



PROPOSED ADDITION & REMODEL

19320 TELBIR AVE.
ROCKY RIVER, OHIO 44116

GENERAL NOTES:

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS- CHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR AND WALL OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

ELECTRICAL:

ALL ELECTRICAL IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL ELECTRICAL CODES. CONTRACTOR IS RESPONSIBLE FOR USABILITY AND UPGRADE ABILITY OF CURRENT SERVICE PANEL. CONTRACTOR AND CLIENT TO DETERMINE EXACT LOCATION OF OUTLETS, FIXTURES AND SMOKE, CO DETECTORS.

HVAC:

ALL HVAC IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT THE CAPACITY OF CURRENT SYSTEM IS ADEQUATE OR AN UPGRADE IS NECESSARY. CONTRACTOR IS ALSO RESPONSIBLE FOR PLACEMENT AND SIZING OF ALL DUCTS AND AIR RETURNS.

PLUMBING:

ALL PLUMBING IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR SIZING ALL DRAINS AND VENT PIPES.

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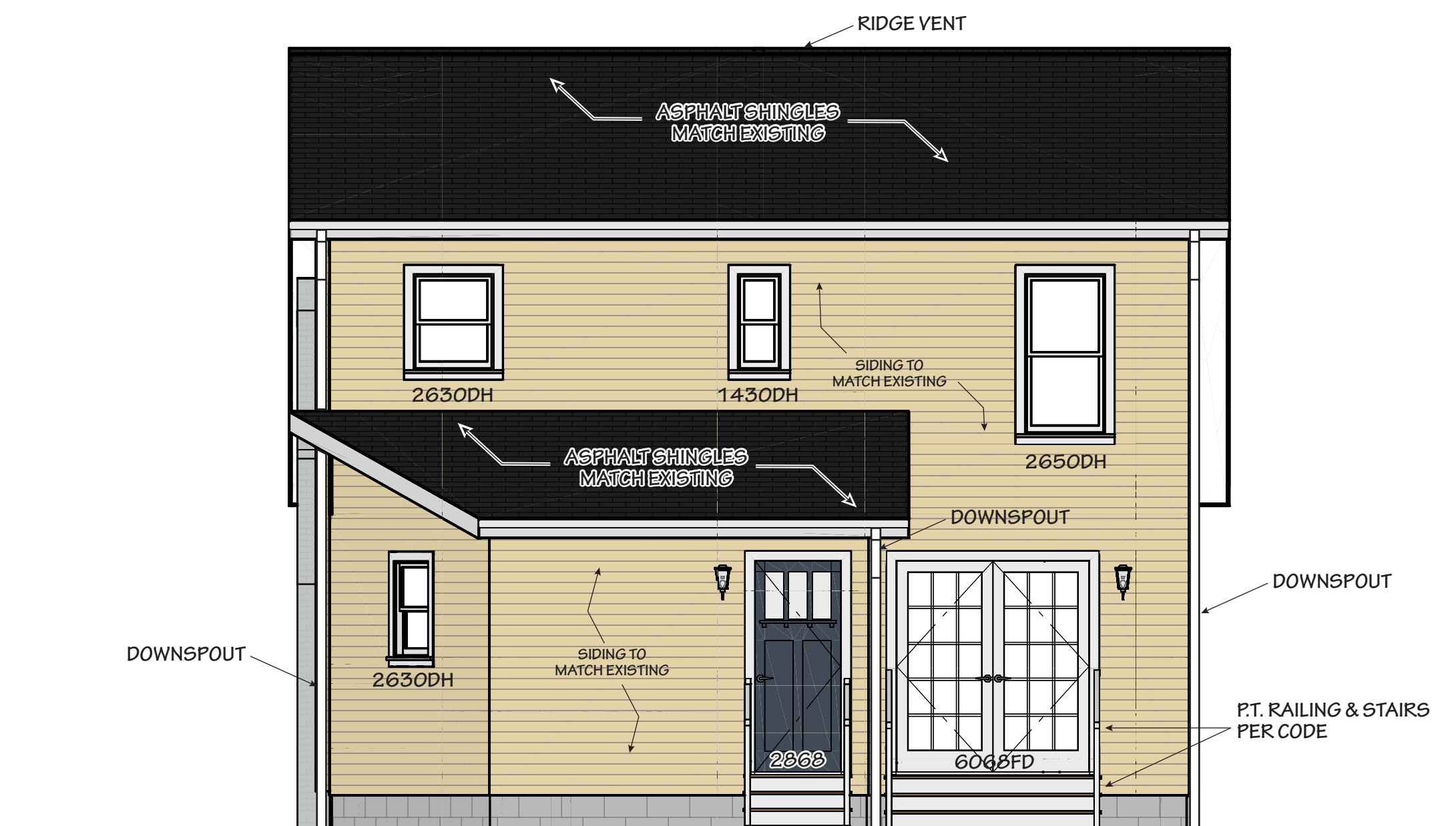
3D VIEW
SCALE = NONE

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ADDITION & REMODEL PLANS FOR:
RESIDENCE
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SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

