



City Of Rocky River
21012 Hilliard Boulevard Rocky River, Ohio 44116

APPLICATION FOR RESIDENTIAL PLAN APPROVAL

Submit one application per building or structure. ALL sections must be completed.



APPROVALS DATES:

Planning Comm: _____
Board of Appeals: _____
Design & Review: _____

Application Date: _____

Intent Sign Date: _____

1 PLAN SUBMISSION: Plan review will commence once all below plan copies are submitted. Have 2 paper and 1 digital plan been submitted for plan review? Yes ☒ No ☐ If No, date to be submitted by: _____		2 TYPE OF PROJECT: ☒ New Building Construction ☐ Building Addition Alteration (no additional sq. ft.) Repair/Maintain/ Accessory Building(> 200 sqft) Other (driveway, retaining wall,)		3 PHASED PLAN REVIEW: Foundation Framing Other: Other: Other: Other:	
4a. DESCRIPTION OF THE EXTENT OF WORK INCLUDED FOR APPROVAL: (RCO 107.2.1) <u>Aluminum awning over existing patio.</u>					
4b. Total Estimated Cost: \$ <u>16,000</u>					
4c. List total square footage of All levels of construction. (Foundation = sf.) (Main Floor = sf.) (Second Floor = sf.) (Attic/Roof = sf.) (Other = 370 sf.)					
5 PROJECT LOCATION: (RCO 107.2.2) Legal description: <u>Rear yard</u> Street Address: <u>1713 Southbend Dr.</u> City/Township: <u>Rocky River</u> Zip Code: <u>44116</u> County: <u>Cuyahoga</u> Directions: ☐ Is this project/building located in a flood plain? ☐ Has flood plain administrator been contacted for requirements?					
6 Method Of Demonstrating Energy Code Compliance Demonstrating Compliance to the 2019 RCO Section 1101.14-1104 _____ or Demonstrating Compliance to the 2019 RCO Section 1105 (Simulated Performance) _____ or Demonstrating Compliance to the 2019 RCO Section 1106 (ERI) _____ or Demonstrating Compliance to the 2019 RCO Section 1112 (OHBA option) _____ or Demonstrating Compliance to the 2018 IECC _____					
7 BUILDING OWNER INFORMATION: (RCO 107.2.4) Name of owner: <u>Bob Gray</u> Attention: _____ Street Address: <u>1713 Southbend Dr.</u> City: <u>Rocky River</u> State: <u>OH</u> Zip: <u>44116</u> Phone No. <u>440-789-5500</u> Fax: _____ E-mail: <u>Bobber3488@gmail.com</u>					
8 APPLICANT INFORMATION: (Owner or Owner's authorized agent) (RCO 107.2.4) Applicant: <u>Bright Covers</u> Attention: <u>Mike Sheets</u> Street Address: <u>3453 W. 140th St.</u> City: <u>Cleveland</u> State: <u>OH</u> Zip: <u>44111</u> Phone No. <u>440-855-1535</u> Fax: _____ E-mail: <u>Permit@BrightCovers.com</u>					

9	REGISTERED DESIGN PROFESSIONAL –IF APPLICABLE: (RCO 106.1.1-3, 106.2)																																													
	Designer _____ Architect	Engineer _____	Certified Fire protection system installer _____																																											
	Street Address _____	City _____	State _____	Zip _____																																										
	Phone No. _____	Fax _____	E-mail _____																																											
10	EVIDENCE OF RESPONSIBILITY: (RCO 106.2) (Required residential construction documents, when submitted for review as required under RCO section 107, shall bear the identification of the person primarily responsible for their preparation. Ohio Revised Code Section 3791.04 (A)(2)(b) permits construction documents for any residential building to be prepared by persons other than a registered architect or engineer; unless per Ohio Revised Code Section 3791.04 (A)(2)(c), the proposed work involves technical design analysis. The building official may rely on the placement of a 'seal' on the documents as evidence that the registered architect or engineer performed the technical analysis.																																													
	Document Preparer Name: _____ Title/Company: _____ Address: _____ City: _____ State: _____ Zip: _____																																													
11	INDUSTRIALIZED UNITS INFORMATION: (The following information applies to the INDUSTRIALIZED UNITS and alternative materials, designs, methods of construction or equipment approved by the State of Ohio, Board of Building Standards Industrialized units (IU) program.) (RCO 106.1.4, Section 114) ▪ Authorized Manufacturer and project Information: Approval number: _____ Approval Date: _____ YES _____ NO _____ Board approved documents submitted to local Building Official? YES _____ NO _____ Details of on-site interconnection of modules or assemblies submitted to BO? YES _____ NO _____																																													
12a	CONSTRUCTION DOCUMENTS REQUIREMENTS: (Refer to RCO 106.1-3 (1-9) for specific construction document requirements)																																													
12b	LOT LINE MARKERS REQUIRED: Before any work is started in the construction of a residential building or addition all boundary lines shall be marked at their intersections with permanent markers. (Refer to RCO 108.2 & 108.2.1)																																													
Time limitation of Application: (RCO 107.2.1) The approval of construction documents under this section is a "license" and the failure to approve such construction documents as submitted within thirty days after filing or the disapproval of such construction documents is an "adjudication order denying the issuance of a license" requiring the opportunity for an "adjudication hearing" as provided by sections 119.07 to 119.13 of the Revised Code and as modified by sections 3781.031 and 3781.19 of the Revised Code. In accordance with section 109, an adjudication order denying the issuance of a license shall specify the reasons for such denial.																																														
13	CERTIFICATION: (RCO 107.2.5) I certify that I am the _____ Owner ☒ Owner Authorized Agent All information contained in this application is true, accurate, and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the address shown above and copied to the Owner. Signature: <u>M. [Signature]</u> Print Name: <u>Mike Sheets</u> Date: <u>10/16/24</u>																																													
14	THE AREA BELOW IS FOR OFFICIAL USE ONLY: <table><thead><tr><th>Fee Description</th><th>Amount</th><th>Deposits</th></tr></thead><tbody><tr><td>PLAN REVIEW</td><td></td><td></td></tr><tr><td>Permit Fee</td><td></td><td></td></tr><tr><td>Other Fees</td><td></td><td></td></tr><tr><td>Sub-Total</td><td>\$</td><td>\$</td></tr><tr><td>B.B.S. +1%</td><td></td><td></td></tr><tr><td>Curb Crossing</td><td></td><td></td></tr><tr><td>Street Cleaning</td><td></td><td></td></tr><tr><td>Curb Cut</td><td></td><td></td></tr><tr><td>Sewer Tie In Fee</td><td></td><td></td></tr><tr><td>Total Fees</td><td>\$</td><td></td></tr><tr><td>Date Received</td><td></td><td>Estimated Cost</td></tr><tr><td>Check Number</td><td></td><td>Permit Number</td></tr><tr><td>Processed By</td><td></td><td></td></tr></tbody></table>				Fee Description	Amount	Deposits	PLAN REVIEW			Permit Fee			Other Fees			Sub-Total	\$	\$	B.B.S. +1%			Curb Crossing			Street Cleaning			Curb Cut			Sewer Tie In Fee			Total Fees	\$		Date Received		Estimated Cost	Check Number		Permit Number	Processed By		
Fee Description	Amount	Deposits																																												
PLAN REVIEW																																														
Permit Fee																																														
Other Fees																																														
Sub-Total	\$	\$																																												
B.B.S. +1%																																														
Curb Crossing																																														
Street Cleaning																																														
Curb Cut																																														
Sewer Tie In Fee																																														
Total Fees	\$																																													
Date Received		Estimated Cost																																												
Check Number		Permit Number																																												
Processed By																																														
Notes:																																														

