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LOCATION NUMBER:

4999

SITE ADDRESS:

21629 Center Ridge Rd
Rocky River, OH 44116



Quest
Diagnostics

Infinite possibilities, ideal solutions.

[illegible]



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8959 Tyler Boulevard
Mentor, Ohio 44060

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CLIENT:



ORDER NUMBER:

1192718

PROJECT NUMBER:

4232

SITE NUMBER:

4999

PROJECT MANAGER:

Nanette Hubert

ADDRESS:

21629 Center Ridge Rd
Rocky River, OH 44116-3917

PAGE NO.:

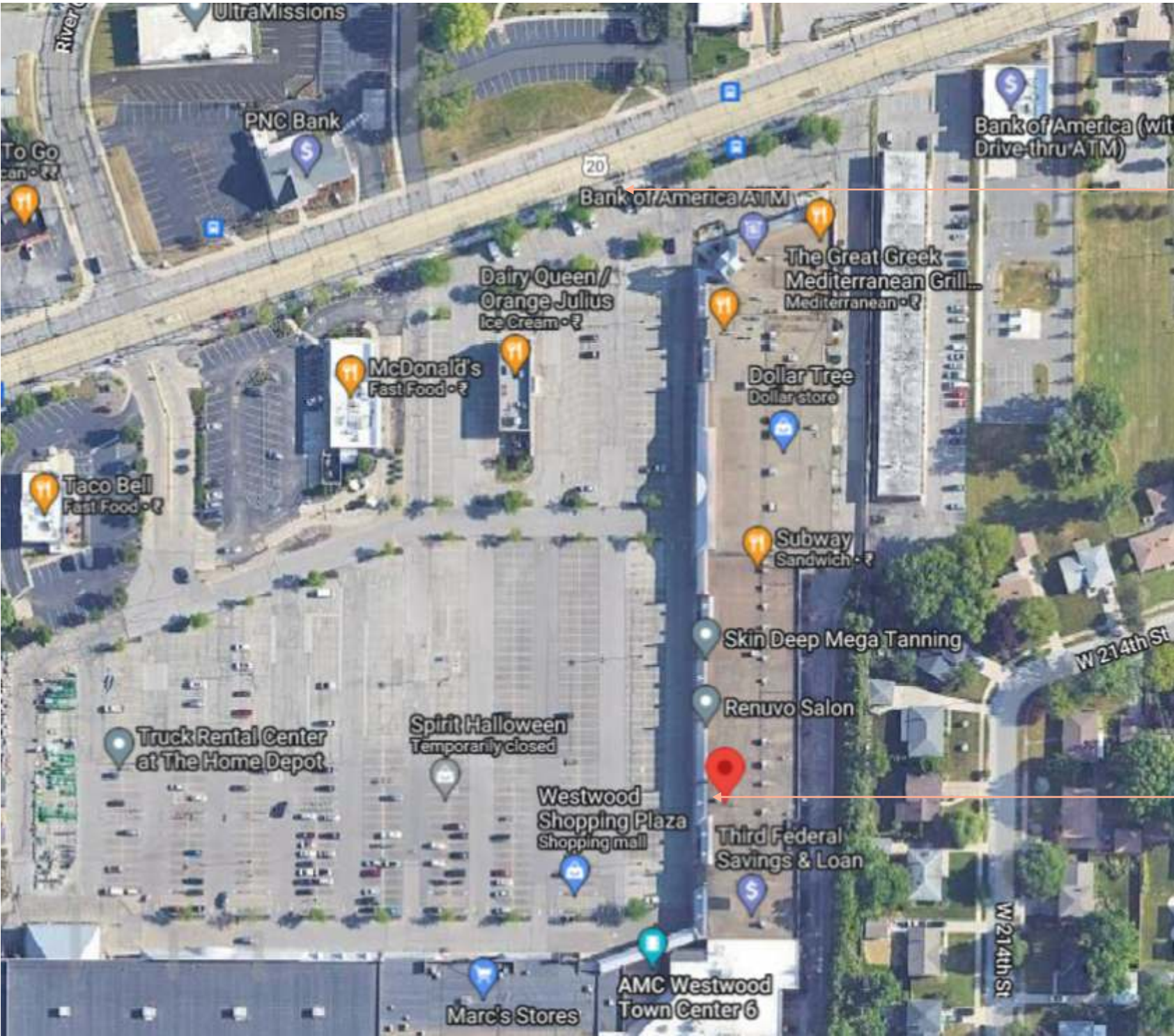
2

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Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	426929	04/25/23 PV		Rev 7	433912	06/13/23 Z-RA	
Rev 1	429121	05/10/23 KW					
Rev 2	430736	05/18/23 IS					
Rev 3	430962	05/22/23 Z-RA					
Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR					
Rev 6	432188	06/01/23 KW					