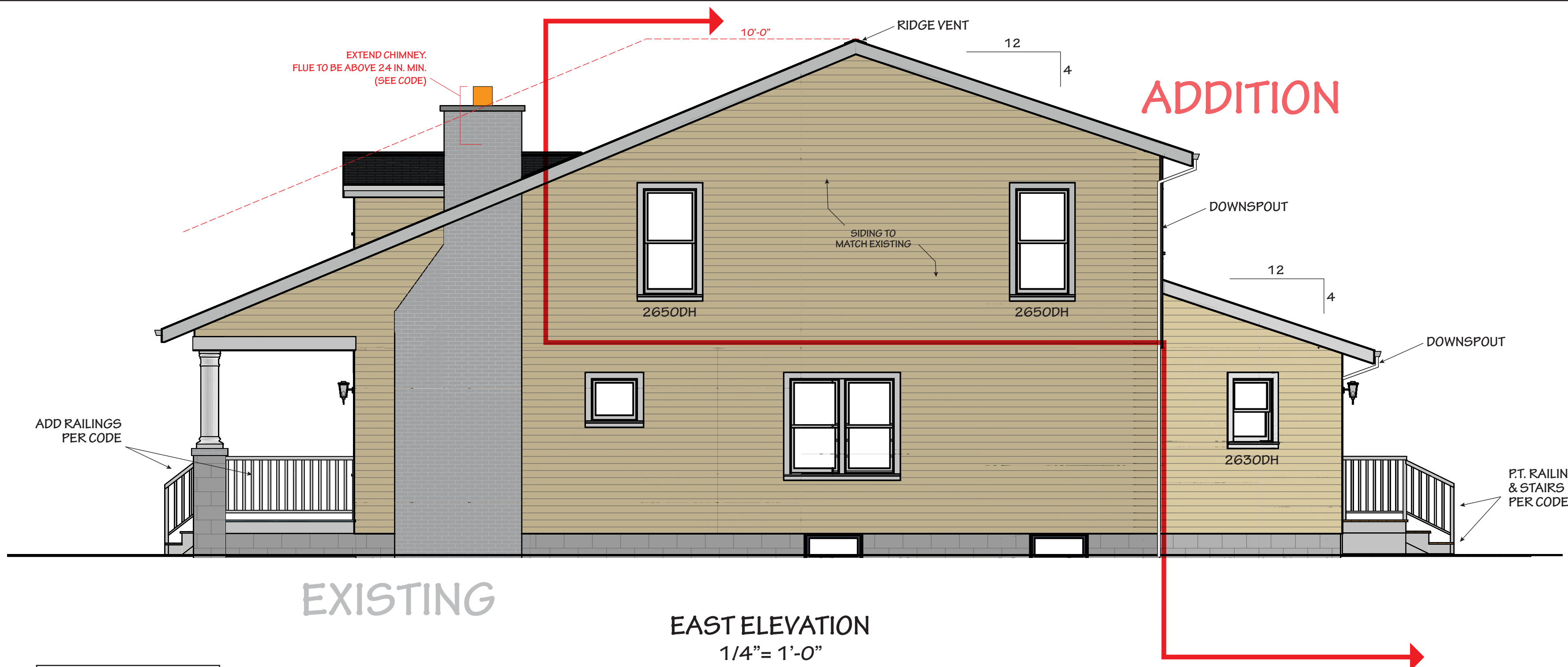
WINDOW AND DOOR
SIZE KEY:

FE. IN. FT. IN.
2840DH
WIDTH HEIGHT TYPE

DH DOUBLE HUNG
SH SINGLE HUNG
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT
RS RIGHT SLIDING
LS LEFT SLIDING
AW AWNING
SD SLIDING DOOR
FD FRENCH DOOR

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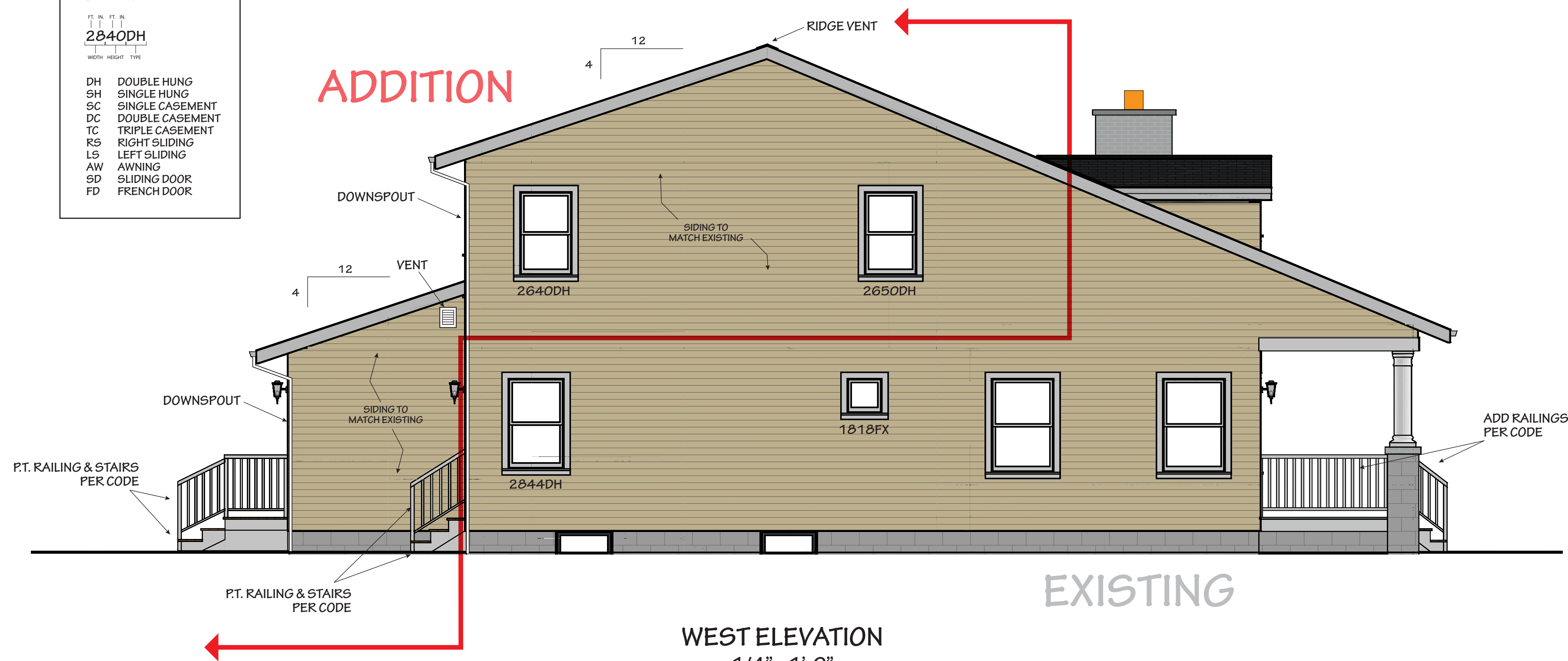


EXISTING

EAST ELEVATION
1/4" = 1'-0"

WINDOW AND DOOR SIZE KEY:

FT.	IN.	FT.	IN.
1	1	1	1
2840DH			
WIDTH	HEIGHT	TYPE	
DH	DOUBLE HUNG		
SH	SINGLE HUNG		
SC	SINGLE CASEMENT		
DC	DOUBLE CASEMENT		
TC	TRIPLE CASEMENT		
RS	RIGHT SLIDING		
LS	LEFT SLIDING		
AW	AWNING		
SD	SLIDING DOOR		
FD	FRENCH DOOR		