CITY OF ROCKY RIVER
21012 HILLIARD BOULEVARD
ROCKY RIVER, OH 44116
PHONE: (440) 331-0600 FAX: (440) 895-2628

RULES OF PROCEDURE
ROCKY RIVER DESIGN & CONSTRUCTION BOARD OF REVIEW

1. The Board will meet on the first and third Mondays of each month at 5:00 P.M. in Council Chambers of City Hall. In case a holiday is on a Monday meeting day, the regular meeting will be held on the following Tuesday evening. If a meeting has been canceled because of “no agenda”, the next meeting will be held at the regularly scheduled time.
2. All applications to be reviewed must be submitted to the Building Division no later than 4:30 P.M. the Wednesday preceding the meeting.
3. The application must be signed by the owner and the applicant, even though they may be the same person.
4. The application must be complete in every detail, and all drawings consistent with the following list (item 6.) must be on hand before the application is considered complete and can be placed on the agenda. **AN EMAIL OF ALL PLANS AND PHOTOS SHOULD BE SENT TO rrplanexams@rrcity.com by the deadline, as well.**
5. Buildings other than single and two-family houses shall have the seal of the designing architect and/or engineer on the drawings submitted for permit application.
6. Each [application for a building permit](#), whether an entire house or only an addition, shall be accompanied by **three copies** of each of the following exhibits for all new portions of the building.
 - a. Site Plan: Drawn to scale, showing the lot size, building dimensions, front setback, side and rear yard dimension, walks and driveways, accessory structures, downspouts, drains and storm water disposal system. Show existing and proposed grade elevations if topography of lot is irregular or application is for a previously undeveloped lot. Locate patios, air conditioning condensers, swimming pools, retaining walls, fences, porches and other site improvements. Minimum scale: 1 inch equals 20 feet.
 - b. Floor Plan: Drawn to scale, showing walls, windows, doors, electrical outlets, heat registers, ceiling joist size, floor finish, cabinets, plumbing fixtures, etc. Minimum scale: 1/4 inch equals 1 foot.
 - c. Foundation or Basement Plan: Drawn to scale, showing walls, windows, vents, doors, electrical outlets, floor drains, joist size, plumbing fixtures, location and size of furnace and water heater. Minimum scale: 1/4 inch equals 1 foot.

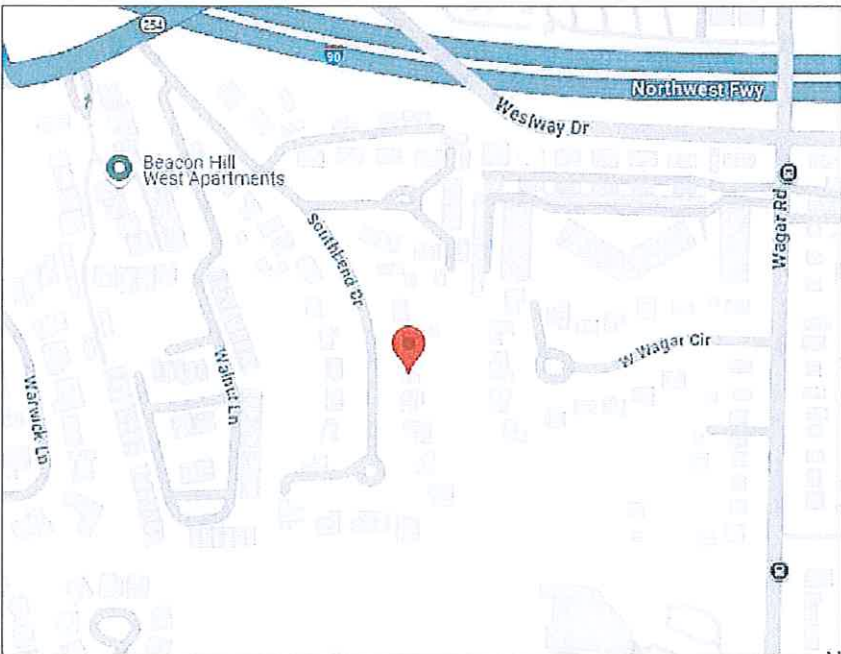
- d. Exterior Elevations: Each side of the proposed building or addition, drawn to scale, showing downspout connections, chimney height, steps, platforms, etc. Minimum scale: 1/4 inch equals 1 foot.
 - e. [Heating Plan](#): Drawn to scale, showing furnace size, location of furnace and heat duct layout. Air conditioning condensing unit must be shown on the site plan.
 - f. Isometric Plumbing Diagram: (where applicable) Showing the piping, drainage, and venting systems with the size of each component indicated.
 - g. Section Through Exterior Wall: Drawn to scale, of the proposed building, showing the construction from the bottom of the footing up through the roof rafters and roofing. Each component of the section shall be identified and sizes indicated. Minimum scale: 1/2 inch equals 1 foot.
 - h. In addition to the above, each application for an addition to an existing building must include sufficient photographs of the area and existing facilities to make it clear to the Board the conditions prevailing at the time of application.
 - i. For new builds, additions and exterior renovations, color samples of roofing, siding and/or other exterior materials should be submitted for the approval of the Design and Construction Board of Review.
7. If [variances](#) are required to be approved by the Board of Zoning and Building Appeals, or approval by the Planning Commission is required, these approvals must be obtained **BEFORE** presentation to the Design Board, unless specifically waived by the Building Commissioner.



