

Cain Residence

General Notes

1. All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
2. All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
3. All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
4. The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
5. The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.
6. The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
7. Hurst Design Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
8. Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
9. The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

Structural Notes

Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for drywall. Inner trimmer/jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).

All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.

Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Ceiling joists and flat roof joists shall be cross bridged at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanently.

Rafters shall be doubled at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.

All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.

Connections shall be in accordance with the applicable building code as a minimum.

MATERIAL DESIGN STRESSES (Minimum)

| Framing Member           | Fb(psi) | Fv(psi) | Fc(psi) | E(psi)    |
|--------------------------|---------|---------|---------|-----------|
| SAWN LUMBER              |         |         |         |           |
| Wood beams & headers     | 1000    | 130     | 1000    | 1,400,000 |
| Wood joists              | 1000    | 130     | 1000    | 1,400,000 |
| Wood studs/misc. framing | 875     | 110     | 1000    | 1,400,000 |
| Microlam (LVL)           | 3100    | 285     | 2510    | 2,100,000 |

See Drawings for special conditions and/or min. structural requirements  
Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



PRESENTATION VIEWS

Not to Scale



Common Abbreviations

R/R = Remove & Replace  
EX. = Existing  
TYP. = Typical  
U.N.O. = Unless noted otherwise

V.I.F. = Verify in field  
R.O. = Rough opening  
F.F. = Finished floor  
L.B.P. = Load bearing point

Design Loads

1. Floor Live Loads:  
First Floor: 40 psf  
Second Floor: 30 psf  
Floor Dead loads: 10 psf

2. Roof Live Loads (snow): 30 psf  
Roof Clg Dead loads: 12 psf  
Total Roof Loads: 42 psf

Square Footage

Lower Level Addition = 987 sq. ft.  
First Floor Addition = 987 sq. ft.  
First Floor Remodel = 335 sq. ft.

Project Description

The project scope includes the full remodel of the Kitchen, expanding into adjacent powder room and bedroom area. Open the Kitchen to a new addition (Family Room and Primary Suite). All new finishes in remodeled space and addition. Exterior finishes to match existing.

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|                   |                 |
|-------------------|-----------------|
| Client Signature: | P.C. Signature: |
| Date:             | Date:           |

|                 |              |
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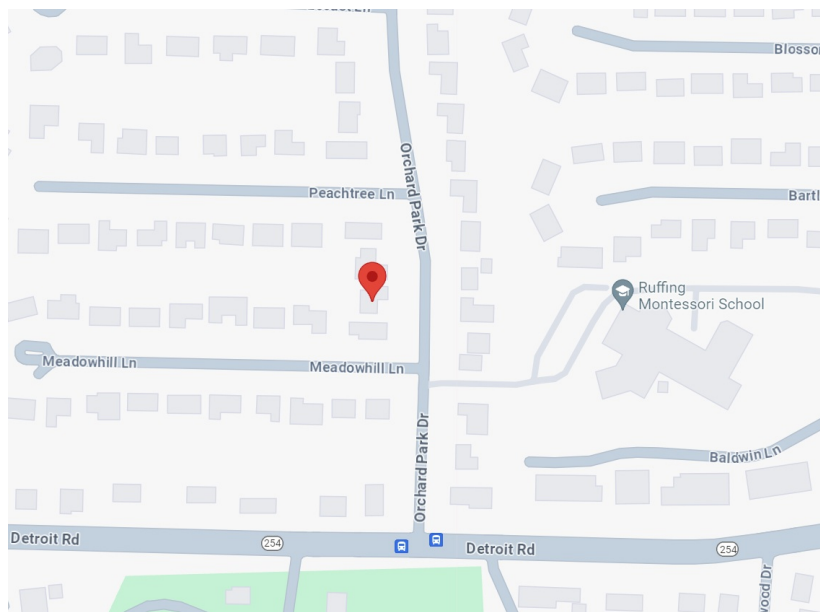
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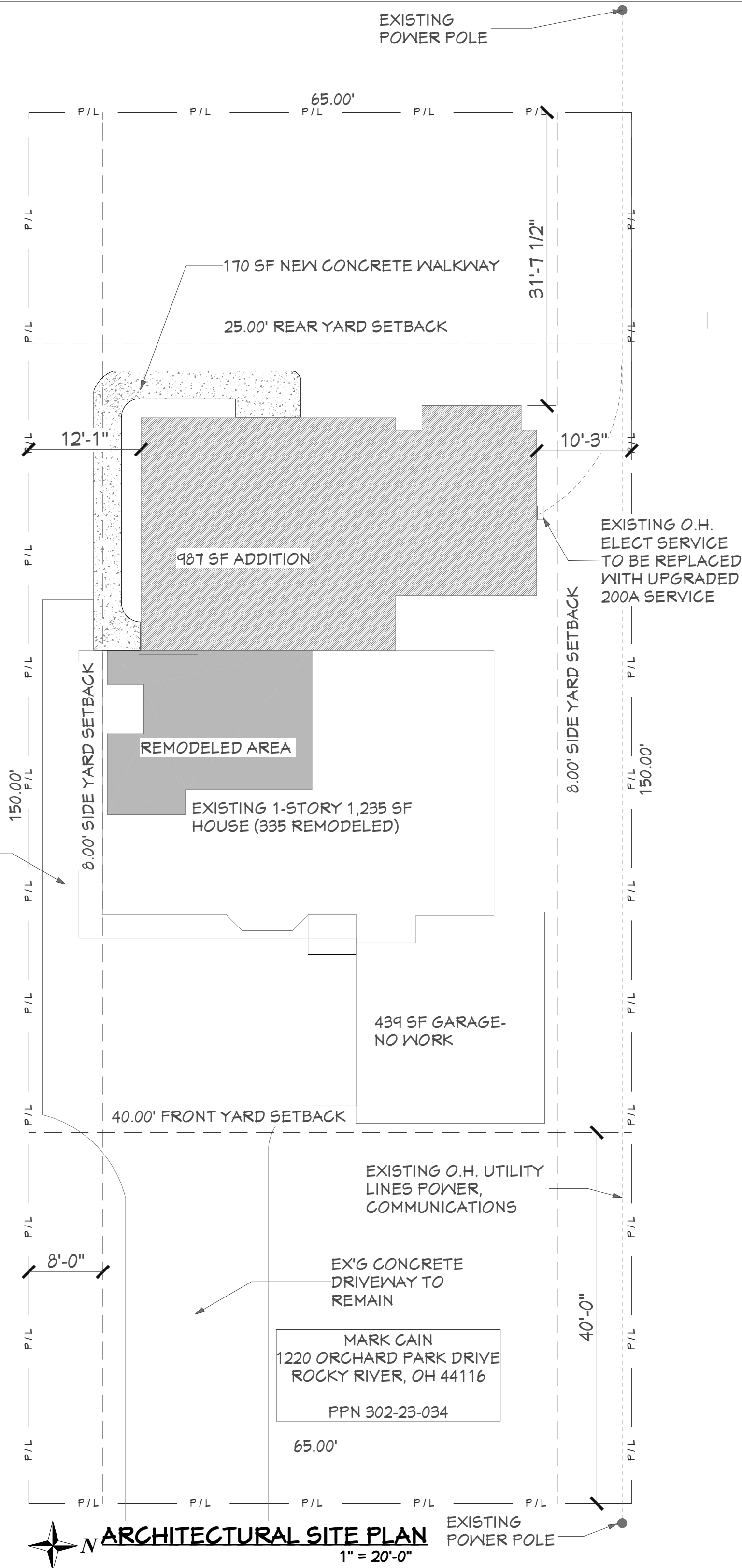
Vicinity Map  
Not to Scale

LOT COVERAGE

|                        |            |
|------------------------|------------|
| EX'G HOME FOOTPRINT=   | 1,235 S.F. |
| EX'G GARAGE FOOTPRINT= | 439 S.F.   |
| ADDITION FOOTPRINT=    | 987 S.F.   |
| TOTAL=                 | 2,661 S.F. |
| LOT=                   | 9,750 S.F. |
| LOT COVERAGE=          | 27.29%     |



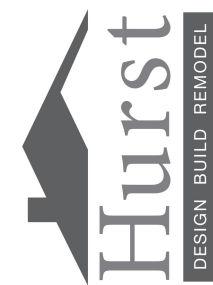
G.I.S. SITE PLAN  
Not to Scale



ARCHITECTURAL SITE PLAN  
1" = 20'-0"

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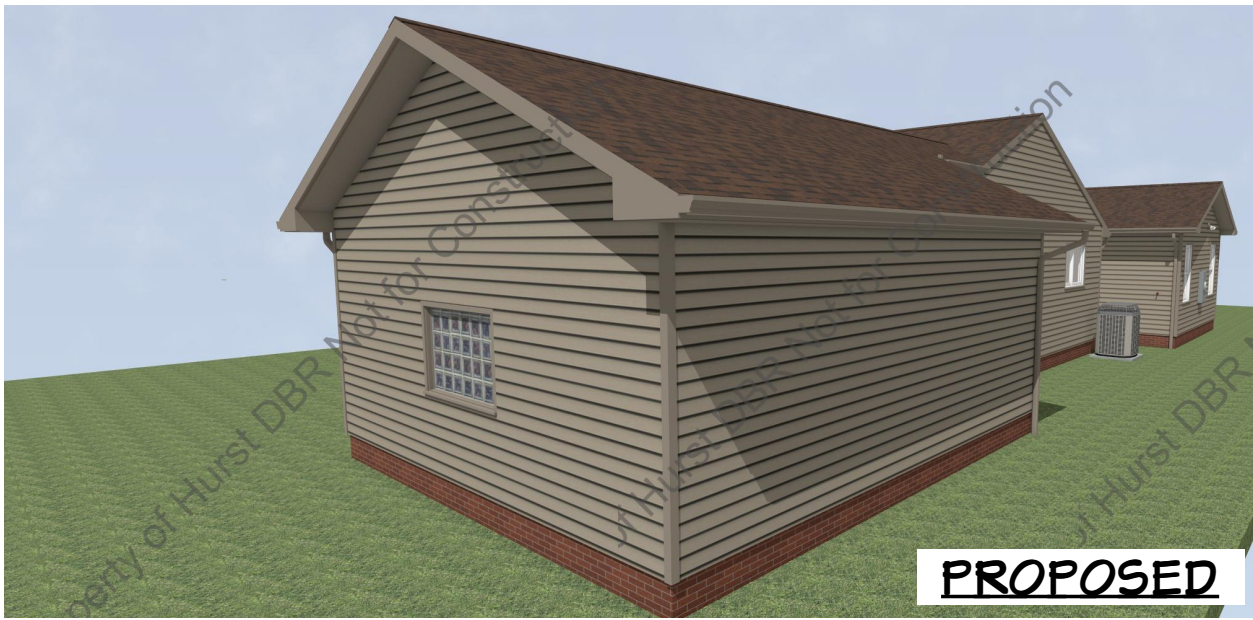
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PROPOSED



PROPOSED



PROPOSED



PROPOSED



PROPOSED



PROPOSED



BEFORE



BEFORE



BEFORE



BEFORE



BEFORE



BEFORE



Tuscan Clay



ALSIDE TUSCAN CLAY SIDING  
D4.5 (MATCH EXISTING)



GRADE BRICK: SIMILAR TO  
EXISTING



BROOMED FINISHED GREY  
CONCRETE WALKWAY



MARVIN ESSENTIALS  
WINDOWS IN STONE WHITE



OWENS CORNING ROOFING  
DURATION TEAK (MATCH EXISTING)



MARVIN ARCHED WINDOW IN  
STONE WHITE



MARVIN ELEVATE FRENCH  
DOOR IN STONE WHITE

PRESENTATION VIEWS  
Not to Scale

MATERIALS  
Not to Scale

|                 |              |
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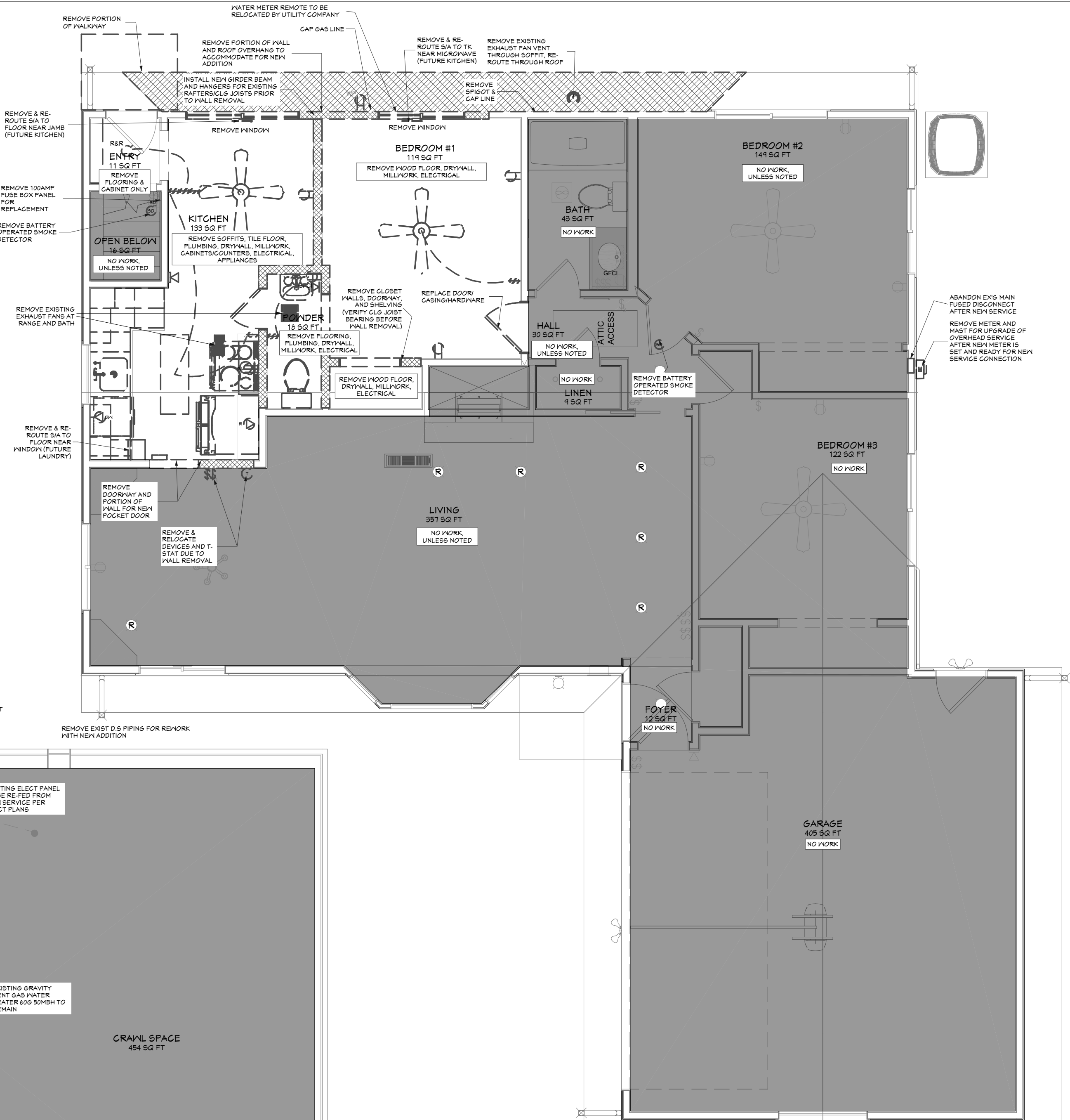


