

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

1. Materials and methods of construction shall comply with all applicable local, state and federal building codes
Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.

7. Contractor responsible for verifying locations of existing utilities and roads.

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.

9. Contractor shall patch and repair areas impacted by new work. Finishes to match existing.

10. Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.: casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

EARTHWORK

1. Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all utilities.

2. Unused excavated soil to be transported to on site location as designated by Owner.

3. Prevent surface water and ground water from entering excavations or flooding Project site and surrounding area.

4. Excavate to ensure footings and foundations bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer prior to proceeding with work.

5. Backfill at foundations to within 12" of finish grade with #57 gravel fill.

6. Provide termite control methods per section 318 of RCO.

7. Utility trenches shall be excavated to provide uniform width and working clearance around utility line. Back fill w/ sand then soil.

8. At areas to receive concrete slab, install minimum 4" #57 limestone over compacted soil.
7. All foundation and sewer work in the City or Rocky River will be required to verify and correct if necessary any cross connections of storm vs. sanitary lines. This includes, but is not limited to, downspouts, drain tile, yard, driveway or garage drains.

ENERGY EFFICIENCY REQUIREMENTS

This project shall comply with the RCO requirements for energy efficiency using the prescriptive method outlined in sections 1101.14 - 1104 of the RCO.

BUILDING THERMAL ENVELOPE

1. Insulation R values shall be as follows:
Walls: R=20
Ceilings R=49 for new construction
a. R=38 where insulation is installed over 100% of the area and extends over wall top plate
Floor: R= 30
Basement R=10 to depth of 10' below grade or basement floor.
Slab R=10 at 2' from perimeter
Window U= .30
A permanent certificate shall be completed and posted by furnace listing R= values of all insulation components.

2. Where insulation extends over top plate in a vented attic, install an eave baffle. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend over the top of the attic insulation.

8. Contractor must perform dye test or visual inspections of the drainage system and submit results in writing to the Rocky River Building Department prior to any footer inspections.

9. 9. All new work shall comply with section 914.1 of the City's Ordinances.

10. Contractor to finish grade site effected by work. Provide smooth transition between adjacent grades. Slope away from building Owner shall seed and landscape.

CONCRETE
1. 1. Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement. Concrete to have a minimum cement content of 564#/ cu yd., a maximum water to cement ratio of 0.53 and obtain a minimum strength of 4,000 psi at 28 days. (unless noted otherwise - u.n.o.)
2. All garage slabs and exterior slabs shall have a minimum strength of 4,000 psi.
3. All reinforcing steel shall conform with astm a615, 60 ksi yield.
4. Trowel finish for interior concrete and broom finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.

2. All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.

3. Cut joints for all slabs on grade shall be a maximum of 12'-0" O.C. unless otherwise noted. All cuts shall be made 8 hours after placing concrete.

4. At all expansion joints, install backer rod and sealant.

REINFORCING STEEL
1. Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.

2. Lap all horizontal bars at corners and intersection.
3. Dowel all vertical rebar to foundations.

MASONRY
1. Construct all masonry walls in accordance with ACI 530.

2. Foundations walls shall be standard 12x8x16 & 8x8x16 masonry units as shown on plans.

3. Mortar for reinforced masonry and load bearing walls shall be type S. Non- bearing walls shall use Type N.

4. Grout solid minimum 2 courses (16") below beam bearing.

5. Apply ½" min. cement parging from the bottom of the footing up the foundation wall to grade with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging

6. Provide pipe sleeves for any through wall penetrations per OPC 305.

FRAMING
1. All framing shall be Southern Yellow Pine species #2 grade or better.
2. LVL's shall be Boise Cascade 2.0E GP Lam LVL or equal.

3. Where multiple plies of LVL are used, beams shall be nailed with 3 rows of min. 3" 10d nails, 12" O.C. If three or more plies are used, beams shall be nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners.

4. Plywood shall be standard PS-1 and OSB shall be standard PS-2

5. All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o).
6. All preservative pressure treated (ppt) lumber shall be southern pine #2.
7. rovide blocking at mid span of joists exceeding 2x12.

8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.

3. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces.

4. Floor framing-cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking

AIR LEAKAGE
1. The building thermal envelope shall be constructed to limit air leakage and comply with sections 1102.4 of the RCO.
2. Sealing methods between dissimilar materials shall allow for differential expansion and contraction.
3. The building or dwelling unit shall be tested and verified as having an air leakage rate of not more than five air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or ASTM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). A written report of the results of the test shall be signed by the party conducting the test and provided to the building official. Testing shall be performed at any time after creation of

all penetrations of the building thermal envelope.

4. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. Recessed luminaires shall be IC-rated and labeled as having an air leakage rate of not greater than 2.0 cfm

SYSTEMS
1. Not less than one thermostat shall be provided for each separate heating and cooling system.
2. Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter.
3. Seal all ducts, air handlers and filter boxes. Joints and seams shall comply with Section 1601.4.1.
4. Ducts shall be pressure tested to determine air leakage per section 1103.3.3 of the RCO. Ducts can be tested at rough-in or post construction. A written report of the results of the test shall be signed by the party conducting the test and provided to the building official
5. Building cavities shall not be used as

11. At valleys Install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.

14. Install 5" K style seamless aluminum gutters with 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per manufacturer's recommendation. Gutter to be white, downspouts to match siding.

INSULATION
1. Provide batt insulation as indicated in building & wall sections.

2.All insulation R values shall meet or exceed minimum standards outlined in RCO.

3. Acceptable manufacturers for batt insulation shall be Owens Corning, CertainTeed, John's Manville or Owner approved equal.

INTERIOR FINISHES
1. Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" with tapered edges, as indicated in drawings

2. Provide water resistant gypsum board in all wet rooms such as bathrooms and at kitchen counters.

3. Install "durorock" wall board where tile to be installed.

4. Provide in maximum lengths and widths to minimize joints and correspond with support system.

5. Gypsum board trim shall be galvanized or aluminum coated steel, rolled zinc, plastic, or paper faced galvanized stainless steel. Provide corner beads at outside corners and LC bead, j- shaped, on long exposed edges.

6. Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

7. All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

8. Provide thresholds and reducer strips as needed with finish floor materials.

9. Provide smooth finish at ceiling.

10. All gyp. bd. to be primed and painted.

11. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks runs and other imperfections will not be accepted.

12. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finish, over a primer. Primer shall be interior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin Williams.

13. All finish colors and materials to be selected by Owner.

14. Kitchen countertops to be Quartz. Color & texture to be selected by Owner.

15. Cabinetry design by others.

16. Provide allowance for tile where noted on plan. Tile and grout selection by Owner.

17. Provide concrete substrates with dry-set or latex-portland cement mortar.

18. Trowel level, free of any bumps and protrusions.

19. Install tile under counters and equipment to provide complete floor covering without interruption.

20. Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

21. Accurately form intersections and evenly

space joints.

22. Grout tile completely per grout manufacturer's recommendations. Clean tile after grouting

23. Toilet room accessories: mirror, soap, towel and toilet paper holders shall be provided by Owner and installed by contractor.

MECHANICAL, ELECTRICAL & PLUMBING
1. All Kitchen equipment to be purchased by Owner and installed by Contractor. Contractor responsible for coordinating plumbing and electrical requirements for kitchen equipment. Owner shall provide equipment cut - sheets 1 week prior to delivery.

2. Provide new electrical wiring, outlets, junction boxes etc. throughout addition.

3. Connect to house electrical panel. Contractor to field verify capacity. notify Owner of any necessary upgrades prior to bid.

4. Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture locations.

5. All bath exhaust fans and dryer exhaust duct runs shall be vented out through exterior walls or up through the roof. Avoid venting at the front of house where possible. Do not vent through soffits into soffits or into attics. Provide a duct termination kit (energy efficient with screen) and roof flashing as required at the duct exterior outlet. Paint the exterior wall and roof penetrations to match the finished surface. The duct run shall be smooth metal with foil 'mastic' tape joints and clamps (no screws) and insulated or in an insulated cavity for the exterior outlet.