PROPOSED LOCATION



EXAMPLE ONLY



VICINITY MAP

DRAWING INDEX	
SHEET #	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	CONSTRUCTION PLAN
4	SECTION PLAN
5A	WALL & ROOF ATTACHMENT DETAILS
5B	BEAM ATTACHMENT DETAILS
5C	POST TO GROUND ATTACHMENT DETAILS
5D	PANEL, RAFTERS & GUTTER DETAILS
6	SNOW LOAD TABLES

GRAY RESIDENCE
BRIGHTCOVERS ADDITION



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF
TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A
WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA
BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED



- NOTES:
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.
(UNLESS WHERE REFERENCE (REF.) IS SHOWN)
 - PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH
THE FOLLOWING:
 - 2024 OHIO BUILDING CODE (OBC),
 - 2019 OHIO RESIDENTIAL CODE (ORC),
 - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
 - 2017 AA ALUMINUM STANDARDS AND DATA.
 - STRUCTURAL LOADS IN ACCORDANCE WITH
THE FOLLOWING:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS
AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:
BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION:
20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

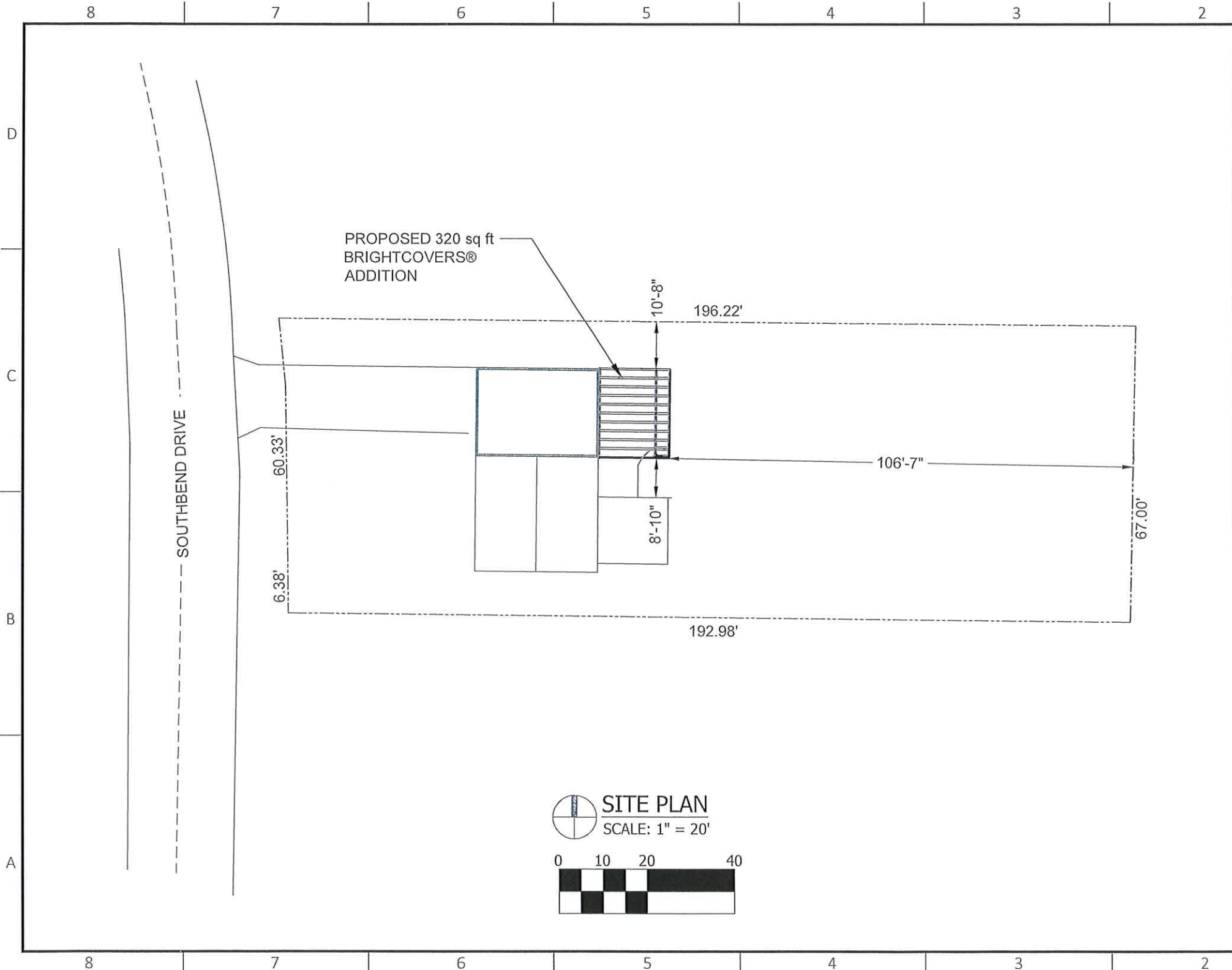
PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

TITLE:
COVER SHEET

SHEET: 1 REV: 0



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED

NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED. (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
- PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - 2024 OHIO BUILDING CODE (OBC)
 - 2019 OHIO RESIDENTIAL CODE (ORC)
 - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
 - 2017 AA ALUMINUM STANDARDS AND DATA.
- STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER: BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION:
20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