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E05

E01

E02



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4232

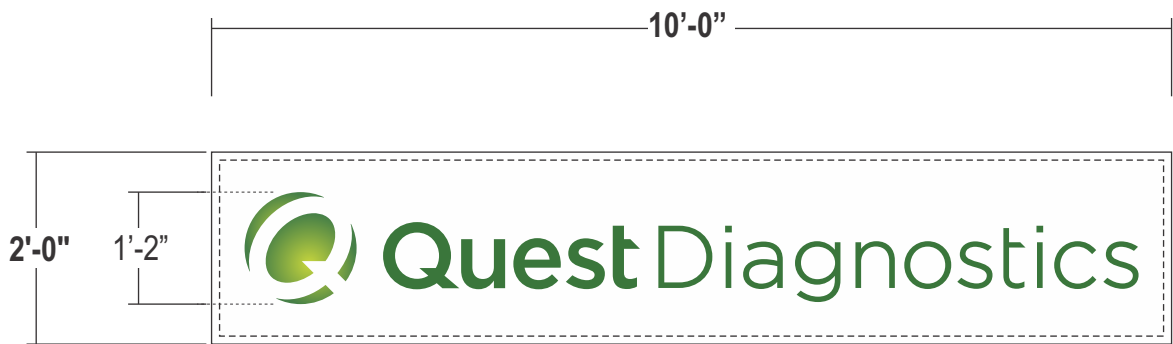
PROJECT MANAGER:
Nanette Hubert

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Original	426929	04/25/23 PV		Rev 7	433912	06/13/23 Z-RA	
Rev 1	429121	05/10/23 KW	Moved S3 to the right				
Rev 2	430736	05/18/23 IS					
Rev 3	430962	05/22/23 Z-RA					
Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR	Updated site plan				
Rev 6	432188	06/01/23 KW					

SURVEY PHOTOS



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Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR					
Rev 6	432188	06/01/23 KW					



- BKGD:

15 oz. White banner material hemmed and grommeted as required.
- GRAPHICS:

Digitally printed to match colors shown
- INSTALLATION:

Banner to be installed on front fascia, secured to brick with minimal penetrations. All holes to be repaired at the time of permanent sign installation.
- QUANTITY:

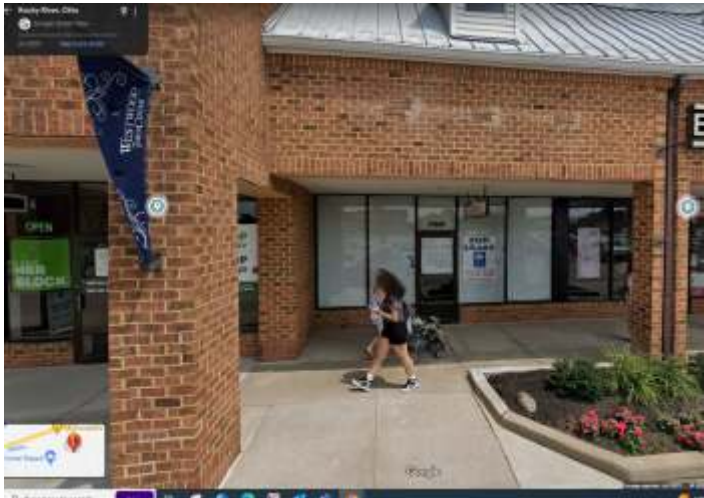
(1) One banner required

COLOR PALETTE



LOGO:
Digital Print

EXISTING CONDITIONS



18'-0"
SIGNBAND
C/L



4'-5"
SIGNBAND
C/L



PROPOSED

Scale: 3/16"=1'-0"

EXISTING SIGNAGE



NOTE: RACEWAY IS CENTERED

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Rev 1	429121	05/10/23 KW	Added page				
Rev 2	430736	05/18/23 IS					
Rev 3	430962	05/22/23 Z-RA	Updated image				
Rev 4	431303	05/24/23 Z-SA	Updated image				
Rev 5	431821	05/30/23 Z-HR					
Rev 6	432188	06/01/23 KW					