General Notes:Demolition

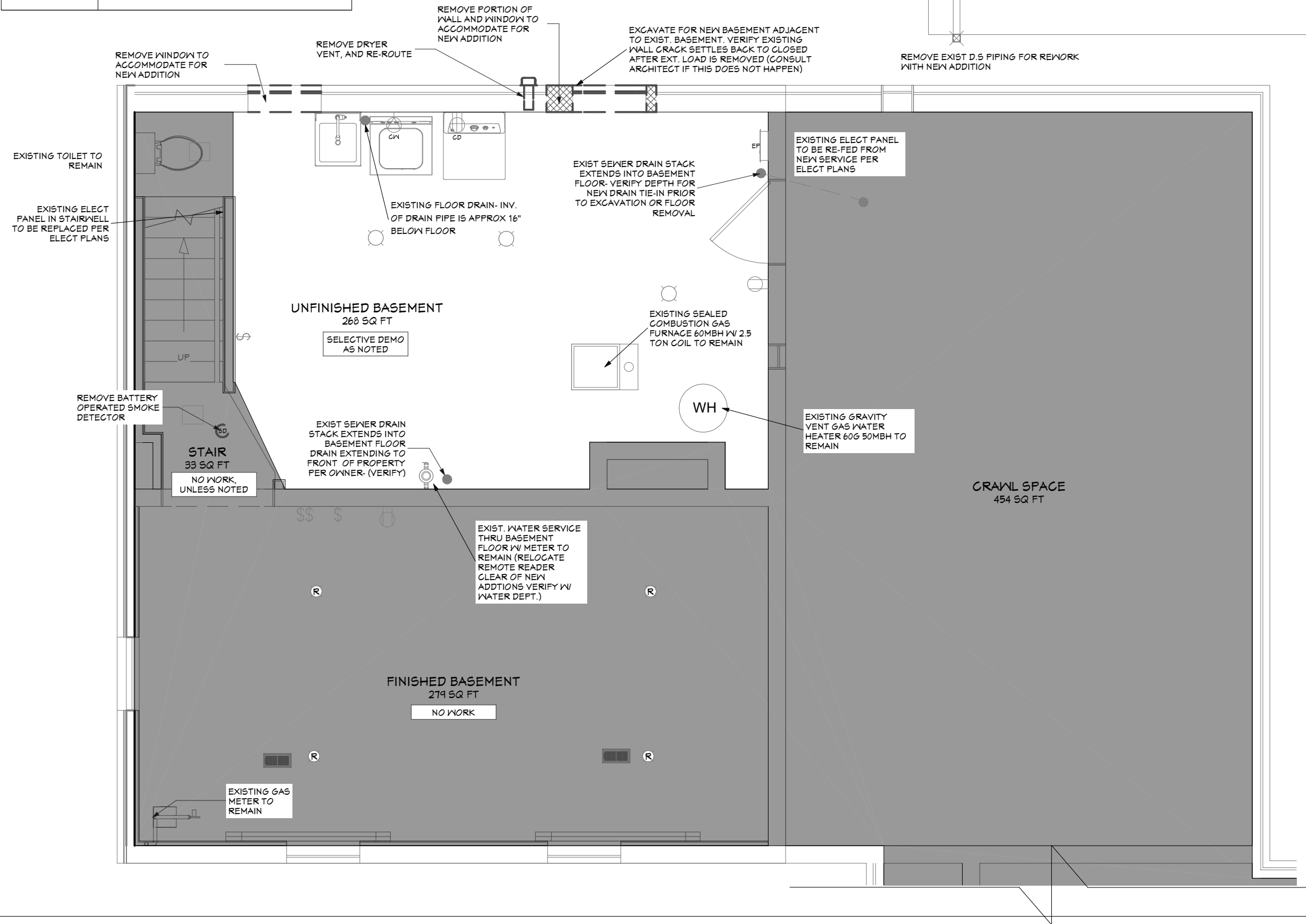
1. SALVAGE MATERIALS WHEN POSSIBLE, DONATE TO HABITAT FOR HUMANITY OR OTHER ORGANIZATION.
2. EXISTING FASCIAS, GUTTERS, ROOFING TO REMAIN ON EXISTING ROOF. ONLY REMOVE PORTIONS AS NEEDED FOR TIE-IN OF NEW ADDITION ROOF.
3. EXISTING CHIMNEY, SIDING, BRICK, STONE, SOFFITS, DOORS, AND WINDOWS TO REMAIN UNLESS OTHERWISE NOTED. ONLY REMOVE PORTIONS AS NEEDED FOR TIE-IN OF NEW ADDITION, AS NOTED ON PLAN.
4. EXISTING HARDWOOD FLOORS TO BE REMAIN.
5. PROVIDE TEMPORARY BRACING AND SHORING AS NEEDED DUE TO WALL DEMOLITION.
6. REMOVE & REPLACE ELECTRICAL METER AS NOTED ON PLANS.
7. REMOVE ALL LIGHTING AND ELECTRICAL DEVICES FROM KITCHEN, POWDER ROOM, AND BEDROOM #1. PERFORM ONLY SELECTIVE ELECTRICAL DEMOLITION IN LIVING ROOM AS NEEDED DUE TO WALL REMOVAL.
8. REMOVE SMOKE AND CARBON MONOXIDE DETECTORS IN THE HOME, TO BE REPLACED WITH HARDWIRED DETECTORS.
9. RE-ROUTE ANY DUCTWORK OR PLUMBING STACKS RUNNING THROUGH DEMOLISHED WALLS AS NEEDED.
10. SAVE ALL TREES ON SITE, OTHER THAN THE REMOVAL OF SELECT TREES AS NEEDED ON NORTH SIDE OF LOT AS NEEDED DUE TO EXCAVATION FOR NEW ADDITION.

WALL LEGEND

|      |   |
|------|---|
| ---  | Object to be demolished                     |
| XXXX | Wall to be demolished                       |
| ---  | Existing interior wall to remain            |
| ---  | Existing exterior wall to remain            |
| ---  | New 2x4 interior wall                       |
| ---  | New 2x4 exterior wall                       |
| ---  | Existing foundation wall w/ brick to remain |
| ---  | New CMU foundation w/ brick veneer          |
| ---  | Existing poured concrete foundation wall    |
| ---  | New poured concrete foundation wall         |
| ---  | New handrail                                |



EX/DEMO FIRST FLOOR PLAN  
1/4" = 1'-0"



EX/DEMO FOUNDATION PLAN  
1/4" = 1'-0"

|                 |              |
|-----------------|--------------|
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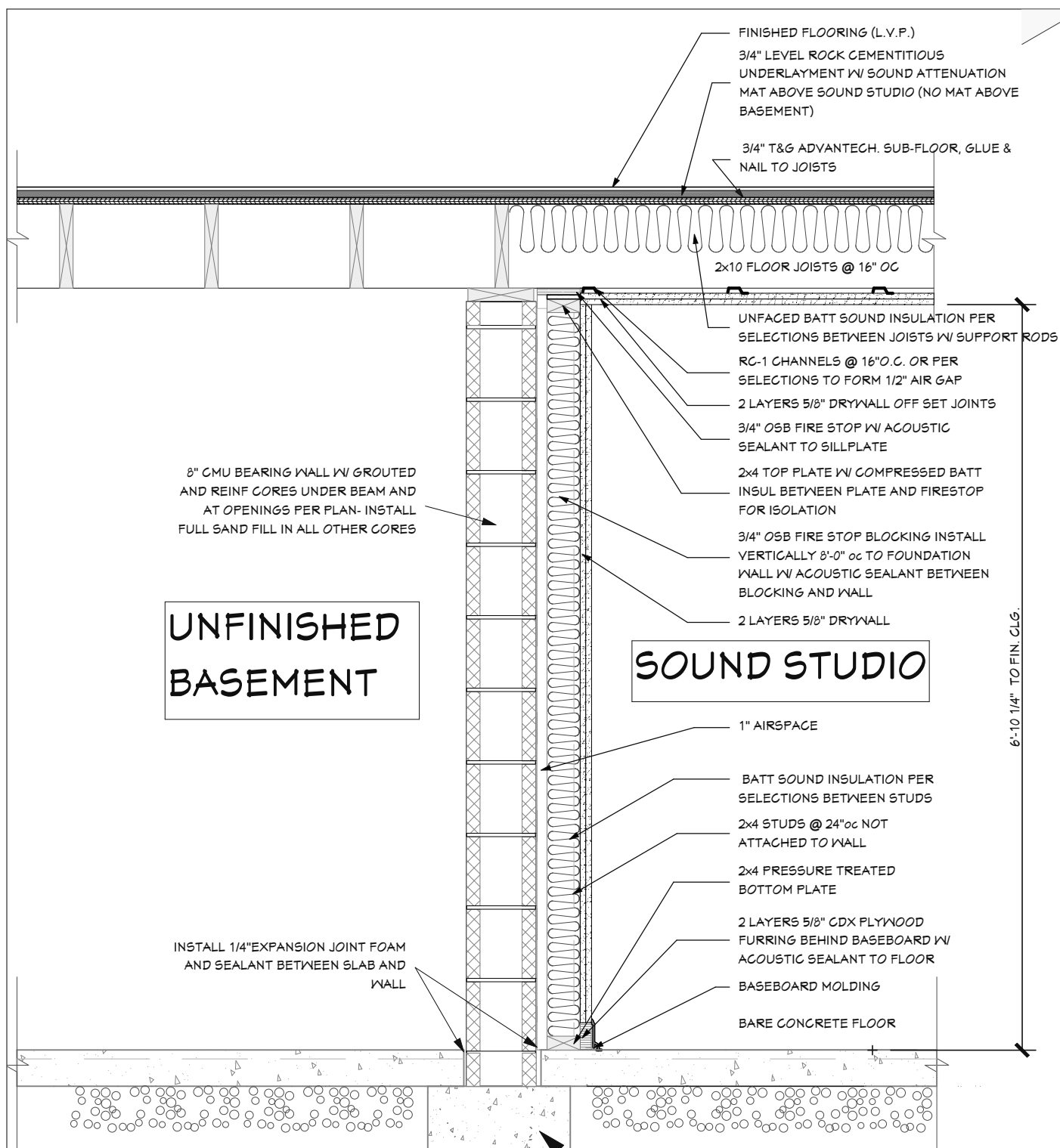
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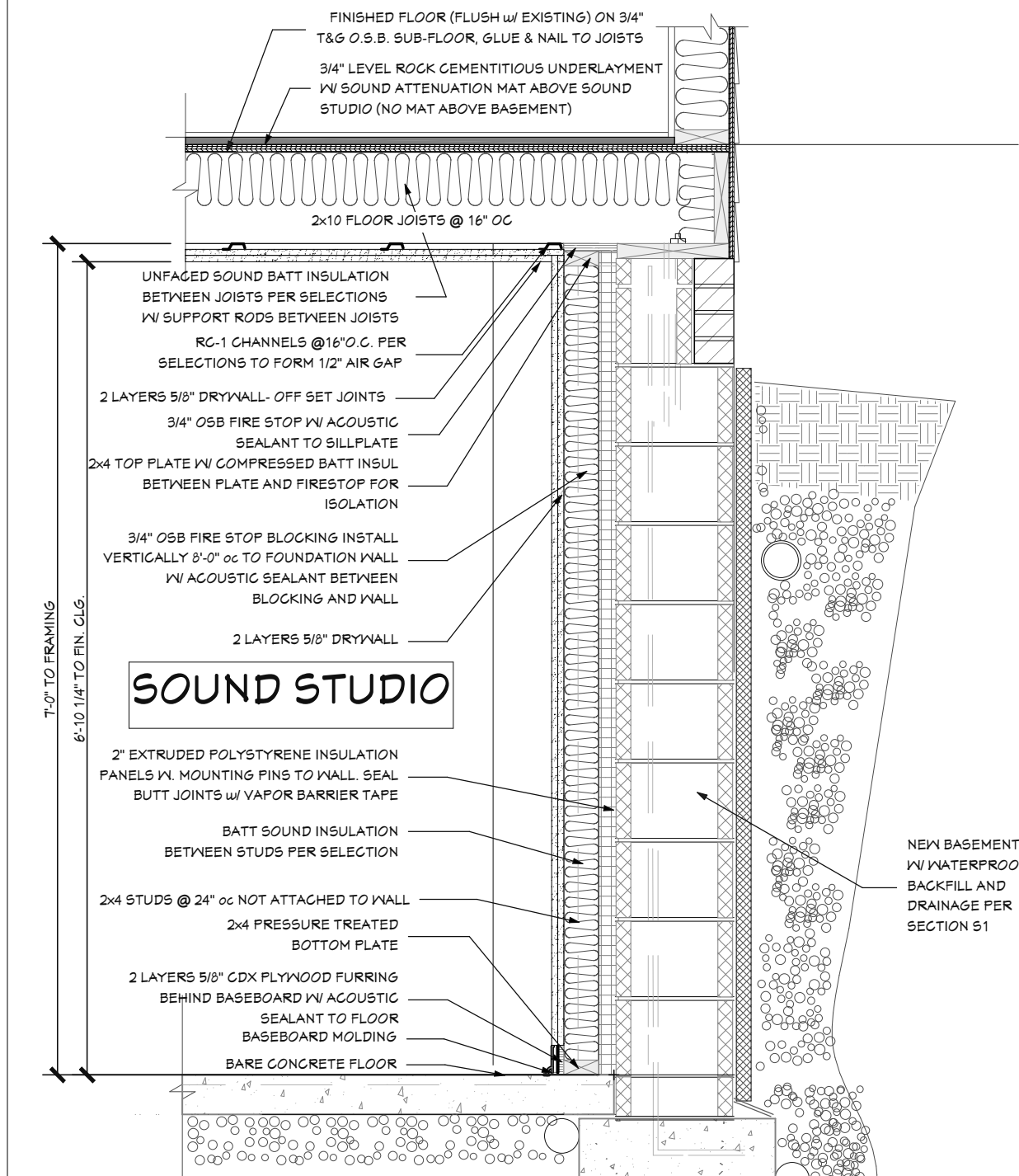
SHEET NO.