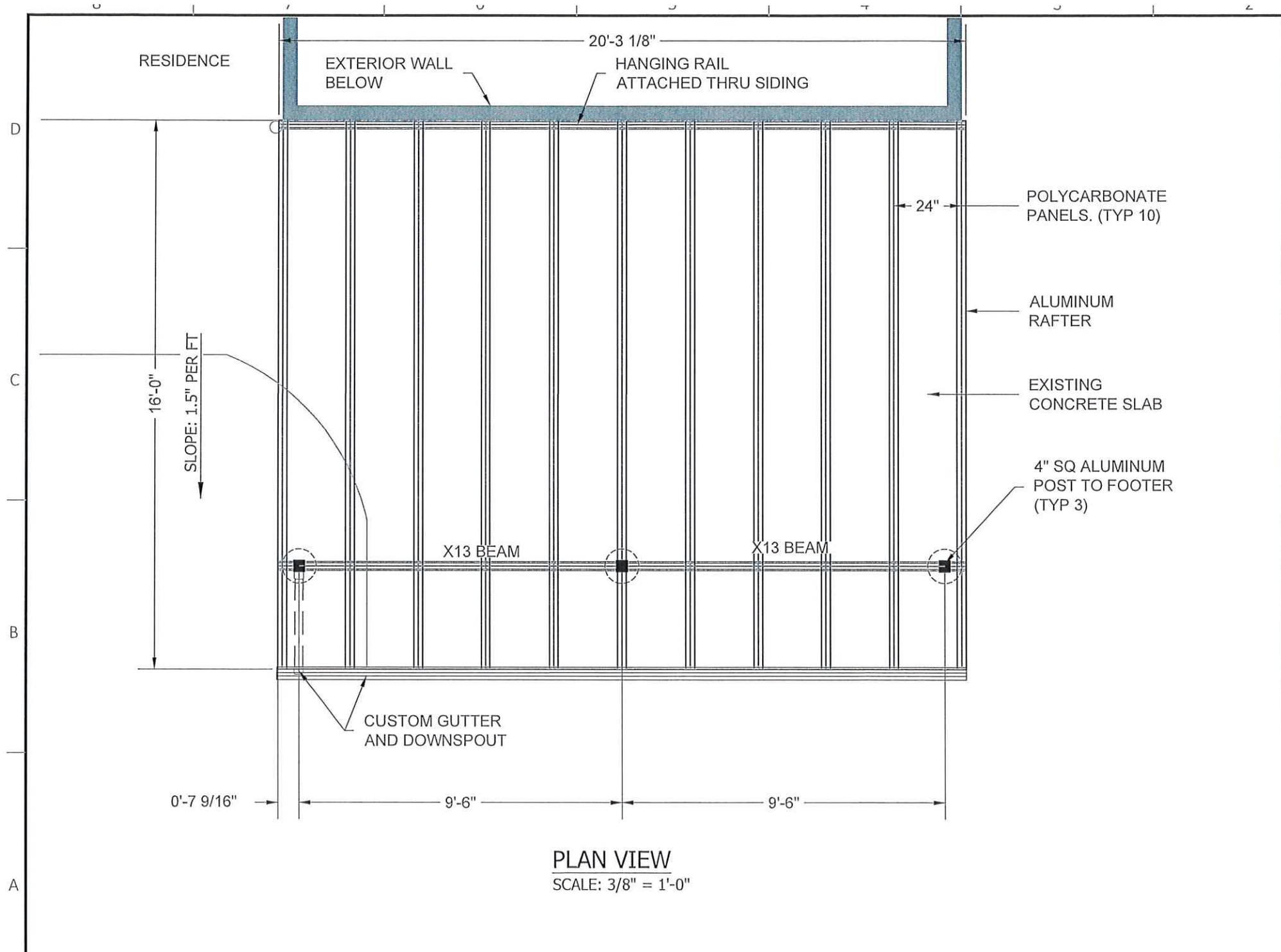
JOB #: 475423_2024/DEC/GRAY

PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

TITLE: SITE PLAN

SHEET: 2 **REV:** 0



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED



- NOTES:
- ALL DIMENSIONS SHALL BE FIELD VERIFIED, (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
 - PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - 2024 OHIO BUILDING CODE (OBC),
 - 2019 OHIO RESIDENTIAL CODE (ORC),
 - 2020 AA ALUMINUM DESIGN MANUAL (ADM),
 - 2017 AA ALUMINUM STANDARDS AND DATA.
 - STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER: BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION: 20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

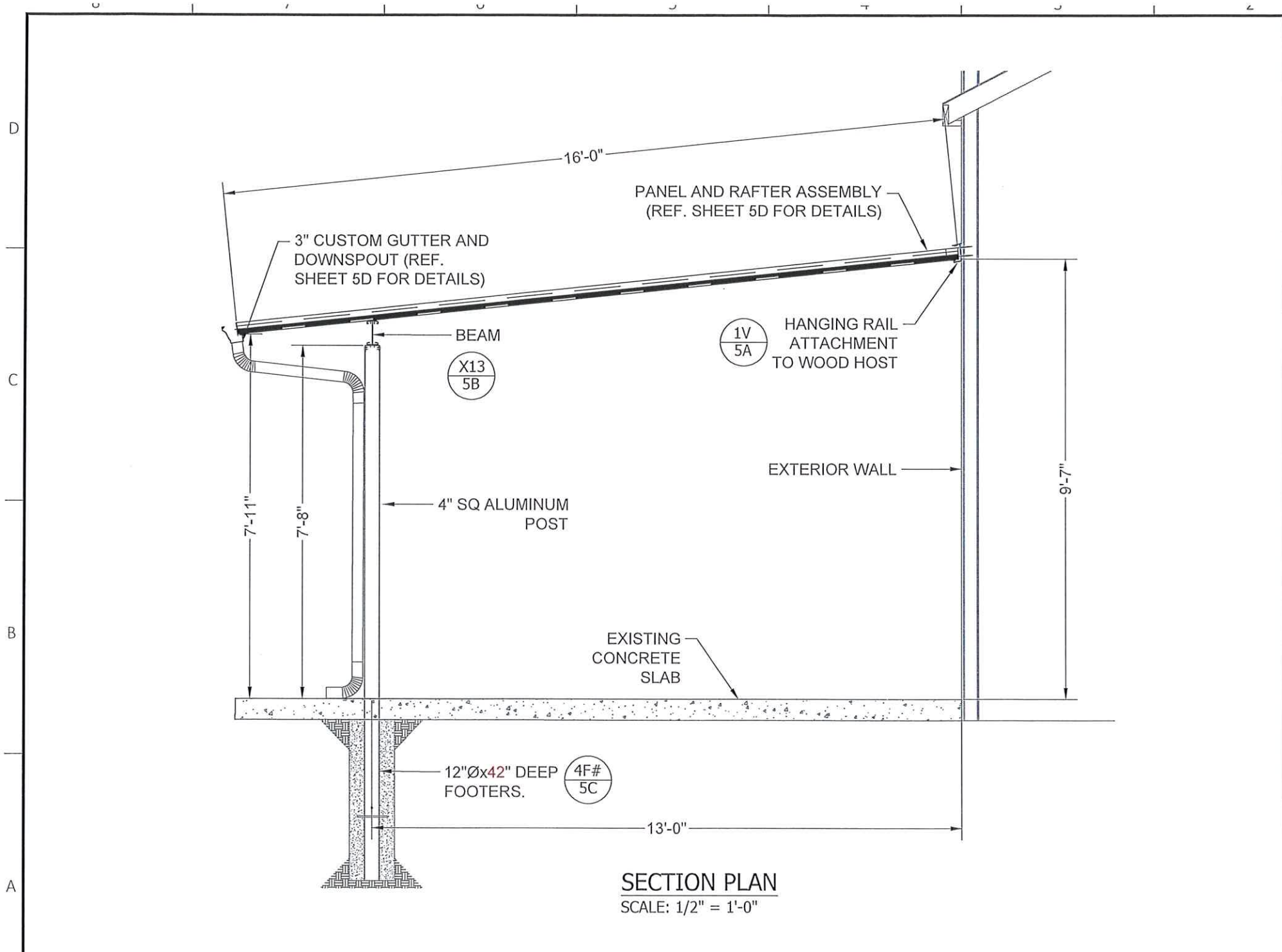
PIN: 20X16.1V.000-000.000.X13-4F3.G31.ZW

DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX
	-	-

TITLE: CONSTRUCTION PLAN

SHEET: 3 REV: 0



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF
TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A
WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA
BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED



- NOTES:
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.
(UNLESS WHERE REFERENCE (REF.) IS SHOWN)
 - PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH
THE FOLLOWING:
- 2024 OHIO BUILDING CODE (OBC)
- 2019 OHIO RESIDENTIAL CODE (ORC)
- 2020 AA ALUMINUM DESIGN MANUAL (ADM)
- 2017 AA ALUMINUM STANDARDS AND DATA.
 - STRUCTURAL LOADS IN ACCORDANCE WITH
THE FOLLOWING:
- ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS
AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:
BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION:
20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

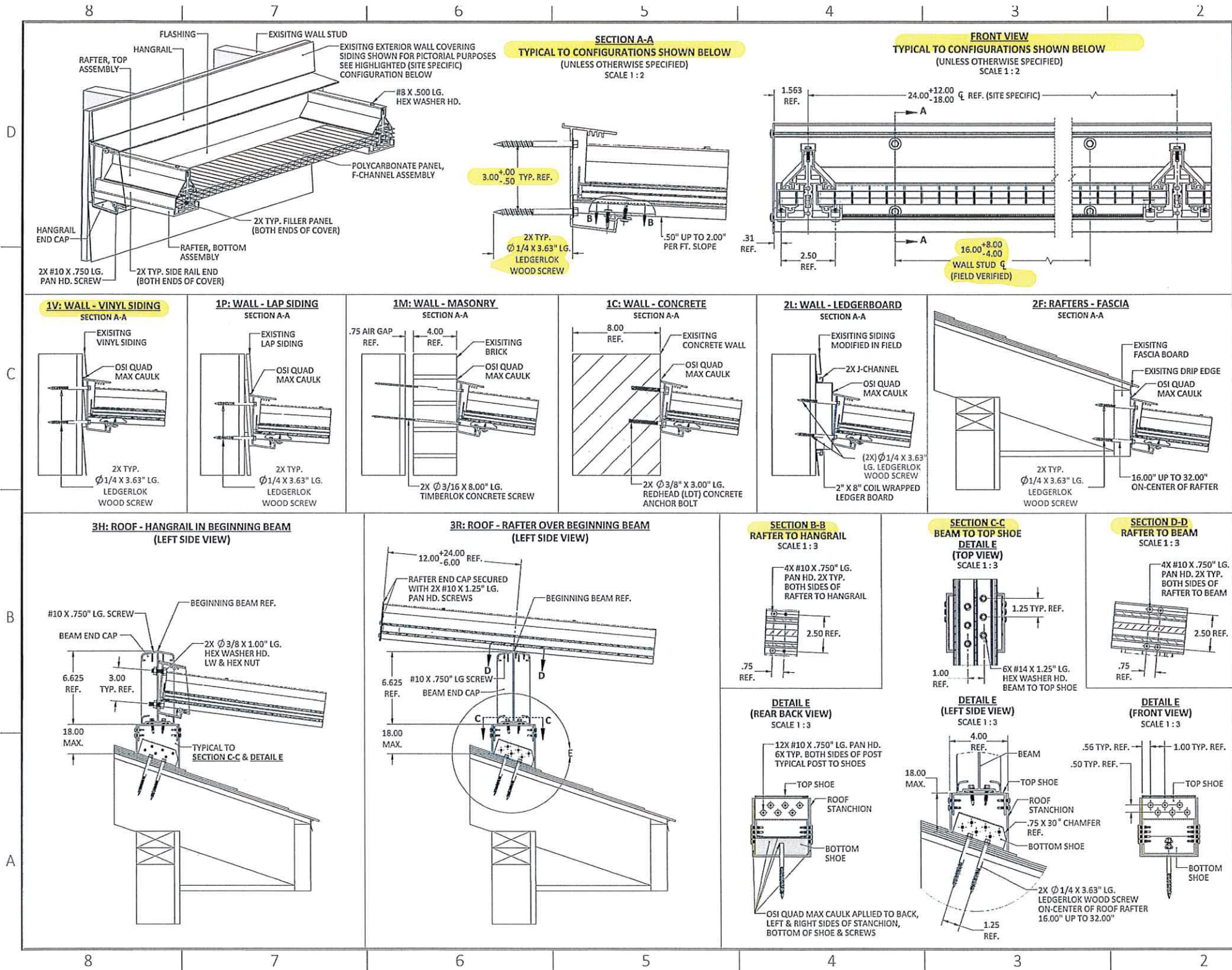
PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	xx/xx/xx

TITLE:
SECTION PLAN

SHEET: 4 REV: 0



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED

NOTES:
1. ALL DIMENSIONS SHALL BE FIELD VERIFIED, (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- 2024 OHIO BUILDING CODE (OBC)
- 2019 OHIO RESIDENTIAL CODE (ORC)
- 2020 AA ALUMINUM DESIGN MANUAL (ADM)
- 2017 AA ALUMINUM STANDARDS AND DATA.
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
- ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER: BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION: 20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