6. Plumbing systems to connect to existing domestic supply & wastelines. Contractor to notify Owner of any necessary upgrades in existing systems and include work in base bid.

8. Provide pipe protection for exterior plumbing line sand utilities per OPC 305.

9. Plumbing contractor to provide isometric of system upon request of the City prior to pulling permits.

10. Plumbing fixtures by Owner. Acceptable manufacturers shall be Moen, Kohler, Delta.

11. Provide new HVAC throughout addition. Connect to existing system. Contractor to field verify capacity. Notify Owner of any necessary upgrades prior to bid.

13. Duct sizing and layout by mechanical contractor.

14. J Schedule provided by HVAC contractor.

15. J Schedule provided by HVAC contractor.

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SCHOEN RESIDENCE

22356 BERRY DRIVE

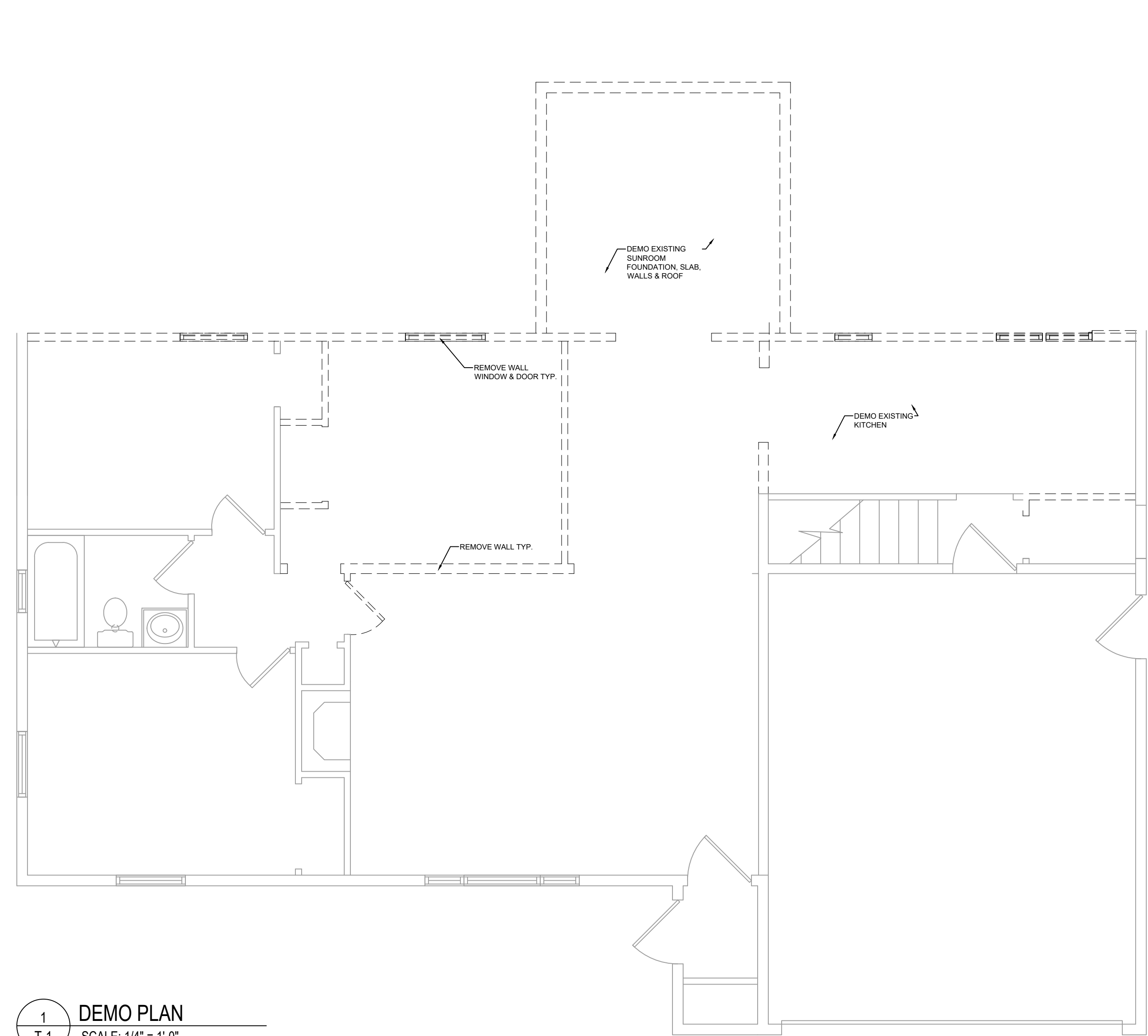
DRAWING INDEX

T-1 SITE PLAN
A-1 FLOOR PLANS & SCHEDULE
A-2 ELEVATIONS & SECTION
E-1 ELECTRICAL PLANS

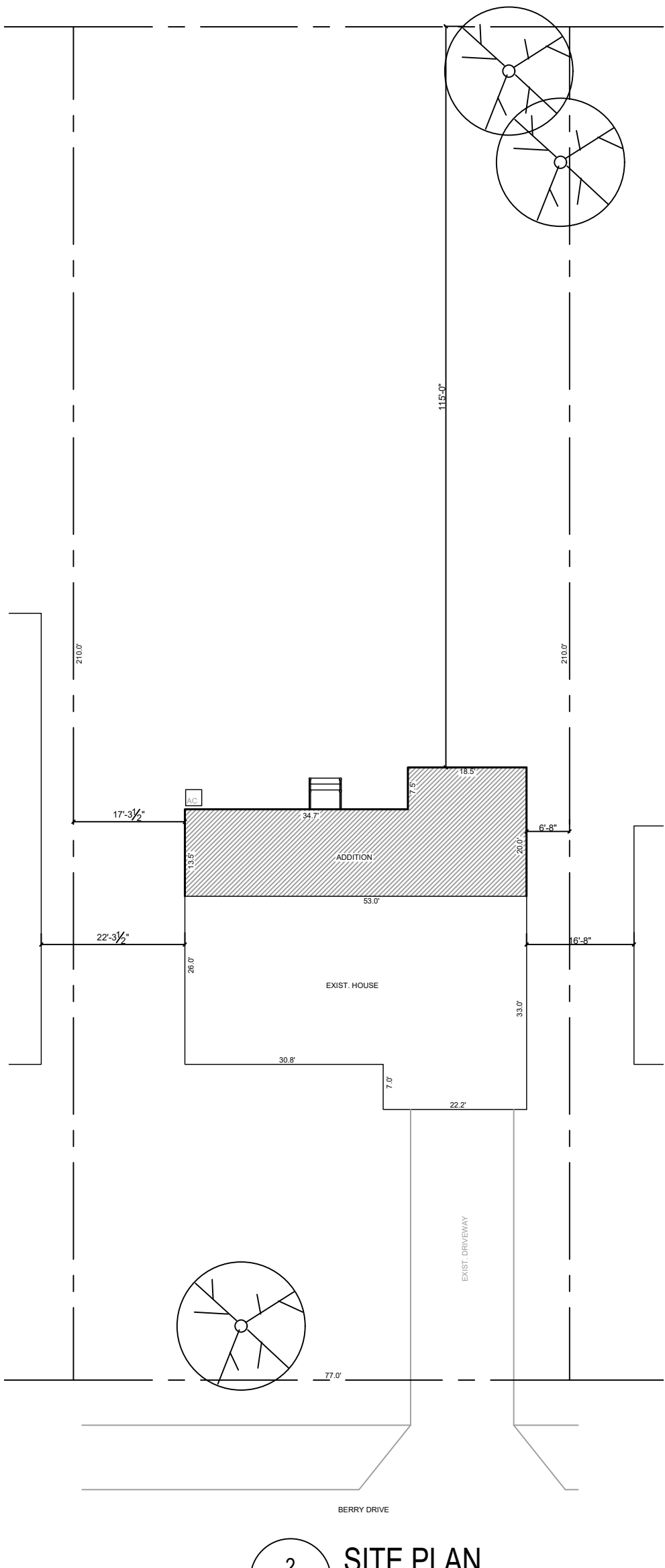
LOT COVERAGE:
LOT SIZE: = 16,170 SF
EXIST. HOUSE FOOTPRINT: = 1,680 SF
10.4%

NEW FOOTPRINT:
EXISTING HOUSE TO REMAIN = 1,525 SF
NEW ADDITION FOOTPRINT = 720 SF
TOTAL : = 2,245 SF
13.9%

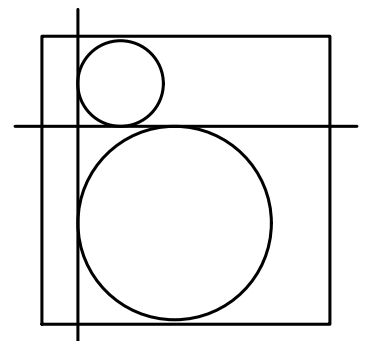
SCOPE OF WORK:
NEW CONSTRUCTION OF 720 SF SINGLE STORY ADDITION & 540 SF INTERIOR RENOVATION OF EXISTING HOME TO INCLUDE MUDROOM, LAUNDRY, KITCHEN,DINING ROOM, MASTER SUITE, PLUS 2 BEDROOM, CRAWL SPACE (UNFINISHED)



1 DEMO PLAN
SCALE: 1/4" = 1'-0"



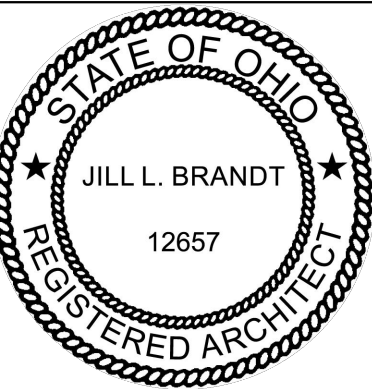
2 SITE PLAN
SCALE: 1" = 10'-0"



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10/5/22 REVIEW
10/25/22 BID/PERMIT