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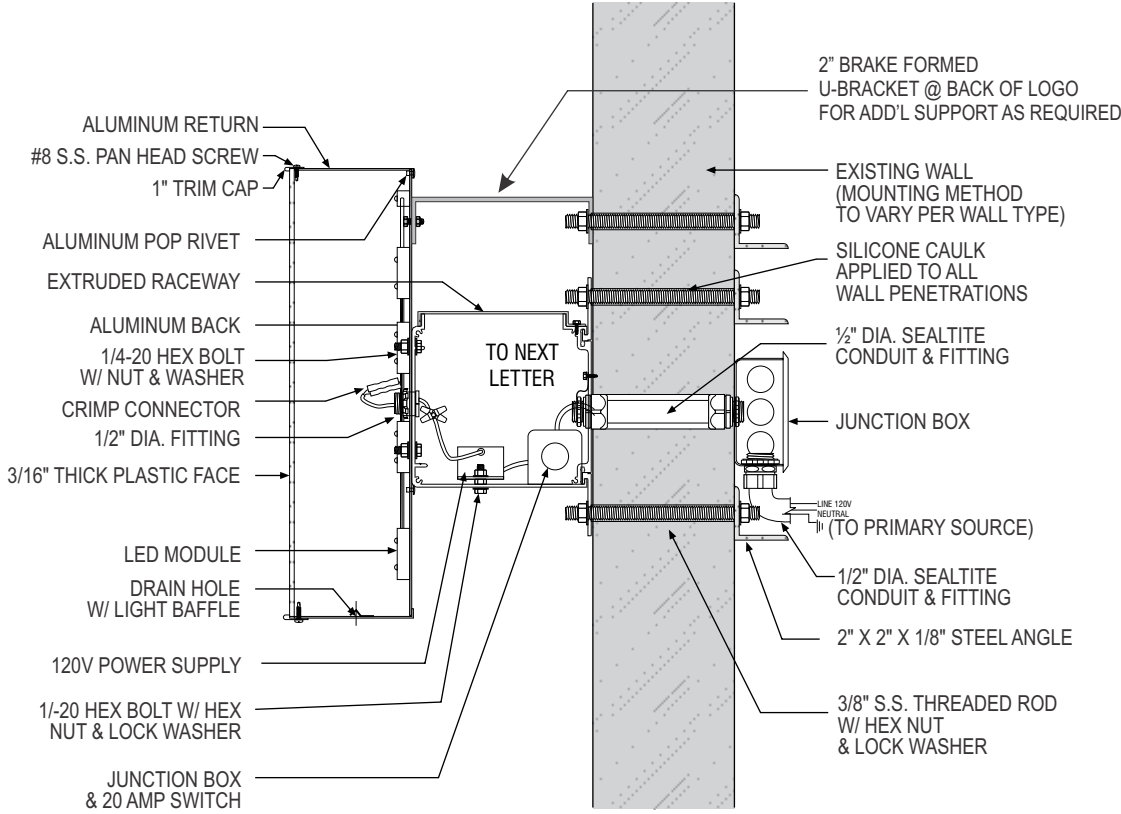
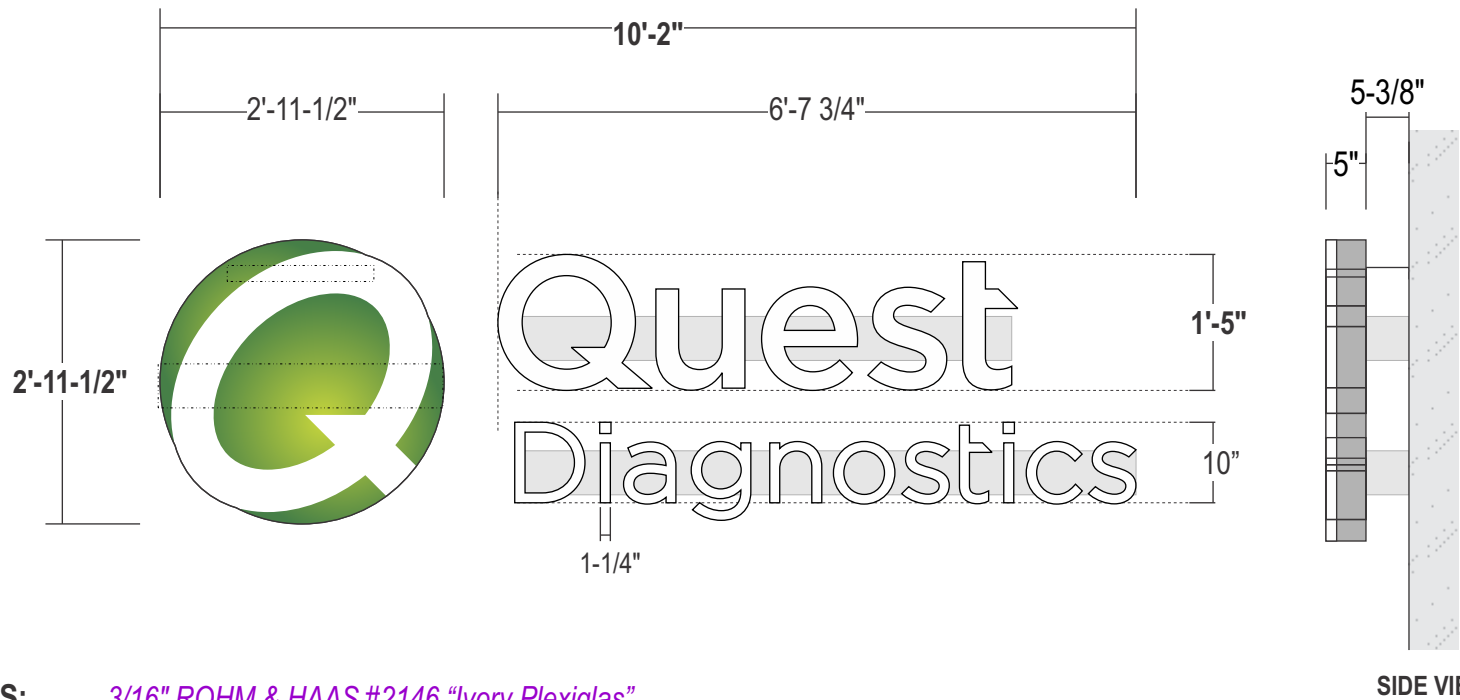
E02

ILLUM. STACKED WHITE CHANNEL LETTERS - RACEWAY MOUNTED

IL-17-S-W-R

Scale: 1/2"=1'-0"

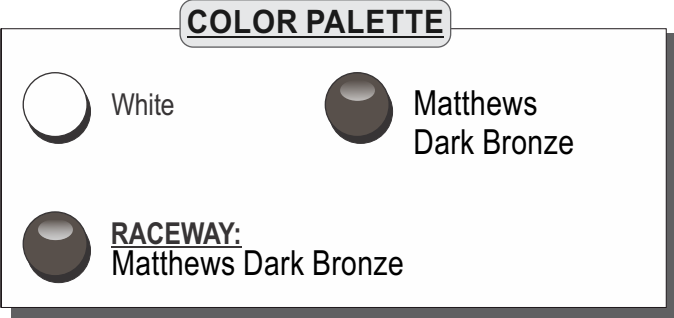
30.1 square feet



- FACES:** 3/16" ROHM & HAAS #2146 "Ivory Plexiglas"
Logo to have surface applied digital print
- TRIMCAP:** 1" trimcap - painted Matthews Dark Bronze
- RETURNS:** 5" deep .063 aluminum; painted Matthews Dark Bronze
- BACKS:** .063 alum. backs - insides painted White