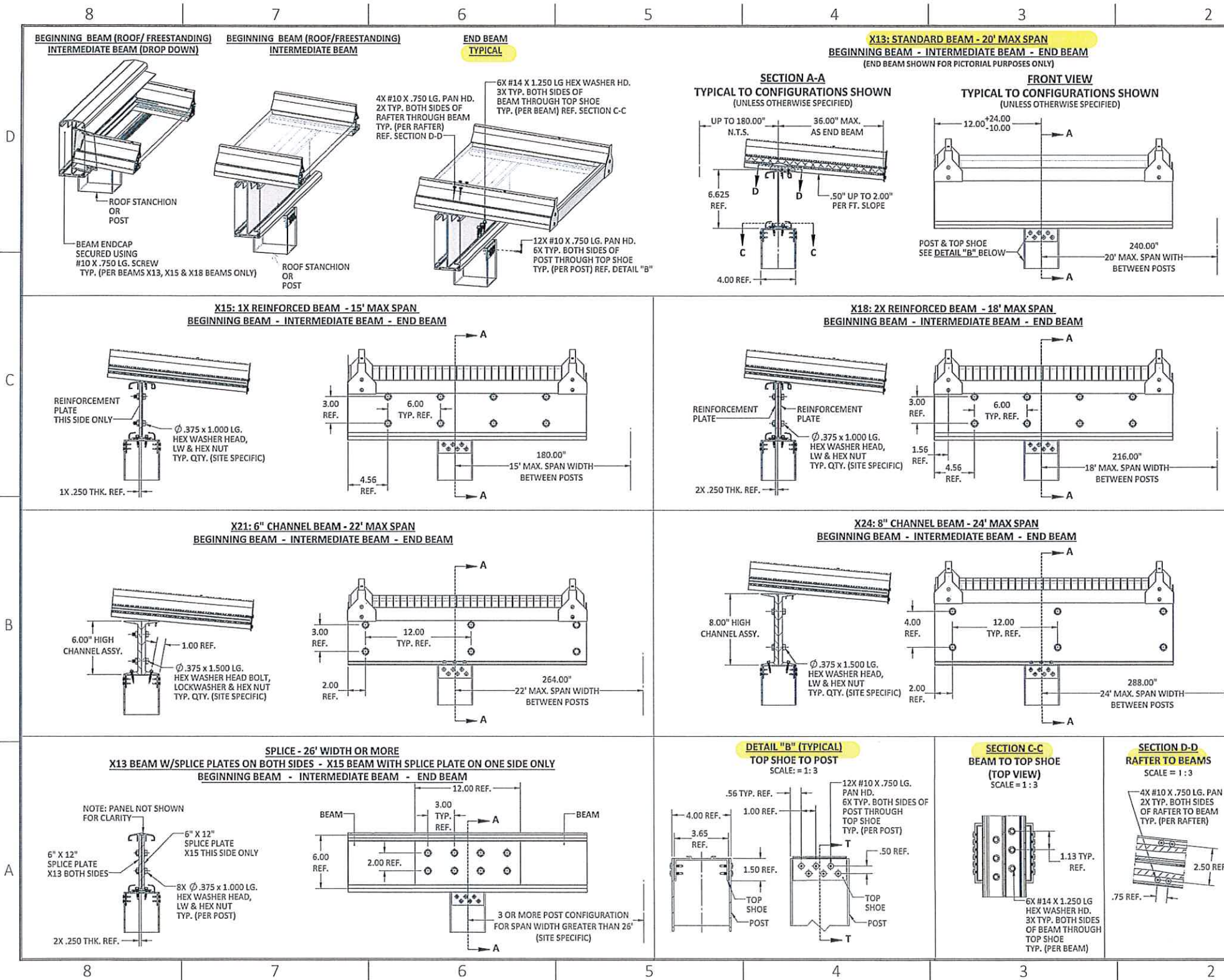
JOB #: 475423_2024/DEC/GRAY
PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

TITLE: WALL & ROOF ATTACHMENT DETAILS

SHEET: 5A REV: 0



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED

STATE OF OHIO
DALJIT SINGH
BENIPAL
E-83774
REGISTERED PROFESSIONAL ENGINEER

NOTES:
1. ALL DIMENSIONS SHALL BE FIELD VERIFIED. (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- 2024 OHIO BUILDING CODE (OBC).
- 2019 OHIO RESIDENTIAL CODE (ORC)
- 2020 AA ALUMINUM DESIGN MANUAL (ADM)
- 2017 AA ALUMINUM STANDARDS AND DATA.
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
- ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER: BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION: 20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

PIN: 20X16.1V.000-000-000-X13-4F3.G31.ZW

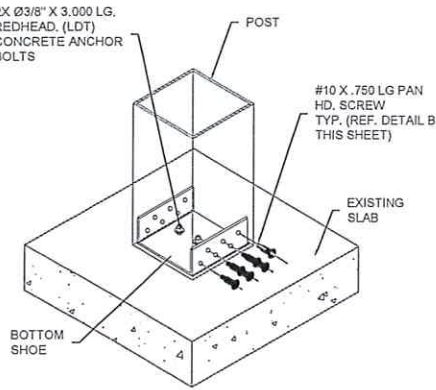
DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

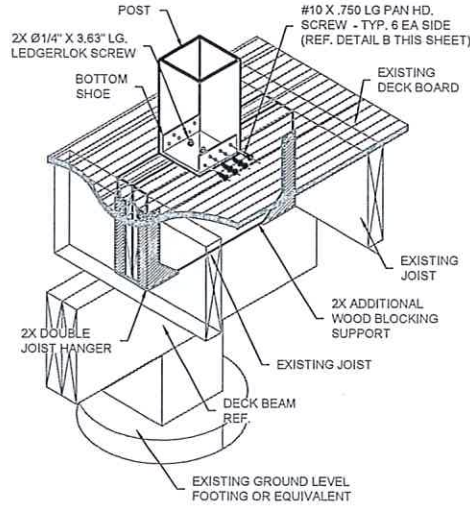
TITLE: BEAM ATTACHMENT DETAILS

SHEET: 5B REV: 0

4S#: - 4" POST TO EXISTING
CONCRETE SLAB



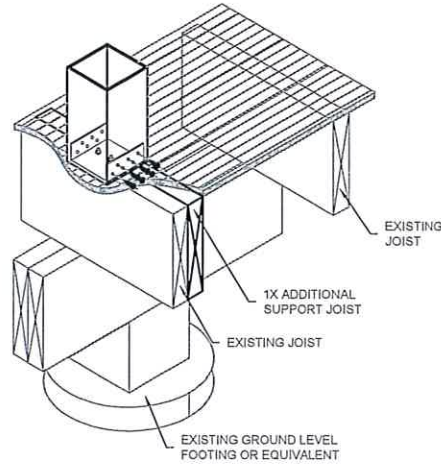
ADDITIONAL BLOCKING SUPPORT BETWEEN JOISTS
(DECKING VIEWS TYPICAL UNLESS OTHERWISE SPECIFIED)



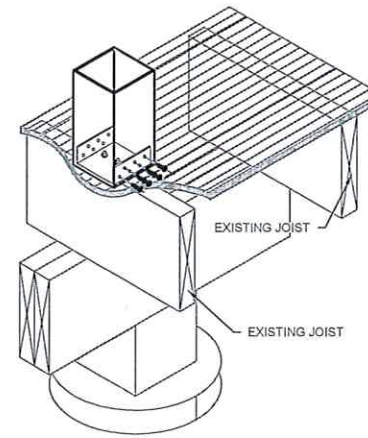
4D#: - 4" POST TO DECK

OPTIONS SHOWN BELOW SHALL BE DETERMINED ON-SITE & AS REQUIRED.