A-4

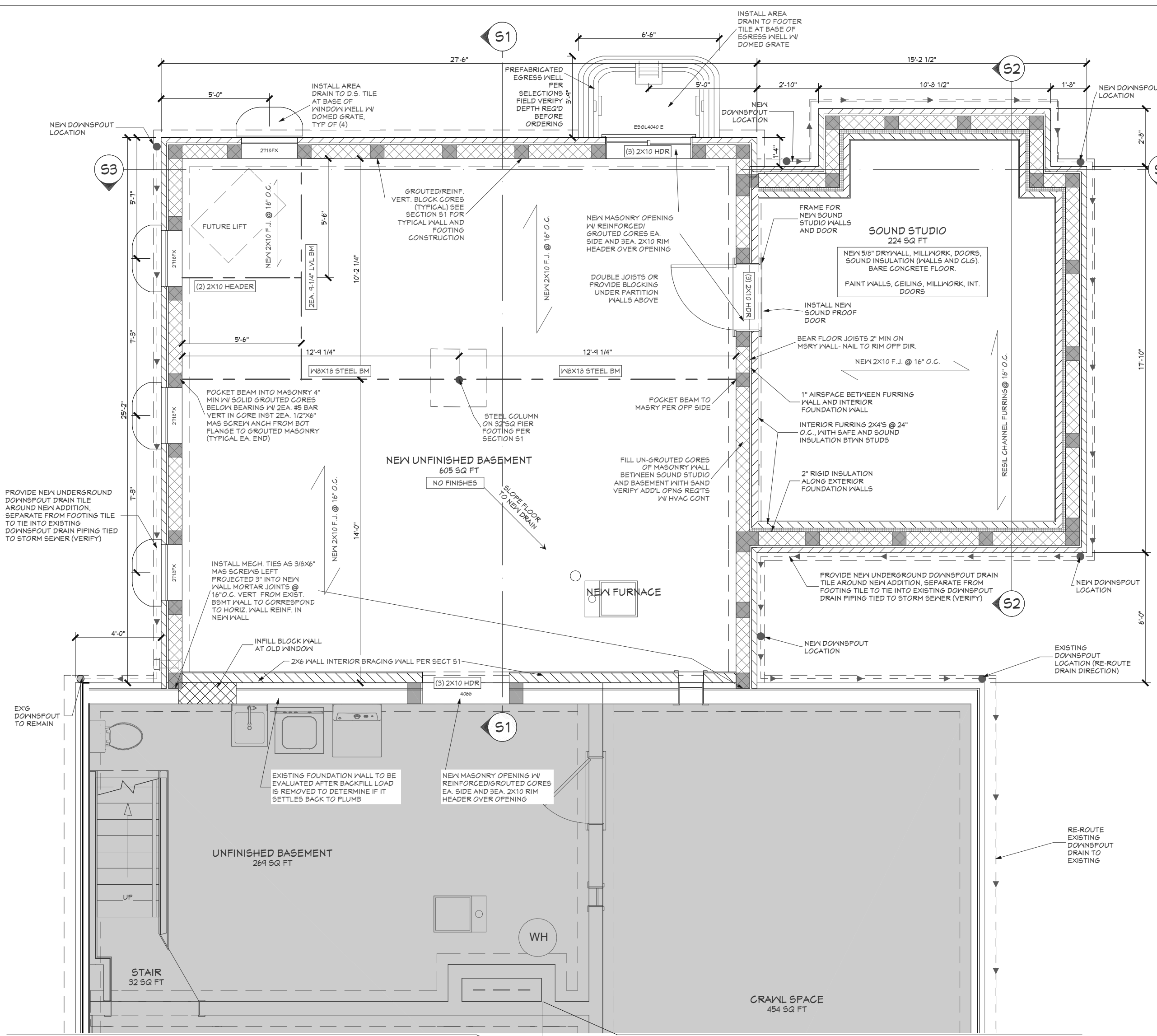




**D1**  
DETAIL  
3/4" = 1'-0"



**D2**  
DETAIL  
3/4" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"

**Foundation Notes:**

- DIRECTIONAL CLEAN OUTS SHALL BE INSTALLED ON THE DRAIN TILE, AND ALL GUTTERS SHALL BE TIED TO THE STORM SEWER. SECTION 403.410PC
- THE FOUNDATION MUST EXTEND A MINIMUM OF 6" ABOVE GRADE. SECTION 404.1.6
- NEW UNFINISHED BASEMENT AREA TO REMAIN UNFINISHED BLOCK WALLS. NO FLOORING OR DRYWALL ON CEILING.
- NEW SOUND STUDIO TO HAVE FINISHED WALLS AND CEILING ONLY. FLOOR TO REMAIN UNFINISHED CONCRETE.
- INSTALL NEW CONCRETE WALKWAY, PER SITE PLAN SLOPE AWAY FROM HOUSE.

**WALL LEGEND**

|       |   |
|-------|---|
| ---   | Object to be demolished                     |
| XXXX  | Wall to be demolished                       |
| ===== | Existing interior wall to remain            |
| ===== | Existing exterior wall to remain            |
| ===== | New 2x4 interior wall                       |
| ===== | New 2x4 exterior wall                       |
| ===== | Existing foundation wall w/ brick to remain |
| ===== | New CMU foundation w/ brick veneer          |
| ===== | Existing poured concrete foundation wall    |
| ===== | New poured concrete foundation wall         |
| ===== | New handrail                                |

|                 |              |
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Mark & Karen Cain  
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**A-5**



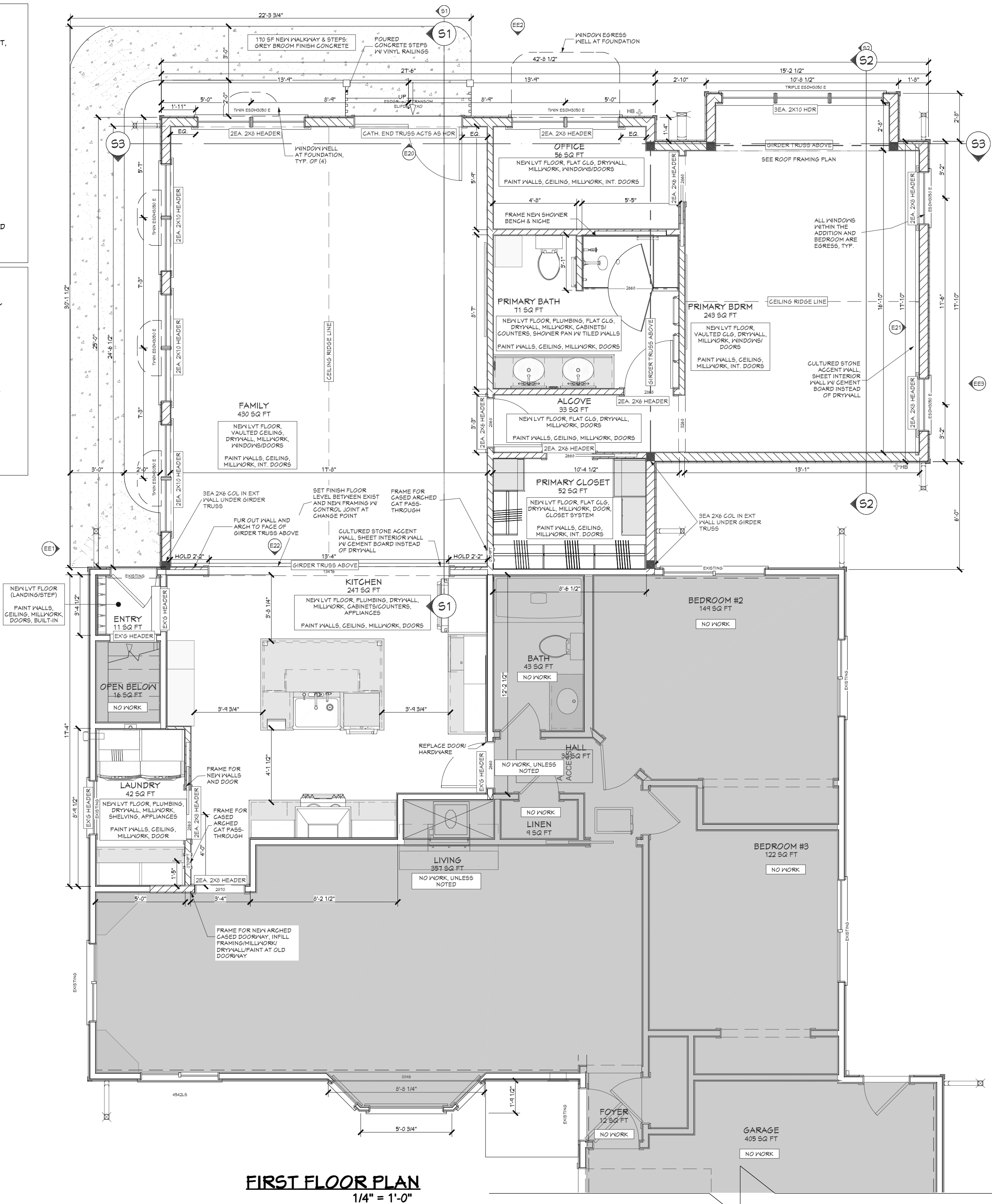
Finish Notes:

1. NEW LVP FLOORING IN THE ENTRY (LANDING) KITCHEN, LAUNDRY, FAMILY ROOM, ALCOVE, OFFICE, PRIMARY BATH, PRIMARY CLOSET, AND PRIMARY BEDROOM. INSTALL NEW BASE AND SHOE MOLDING AT NEW FLOOR LOCATIONS. NO NEW FLOORING ON STAIRS.
2. INSTALL WOOD REGISTERS AT FLOOR REGISTER LOCATIONS. STAIN SIMILAR COLOR TO LVP FLOOR. PAINT TOEKICK REGISTERS TO MATCH CABINETS.
3. EXISTING FINISHES IN THE LIVING ROOM TO REMAIN (EXCEPT FOR WALL/TRIM PATCHING).
4. NEW BACKSPLASH TILE IN THE KITCHEN, PER ELEVATIONS.
5. NEW TILE IN ON SHOWER WALLS AND BENCH, PER ELEVATIONS. TO BE INSTALL WITH PREFABRICATED SHOWER SHOWER BASE.
6. INSTALL CABINETS PER ELEVATIONS. NOTE MODIFIED HEIGHTS, WIDTHS, DEPTHS. ACCESSORIES BY CABINET MANUFACTURER, UNLESS OTHERWISE NOTED. DECORATIVE HOOD COVER TO BE PROVIDED BY CABINET MANUFACTURER.
7. NEW MILLWORK IN REMODELED AREAS (KITCHEN, ENTRY, LAUNDRY) AND IN NEW AREAS (FAMILY ROOM, OFFICE, PRIMARY SUITE).
8. TO BE PROVIDED BY OWNER: APPLIANCES, (INCLUDING HOOD BLOWER INSERT), FURNISHINGS, WINDOW COVERINGS, MIRRORS, AND DECORATIVE LIGHTING FIXTURES.

Framing Notes:

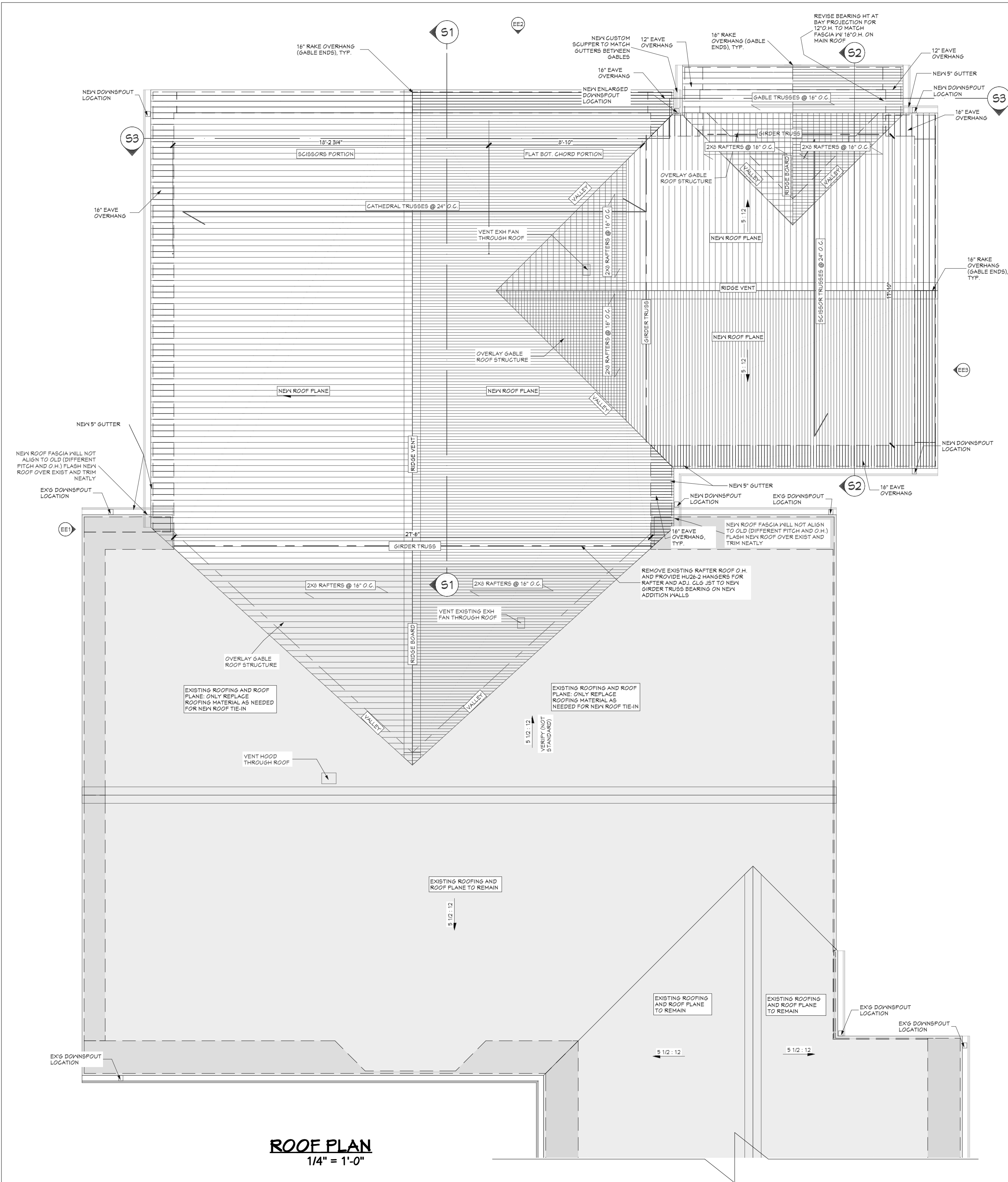
1. FRAME NEW INTERIOR AND EXTERIOR WALLS AS NOTED ON PLANS/SECTIONS FOR NEW LAUNDRY, FAMILY ROOM, ALCOVE, PRIMARY CLOSET, PRIMARY BEDROOM, OFFICE, AND PRIMARY BATH.
2. FRAME NEW SOFFITS OR CHASES AS NEEDED TO CONTAIN NEW SANITARY LINE OR HVAC LINES. CONSULT WITH DESIGNER/ ARCHITECT IF NEEDED.
3. ALL LOAD BEARING POINTS, BEAM & HEADER SIZES NOTED ON PLANS.
4. INSTALL FLOOR FRAMING FOR 1ST FLOOR ADDITION, ALIGNING FLOOR WITH EXISTING 1ST FLOOR. DEPTH OF JOISTS WILL BE BASED ON SPAN REQUIREMENTS PER PLANS.
5. INSTALL TRUSSES AND RAFTERS ON ADDITIONS. SIZING BASED ON SPAN AND INSULATION REQUIREMENTS.
6. PROVIDE BLOCKING BEHIND WALL MOUNTED ACCESSORIES AND GRAB BARS.

| WALL LEGEND |   |
|-------------|---|
|             | Object to be demolished                     |
|             | Wall to be demolished                       |
|             | Existing interior wall to remain            |
|             | Existing exterior wall to remain            |
|             | New 2x4 interior wall                       |
|             | New 2x4 exterior wall                       |
|             | Existing foundation wall w/ brick to remain |
|             | New CMU foundation w/ brick veneer          |
|             | Existing poured concrete foundation wall    |
|             | New poured concrete foundation wall         |
|             | New handrail                                |



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| SHEET NO.<br>A-6   |   |





General Notes:Roofing

- 1 SEE SECTIONS FOR TRUSS PROFILES
- 2 Ice & Water to be installed on eaves, valleys, chimneys, and protrusions through the roof.
- 3 Ice & Water on the main house eaves to achieve 24" coverage inside the warm wall of the conditioned space.
- 4 Asphalt impregnated roofing felt to be installed. Overlap a min. of 2" horizontally. Lay parallel with the eaves.
- 5 Necessary flashing and metal caps for aprons, rakes, drip edges, and side wall flashing are to be installed.
- 6 Install flashing boots at all roof exhaust ventilation.
- 7 Install architectural roof shingle system. Include starter shingle and matching ridge caps.
- 8 All roofing on the addition will be new, matching existing roofing (Dimensional Asphalt Shingles). All roofing on existing structure is to remain, other than removal of what is needed for tie-in of new addition roof.
- 9 New fascias will be higher than existing with less overhang- flash into exist roof line and box out exist fascia to new soffit.