1/11/23 REVISIONS/PERMIT
6/21/23 REVISIONS/PERMIT
6/29/23 REVISIONS/PERMIT



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THE SCHOEN RESIDENCE
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TITLE PAGE
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T-1

DOOR SCHEDULE

	DOOR				FRAME		HARDWARE						REMARKS
#	WIDTH	HEIGHT	THICK	MATL	FINISH	MATL	FINISH	LOCKSET	HINGE	SILENCERS	KICKPLATE	HAND	
1	(2) 2'-6"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD	PAINT	ENTRACE	BUTT	YES	-	RH ACTIVE	FULL LIGHT SLIDER
2	3'-0"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RH	POCKET DOOR
3	(2) 2'-0"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
4	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	LH	
5	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	LH	
6	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PRIVACY	BUTT	YES	-	LH	ALT. POCKET DOOR
7	(2) 2'-0"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
8	(2) 2'-0"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
9	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	LH	
10	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	LH	POCKET DOOR
11	2'-6"	6'-5"	1 3/8"	WOOD	PAINT	WOOD	PAINT	PASSAGE	BUTT	YES	-	RH	POCKET DOOR

GENERAL NOTES:
1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA, EGERS, OR OWNER APPROVED EQUAL.
2. NEW DOORS TO BE STAINED TO MATCH EXISTING.
3. ALL LOCKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL.
5. VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.
6. PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

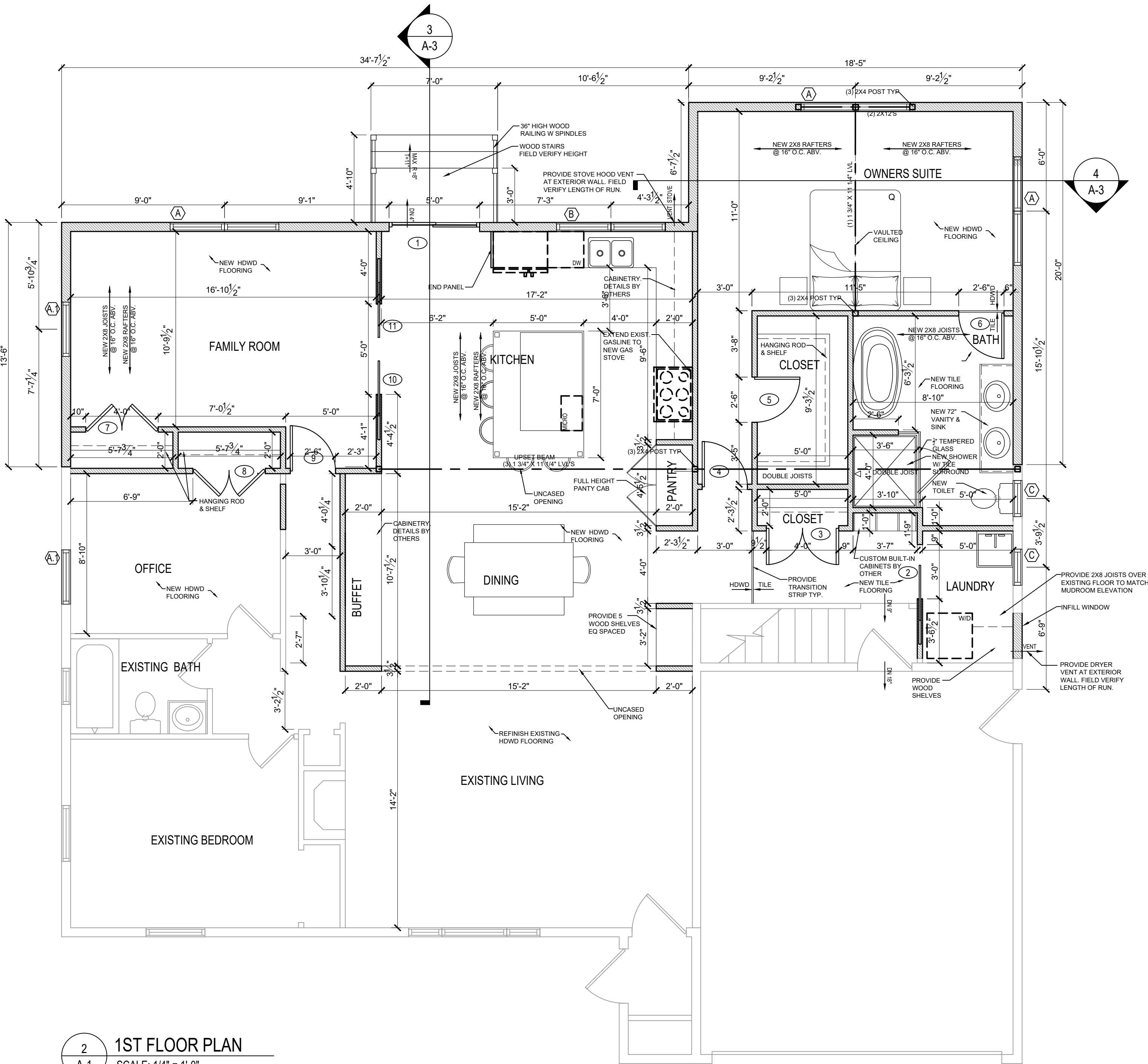
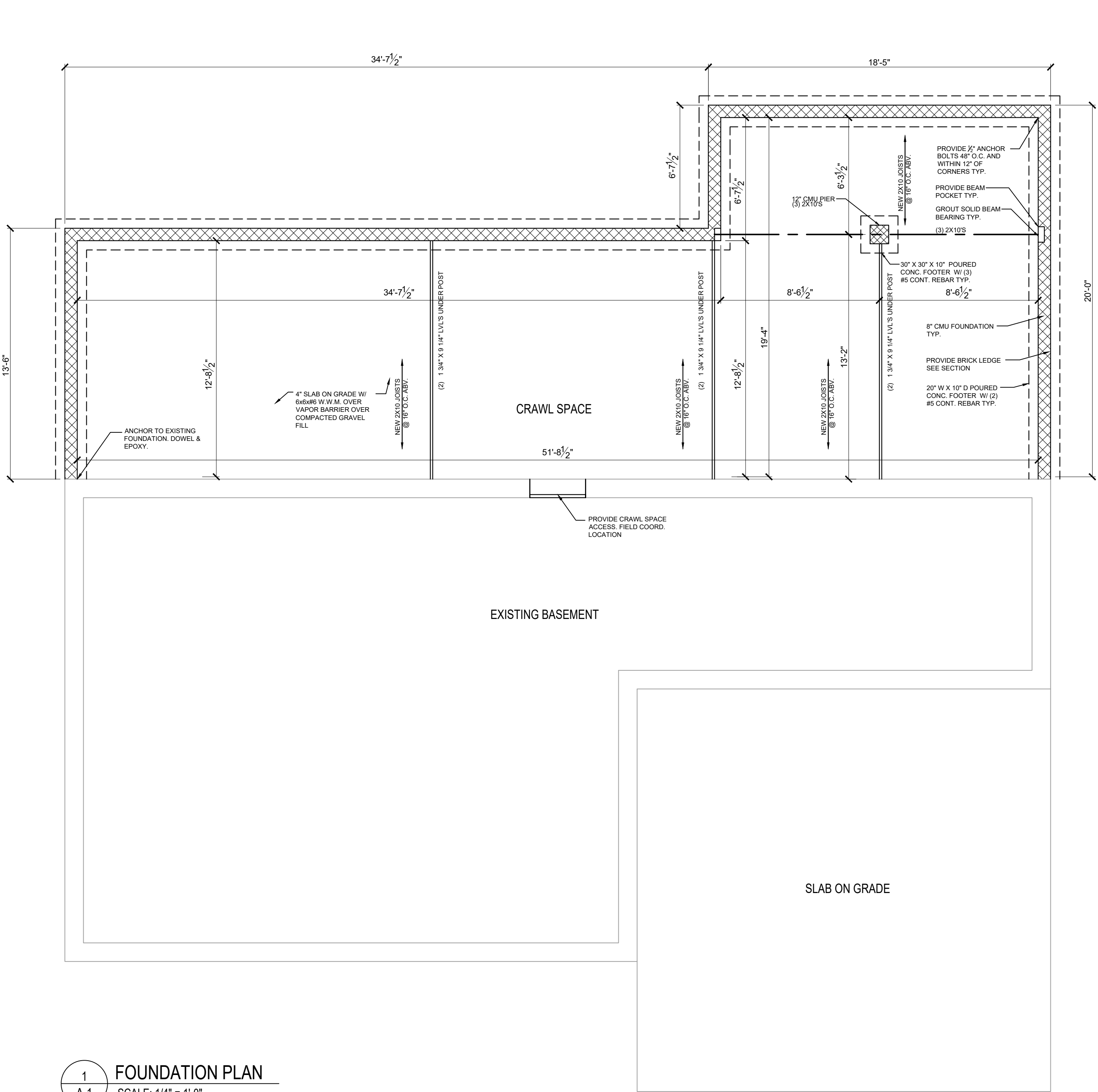
WINDOW SCHEDULE