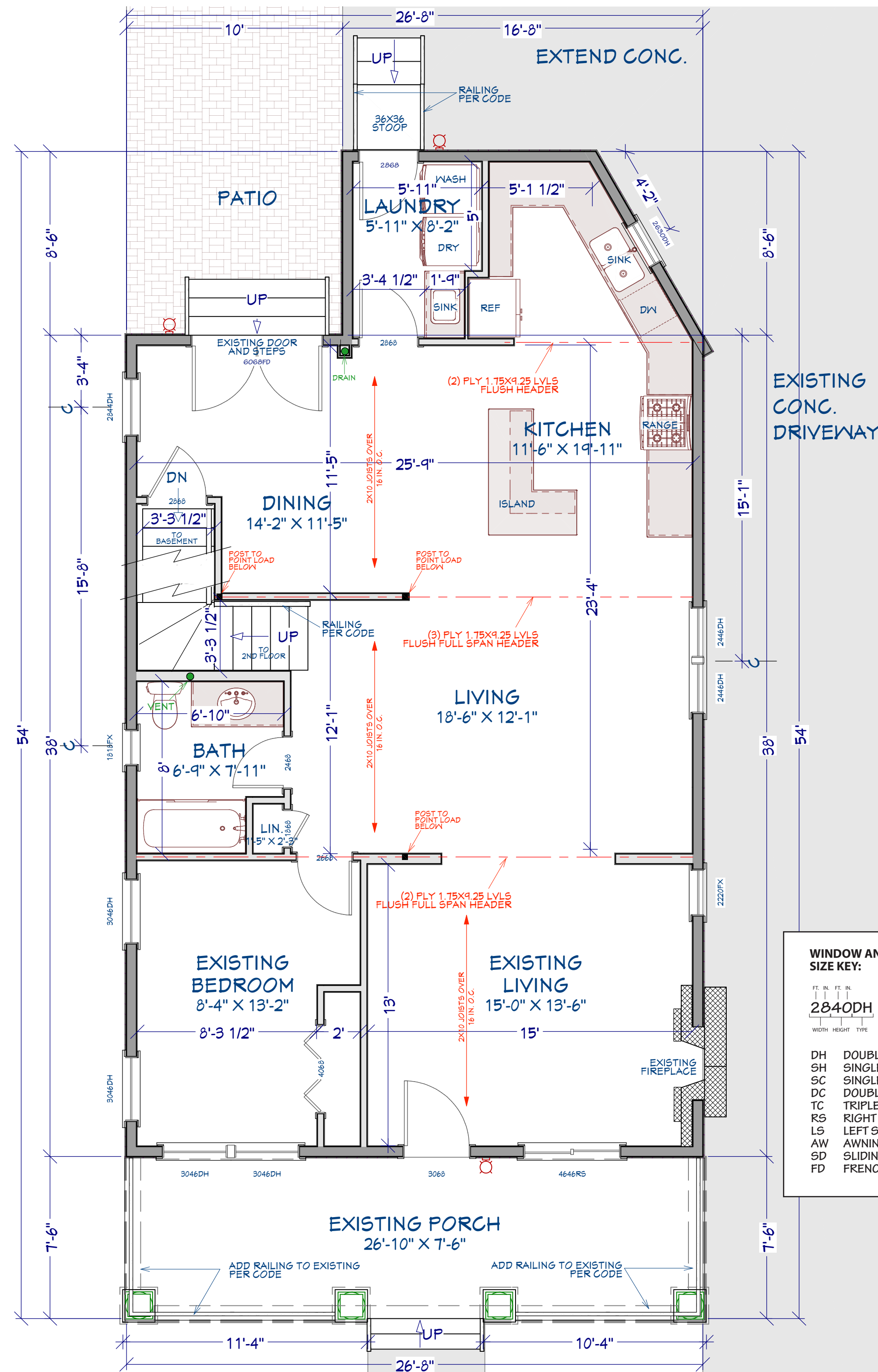
EXISTING

WEST ELEVATION
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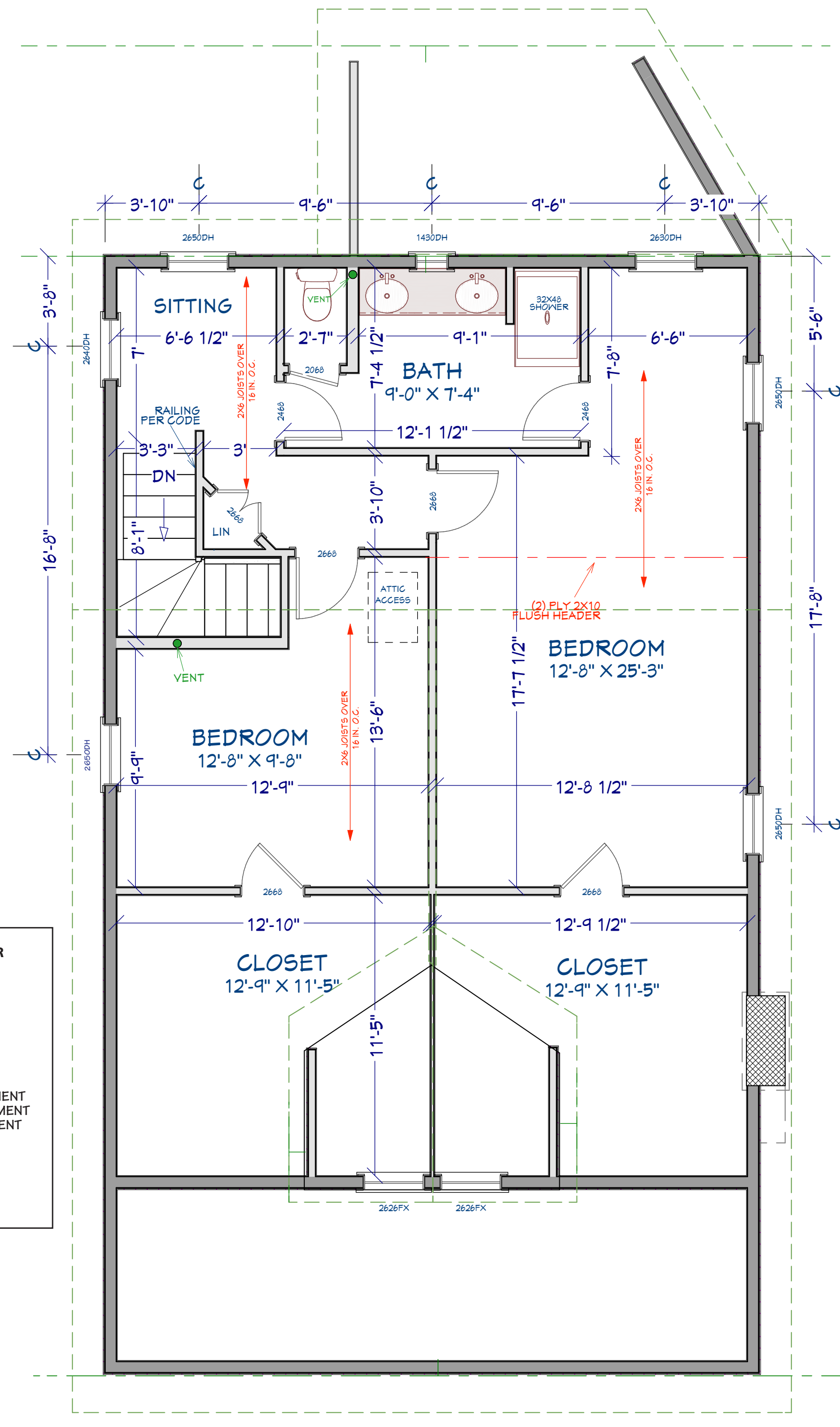
A3