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**Hurst**  
DESIGN BUILD REMODEL

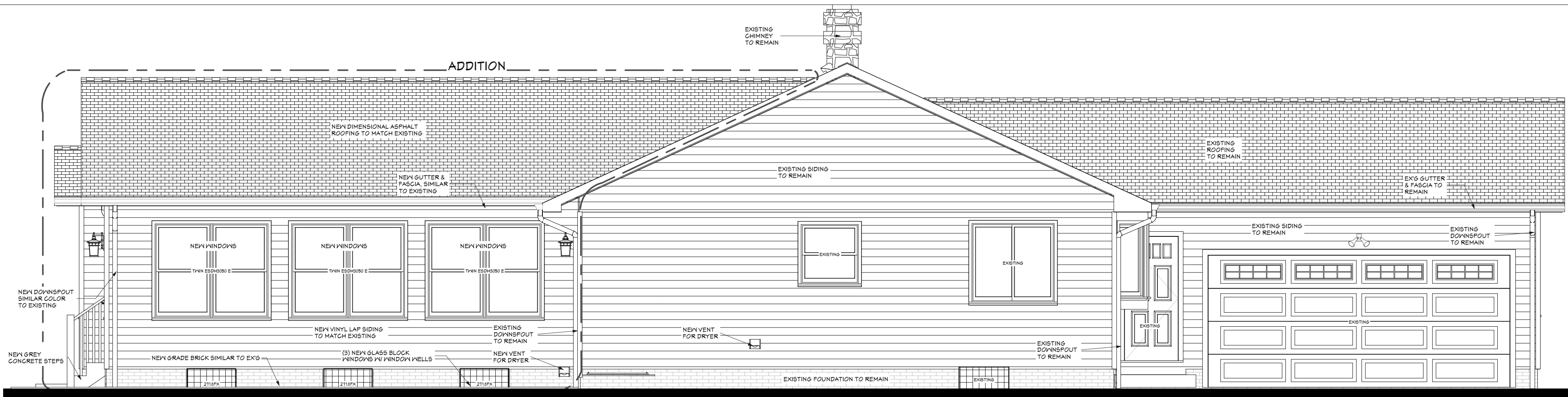
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| SHEET NO. |
| A-7       |

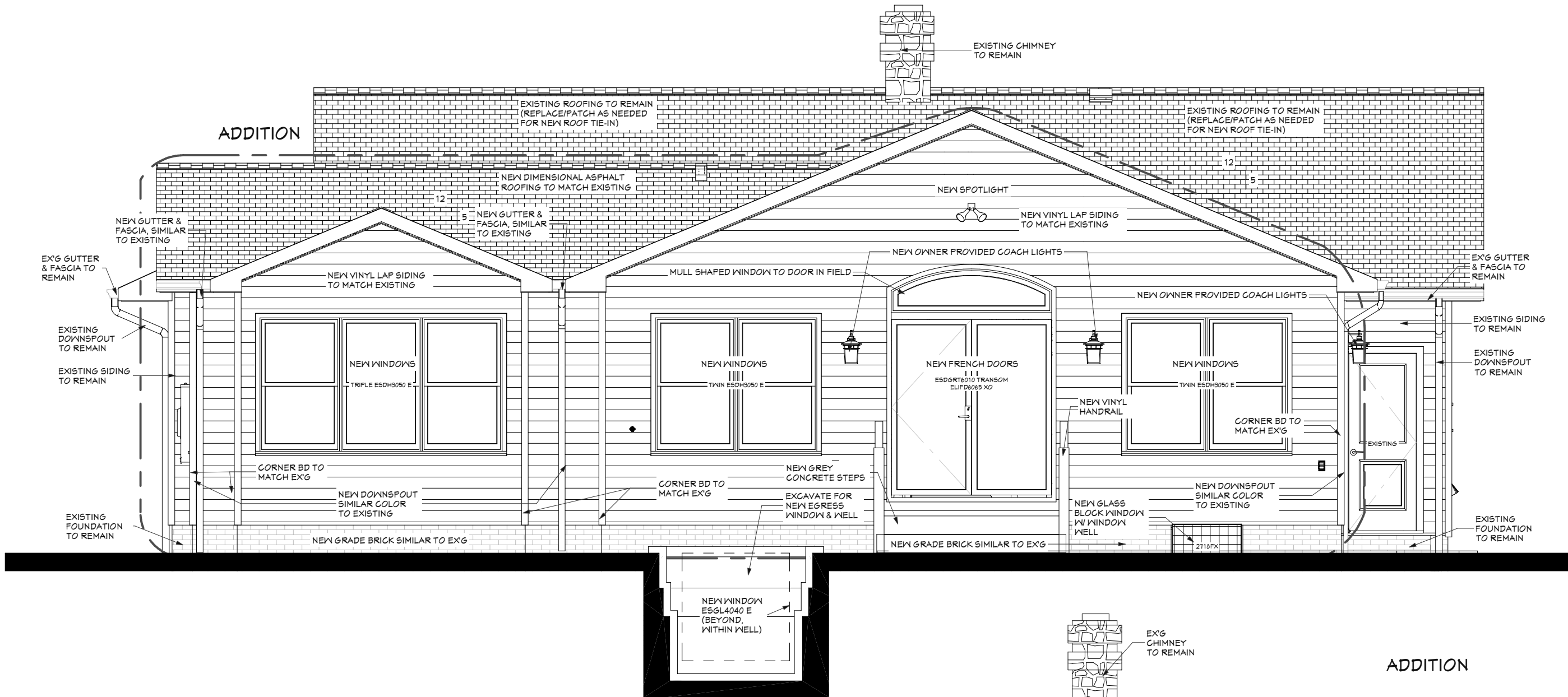




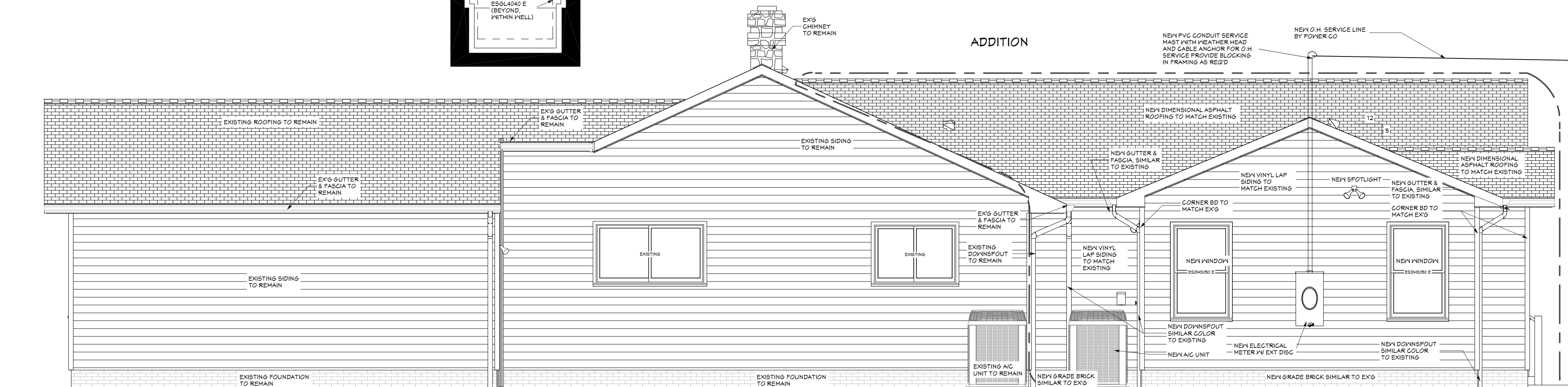
**EE1 LEFT ELEVATION**  
1/4" = 1'-0"

**General Notes:Siding**

- 1 House Wrap barrier under new siding material to be installed. Tape and seal joints.
- 2 Install complete siding system with flashing and best practices to protect the exterior envelope from weather.
- 3 Install all channels and trim required for a complete installation.
- 4 All siding on addition will be new, matching existing siding. All siding on existing structure is to remain, other than removal of what is needed for accommodation of new addition.
- 5 New Window and Door trim will be aluminum wrapped with j-channel perimeter to match existing detail. Color will be similar to existing.
- 6 Soffits, Fascia Wraps, Gutters, and Downspouts to be similar color to existing.



**EE2 REAR ELEVATION**  
1/4" = 1'-0"



**EE3 RIGHT ELEVATION**  
1/4" = 1'-0"

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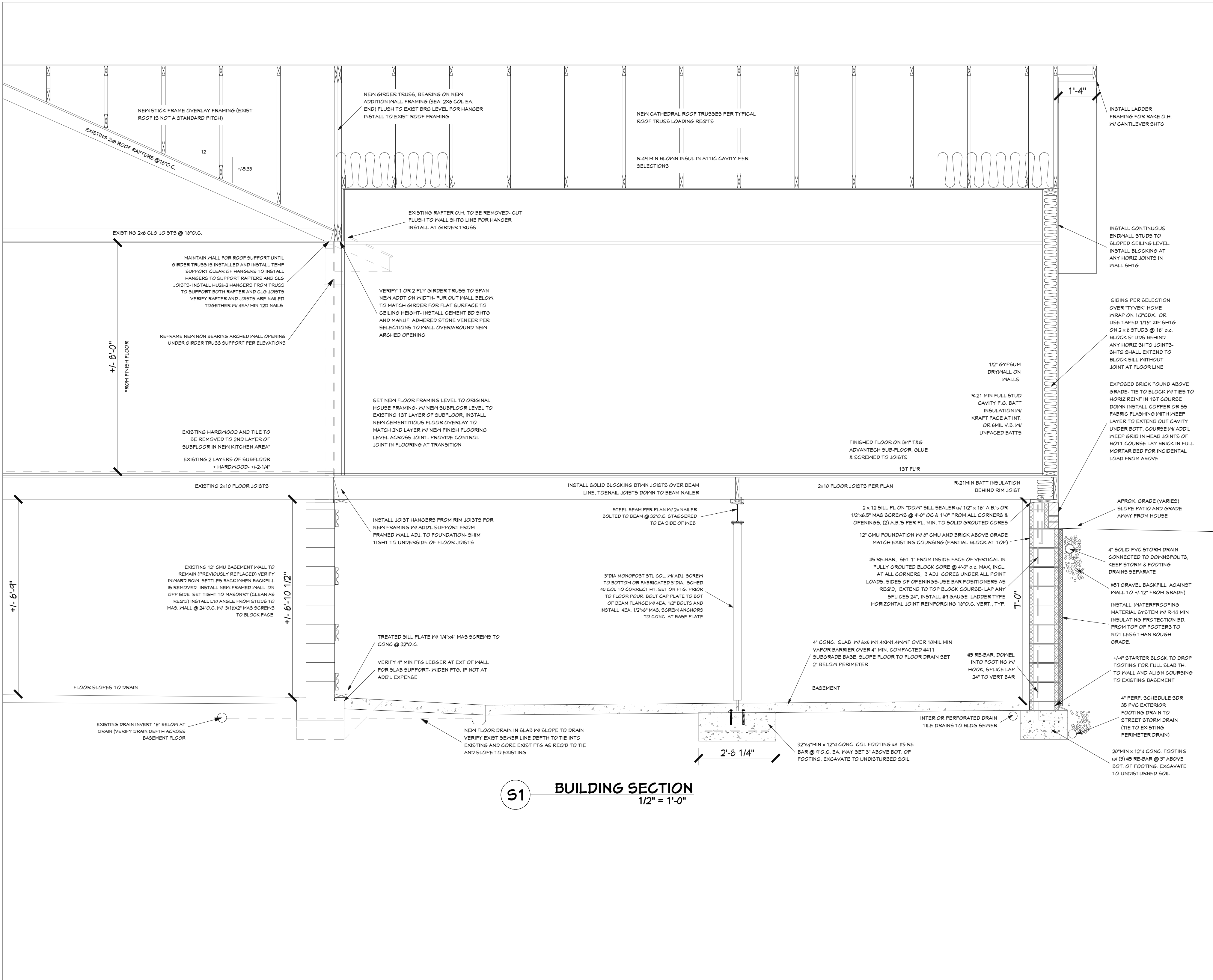
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DESIGN-BUILD-REMODEL

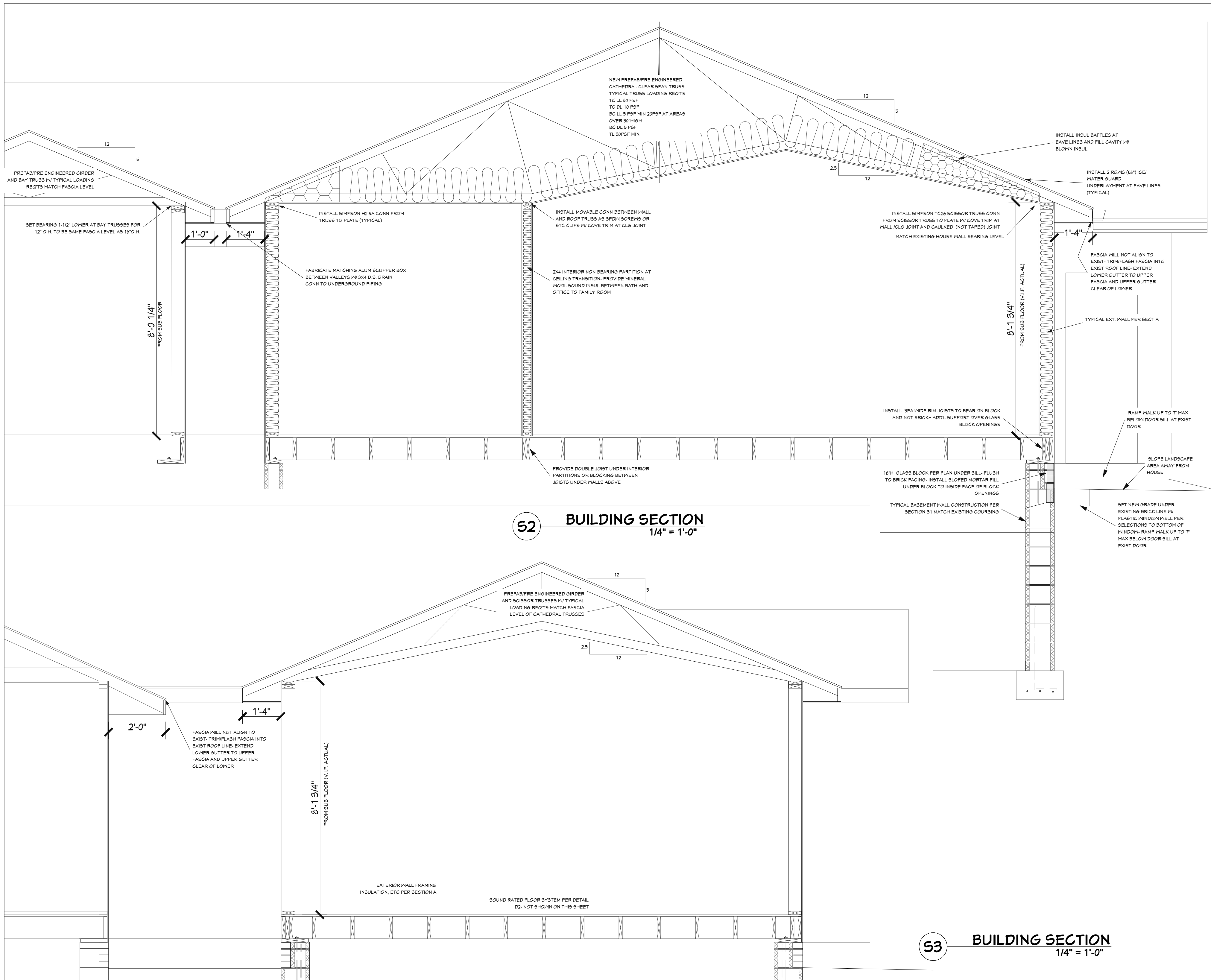
**CAIN RESIDENCE**  
Mark & Karen Cain  
1220 Orchard Park Driv  
Rocky River, OH 44116