#	QTY	UNIT SIZE W X H	MATL	FUNCTION	GLASS	REMARKS
A	3	36" X 60"	VINYL	DOUBLE HUNG		DOUBLE EGRESS
A.1	2	36" X 60"	VINYL	DOUBLE HUNG		EGRESS
B	1	36" X 40"	VINYL	CASEMENT		DOUBLE
C	2	24" X 42"	VINYL	DOUBLE HUNG		

WALL TYPES	
	EXISTING 2x4 STUD WALL TO REMAIN. PROVIDE NEW INSULATION IN ALL EXTERIOR WALLS.
	EXISTING 2x4 STUD WALL WITH SHEATHING & SHEATHING EXT. SIDE TO REMAIN. INSTALL R-13 KRAFT FACED BATT INSULATION - 1/2" GYP. BD. INTERIOR SIDE.
	NEW INTERIOR PARTITION WALL: 2x4 STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE.
	NEW EXTERIOR WALL: 2x8 STUDS 16" O.C. W/ R-19 KRAFT FACED BATT INSUL - 1/2" OSB + TYVEK + VINYL SIDING. PROVIDE 1/2" GYP. BD. INTERIOR SIDE.

DIMENSIONAL NOTES:
1. INTERIOR DIMENSIONS ARE STUD TO STUD.
2. ALL WINDOW DIMENSIONS ARE TO CENTERLINE ON WINDOW UNIT. SEE WINDOW SCHEDULE FOR SIZES. COORDINATE WITH MANUFACTURER FOR ROUGH OPENING SIZES.
3. ALL DOOR DIMENSIONS ARE TO DOOR SIZE. COORDINATE WITH DOOR SCHEDULE.

FINISH NOTES:
1. PROVIDE 1/2" GYP BD AT ALL WALLS AND CEILING OF ADDITION.
2. IN ALL AREAS MODIFIED BY THIS SCOPE OF WORK PROVIDE BASE TRIM, DOOR & WINDOW CASING TO MATCH EXISTING.
3. PAINT ALL WALLS, CEILINGS AND TRIM IN AREAS IMPACTED BY SCOPE OF WORK. COLORS TO BE SELECTED BY OWNER.
4. PROVIDE NEW FLOORING AS INDICATED ON PLANS. PROVIDE TRANSITION STRIPS AT CHANGES IN MATERIAL.