WINDOW AND DOOR SIZE KEY:

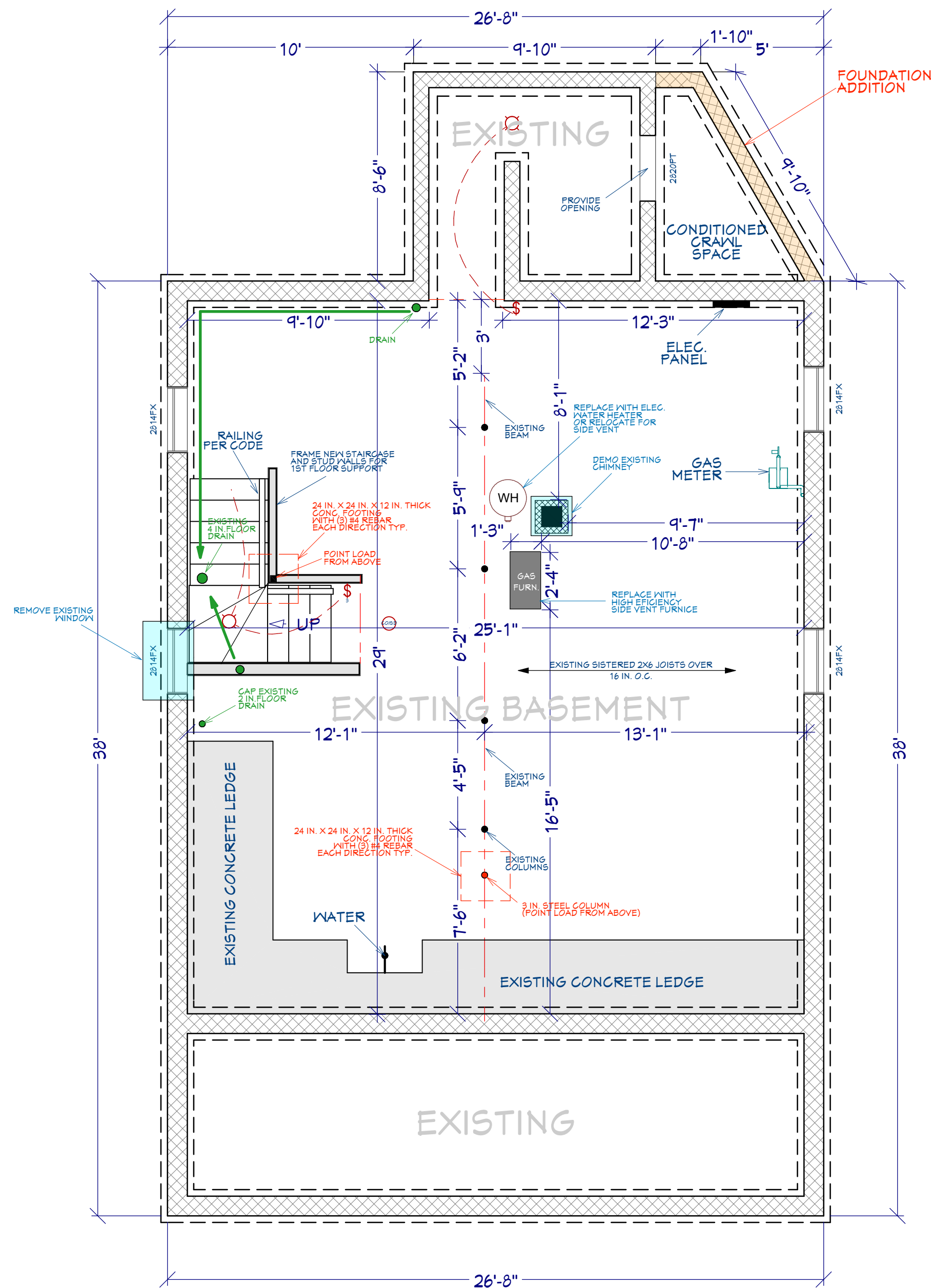
FT.	IN.	FT.	IN.	TYPE
28	4	0	0	DH
28	4	0	0	SH
28	4	0	0	SC
28	4	0	0	DC
28	4	0	0	TC
28	4	0	0	RS
28	4	0	0	LS
28	4	0	0	AW
28	4	0	0	SD
28	4	0	0	FD

Legend:
 DH DOUBLE HUNG
 SH SINGLE HUNG
 SC SINGLE CASEMENT
 DC DOUBLE CASEMENT
 TC TRIPLE CASEMENT
 RS RIGHT SLIDING
 LS LEFT SLIDING
 AW AWNING
 SD SLIDING DOOR
 FD FRENCH DOOR