ADDITIONAL 1X SUPPORT JOIST

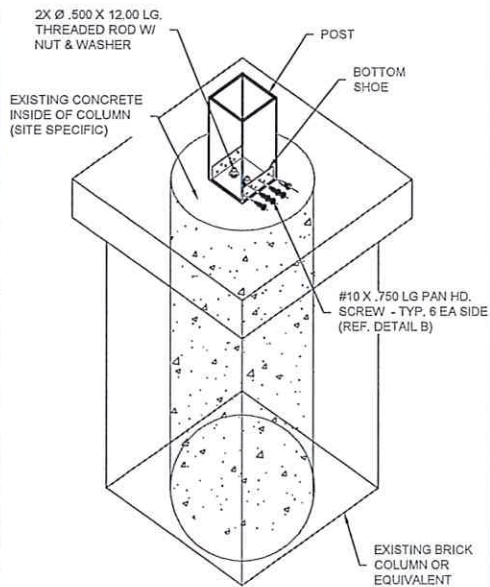


EXISTING JOIST

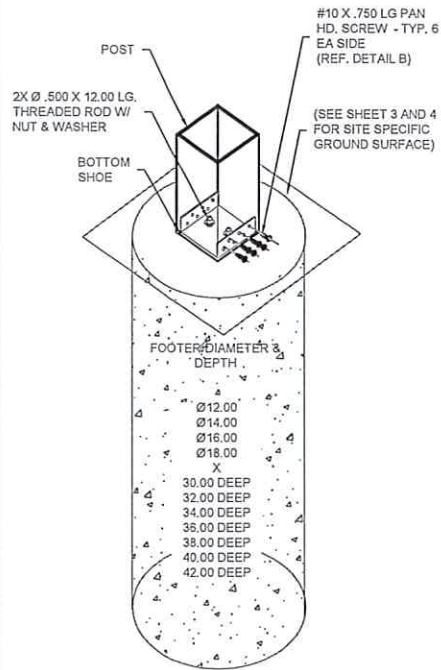


NOTE: LOCATION OF POST AND ADDITIONAL BLOCKING MAY VARY.

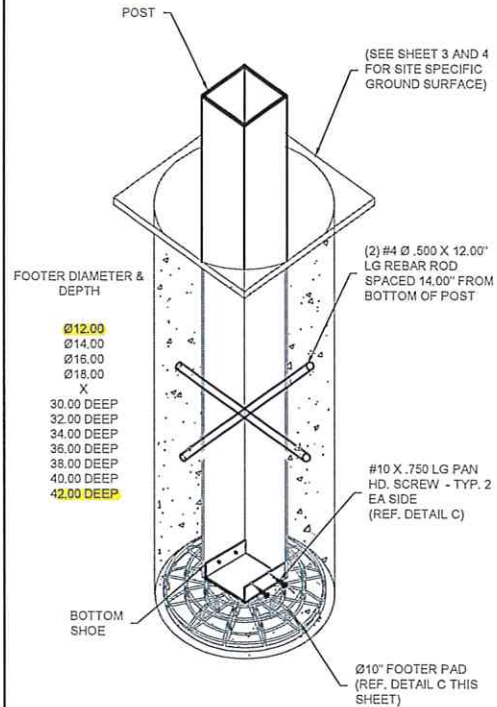
4C#: 4" POST FLUSH MOUNTED TO CONCRETE COLUMN



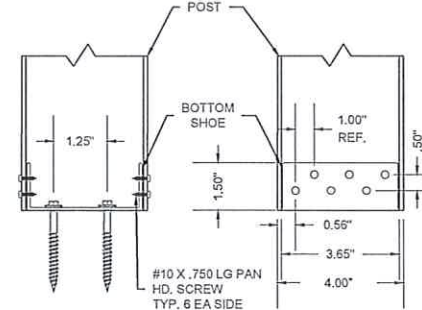
4M#: 4" POST FLUSH MOUNTED TO FOOTER



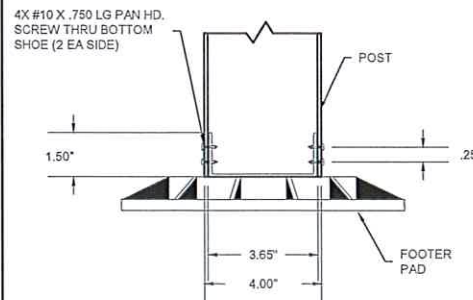
4F#: POST IN FOOTER



DETAIL "B" (TYPICAL)
BOTTOM SHOE TO POST



DETAIL "C"
BOTTOM SHOE TO POST & FOOTER PAD



TRANSLUCENT



BrightCovers[®]
The future is Bright.