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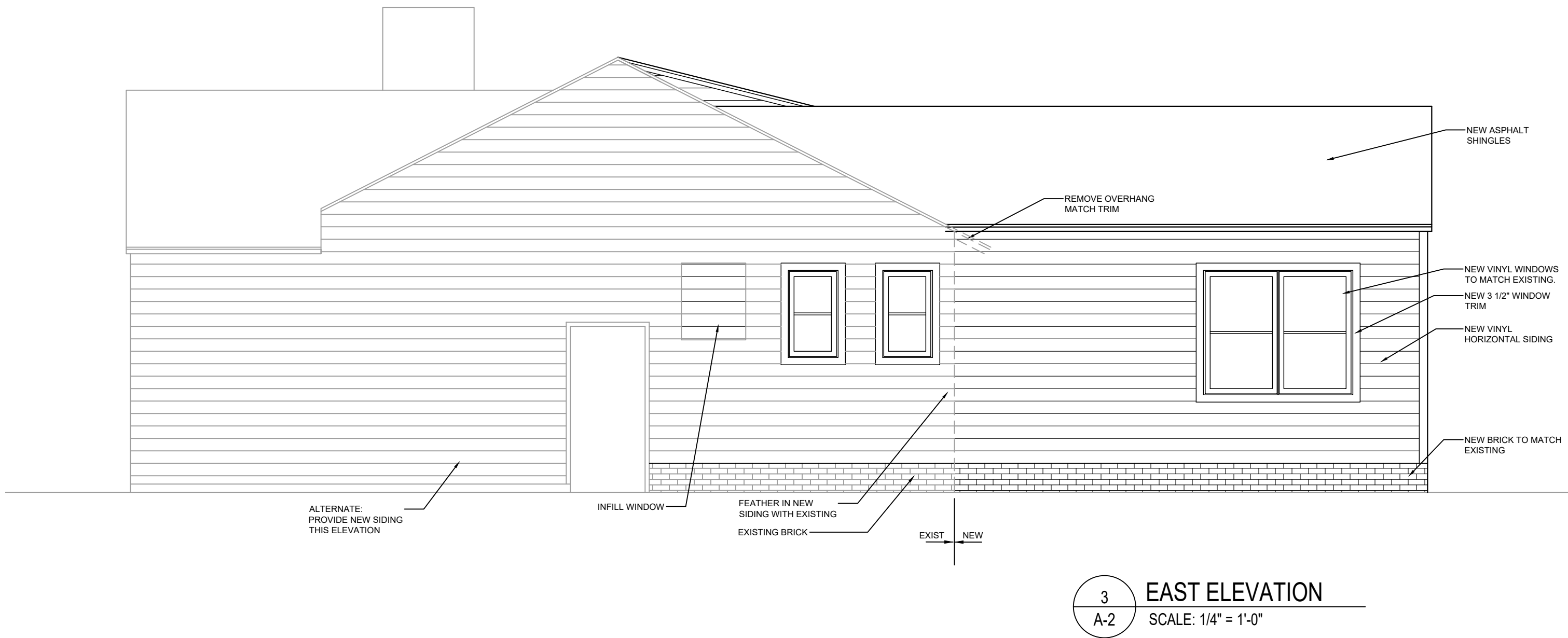
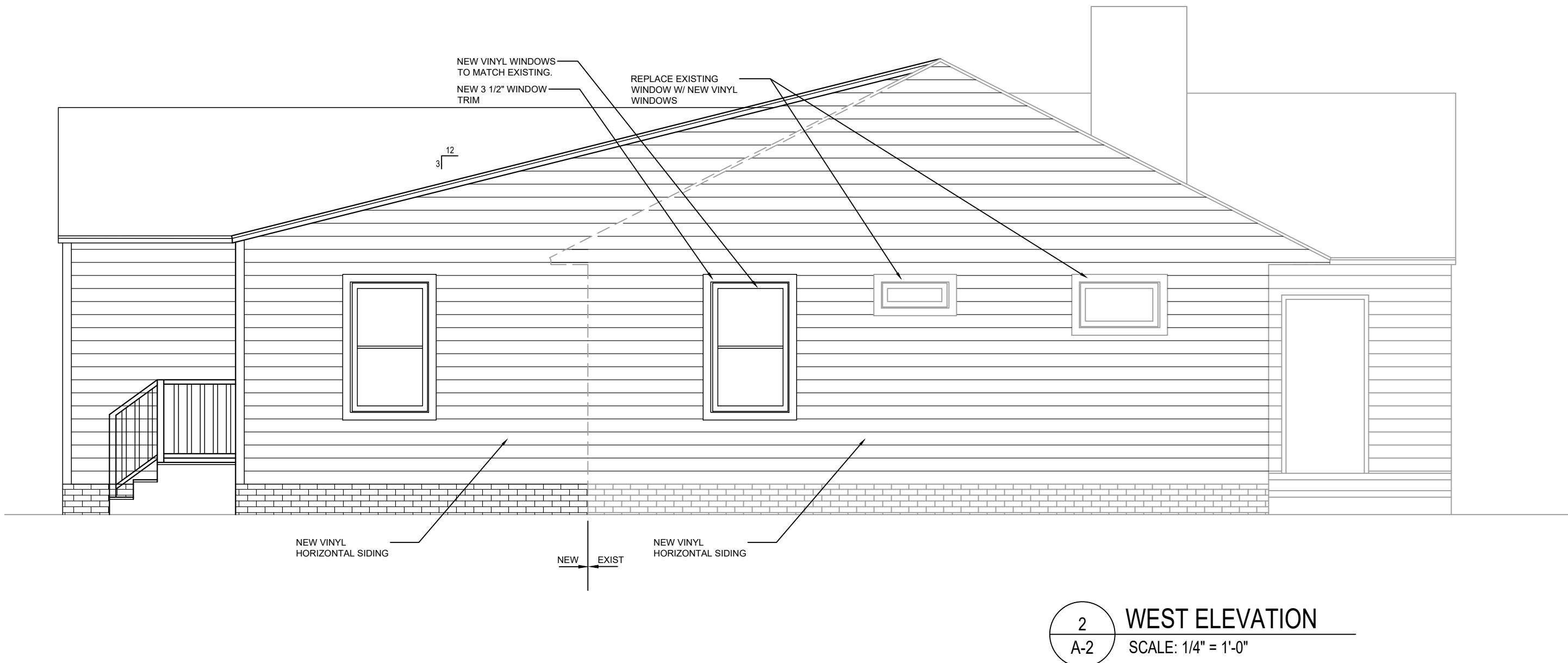
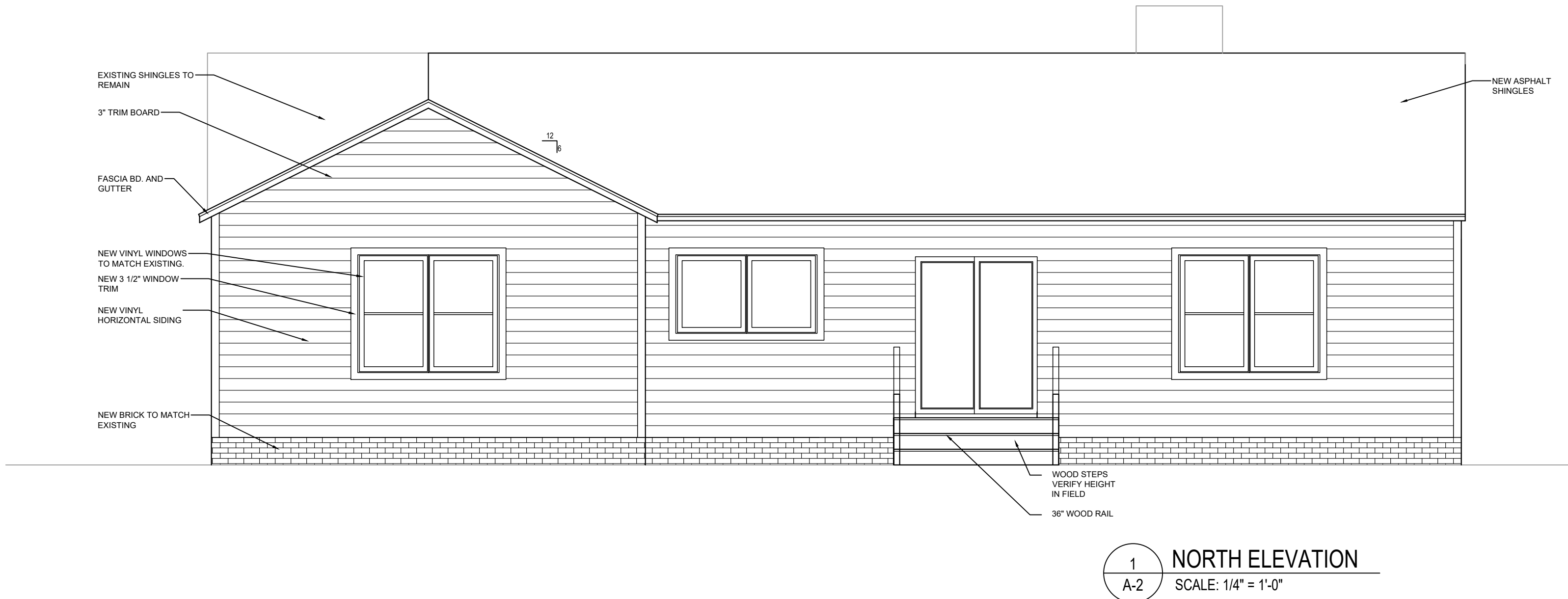
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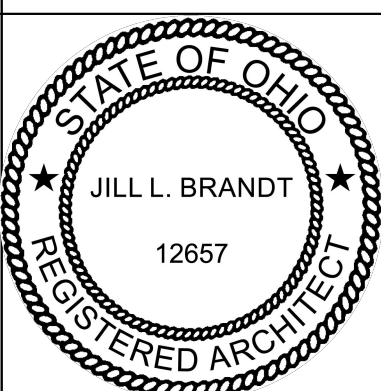
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PLANS
& SCHEDULE