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SYMBOLS KEY

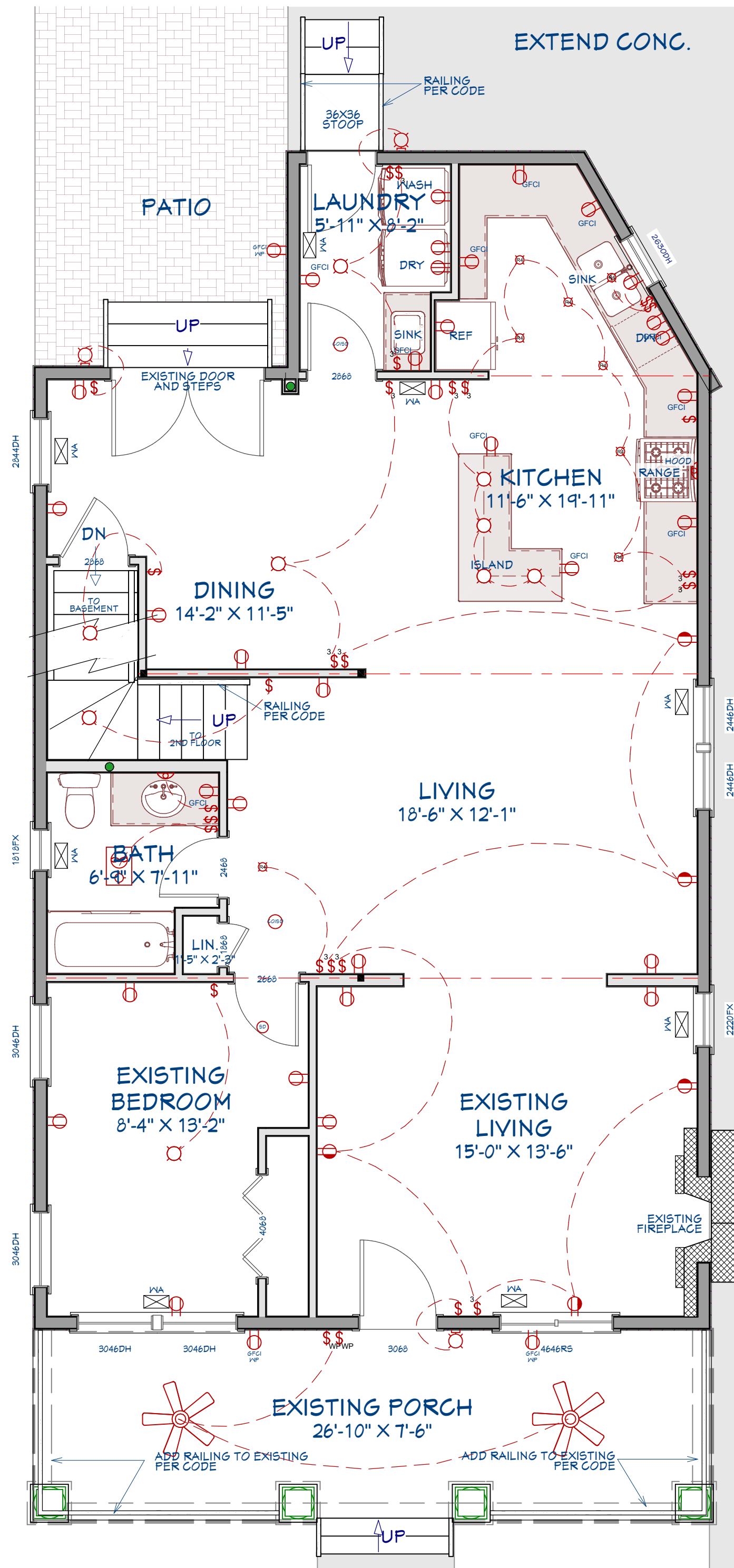
- 110V DUPLEX OUTLET
- 110V SPLIT WIRED DUPLEX OUTLET
- 110V DUPLEX GROUND FAULT INTERRUPT CIRCUIT
- 110V WEATHERPROOF DUPLEX GROUND FAULT INTERRUPT CIRCUIT
- 110V FLOOR MOUNTED DUPLEX OUTLET
- 110V CEILING MOUNTED DUPLEX OUTLET
- 220V OUTLET
- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- RECESSED CAN LIGHT
- LIGHT FIXTURE
- CO / SMOKE DETECTOR
- SMOKE DETECTOR
- EXHAUST FAN WITH LIGHT
- ELECTRIC METER
- ELECTRICAL PANEL
- HVAC CEILING REGISTER
- HVAC FLOOR / WALL REGISTER

BASEMENT PLAN
1/4" = 1'-0"