- ILLUM.:** White Bitro Bantam LED's as required by manufacturer;
Power supplies housed within raceway
- RACEWAY:** 5.5" x 5.375 Extruded alum. raceway or equiv. painted to match sign band;
Additional bracing as required behind logo
- WALL MATERIAL:** Brick
- INSTALL:** Thru bolted using all thread into blocking as required;
12" standard length of threaded rod will be supplied unless otherwise noted;
3/8" threaded rod into blocking or Stratus approved equivalent;

QUANTITY: (1) ONE SET REQUIRED



ALL PAINT FINISHES TO BE SATIN
UNLESS OTHERWISE NOTED

ISOMETRIC DETAIL



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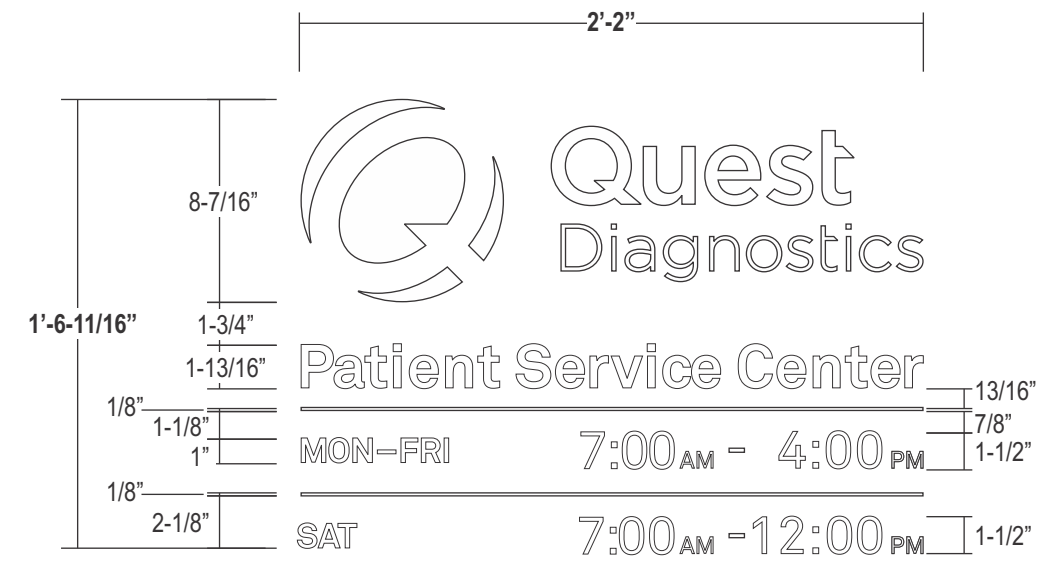
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Rev 3	430962	05/22/23 Z-RA					
Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR	Revised raceway to center & revised sign details				
Rev 6	432188	06/01/23 KW					