A-1

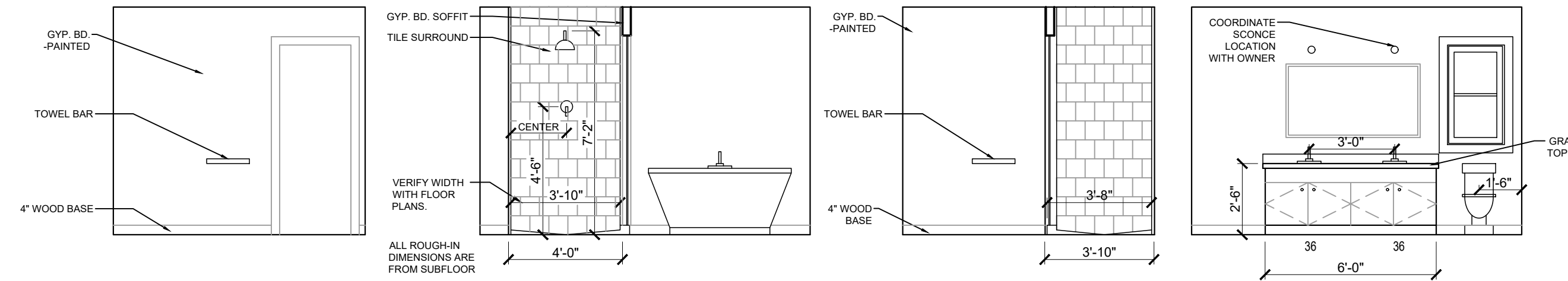


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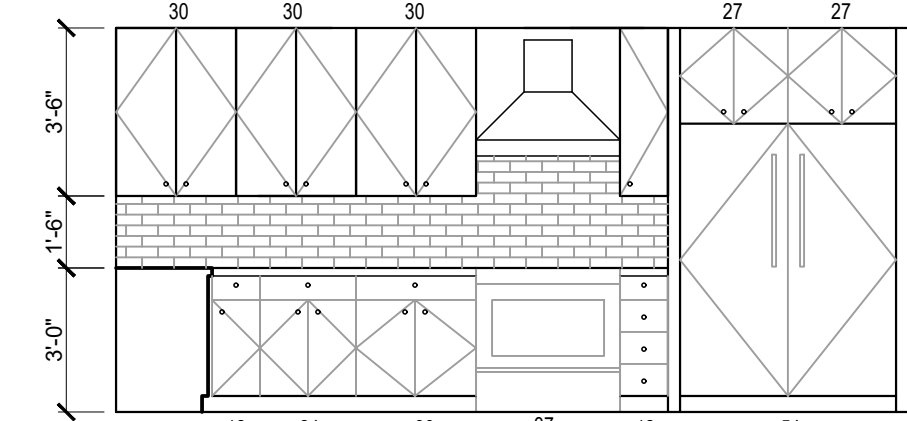
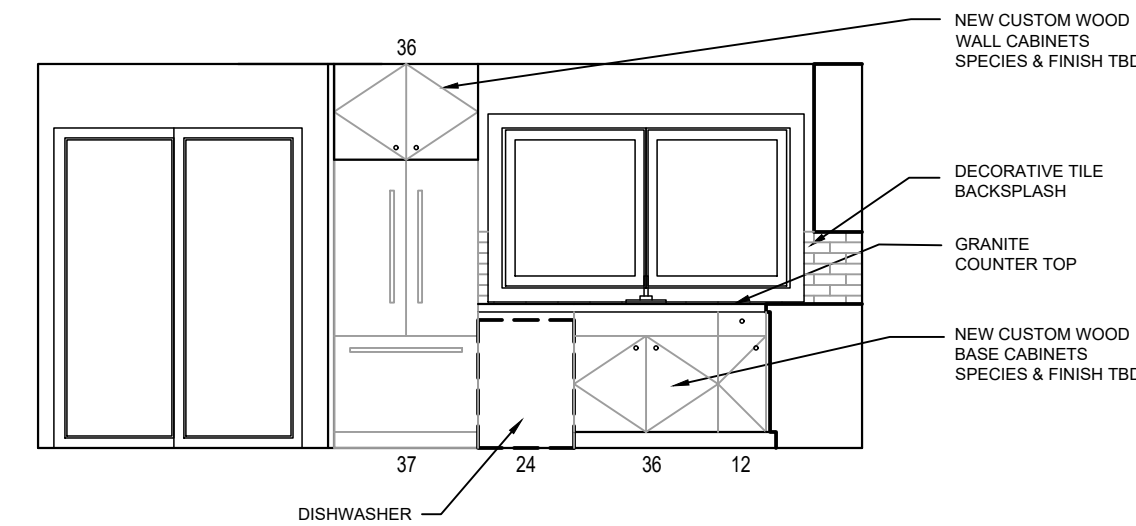
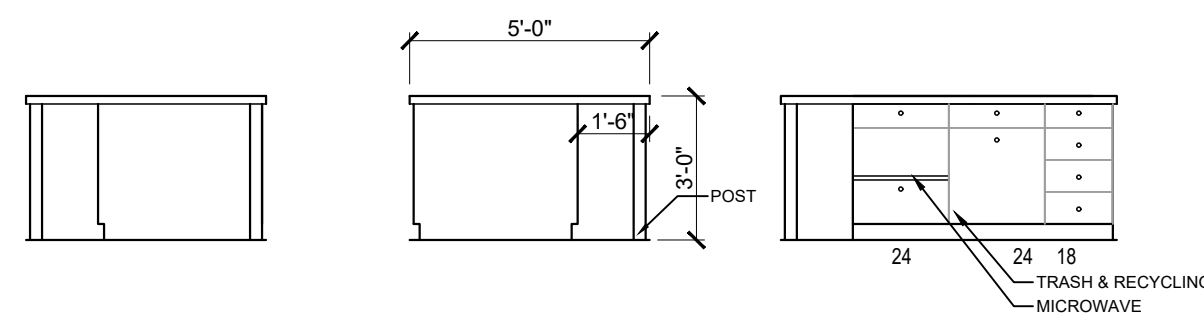