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A5

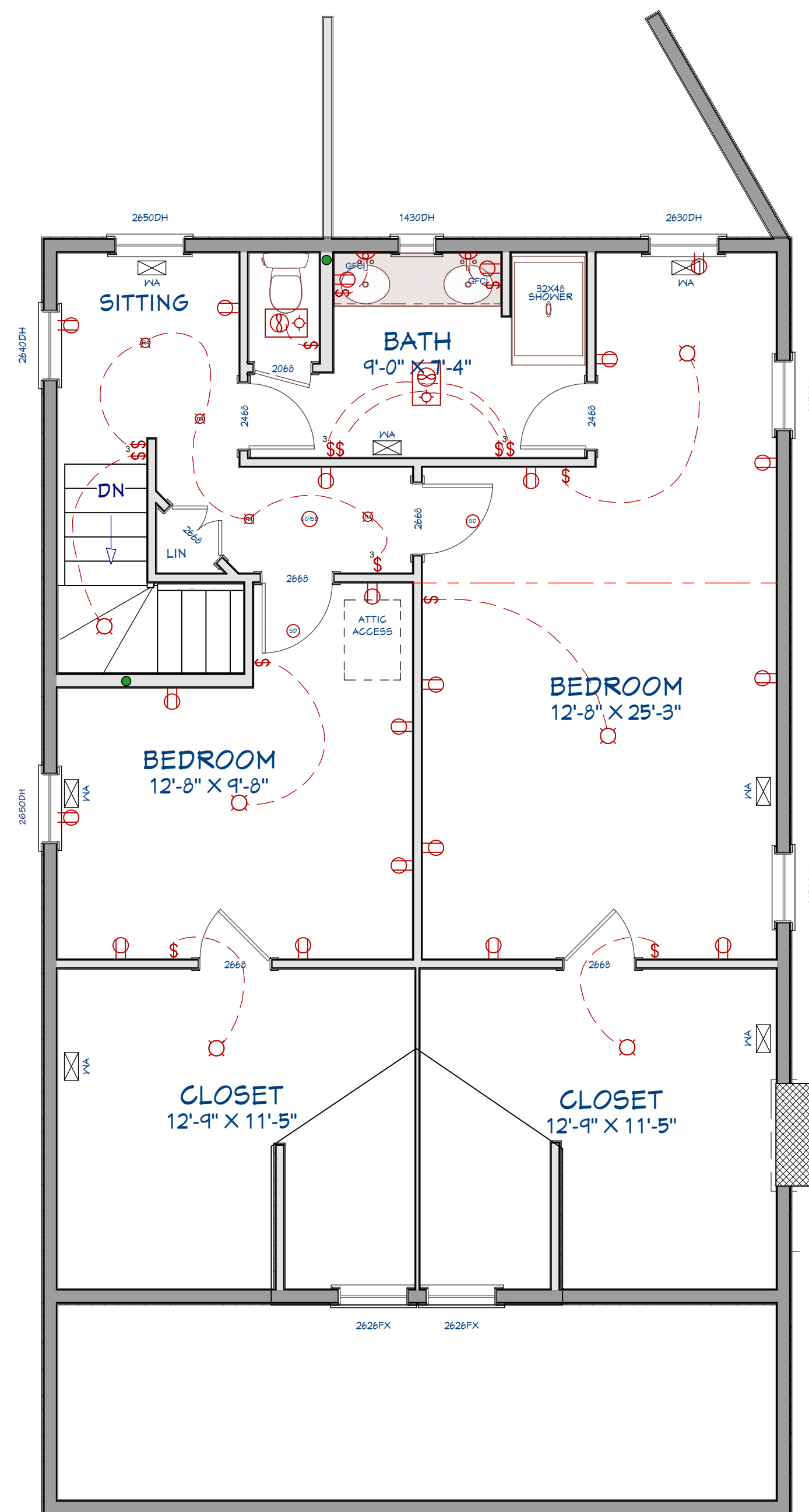


1ST FLOOR ELECTRICAL / HVAC PLAN
1/4" = 1'-0"

EXISTING CONC.
DRIVEWAY

SYMBOLS KEY

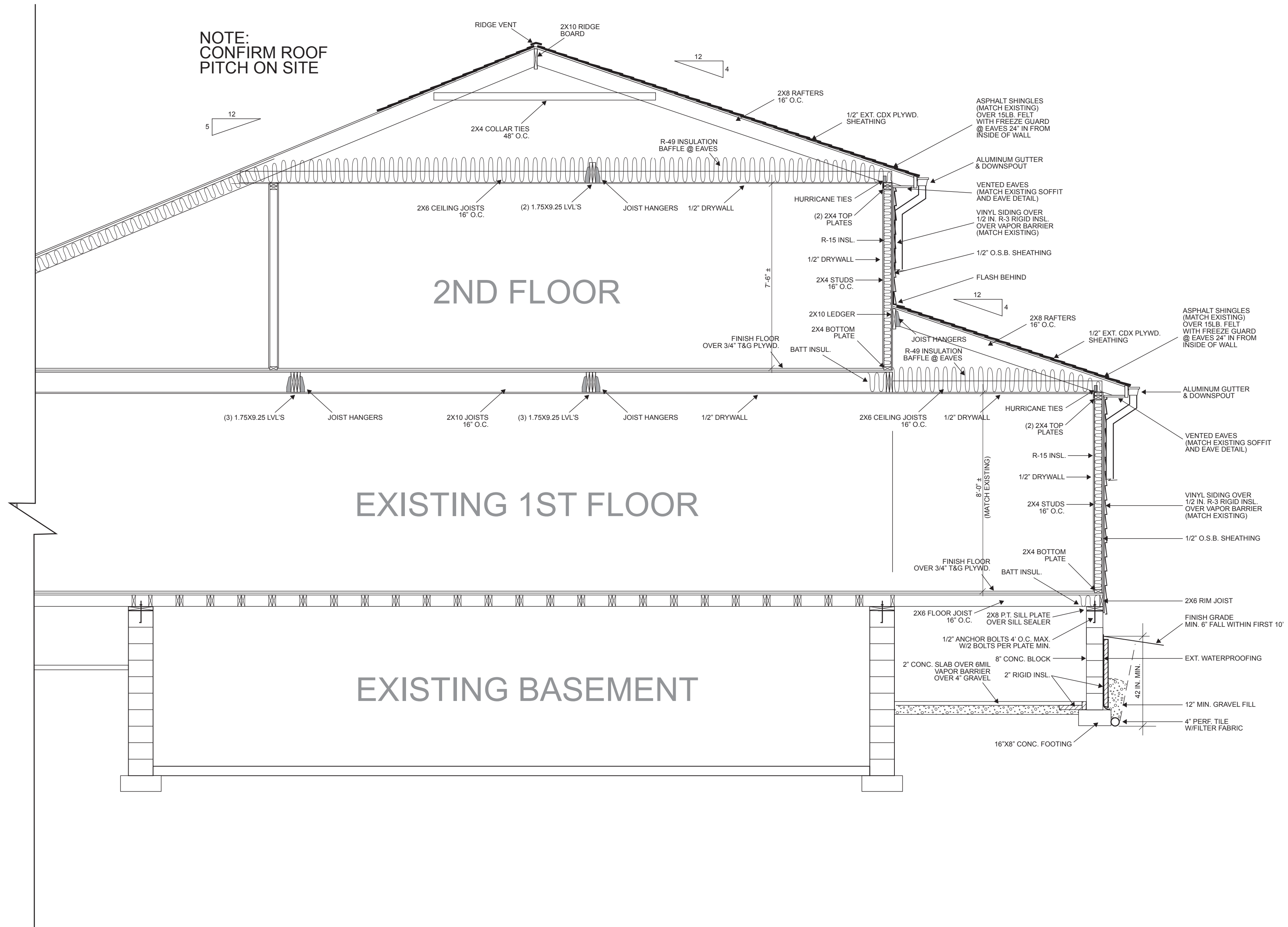
- 110V DUPLEX OUTLET
- 110V SPLIT WIRED DUPLEX OUTLET
- 110V DUPLEX GROUND FAULT INTERRUPT CIRCUIT
- 110V WEATHERPROOF DUPLEX GROUND FAULT INTERRUPT CIRCUIT
- 110V FLOOR MOUNTED DUPLEX OUTLET
- 110V CEILING MOUNTED DUPLEX OUTLET
- 220V OUTLET
- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- RECESSED CAN LIGHT
- LIGHT FIXTURE
- CO / SMOKE DETECTOR
- SMOKE DETECTOR
- EXHAUST FAN WITH LIGHT
- ELECTRIC METER
- ELECTRICAL PANEL
- HVAC CEILING REGISTER
- HVAC FLOOR / WALL REGISTER



2ND FLOOR ELECTRICAL / HVAC PLAN
1/4" = 1'-0"