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EXISTING CONDITIONS

COLOR PALETTE



APPLICATION: First Surface applied vinyl graphics to match colors shown

QUANTITY: (1) ONE SET REQUIRED



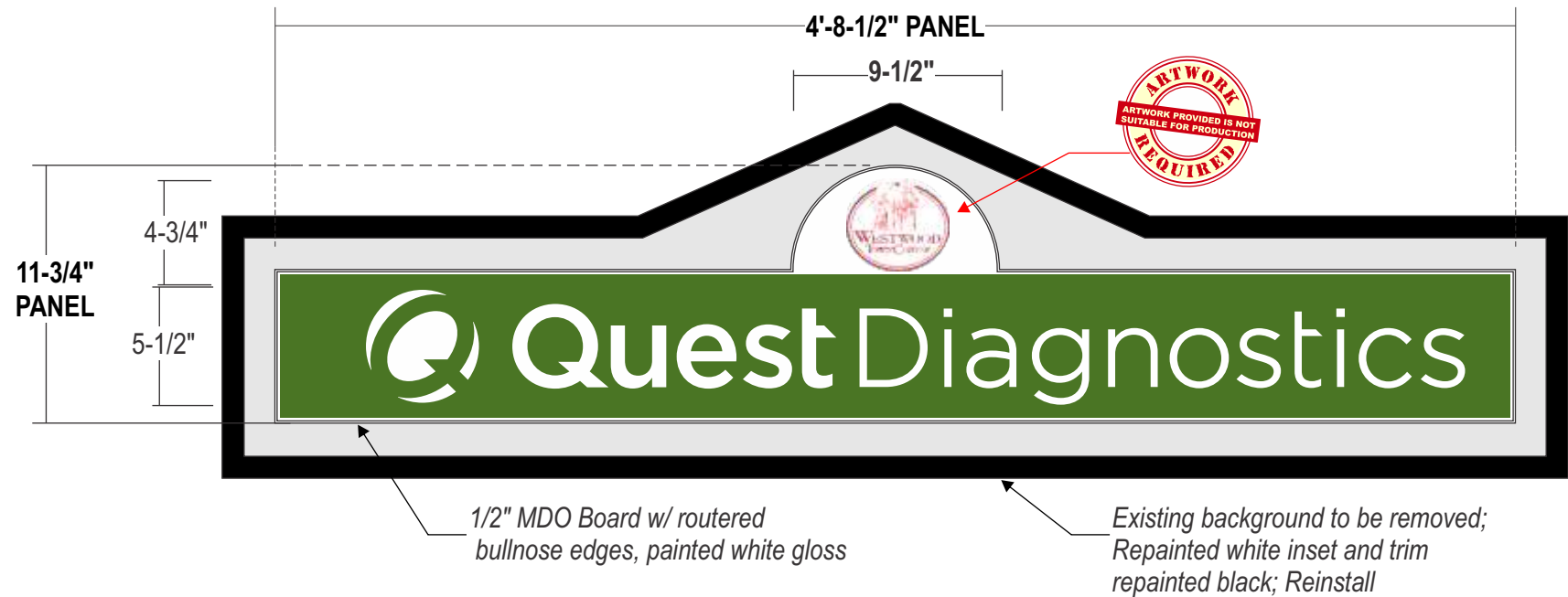
PROPOSED SIGNAGE

Scale: 1/2"=1'-0"

ELEVATION

SCALE: 3/8"=1'-0"

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Rev 1	429121	05/10/23 KW	Added page				
Rev 2	430736	05/18/23 IS	Confirmed hours				
Rev 3	430962	05/22/23 Z-RA					
Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR					
Rev 6	432188	06/01/23 KW					



- FACES:** 1/2" MDO Board w/ routed bullnose edges, painted white gloss
- GRAPHICS:** Direct print graphics - copy to show thru white
- ATTACH:** Insert to be attached to framework background with 5/8" wood screws
- QUANTITY:** (2) two faces required for d/f under canopy sign

COLOR PALETTE



NOTE: EXISTING SIGN TO BE REMOVED; EXISTING BACKGROUND REPAINTED WHITE AND METAL TRIM REPAINTED BLACK; REINSTALL

PROPOSED

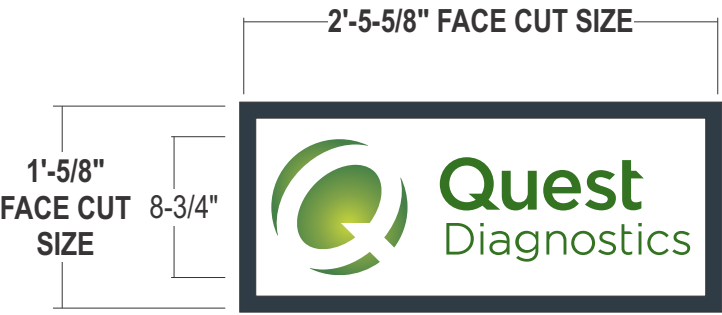
Scaled proportionally



EXISTING



EXISTING VINYL GRAPHICS TO BE REMOVED
FACES TO BE CLEANED PRIOR
TO APPLY NEW VINYL



VISIBLE OPENING: 10" X 2'-4"

- CABINET:** Existing cabinet with 1" retainer & 1" divider bars to remain
- FACES:** .150 flat white polycarbonate faces
- GRAPHICS:** Surface applied digitally printed graphics
- QUANTITY:** (2) TWO FACES REQUIRED FOR EXISTING D/F PYLON

COLOR PALETTE



EXISTING CONDITION:



EXISTING FACES TO BE REMOVED & REPLACED WITH NEW FACES

PROPOSED SIGNAGE:



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Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR	Revised to face replacements				
Rev 6	432188	06/01/23 KW					



Code information worksheet
Page 1

Property ID	QUEST DIAGNOSTICS
Site Name	QUEST DIAGNOSTICS 4999
Site Address	21629 Center Ridge Rd Rocky River, OH 44116-3917

Ground Signs	
Number allowed (maximum):	When a freestanding sign is permitted on a site that has more than one occupant, it is the property owner's responsibility to determine if the sign area shall be devoted to identification of the building(s), the anchor occupant, all occupants, or some combination thereof. There is currently a multi-tenant freestanding sign on the premises. Check with landlord for tenant panel allowances. An exclusive freestanding sign may not be permitted. These provisions do not guarantee that a freestanding sign is permitted. Subject to site plan and landlord approval.
Size allowed (maximum sq. ft) one side:	
Both pylons & monuments allowed?	
How is sq.ft. of sign determined?	
Height restrictions (overall height.):	
Pole cover restrictions?	
Clearance restrictions?	
Setback restrictions? (Explain)	
Visibility triangle restrictions? (Explain)	
Feet between signs allowed?	
Projection over public way allowed?	
If Yes; Dimensions:	
Does face change require permit?	
Required wind load rating?	
Other restrictions/ comments:	

Wall Signs / Awnings	
Number allowed (maximum):	The number of wall signs permitted is based on eligible frontages. One (1) signable area may be chosen for each building frontage of the occupant that is eligible for wall signs and the square footage for such area shall be calculated as an imaginary rectangle or square enclosed therein.
Size allowed (maximum):	40% of signable area. Sign Bonuses for Large Building Setbacks: The maximum allowable area for a building sign may be increased by 25% for each 100 feet or fraction thereof of building setback when the principal building is located more than 100 feet from the principal street on which the building is located and the building is visible from the street, not to exceed 200% of the maximum allowable area.
How is sq.ft. of sign determined?	In calculating the sign area of a wall and roof sign the following provisions apply: i. The total area of the sign, including the background, is counted as part of the sign area, if the sign is enclosed by a box or outline. ii. For a sign comprised of individual letters, figures or elements on a wall or similar surface of the building or structure, the area and dimensions of the sign shall encompass a regular geometric shape (rectangle, circle, or triangle), or a combination of regular geometric shapes, which form, or approximate, the perimeter of all elements in the display.

