

DESIGN AND CONSTRUCTION BOARD OF REVIEW
MEETING MINUTES
MARCH 20, 2023

5. **LAKE ROAD ROCKY RIVER LLC**
19621 Lake Rd.

PRE-PRELIMINARY REVIEW

New Office Building with attached parking garage

Present: Mr. Denver Brooker, of Vocon is present with Julie Trott, also with Vocon and Mark Conzelmann of NewBrook Partners

- Mr. Brooker began by handing the Board members a supplement to what was submitted for this project to Planning Commission and to this Board, that are additional renderings he said should help describe the exterior a little better.
- They are building 60,000 sq. ft. of office space and the associated parking that will serve the building on this property. They are combining three parcels, including this 19621 Lake Rd. parcel. They are acquiring Cravings restaurant immediately to the west, and the parcel that provides the narrow access off of Linda Street. The combination of lots have two zoning districts, which are Local Business (LB) and R-5 Multi-family. The north part of the site is zoned LB and showed them what is zoned R-5. They presented to the Planning Commission for pre-preliminarily review last Thursday. He said that the Planning Commission views the two-level garage as a part of the office building.
- Mr. Brooker described the arrangement of the project on the site. They have set the face of the building back to 25' off of the property line. The right-of-way is very wide in that area of Lake Rd. and the property line actually varies from 13' – 17' beyond the back of the sidewalk, which would make the apparent setback feel bigger than it would for any other 25' setback. The front of the building is set back further than Beachcliff Row Phase I, which is set back further than Phase II.
- Mr. Brooker said that they will be asking for a height variance but they have set back the third floor along the entire frontage. Most of it is set back by 14' and in the middle at the north entrance it is set back 11 or 12'. The owner, who will occupy the building for his corporate headquarters, wants outdoor space and is particularly interested in a roof terrace element. They also have a small plaza area at the north entrance of the building and a similar but larger area on the south side of the development, which is also outdoor space. Per Mr. Evans' question, Mr. Brooker said that the building is strictly for professional office space and will not be used for a yoga studio or a restaurant. They accommodated parking in a variety of ways with some indoor enclosed parking just below the second floor of the office building, they have a two-level parking deck with a speed ramp that accesses the second level at the south end of the area and a few surface spots on the access road off of Lake and off of Linda.
- Mr. Brooker described some variances that they are working to eliminate by revising the site plan. He said that the parking is what the tenant asked for to accommodate his needs and is slightly in excess of minimum parking. Planning Commission encouraged them to reduce the parking further, but the parking was designed for the tenant.
- Zoning of the surrounding properties was discussed. They developed their entrance for a presence and a sense of entrance on Lake Rd. but they expect that most people will be using the south entrance. Their intention with the first floor garage is for it to get equal architectural treatment as the rest of the office building.
- Mr. Brooker explained the renderings that are contained in the supplemental information they submitted and "walked" them around the building while referring to it. The trash

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enclosure is integrated into the face of the building with the dumpsters that will be pulled out of the garage.

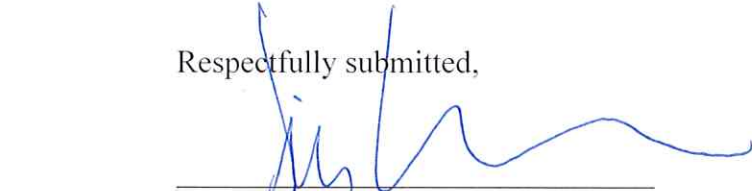
- There is a 10' setback along the west side of the drive for some formal landscaping that separates the corporate headquarters from the auto service adjacent to it.
- Mr. Brooker said that their proposal is classic with an edge of contemporary and with the multi-paned windows providing a little nod toward industrial warehouse aesthetic but not too strong. They intended to demonstrate a lot of visual texture that shows up better on some of the supplemental renderings.
- Mr. Brooker explained that the street trees are all back behind the property line along Lake, which is required by zoning but they would prefer to bring them up closer to the sidewalk,
- They have developed a rhythm of the northern length of the building with larger 2-bay ensembles, separated by slightly recessed bays with the more industrial type window affect that are brought in smaller doses in the double bays for a single-double-single pattern with the entrance in the middle. The multi-paned windows are used in different ways across the front of the structure.
- Mr. Brooker described the ribbed metal panel that they are putting at 45 degrees for a higher degree of textural quality for the 2-story front.
- Mr. Jennings asked why the parking garage isn't taller by an additional story. Mr. Conzelmann responded that there is a CEI easement that runs along the railroad tracks on the back half of the property that would cause some problems with adding another story. In addition, they left the space the way it is for potential future expansion. From the outside it will look like a regular office building so that in the future, it could be offices.
- Mr. Jennings asked about the State of Ohio historical marker for the Cowen Pottery and said it does not appear that they have addressed the history of the site and asked whether there is a way to relate back to the 1920's pottery era, when this was used for the pottery and after that when it was used as a creamery. Mr. Brooker said that they will do their homework to see if there is a pattern or something that was used that they could find a way to integrate into the diagonal panels, but he cannot commit to anything right now. Mr. Jennings said that the Rocky River Public Library has a museum within it and they may want to speak with them. He also thinks that the 4 parking spaces off of Linda St. may not really be necessary.
- Mr. Larsen said that this building has a type of warehouse-like feel and if they can hold on to the historical nature of this neighborhood, it would be a plus. Mr. Jennings said that this building is substantially longer along Lake Rd. than the previous building they reviewed and he feels there is opportunity to use different bricks along the entire length of the façade and he encouraged them to look into options of breaking up the long façade. He said the building that was demolished on this site had arches on it and wonders if there is an opportunity to incorporate arches perhaps at the entrances. He asked whether they will work with Habitat for Humanity regarding the building on the site that will be demolished. Mr. Conzelmann said that they haven't gotten that far but they are definitely open to exploring those things.
- Mr. Evans said he likes most of the Lake Rd. elevation and the streetscape that is always his first concern. He thinks this building setback is very generous and likes the setback at the two-story level. He would like the street trees to be closer to the street, but he understands if there are zoning issues with that. He is sure the applicant will want to do what they can to buffer along the auto stations.

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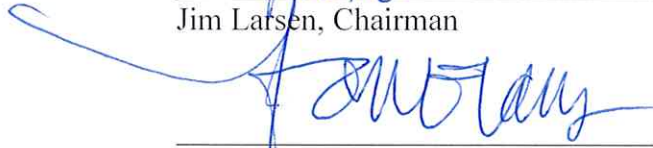
- Mr. Larsen thanked the applicant for their presentation and the demonstration they provided in the drawing, which shows the strength of the penthouse over a 2-story building concept, which is what they have been speaking to with the other project since September.
- Mr. Larsen said there is quite a length to this building and appreciates the window patterning. He said that there may be a chance to do something a little bit different in the entry way. The façade is 225' to 240' long, which is a big building in Rocky River. He likes to see there is some variation in the brick to provide texture and interest.
- Mr. Larsen asked about the brick cornice. Mr. Brooker said that the program they use casts a stronger shadow on this 1' corbel. Mr. Larsen likes the idea of the corbel or cornice as a "cap" and then placing a penthouse on top.
- Mr. Larsen feels like this building will be a very nice fit. As he comes into Rocky River, he will feel the warehouse and this façade and he thinks it will morph nicely and be a nice gatehouse. He likes that they are trying to be detailed and interesting on the infill in this area and it will make for a more delightful execution at the end of the day.

The meeting adjourned at 6:05 pm.

Respectfully submitted,



Jim Larsen, Chairman



Tom Evans, Member



Steve Jennings, Member