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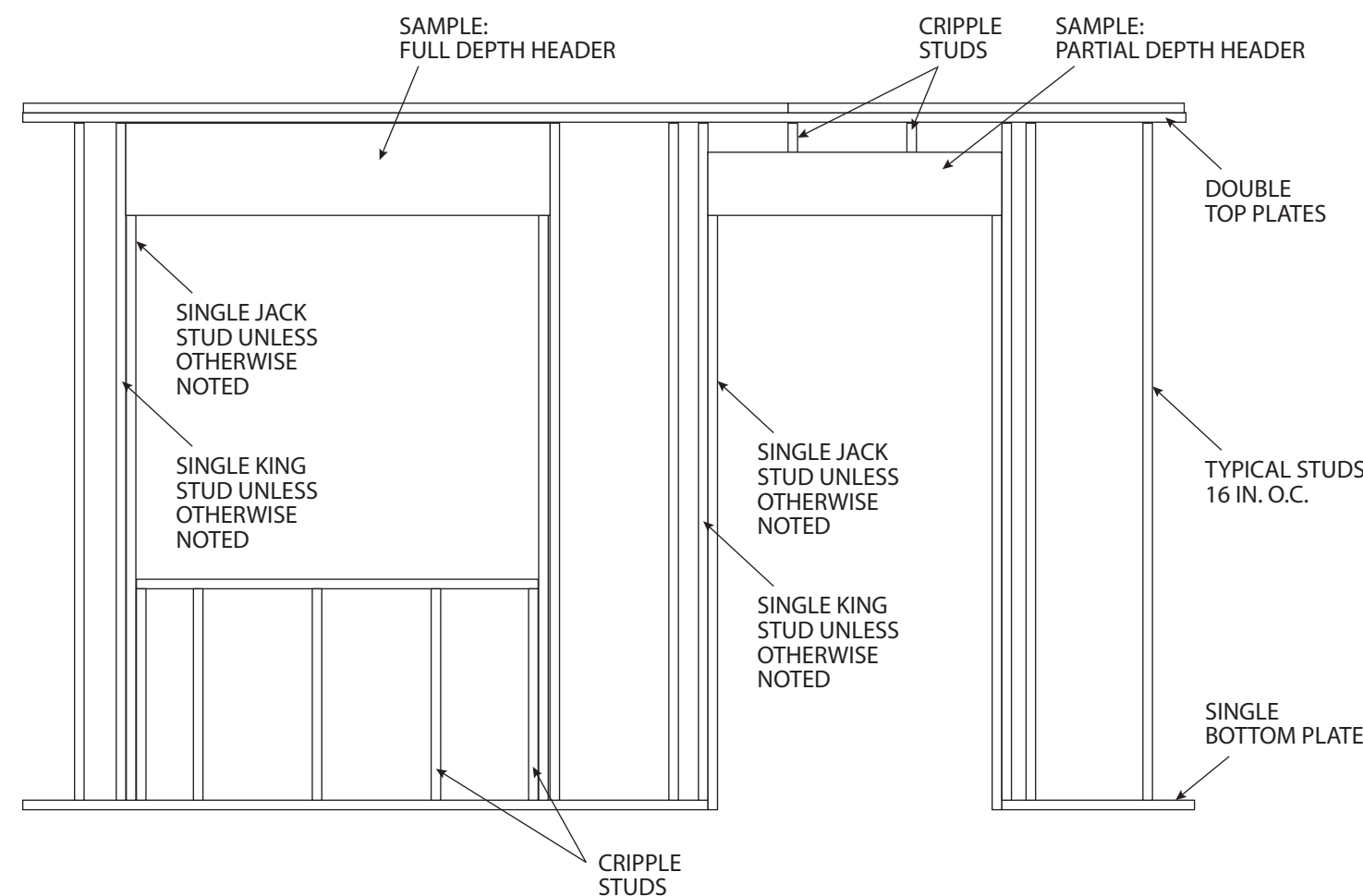
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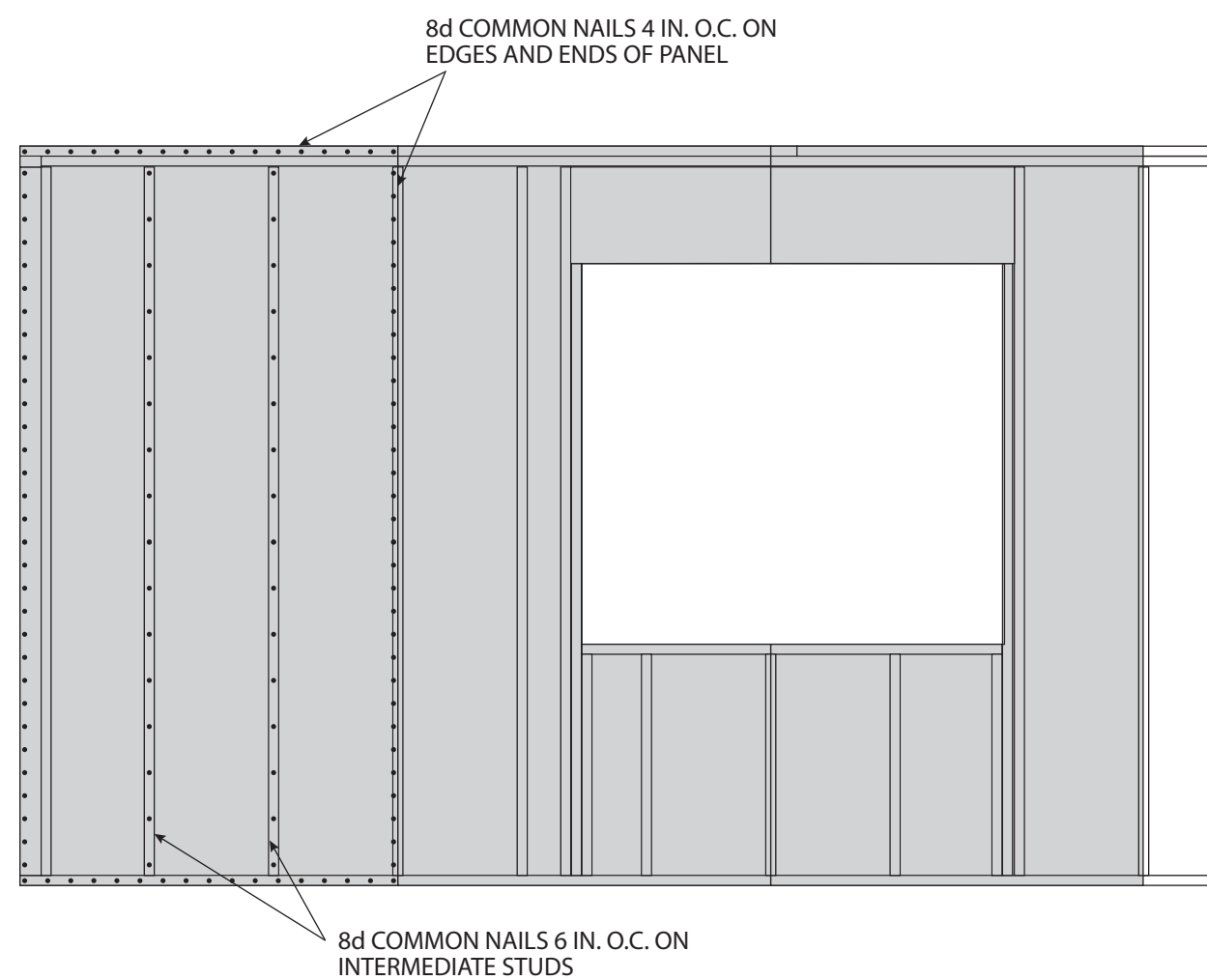
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HEADER SIZING SCHEDULE
UP TO 4' OPENING- (2) PLY 2X8
UP TO 6' OPENING- (2) PLY 2X10
UP TO 9' OPENING- (2) PLY 2X12