Are raceways allowed?	Per Kate: Yes, as long as the signs conform to the code.
Projection restrictions?	Not more than twelve inches from the face of the wall. Each occupant is entitled to display a sign or signs containing a cumulative total of no more than eight (8) items of information along a primary frontage. Each occupant is entitled to display a sign or signs containing a cumulative total of no more than six (6) items of information along a secondary frontage. Each occupant is entitled to display a sign or signs of no more than six (6) square feet at the rear entrance for identification or instruction purposes. An item of information means any of the following: a word, an abbreviation, a number, a symbol or a geometric shape. [] In computing items of information, the following lettering is not to be included: i. Letters less than three (3) inches in height, if they are contained in a wall sign. ii. Letters less than nineteen (19) inches in height carved into or securely attached in such a way that they are an architectural detail of a building, provided: a. They are not illuminated apart from the building, are not made of reflecting material, and do not contrast sharply in color with the building. b. Do not exceed one (1) inch in thickness. iii. Directional signs no larger than two (2) by three (3) feet. [] In calculating the sign area of a wall and roof sign the following provisions apply: i. The total area of the sign, including the background, is counted as part of the sign area, if the sign is enclosed by a box or outline. ii. For a sign comprised of individual letters, figures or elements on a wall or similar surface of the building or structure, the area and dimensions of the sign shall encompass a regular geometric shape (rectangle, circle, or triangle), or a combination of regular geometric shapes, which form, or approximate, the perimeter of all elements in the display. [] Wall signs placed in the vertical space between windows may not exceed in height more than two-thirds (2/3) of the distance between the
Other restrictions/ comments:	

Projection Signs (Awnings, Flag and Blade Sign)	
Number allowed (maximum):	A projecting sign may be displayed only if the building is located within six (6) feet of the public right-of-way.
Size allowed (maximum):	6 sq. ft.
Projection restrictions?	A projecting sign shall be at least six (6) inches from the wall and extend no more than three (3) feet beyond the face of the building wall or other structure.
Other restrictions/ comments:	All projecting signs shall be placed at least 10 feet above ground level, except when the projecting sign is located above a landscaped area or other area that does not permit pedestrian traffic beneath the sign.

Directional Signs	
Number allowed (maximum):	2 per driveway
Size allowed (maximum):	6 sq. ft.
Height restrictions? (Explain)	4 ft.
Setback restrictions? (Explain)	No setback; must be outside the right-of-way.
Engineering required? (Explain)	Yes.
Dir. signs included in total sq.ft.?	Engineering may be required depending on the scope of work.
Logo allowed/name allowed?	No.
Other restrictions/ comments:	The code does not note content restrictions.
	Instructional signs shall be exempt provided such signs comply with the following: A. Instructional signs shall be clearly intended, designed and located for instructional purposes, as determined by the Zoning Administrator; B. Each sign shall not be larger than necessary to serve the intended instructional purpose; C. The sign is not in a location and does not possess design characteristics that constitute or serve the purposes of an identification sign. D. If the Zoning Administrator determines that the proposed sign(s) does not serve instructional purposes, it shall be considered a freestanding or wall sign, as applicable, and subject to the pertinent regulations in this Chapter.

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Date/Artist

Description

Original

426929

04/25/23 PV

Rev 1

429121

05/10/23 KW

Added page

Rev 2

430736

05/18/23 IS

Rev 3

430962

05/22/23 Z-RA

Rev 4

431303

05/24/23 Z-SA

Rev 5

431821

05/30/23 Z-HR

Rev 6

432188

06/01/23 KW

Rev #

Req #

Date/Artist

Description

Rev 7

433912

06/13/23 Z-RA

Auxiliary Signage	
Window sign restrictions (%)?	Permanent window signs, which shall be any window sign displayed for more than thirty (30) days, shall have a maximum area not greater than twenty percent (20%) of the total window area of the space occupied by the occupant. The total area of window signage permitted may be aggregated onto one or more window panels provided that such signs do not cover more than thirty percent (30%) of the window panel to which they are affixed or behind which they are placed. The total area of permanent and temporary window signage shall not exceed twenty-five percent (25%) of the total window area of the space occupied by the occupant. A temporary window sign is to be displayed not more than thirty (30) days. Temporary window signs must be attached to the inside of the window. In addition to such other window signage as may be permitted by this Chapter, each occupant may display one window (1) sign, not to exceed a maximum of one (1) square foot in area, which indicates its hours of operation and one (1) window sign, not to exceed two (2) square feet in area consisting solely of the words "open" or "closed". These signs shall be in addition to the maximum signable area for building signs.
Permits required for plaques?	The following signs and displays are exempt from the regulations of this Chapter: Building Marker. Any sign displaying the name of a building and date and incidental information about its construction. Such sign is typically cut into the façade of the building.
Permits required for door vinyls?	Yes.
Permits required for other door decals?	Yes.
% of glass allowed for vinyls?	Permanent window signs shall have a maximum area not greater than twenty percent (20%) of the total window area of the space occupied by the occupant. The total area of permanent and temporary window signage shall not exceed twenty-five percent (25%) of the total window area of the space occupied by the occupant.
Other restrictions/comments:	Window signs may be illuminated only during the hours of operation of the occupant. The use of light sources (such as lighting strips consisting of florescent bulbs or tubes, neon tubing, individual bulbs) to outline or border any edge of a window panel shall be prohibited. Window area shall be the total glass area of windows and doors on the wall of a building facing a public street for that portion of a building occupied by an occupant. Opaque panels shall not be considered window area or window signage. For the purposes of determining window area for ground floor occupants, the ground floor shall be considered to be no more than fifteen (15) feet in height above grade.
Reface	
Are permits required for reface?	Per Kate: Yes – any changes to the sign needs a permit.
Other restrictions/comments:	