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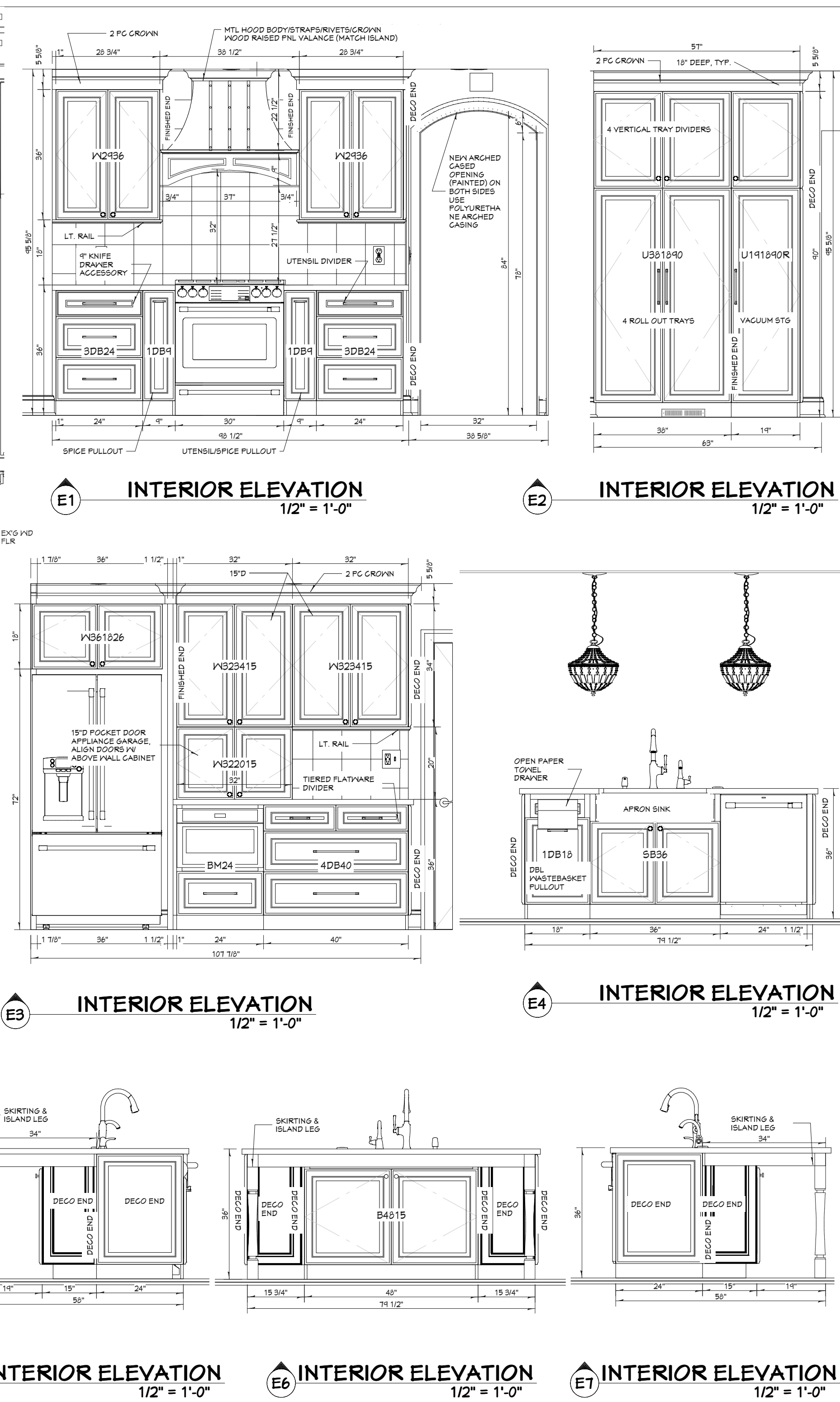
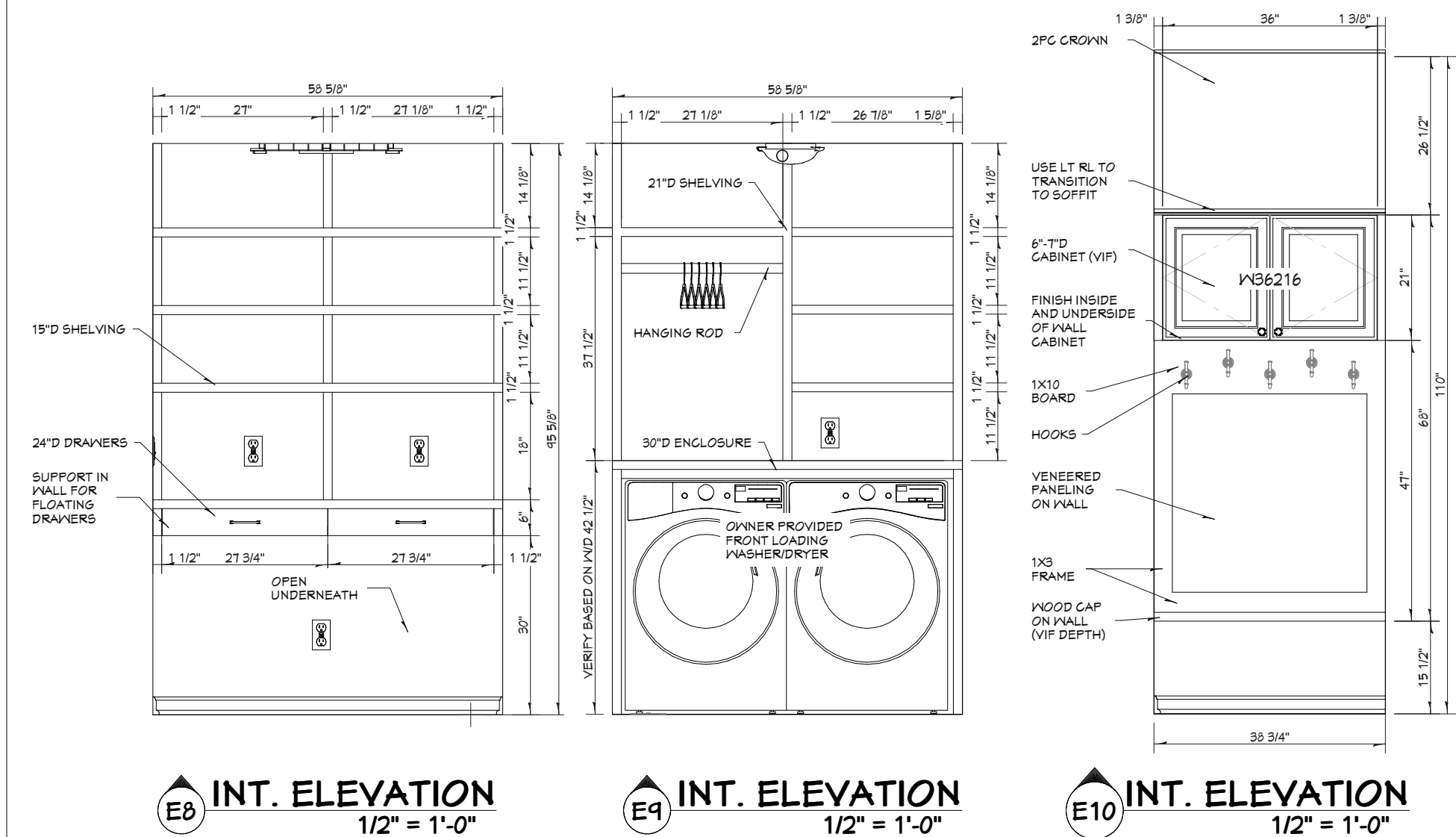
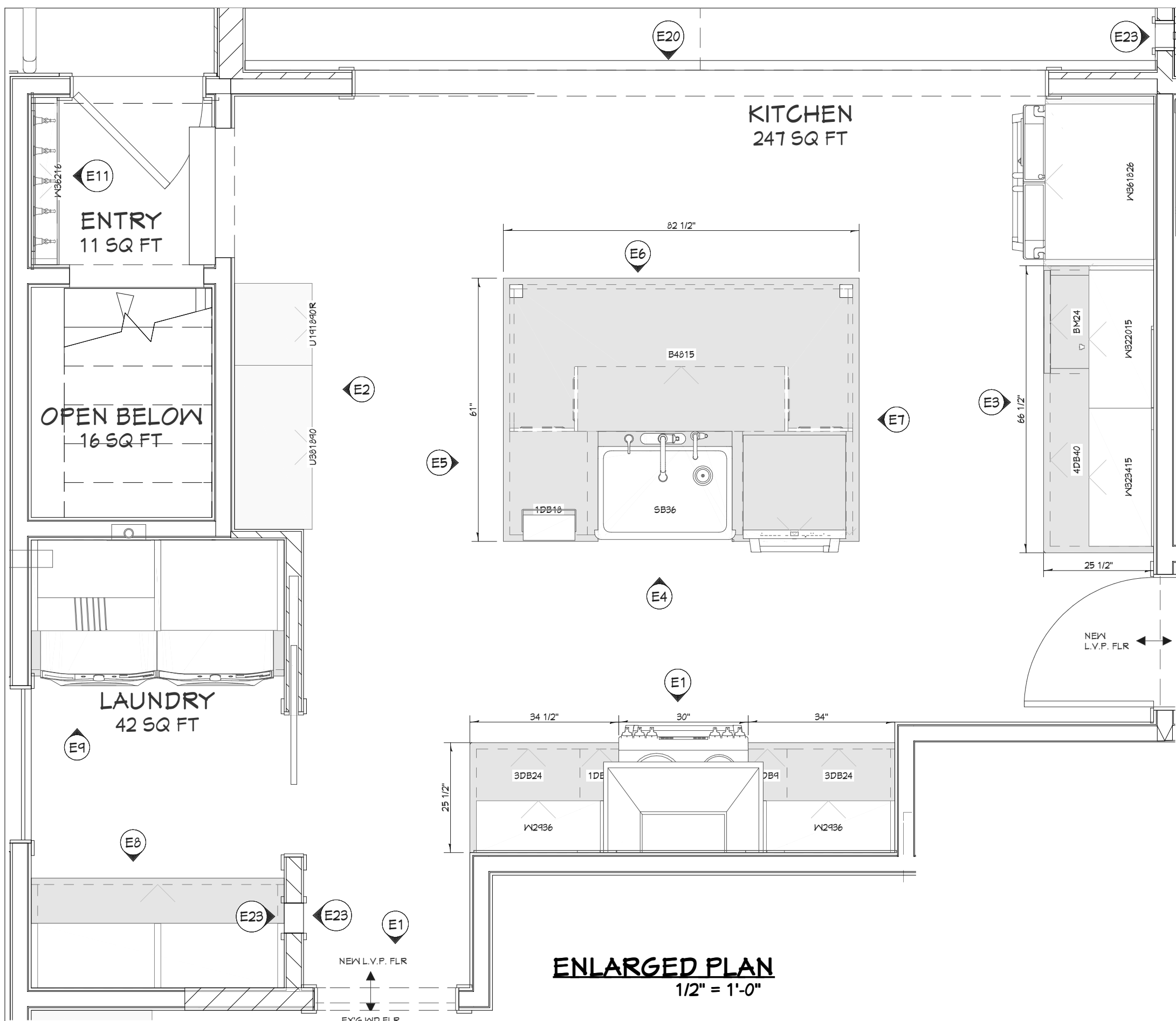
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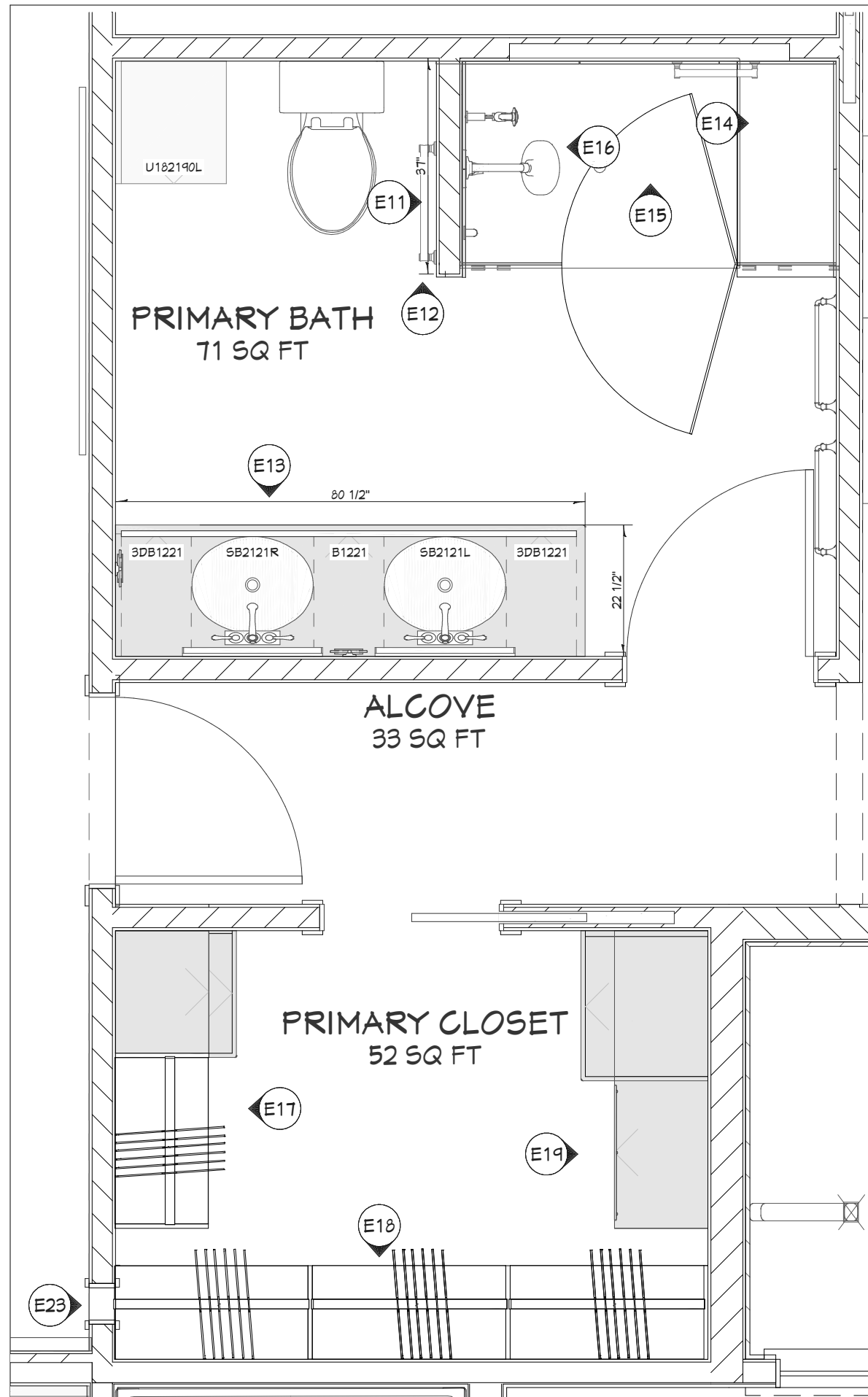
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| Job #  | Print Date |          |
| 8237   | 11/12/2024 |          |
| Design Info  |            |          |
| Design Phase   | D#         | Date     |
| A.R.B.   | 3.2        | 10.25.24 |
| Designer   | BD         |          |
| Revision   | #          | Date     |
|  | #          | ##.##    |
| Client Initials  |            |          |
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| <div><div><b>CAIN RESIDENCE</b></div><div>Mark &amp; Karen Cain<br/>1220 Orchard Park Driv<br/>Rocky River, OH 44116</div></div>   |            |          |
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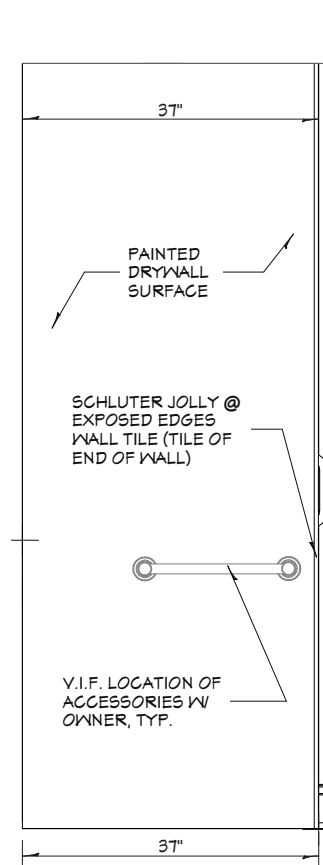
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| SHEET NO.<br><b>A-11</b>  |              |