TYPICAL WINDOW & DOOR FRAMING PRACTICES



TYPICAL STRUCTURAL SHEETHING CORNER BRACING

Code Compliance Data

Note to Contractor: The following information contains criteria for the construction of the project, and shall be utilized as a basis of design, and/or guideline for the execution of the work under your contract. The completed construction shall meet the following minimum standards.

Applicable Codes:

- 2017 Residential Code of Ohio (RCO)
- 2017 Ohio Mechanical Code (OMC)
- 2017 Ohio Plumbing Code (OPC)
- 2012 International Energy Conservation Code (IECC)
- 2017 National Electrical Code (NEC)

RCO Chapter 3 - Building Planning

Ground Snow Load	30 PSF (RCO 301.2(5))
Design Wind Speed	90 MPH (RCO 301.2(1))
Seismic Design Category	B (RCO 301.2(2))
Winter Design Temp	5 degrees (RCO 301.2(2)e)
Ice Barrier Underlayment	Required (RCO 301.2(1))
Flood Hazard	N/A
Air Freezing Index	1500 (RCO 403.3(2))
Live Load	(RCO 301.5)
Sleeping Rooms	30 PSF
Rooms other than Sleeping Rooms	40 PSF
Passenger Vehicle Garages	50 PSF
Minimum Roof Live Load	12:12 Pitch = 12 PSF (RCO 301.6)

Garage:

Separated from the living area with a minimum of 1/2" gypsum board walls and a minimum of 5/8" gypsum board ceilings.

Garage to Living Area man door shall be a minimum of 1 3/8" solid wood or solid steel, or a minimum 20 minute rating.

Bedrooms:

Emergency egress windows at each bedrooms shall be provided, and shall have a minimum clear opening of 5.7 square feet, a minimum of 24" of clear opening height, a minimum of 20" clear opening width, and a maximum sill height of 44".

Smoke Detection:

Smoke detectors shall be equipped with a battery backup and shall be provided at the following locations at a minimum:

- At each floor level (including the basement)
- In each bedroom
- Outside each sleeping area

Carbon Monoxide Detection:

Carbon monoxide detectors shall be located in the immediate vicinity of the bedrooms.

Wall Bracing:

Wall bracing panels shall be nailed (no staples or screws) at 6" centers on edges and 12" centers in the field of the panel.

Trusses:

Install hold downs on each end of each truss. Hold downs shall be Simpson StrongTie #H2.5T, or an equivalent product.

I Joists:

I-Joists shall be TJI #360 in the size and spacing indicated on the drawings.
I-Joists shall not be drilled, notched, or cut except where specifically permitted by the manufacturer's recommendations.

Interior Walls and Infill:

All interior walls shall be 2x4 wood stud framing at 16" on center with 1/2" gypsum board on both sides.

Closet Lighting:

Any fixtures in a closet shall be located a minimum of 12" from any shelf.

Notching:

Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in non-bearing partitions may be notched to a depth not to exceed 40% of a single stud width.

Drilling:

Any stud may be bored or drilled, provided that the diameter of the resulting hole is no more than 60% of the stud width, the edge of the hole is no closer than 5/8" to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior walls or bearing walls or partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive double studs bored.

Solid Sawn Joists:

Notches in solid sawn joists or rafters shall not exceed 1/6th of the depth of the member and be no longer than 1/3rd of the span. Notches at the ends of the member shall not exceed 1/4th of the depth of the member.

Holes:

Holes shall not exceed 1/3rd of the depth of the member and be no closer than 2" to the top or bottom of the member or to any other hole in the member.

HVAC:

Ducts in unconditioned space shall be insulated with a minimum R-8 insulation.

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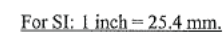
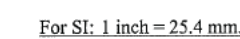


TABLE 507.9.1.3(2)
PLACEMENT OF LAG SCREWS AND BOLTS IN
DECK LEDGERS AND BAND JOISTS

For SI: 1 inch = 25.4 mm

- For S1: 1 inch = 25.4 mm.
- a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure S07.9.1.3(1).
 - b. Maximum 5 inches.
 - c. For engineered rim joists, the manufacturer's recommendations shall govern.
 - d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure S07.9.1.3(1).



Open guardrails on decks more than 30 inches above grade or a floor below shall have members spaced so that a 4 inch diameter sphere cannot pass through.

Openings for required guards on the sides of stair treads shall not allow a 4 3/8" diameter sphere to pass through.

42" min. height

Deck

Less than 6" dia

10" min. run from nosing to nosing

34-36" above nosings

Handrail

Open risers less than 4"

7 3/4" max. rise

Finished grade

6" x 6" x 6"

CONC. SLAB

Stairway Notes:

1. Stairways shall be not less than 36" in width.
2. Stairway rises shall be not greater than 7 3/4".
3. Stairway treads shall have a minimum run of 10".
4. The length of Run and the height of Riser shall not vary more than 3/8" in the entire run of the stair.
5. Stairs are required to be illuminated.
6. Open risers permitted if opening is less than 4".
7. A nosing not less than 3/4" but not more than 1 1/4" shall be provided on stairways with solid risers, and less than 11".

Guardrail required if more than 30"



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S3