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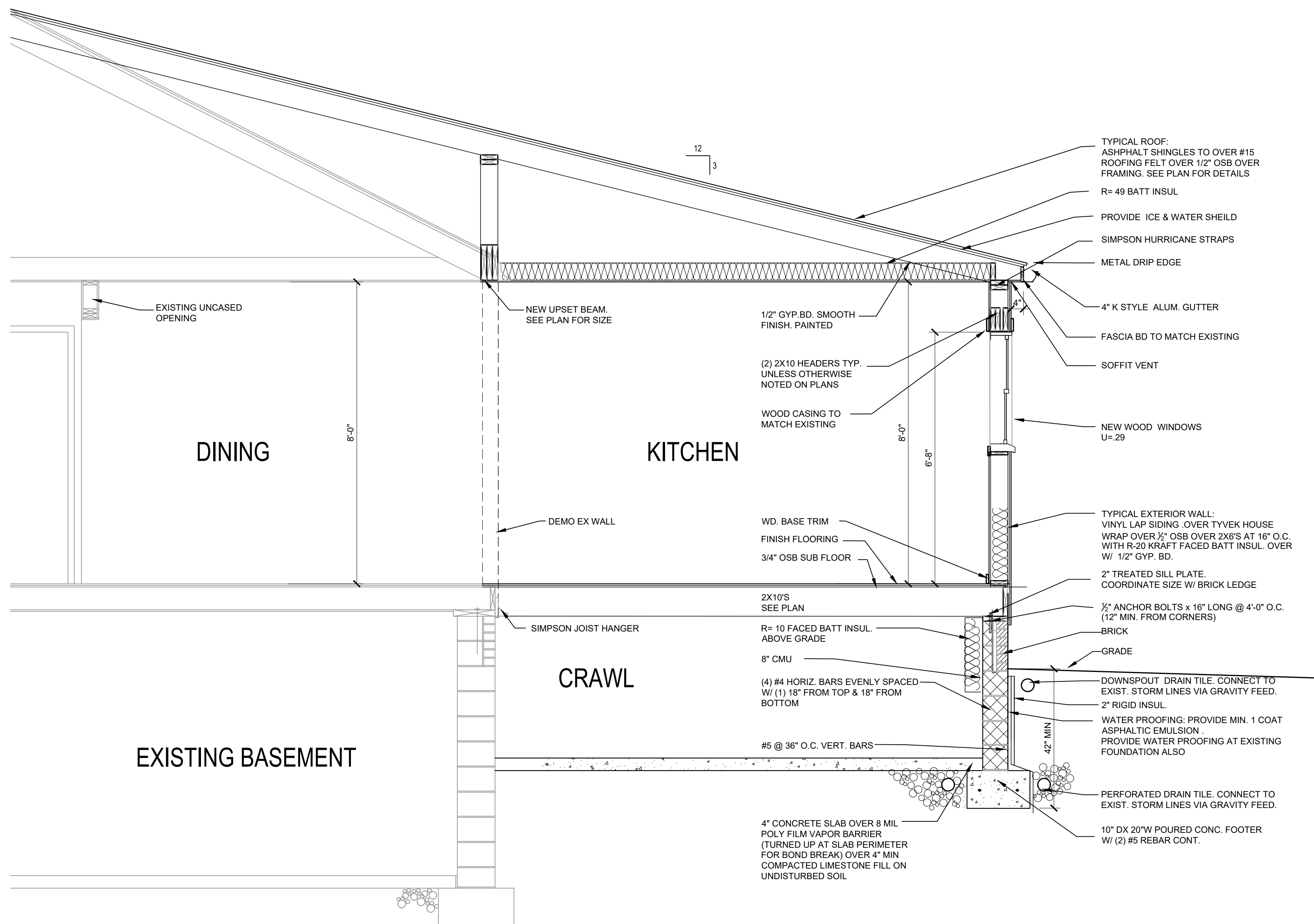
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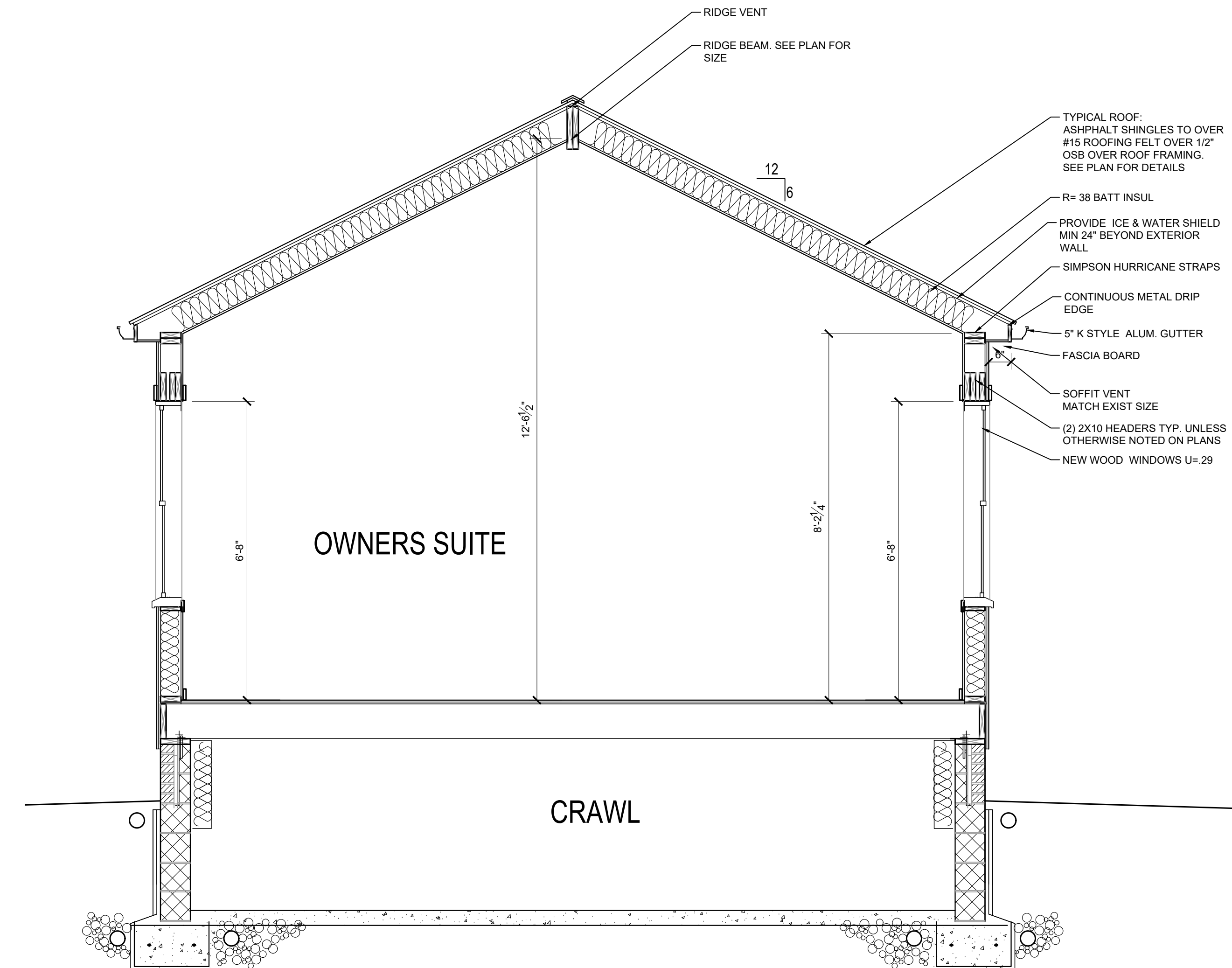
1 BATHROOM INTERIOR ELEVATION
A-3 SCALE: 1/4" = 1'-0"



