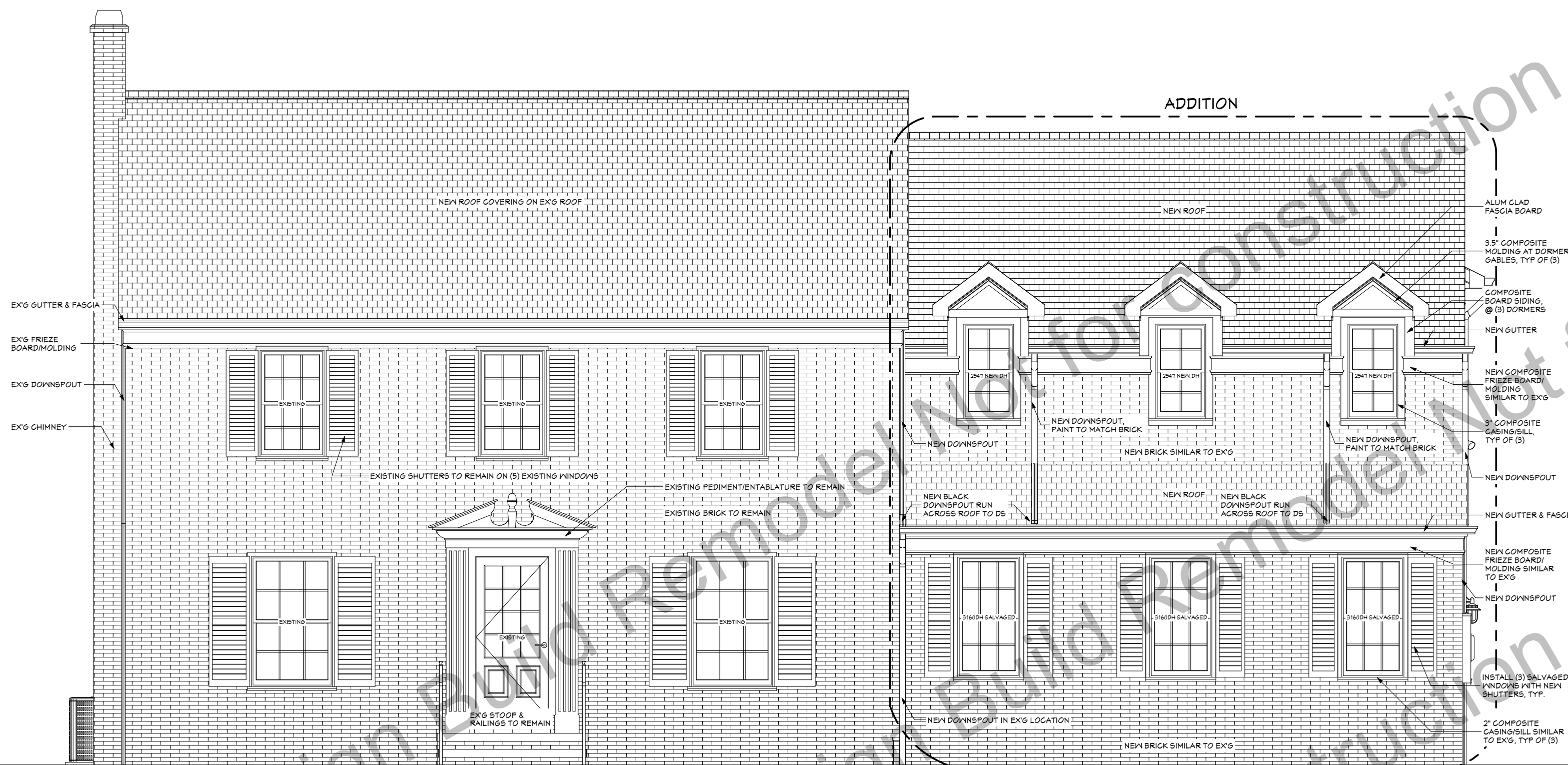
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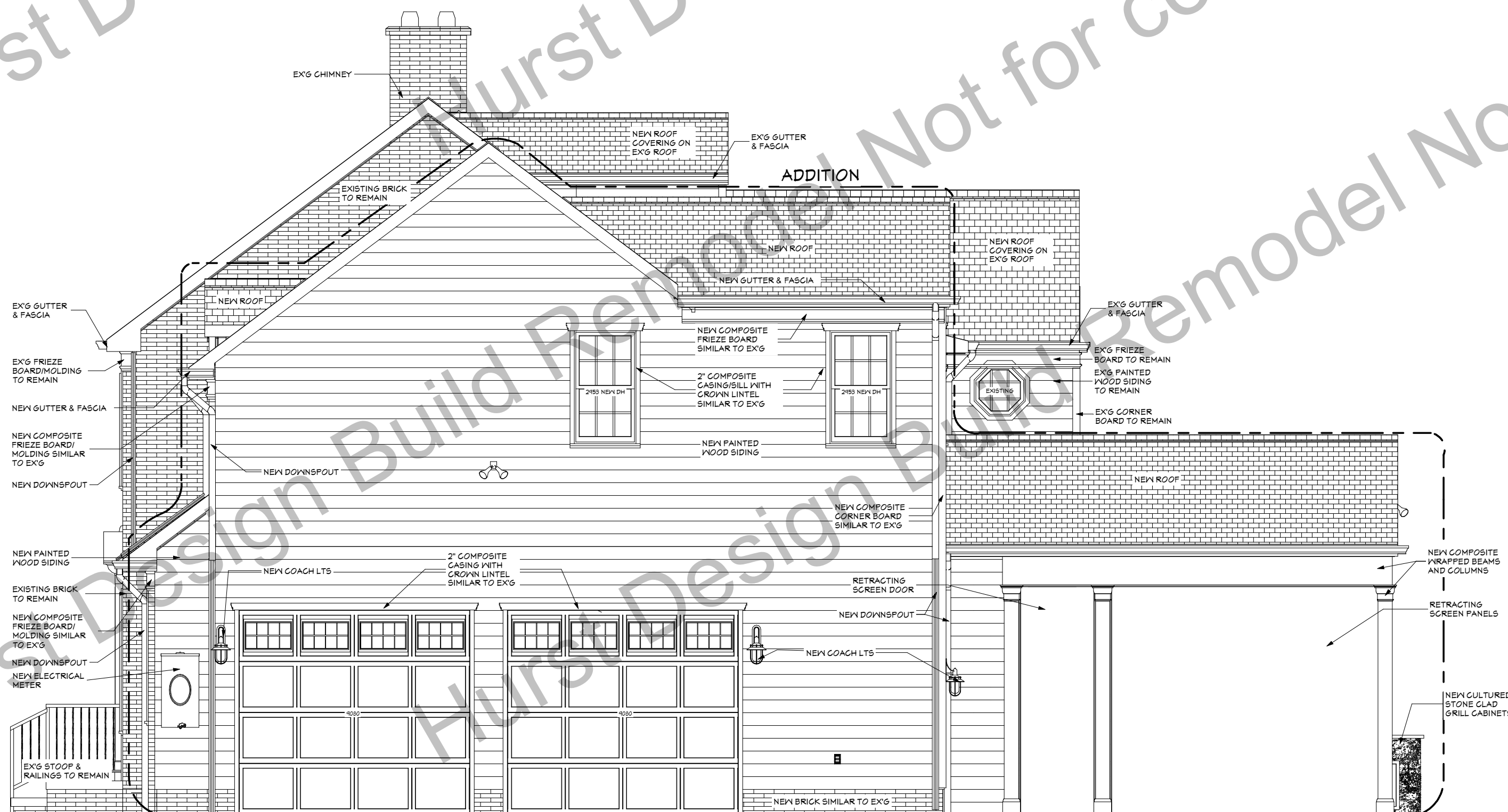
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EE1 FRONT ELEVATION
1/4" = 1'-0"



EE2 RIGHT ELEVATION
1/4" = 1'-0"