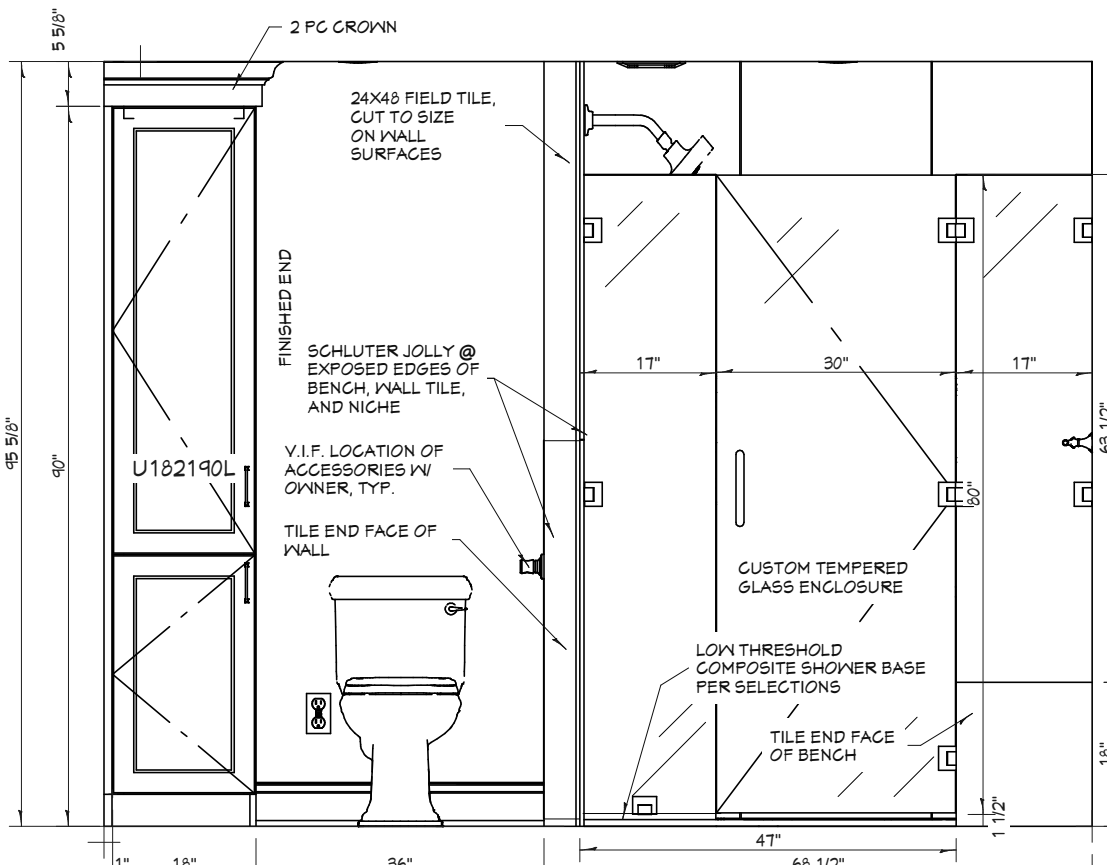


**ENLARGED PLAN**  
1/2" = 1'-0"

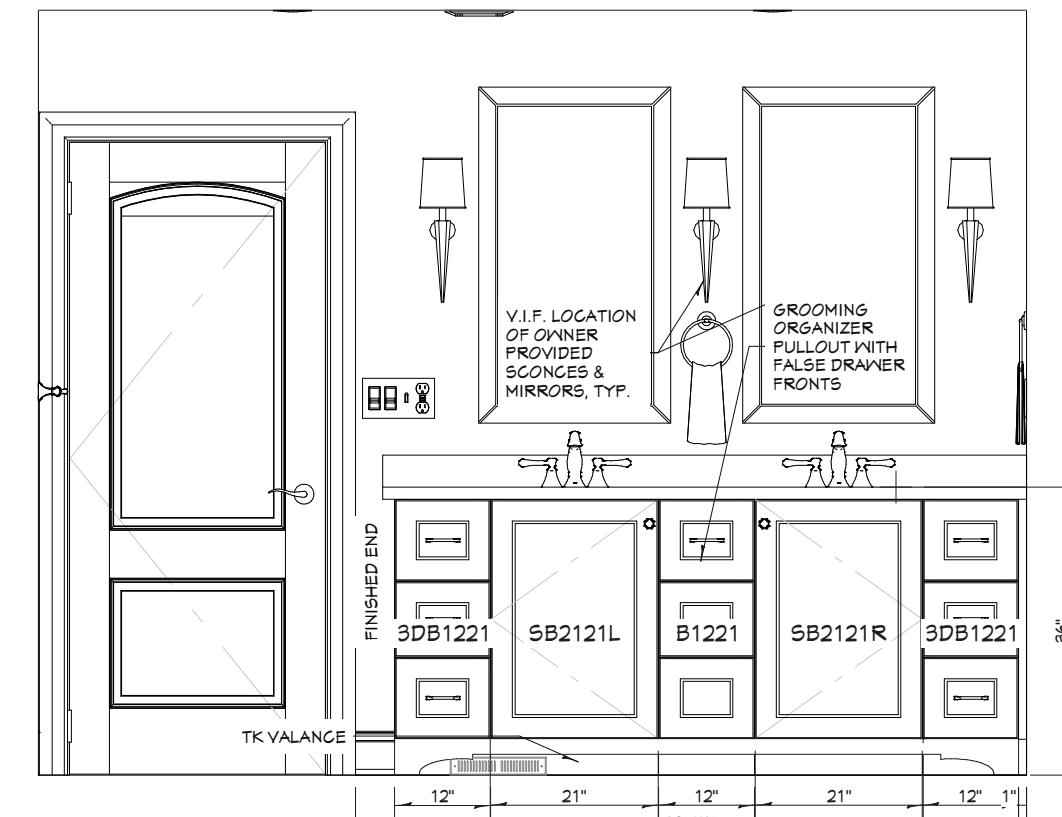
**E11 INTERIOR ELEVATION**  
1/2" = 1'-0"



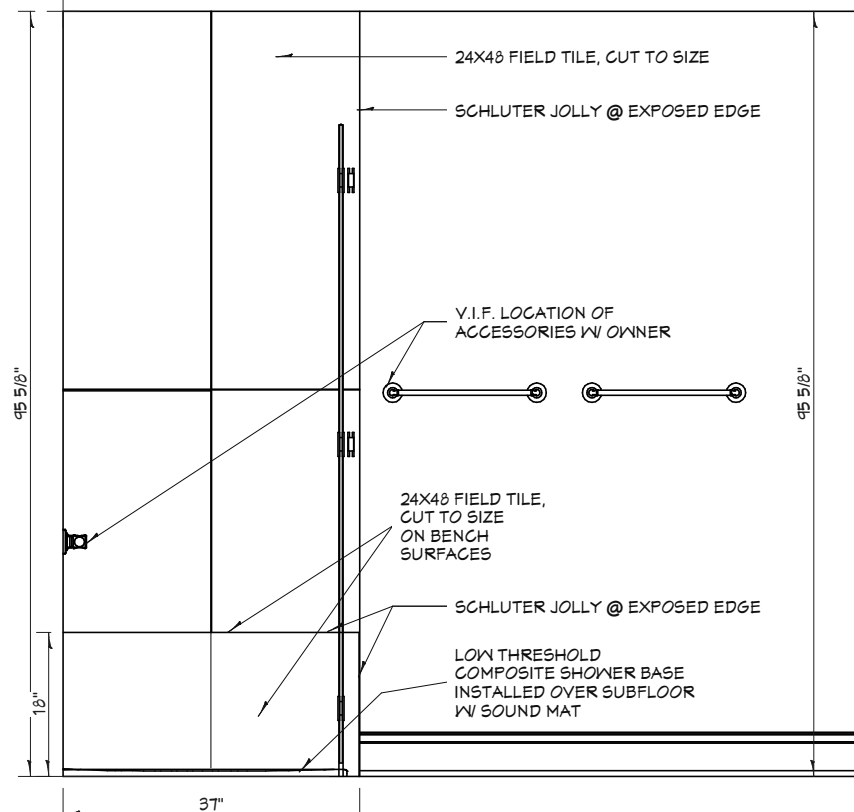
**E12 INTERIOR ELEVATION**  
1/2" = 1'-0"



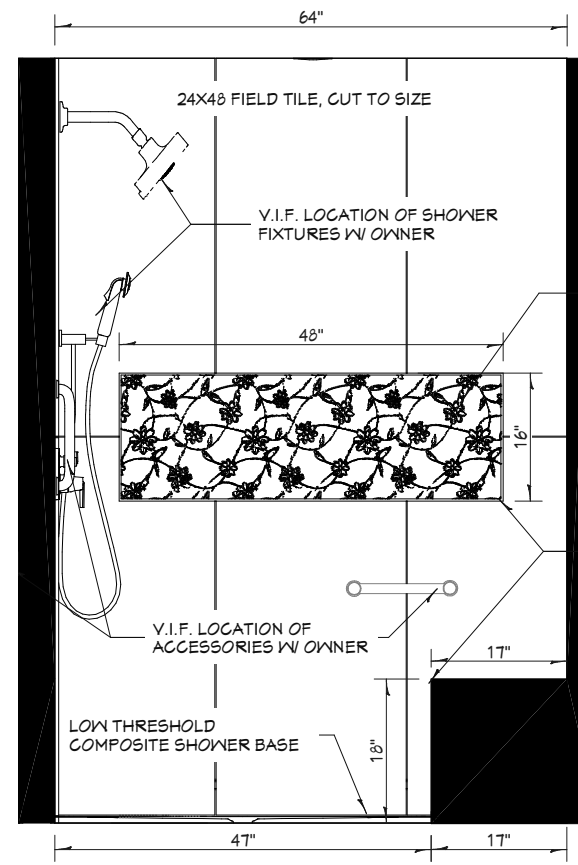
**E13 INTERIOR ELEVATION**  
1/2" = 1'-0"



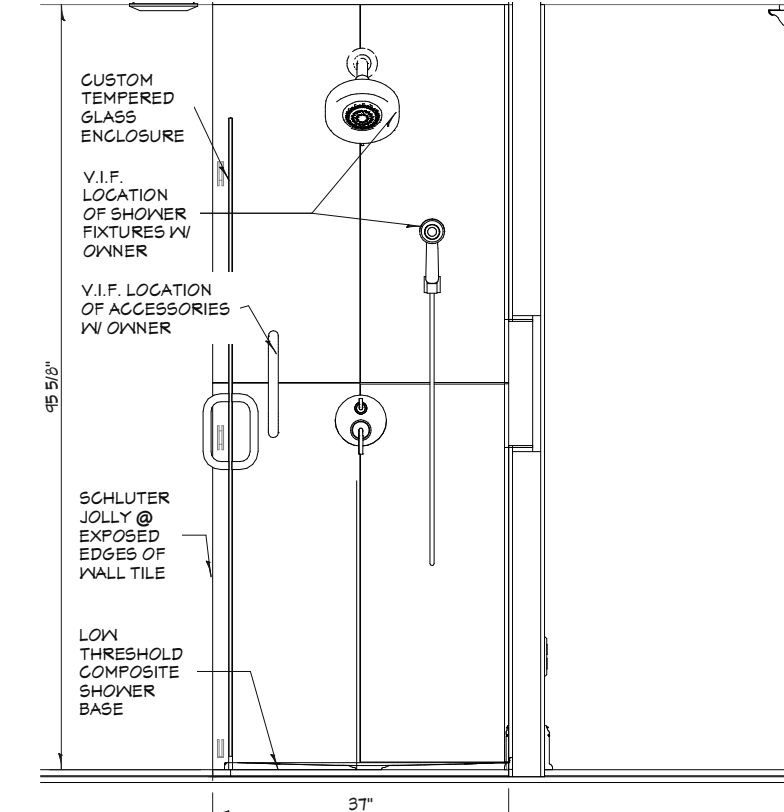
**E14 INTERIOR ELEVATION**  
1/2" = 1'-0"



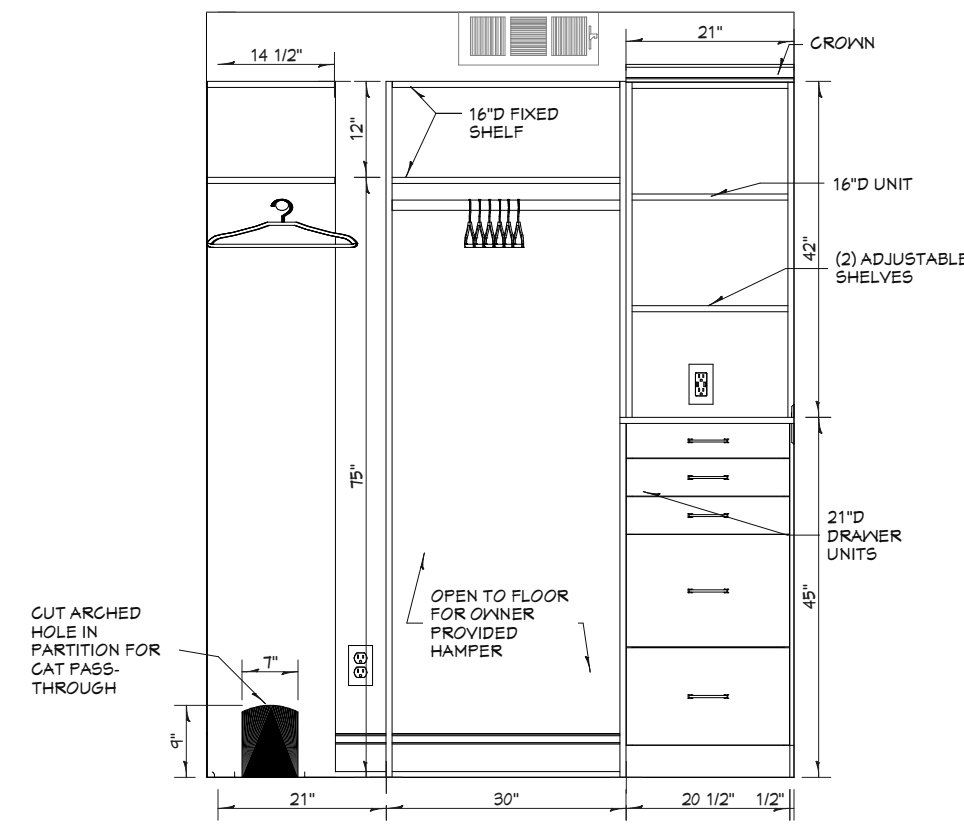
**E15 INTERIOR ELEVATION**  
1/2" = 1'-0"