2 KITCHEN INTERIOR ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 TYP. SECTION
A-3 SCALE: 1/2" = 1'-0"

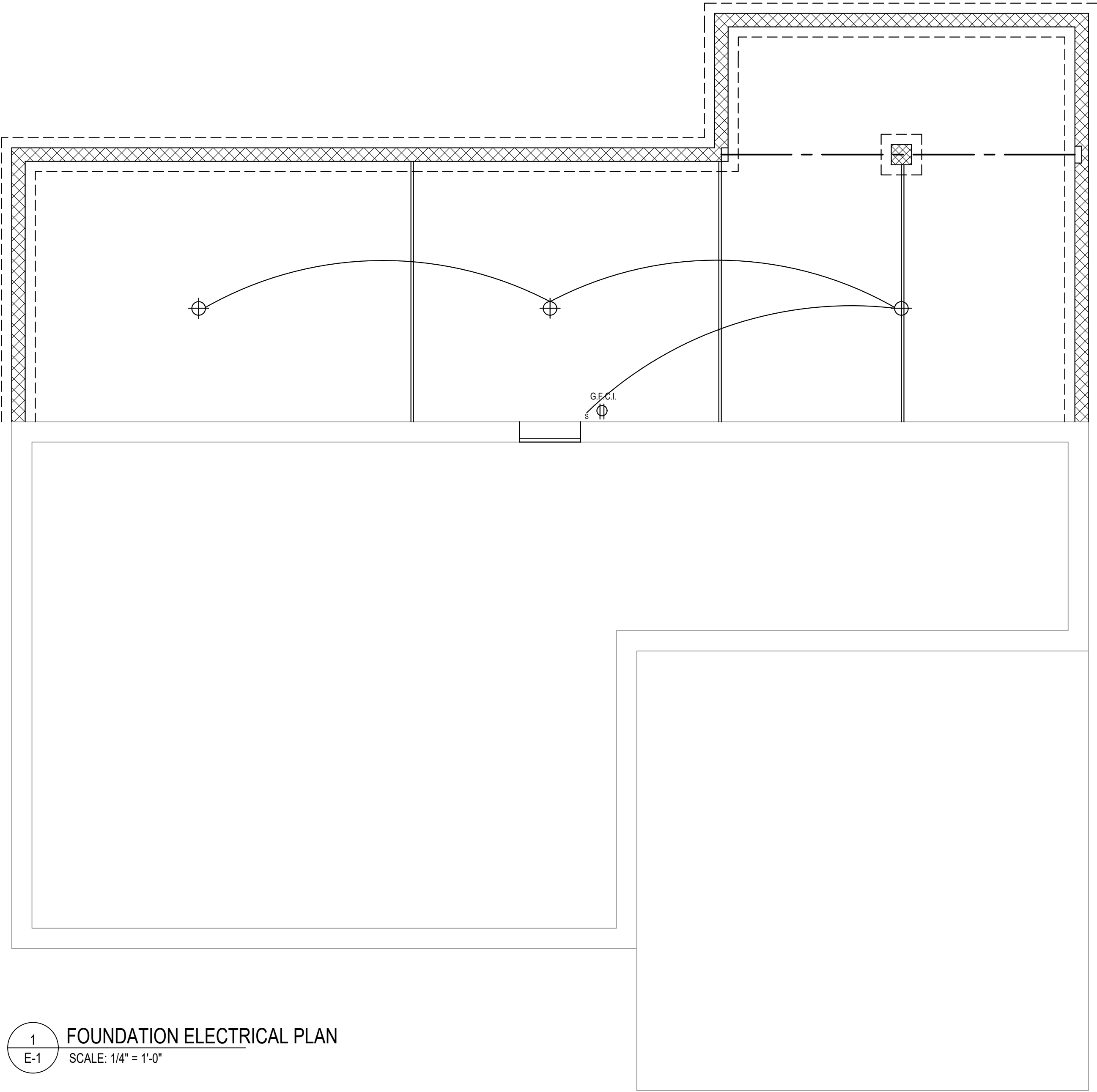


4 SECTION 2
A-3 SCALE: 1/4" = 1'-0"

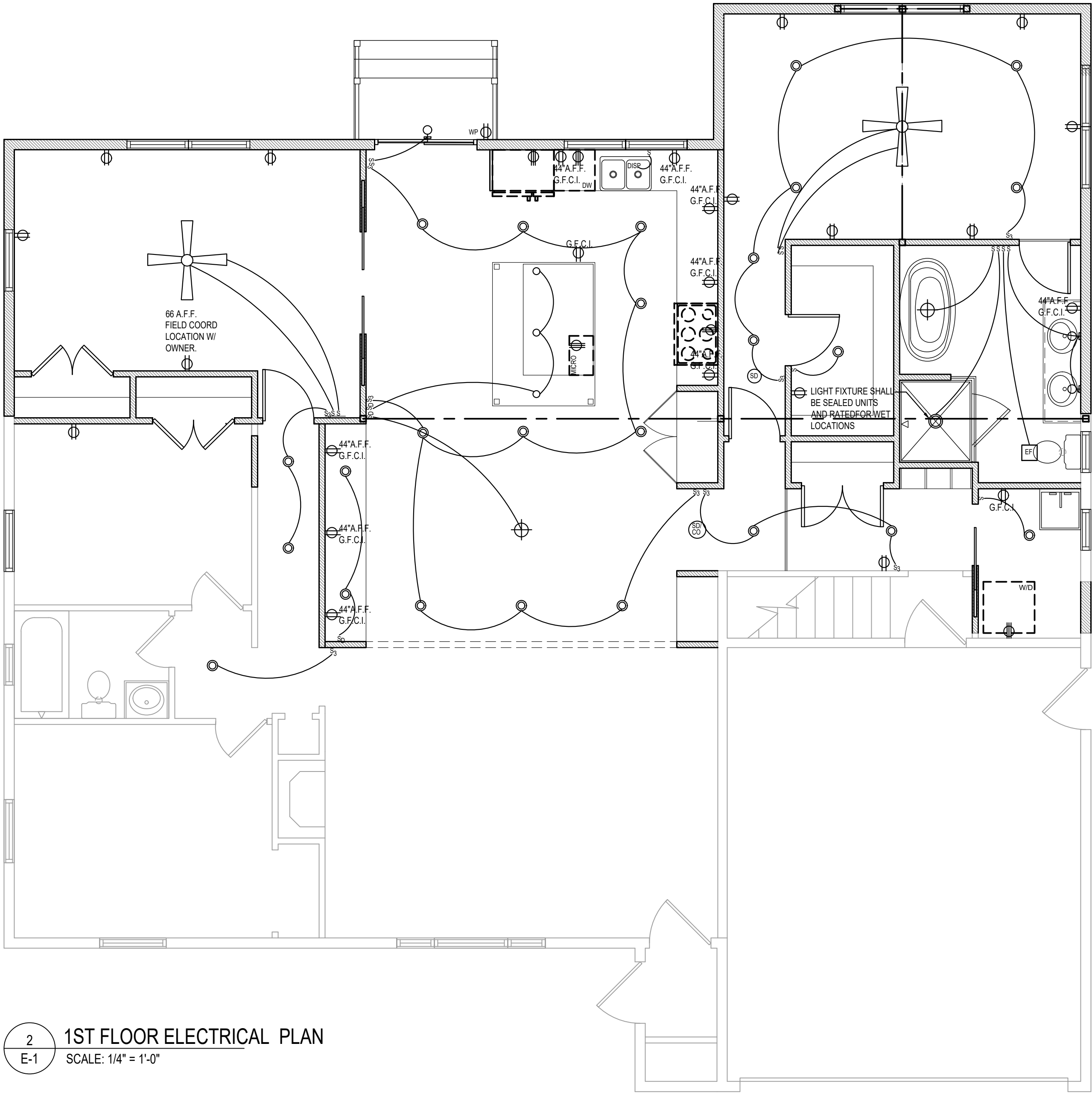
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SYMBOL	DESCRIPTION
	DUPLEX OUTLET
	DEDICATED APPLIANCE OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	4" RECESSED LIGHT FIXTURE
	UNDER CABINET LIGHT FIXTURE
	WALL WASH LIGHT FIXTURE
	FLOOD LIGHT
	EXHAUST FAN VENT TO EXTERIOR
	COMBINATION EXHAUST FAN / LIGHT
	CEILING FAN / LIGHT FIXTURE
	HARDWIRED SMOKE DETECTOR
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

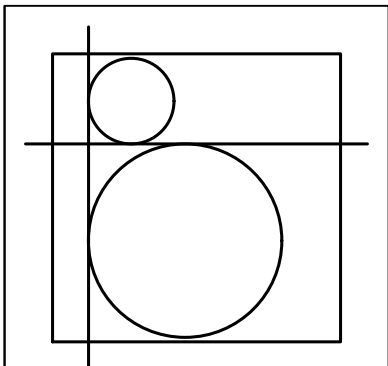
- ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES.
 2. ANY INCOMPTABILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
 3. FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS
 4. PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3: 1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR.
 5. EACH FLOOR SHALL HAVE BOTH IONIZATION AND PHOTOELECTRIC SMOKE ALARMS
 6. PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316: 1 PER FLOOR.
 7. OWNER SHALL PROVIDE DECORATIVE LIGHTING. RECOMMENDED MANUFACTURERS FOR NEW 9. FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL.
 8. ALL EQUIPMENTS AND SYSTEM COMPONENTS SHALL BE SQUARE D OR APPROVED EQUAL.
 9. NEW LIGHT FIXTURES SHALL USED CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.



1 FOUNDATION ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



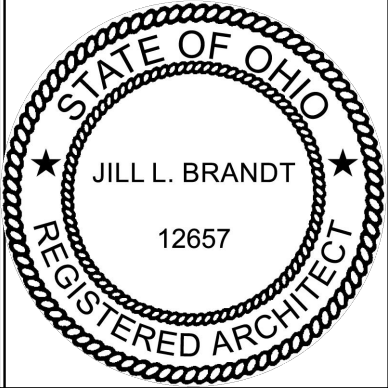
2 1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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10/5/22	REVIEW
10/25/22	BID/PERMIT
1/11/23	REVISIONS/PERMIT
6/21/23	REVISIONS/PERMIT
6/29/23	REVISIONS/PERMIT



Jill L. Brandt
OH #12657
EXP 12/31/23

THE SCHOEN RESIDENCE
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ELECTRICAL PLANS

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