Code information worksheet	
Page 2	
Temporary Signs & Banners	
Are temporary signs allowed?	Temporary construction or development signs announcing any proposed building or a building under construction, remodeling or reconstruction, or advertising the sale, rental or lease of any building, buildings, or a part thereof. The maximum area shall be thirty-two (32) square feet, and the maximum height shall be six (6) feet.
Permit required?	A temporary sign permit shall be obtained from the Zoning Administrator before the placement of any temporary construction or development sign authorized hereunder with the permit fee.
How long can they be left up?	Any sign authorized hereunder shall be permitted only for a period not to exceed ninety (90) days from the issuance of the temporary sign permit or the period of construction, remodeling or reconstruction, whichever time period is shorter, and then shall be removed. However, the Zoning Administrator may extend the time period for delays caused by conditions beyond the control of the owner or contractor or for other good and sufficient reasons.
Material restrictions?	Temporary signs shall be durable and weather-resistant, and fastened or anchored sufficiently, whether attached to the building or positioned in the ground.
Other restrictions/comments:	Such signs shall be located on the lot to be occupied or occupied by the building or use advertised not less than twenty-five (25) feet from any street.
Are banners allowed?	Banners are prohibited in the city.
Permit required?	
How long can they be left up?	
Other restrictions/comments:	
Permits	
1. Projected processing time for standard permit?	6-8 weeks. At least 2 weeks for zoning and an additional 30 days for Building. Normal permitting times may not be in effect during the pandemic. As cities learn to revamp the way they do things, you can expect delays. Per Kate: Design Board Review is necessary – first and third Monday of every month at 5:00 pm. Submissions are due to me on the Wednesday before the meeting – 3 hard copies of the sign specs and 3 sets of photos of the sign superimposed on the building from far enough away to see signs on neighboring tenants. Make sure the total square footage of all signage is included on the sign permit application. A unique or creative sign proposal that deviates from the objective requirements of this Chapter for a building or group of buildings shall be considered by the Design and Construction Board of Review utilizing the criteria below: (1) The sign is of such size and scale to be appropriate for the size of the building and the portion of the building (panel, fascia, wall, etc.) and/or lot on which the sign will be placed. (2) The proposed sign is the minimum of relief necessary to assure it is legible to the intended viewers that are typically the passing motorists. (3) The additional sign, the additional sign area, the alternative location that is proposed, and/or the design of the proposed sign will not adversely impact the adjacent residential areas or, otherwise, compromise any other public interests. The Design and Construction Board of Review meetings are held on the first and third Mondays of each month at 5:00 pm in the David J. Cook Council Chambers, City Hall. A variance would take about 1 month – attend a meeting on the second Thursday of the month at 7:00 pm. Submission deadline for variance paperwork and plans is 2 weeks prior to the meeting. Design and Construction Board of Review: 50-90 days
2. Variance/special permit, architectural or historical review? (Explain)	
If yes, projected processing time?	Yes, with a permit.
3. If the existing sign is under a variance, are we allowed	10-15 sets.
4. How many copies of drawings are required?	May be required depending on the scope of work.
5. Are certified plot plans required?	Yes.
6. Is written landlord approval required?	No.
If yes, can an authorized agent provide?	Yes.
7. Does the permit application need to be signed by the	Yes.
8. Contractor's license required?	

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CODE CHECK

9. What drawings/documents are required for permit submittal?

character, color of the letters and the background, lines and symbols; the method of illumination, if any; details and specifications for construction, erection and attachment, as well as the exact location of the sign in relation to the building and property, showing the dimensions of the building. Also, a photograph of the sign's proposed location shall be submitted for all sign applications.
All structural materials and methods of construction must be detailed on drawings and sufficient for the purpose intended, as approved by the Building Commissioner.

9a. How many sets of drawings are required?

3 sets.