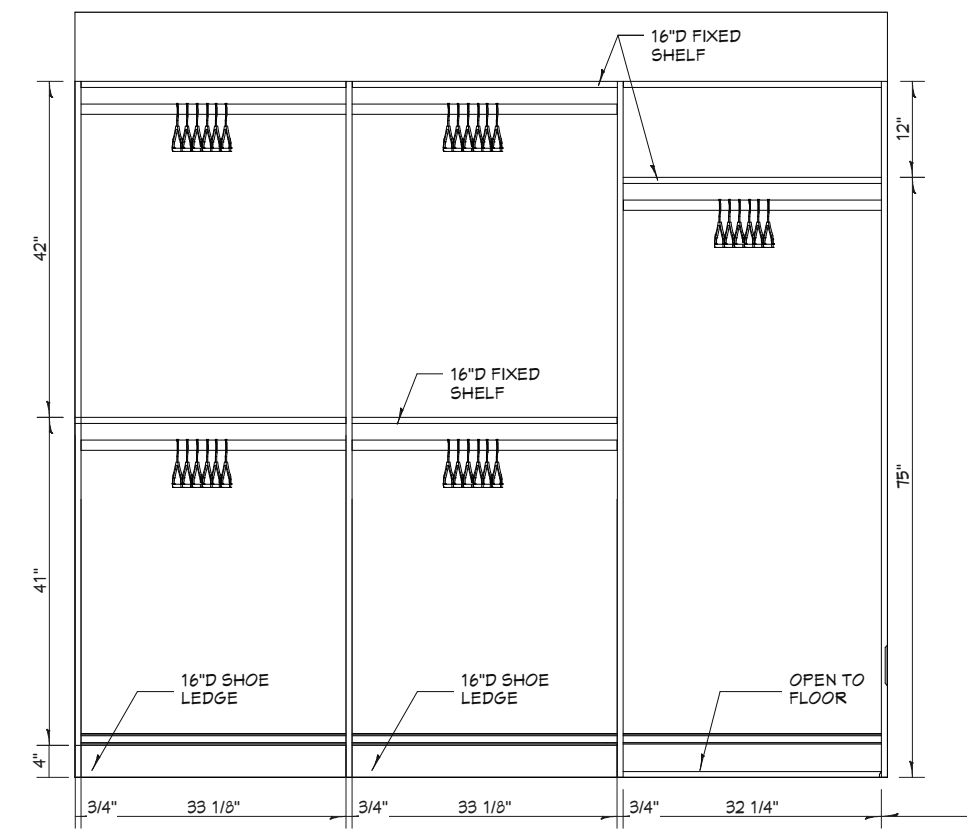
**E16 INTERIOR ELEVATION**  
1/2" = 1'-0"



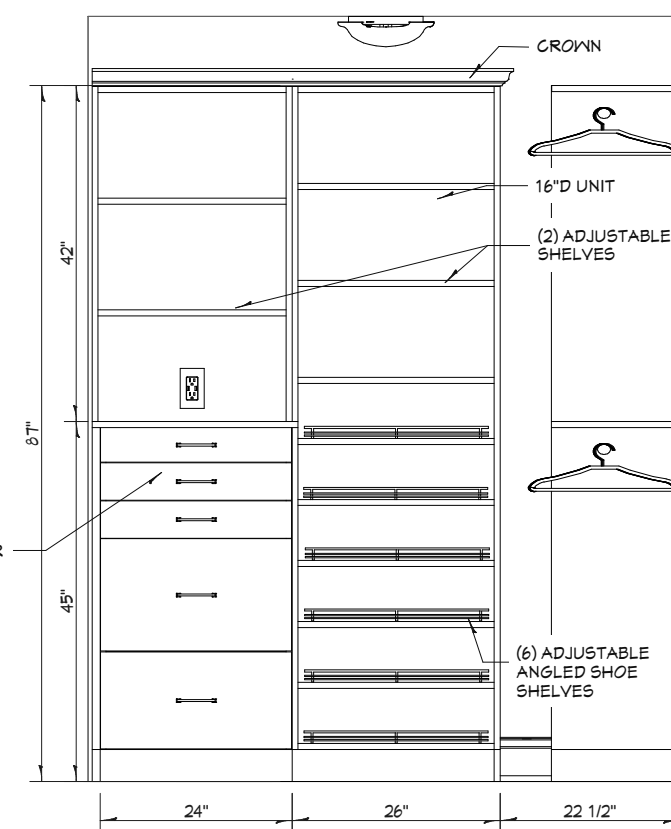
**E17 INTERIOR ELEVATION**  
1/2" = 1'-0"



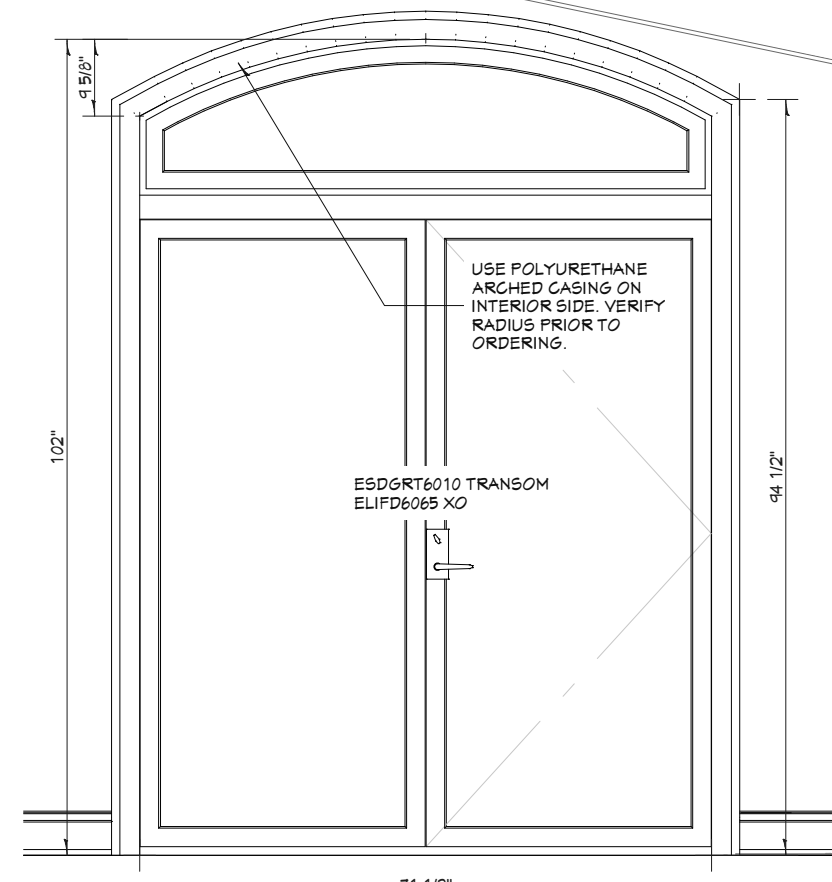
**E18 INTERIOR ELEVATION**  
1/2" = 1'-0"



**E19 INTERIOR ELEVATION**  
1/2" = 1'-0"



**E20 INTERIOR ELEVATION**  
1/2" = 1'-0"



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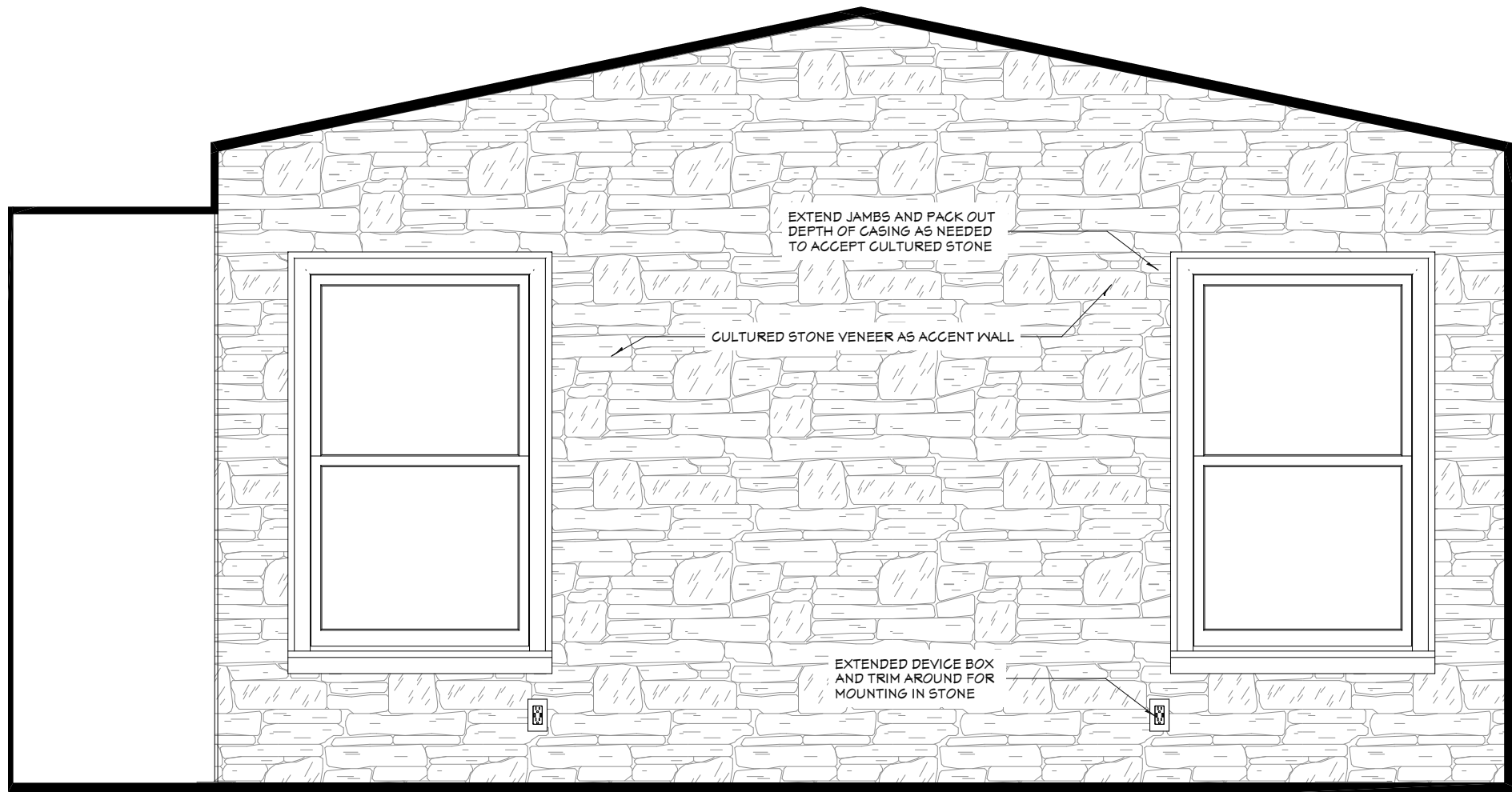
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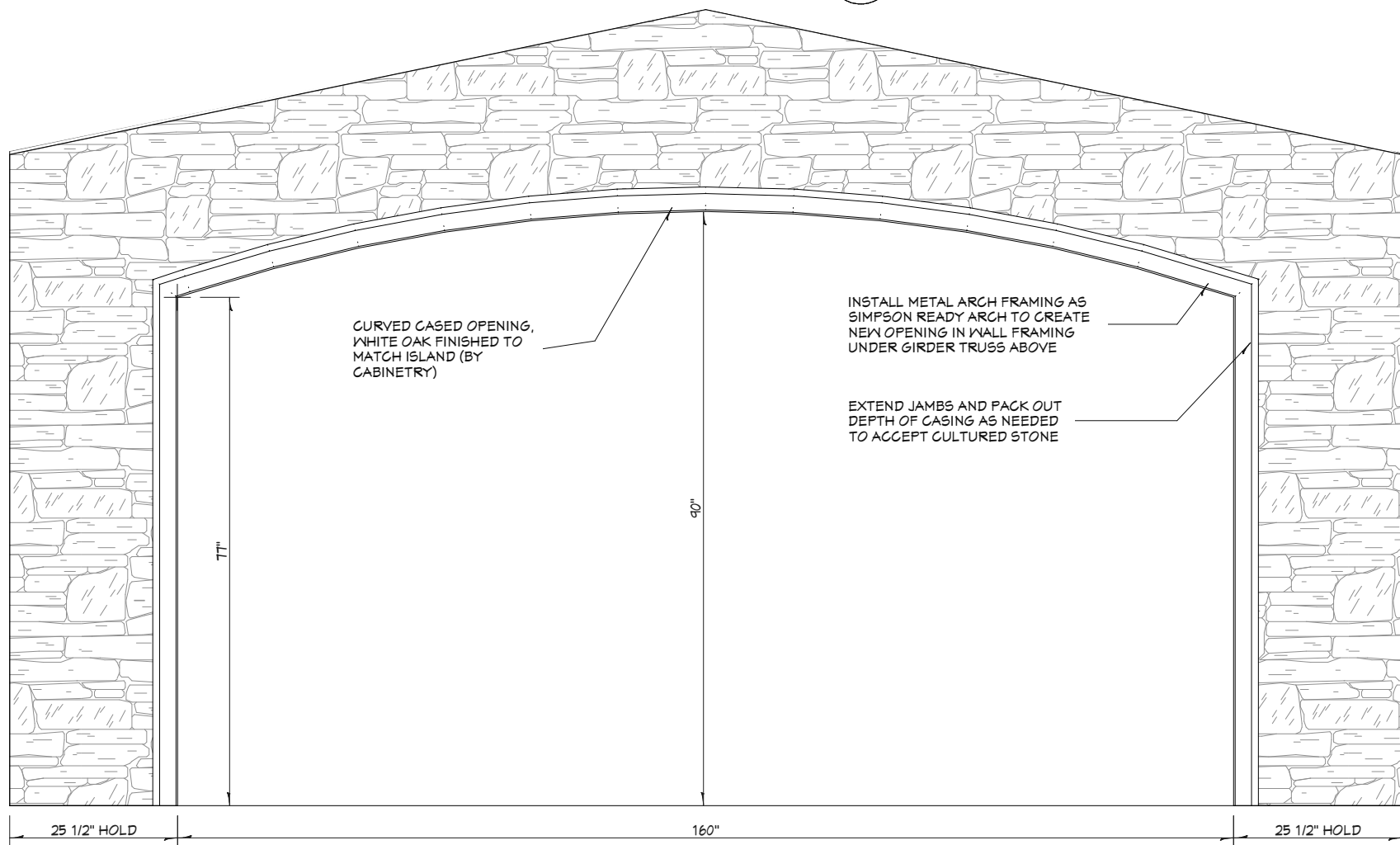
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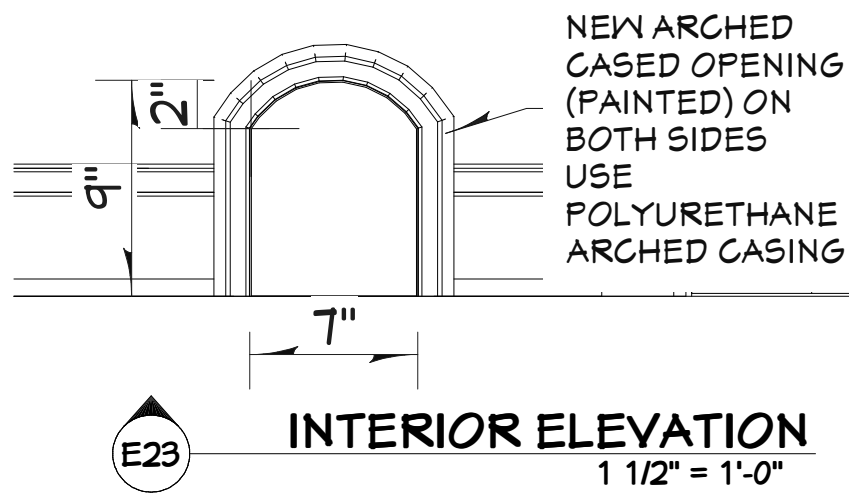




E21 INTERIOR ELEVATION  
1/2" = 1'-0"

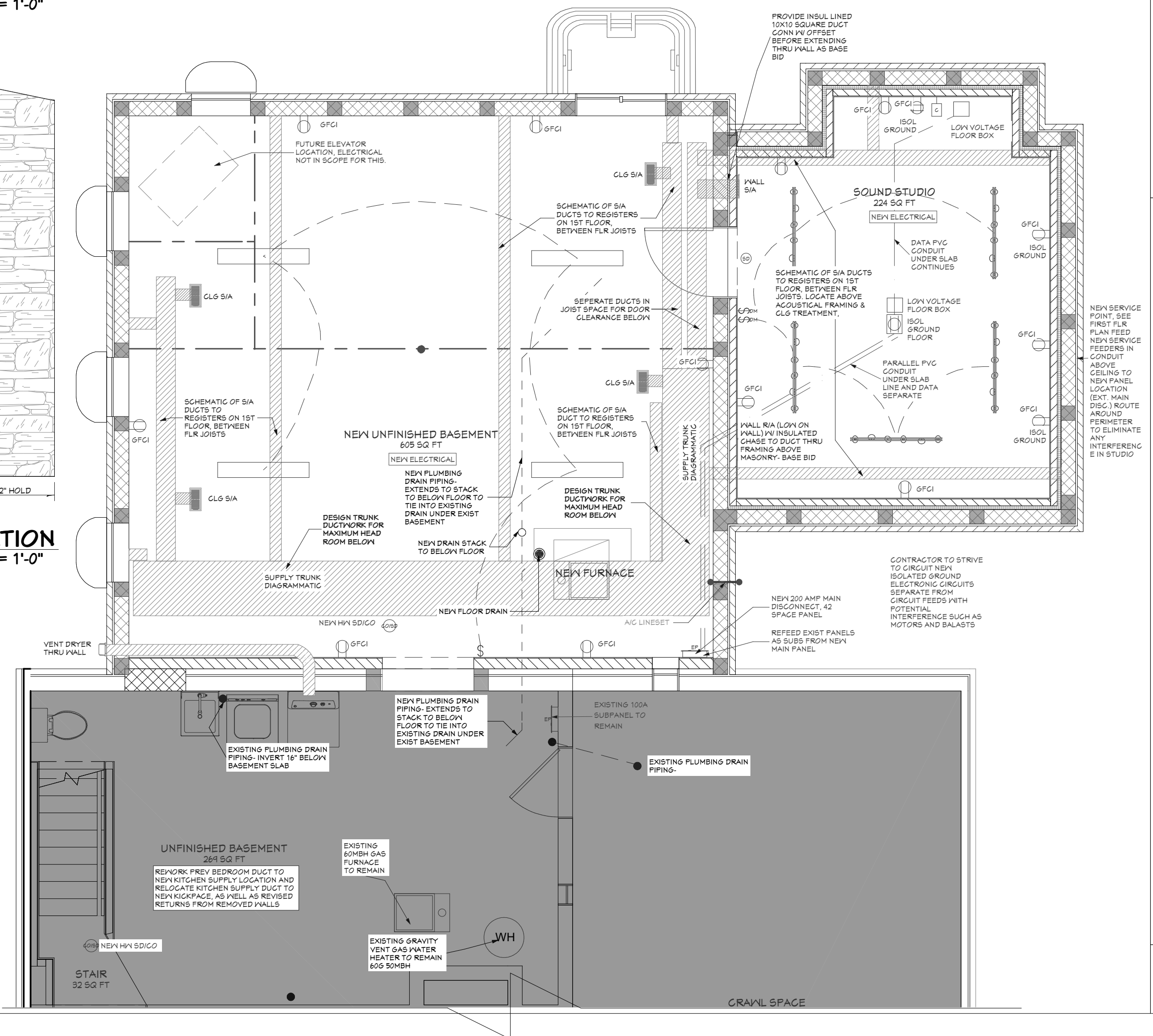


E22 INTERIOR ELEVATION  
1/2" = 1'-0"



E23 INTERIOR ELEVATION  
1 1/2" = 1'-0"

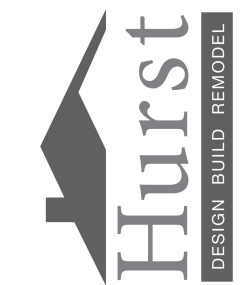
BASEMENT M.E.P. PLAN  
1/4" = 1'-0"



ISOMETRIC STACK DIAGRAM  
N.T.S.

|                 |              |
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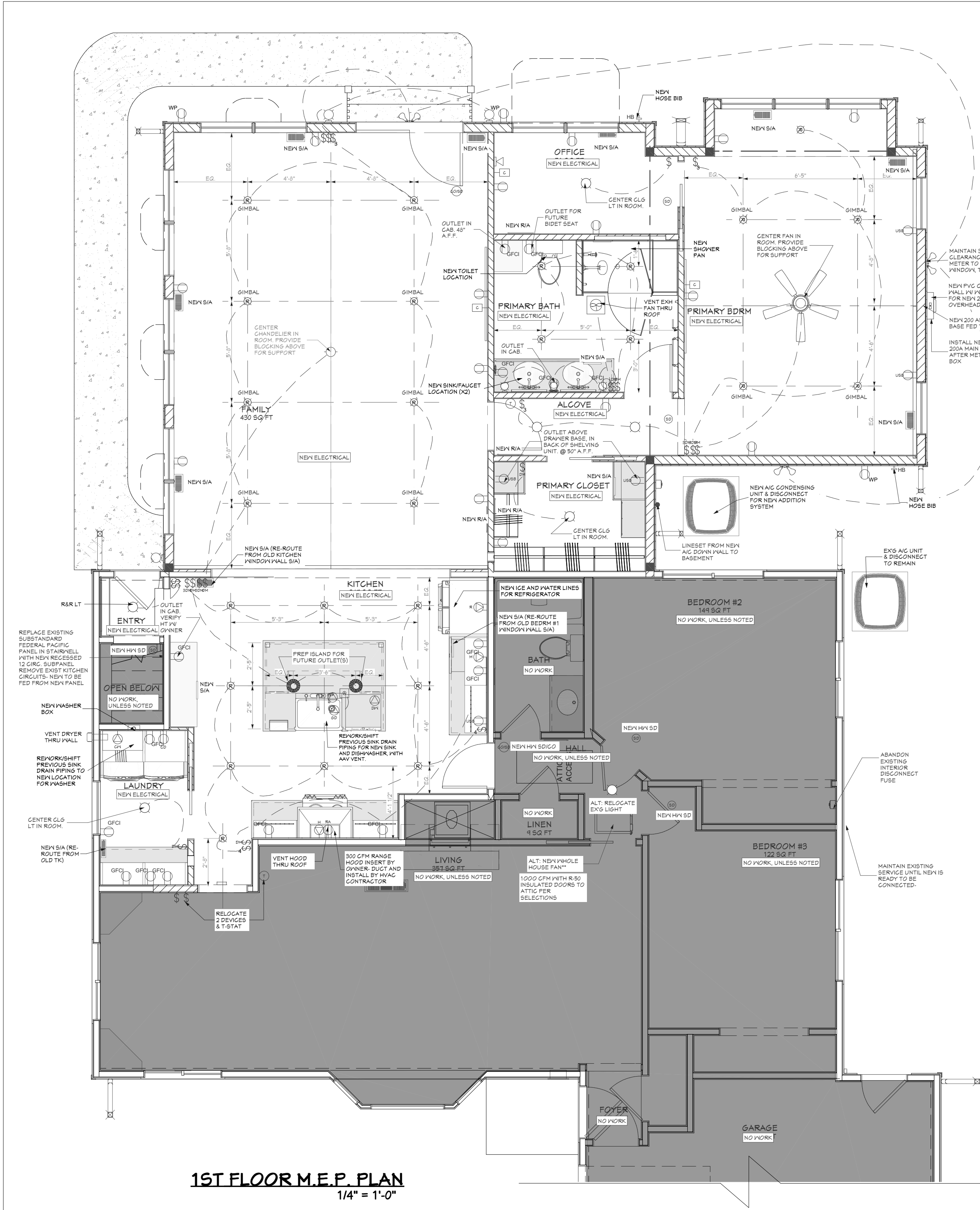
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1ST FLOOR M.E.P. PLAN  
1/4" = 1'-0"

| ELECTRICAL - DATA - LEGEND |   |
|----------------------------|---|
| SYMBOL                     | DESCRIPTION   |
|                            | Ceiling Fan/Light   |
|                            | Ceiling Mounted Light Fixtures: Chandelier, Owner provided                      |
|                            | Ceiling Mounted Light Fixtures: Pendant, Owner provided                         |
|                            | Ceiling Mounted Light Fixtures: Surface, Owner provided                         |
|                            | Wall Mounted Light Fixtures: Vanity light/sconce, flush mounted, Owner provided |
|                            | Ventilation Fan, Fan/Light, Fan/Light/Heat: Ceiling Mounted                     |
|                            | Recessed Light Fixtures: 6" round or square                                     |
|                            | Recessed Light Fixtures: 6" w/ Moisture Lens                                    |
|                            | Recessed Light Fixtures: 4"   |
|                            | Recessed Light Fixtures: 4" w/ Moisture Lens                                    |
|                            | Cabinet Light Fixtures: In-cabinet  |
|                            | Cabinet Light Fixtures: Under cabinet   |
|                            | LED Utility Light Fixtures  |
|                            | Ceiling Mounted Light Exterior Fixtures: Surface, Owner provided                |
|                            | Wall Mounted Light Fixtures: Exterior Lantern, flush mounted, Owner provided    |
|                            | 110V Receptacles: Duplex  |
|                            | 110V Receptacles: Split Wired Circuit   |
|                            | 110V Receptacles: GFCI  |
|                            | 110V Receptacles: Island, GFCI  |
|                            | 110V Receptacles: Refrigerator/Freezer Dedicated Circuit                        |
|                            | 110V Receptacles: Dishwasher, Dedicated Circuit                                 |
|                            | 110V Receptacles: Microwave, Dedicated Circuit                                  |
|                            | 110V Receptacles: Hood Vent, Dedicated Circuit                                  |
|                            | 110V Receptacles: Garbage Disposal, Dedicated Circuit                           |
|                            | 220V Receptacles: Electric Range, Dedicated Circuit                             |
|                            | 110V Receptacles: Cooktop, Dedicated Circuit                                    |
|                            | 220V Receptacles: Oven, Dedicated Circuit                                       |
|                            | 110V Receptacles: Washer, Dedicated Circuit                                     |
|                            | 220V Receptacles: Dryer, Dedicated Circuit                                      |
|                            | 110V Receptacles: Duplex, Ceiling mounted                                       |
|                            | 110V Receptacles: Duplex, Floor mounted   |
|                            | 110V Receptacles: Junction Box  |
|                            | 110V Receptacles: blank/Dead Face   |
|                            | 110V Receptacles: Weather Proof   |
|                            | Switches: Single Pole   |
|                            | Switches: 3-Way   |
|                            | Switches: 4-Way   |
|                            | Switches: Dimmer  |
|                            | Switches: Garbage Disposal, Air Switch  |
|                            | Switches: Under Counter/In-Cabinet  |
|                            | Switches: Fan Dimmer  |
|                            | Switches: Weather Proof   |
|                            | Wall Jacks: TV/Cable  |
|                            | Network Jack  |
|                            | Electrical Breaker Panel  |
|                            | Smoke Detectors: Ceiling Mounted, Wall Mounted                                  |
|                            | Thermostat  |
|                            | Door Chime/Door Bell  |
|                            | Low Voltage Transformer   |

| MECHANICAL LEGEND |  |
|-------------------|--|
| SYMBOL            | DESCRIPTION                              |
|                   | Floor- Supply Air Register               |
|                   | Toekick- Supply Air Register             |
|                   | Wall- Supply Air Register                |
|                   | Baseboard- Supply Air Register           |
|                   | Floor- Return Air Register               |
|                   | Wall- Return Air Register                |
|                   | Ceiling- Return Air Register             |
|                   | Exterior Exhaust Vent (Wall)             |
|                   | Exterior Exhaust Vent Rectangular (Wall) |
|                   | Exterior Exhaust Vent Louvered (Wall)    |

### General Notes:Electrical

- All new electrical work specified will comply with all applicable building codes, local, and National Electric Codes (NEC), utility requirements, and building restrictions.
- All new smoke detectors will be hard-wired and interconnected to a dedicated circuit with battery back-up.
- All decorative light fixtures to be provided by owner and installed by Contractor. Verify in Field heights and locations of decorative lights with owner prior to installing.
- The new electrical devices and fixtures will have new rough in boxes, wires, circuits and connections as required per the drawings. All new circuits will tie into the homes existing electrical system either at the electrical panel or in gang series with existing circuits unless otherwise noted.

### General Notes:Plumbing

- Plumbing shall be a fully operational system of hot and cold water. Provide and install all piping, soil, vents, drains, sewage removal and water supply systems to connect with appropriate water and sewage systems. All permits and inspections are to be obtained by the plumbing trade contractor as required by local building codes and the Uniform Plumbing Code.
- Drainage system shall be Schedule 40 PVC pipe. All connections shall have PVC cement or appropriate joint compound and assembled tight for no leakage. Tie new or altered lines into the existing drainage system.
- Install new CPVC, copper, or PEX supply lines for each new fixture and tie into the existing lines. The type of water supply lines used will be determined by the plumber at time of install. The supply lines will be 1/2" or 3/4" in diameter depending on fixture requirements.
- Install PVC traps, shut off valves and escutcheons at each fixture.
- Install air admittance valve for the Kitchen sink. Tie into the existing sanitary and supply lines.
- Existing water heater to remain.
- Directional clean outs shall be installed on the drain tile, and all gutters shall be tied to the storm sewer. Section 408.4/OPC

### General Notes:Ventilation

- Install ventilation duct system to accommodate the project appliances and ventilation needs.
- All duct locations and termination points will be determined and located at the installer's discretion to best accommodate the needs of the project.
- Vent hood through Roof, no makeup air needed, as hood is under 400 CFM's.
- Re-route existing venting to the exterior (Furnace and dryer).
- Vent new exhaust fan in Primary Bath.
- Vent new dryer through wall in Laundry Room.

### General Notes:Mechanical

- New VARIABLE SPEED GAS Furnace added to new unfinished basement and ductwork system for the Addition.
- Existing furnace in existing basement to remain. Re-route Ductwork and add ductwork as needed due to wall configuration in remodeled area (Kitchen and Laundry).
- New registers as noted on plans in Remodeled and addition area.

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