10. Illumination allowed? (If not, explain)

limitations indicated in this Section.
A. Colored light.
B. Flashing signs which consist of a light which is intermittently on and off are prohibited.
C. Illuminated surface colors, internal illumination, such as a light source concealed or contained within the sign, and which becomes visible in darkness through a translucent surface.
D. Indirect illumination, such as a light source not seen directly.
E. Floodlight illumination, provided that the floodlight or spotlight is positioned so that none of the light shines onto an adjoining property or in the eyes of pedestrians or motorists.
F. Neon tube illumination such as a light source applied by a neon tube which is bent to form letters, symbols or other shapes.
G. Illumination controls. Flashing, moving, rotating intermittently lighted signs or other mechanically rotated or eye-catching devices shall be prohibited. Display signs illuminated by electricity, or equipped in any way with electric devices or appliances, shall conform with respect to wiring and appliances to provisions of the Chapter relating to electrical installations. Signs shall not be illuminated by fluorescent lamps using more than four hundred twenty-five (425) milliamperes or by transformers of more than thirty (30) milliamperes capacity. Fluorescent lamps of eight hundred (800) milliamperes may be used provided the spacing between such lamps is no less than nine (9) inches from center to center of lamp and such lamps are not closer than five (5) inches from center of lamp to inside face or faces of sign. Neon tubing may be powered by milliampere transformers only when such tubing is used to back light silhouetted letters or for the internal illumination of plastic faced signs or letters. Such tubing shall not be visible to the eye and shall not be closer than one (1) inch to the plastic face or letter of any sign. Signs shall be permitted to be illuminated in compliance with the following:
A. Light sources shall be shielded from all adjacent buildings and streets.
B. Lights shall not be of such brightness so as to cause glare that is hazardous to pedestrians or motorists, or cause reasonable objection from adjacent residential districts.
C. The illumination of signs shall not obstruct traffic control or any other public informational signs. Signs visible from sight lines along streets shall not contain symbols or words, or red and green lights that resemble highway traffic signs or devices.

11 Most recent code change?

Sign code adopted: 1995; last updated 12/12/2011

12. Zoning classification?

GB; General Business

13. Is site located in PUD?

Per Kate: Just follow the sign code – Chapter 1193.

14. Overlay or Special District?

Per Kate: Just follow the sign code – Chapter 1193.

15. Building/signage color restrictions? (Explain)

All signs must be of unbreakable material such as wood, steel, stone, concrete or masonry. Plastic type faces must be Lexan (or Equal). All structural materials and methods of construction must be detailed on drawings and sufficient for the purpose intended, as approved by the Building Commissioner.
In addition to ensuring compliance with the numerical standards of these regulations, the Design and Construction Board of Review/Zoning Administrator shall consider the proposed general design arrangement and placement of the sign according to the following criteria:
(a) The lettering shall be large enough to be easily read but not overly large or out of scale with the building or site.
(b) The sign should be consolidated into a minimum number of elements.
(c) The ratio between the message and the background shall permit easy recognition of the message.
(d) The size, style, and location of the sign shall be appropriate to the activity of the site.
(e) The sign shall complement the building and adjacent buildings by being designed and placed to enhance the architecture of the building.
(f) Signs shall be designed with a limited number of, and harmonious use of, colors.
(g) Signs should be commonly designed as part of the building or architectural style and not just be unrelated areas with lettering.
(h) Signs, if seen in series, shall have a continuity of design with the style of sign generally consistent throughout the building or block.

16. Estimated Costs?

http://s804876413.onlinehome.us/building/fee_schedule.pdf

Permit comments:

https://static.squarespace.com/static/52643d8ae4b0a21de5ce44c9b/S2f3e550n4b0bae912c16e2f/1391715664494/sign_permit.pdf

Additional Code information attached: (Check box if yes.)

https://codelibrary.amlegal.com/codes/rockyriver/latest/rockyriver_oh/0-0-0-19305

Code Information Contacts

City / County Contact Name:	Kate Straub
Phone:	440-331-0600 ext. 2037
Who has jurisdiction City / County:	City of Rocky River
Company that performed code research:	Expedite The Diehl
Code research contact:	614.828.8215

This code check is provided with the assumption that you will get the landlord / property owner approval. The information herein is limited to what the city has told us, and we cannot be responsible if they do not inform us that a sign plan is in place. We strongly encourage you to check past issues for landlord criteria and to apply for permits before manufacturing a sign. Sign criteria is reported as presented to us as of the "Completion Date". ETD is not responsible for changes in local sign code after the completion date, nor for the review process interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacturing, if required by authority. The recipient of this code check understands and agrees to the following: This code check is not conclusive and should not be used in place of the definitions, prohibitions and assumptions of the ordinance. This code check is good for the day on which it is completed only. Information contained herein is a guideline and should not in any way be taken as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that may differ from that of the ordinance for their city/country/county; we cannot be held responsible for misal manner and interpretations. This code check is completed without the knowledge of specific project details and Expedite The Diehl LLC does not assume any liability, we simply provide the code information based on the current code, 2023.

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ADDRESS:

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Rocky River, OH 44116-3917

PAGE NO.:

13

ORDER NUMBER:

1192718

SITE NUMBER:

4999

FILE PATH:

K:\ACCOUNTS\I\Quest Diagnostics\LOCATIONS\2023\OH\4999_Rocky River\4999_Rocky River R7

PROJECT NUMBER:

4232

PROJECT MANAGER:

Nanette Hubert

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	426929	04/25/23 PV		Rev 7	433912	06/13/23 Z-RA	
Rev 1	429121	05/10/23 KW	Added page				
Rev 2	430736	05/18/23 IS					
Rev 3	430962	05/22/23 Z-RA					
Rev 4	431303	05/24/23 Z-SA					
Rev 5	431821	05/30/23 Z-HR					
Rev 6	432188	06/01/23 KW					

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