3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF
TRANSCULENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A
WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSCULENT LLC DBA
BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSCULENT LLC; ALL RIGHTS RESERVED



NOTES:

1. ALL DIMENSIONS SHALL BE FIELD VERIFIED.
(UNLESS WHERE REFERENCE (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - 2014 OHIO BUILDING CODE (OBC)
 - 2019 OHIO RESIDENTIAL CODE (ORC)
 - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
 - 2017 AA ALUMINUM STANDARDS AND DATA
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:

BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION:

20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

DRAWN BY: SL	DATE: 10/08/24
--------------	----------------

NO.	SUBMISSIONS	DATE
-----	-------------	------

ISSUED FOR PERMIT	XX/XX/XX
-------------------	----------

--	--	--

--	--	--

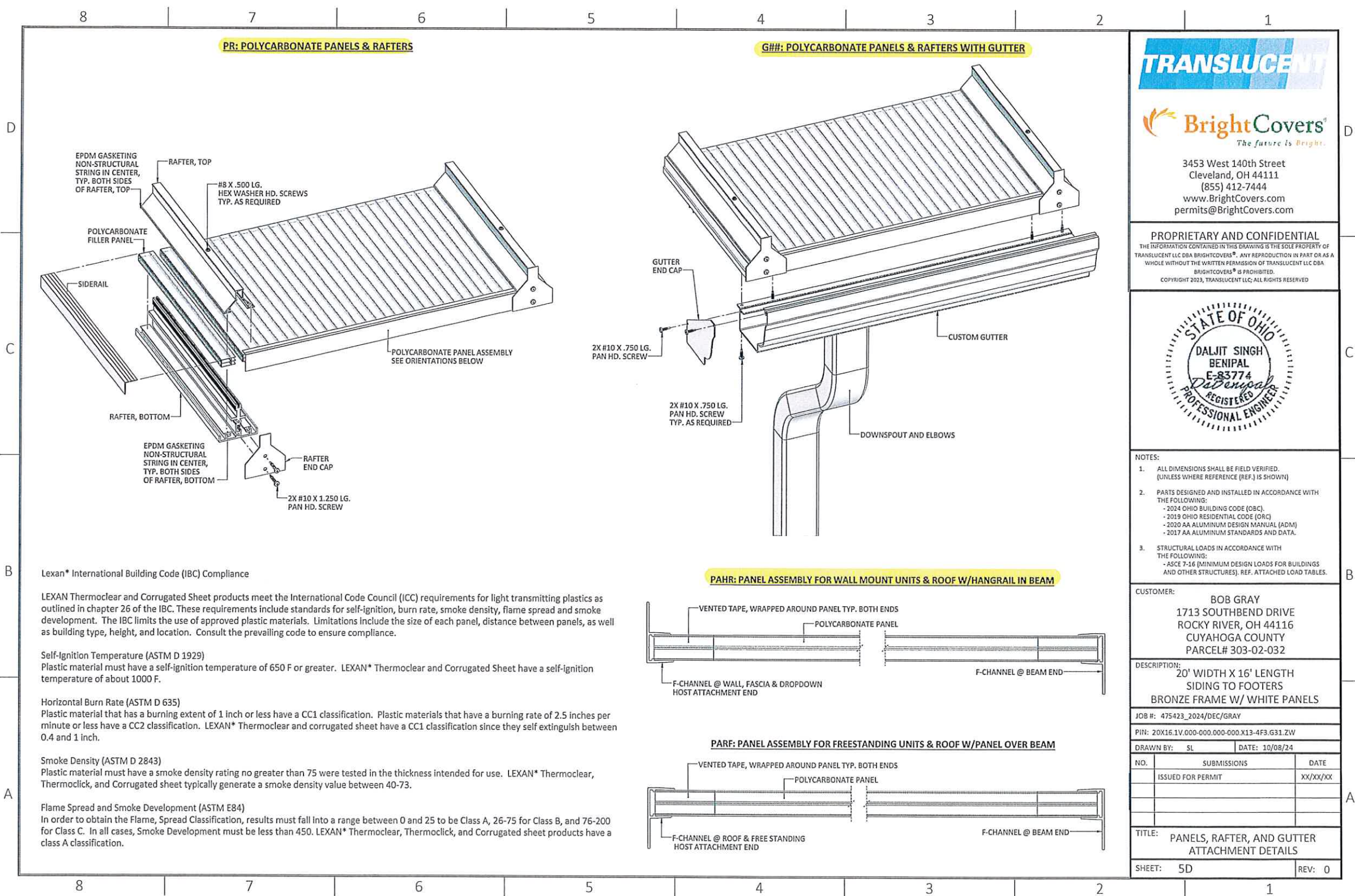
--	--	--

TITLE: SOOTING CRAB AND OTHER CRUSTACEANS

POST TO GROUND ATTACHMENT DETAIL

DETAIL	
1	2
3	4
5	6
7	8
9	10
11	12
13	14
15	16
17	18
19	20
21	22
23	24
25	26
27	28
29	30
31	32
33	34
35	36
37	38
39	40
41	42
43	44
45	46
47	48
49	50
51	52
53	54
55	56
57	58
59	60
61	62
63	64
65	66
67	68
69	70
71	72
73	74
75	76
77	78
79	80
81	82
83	84
85	86
87	88
89	90
91	92
93	94
95	96
97	98
99	100

SHEET: 5C	REV: 0
-----------	--------



The future is Bright.
3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED

NOTES:
1. ALL DIMENSIONS SHALL BE FIELD VERIFIED. (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- 2024 OHIO BUILDING CODE (OBC),
- 2019 OHIO RESIDENTIAL CODE (ORC)
- 2020 AA ALUMINUM DESIGN MANUAL (ADM)
- 2017 AA ALUMINUM STANDARDS AND DATA.
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
- ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER: BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION: 20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY
PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW
DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

TITLE: PANELS, RAFTER, AND GUTTER ATTACHMENT DETAILS
SHEET: 5D REV: 0

Lexan® International Building Code (IBC) Compliance

LEXAN Thermoclear and Corrugated Sheet products meet the International Code Council (ICC) requirements for light transmitting plastics as outlined in chapter 26 of the IBC. These requirements include standards for self-ignition, burn rate, smoke density, flame spread and smoke development. The IBC limits the use of approved plastic materials. Limitations include the size of each panel, distance between panels, as well as building type, height, and location. Consult the prevailing code to ensure compliance.

Self-Ignition Temperature (ASTM D 1929)
Plastic material must have a self-ignition temperature of 650 F or greater. LEXAN® Thermoclear and Corrugated Sheet have a self-ignition temperature of about 1000 F.

Horizontal Burn Rate (ASTM D 635)
Plastic material that has a burning extent of 1 inch or less have a CC1 classification. Plastic materials that have a burning rate of 2.5 inches per minute or less have a CC2 classification. LEXAN® Thermoclear and corrugated sheet have a CC1 classification since they self extinguish between 0.4 and 1 inch.

Smoke Density (ASTM D 2843)
Plastic material must have a smoke density rating no greater than 75 were tested in the thickness intended for use. LEXAN® Thermoclear, Thermoclick, and Corrugated sheet typically generate a smoke density value between 40-73.

Flame Spread and Smoke Development (ASTM E84)
In order to obtain the Flame, Spread Classification, results must fall into a range between 0 and 25 to be Class A, 26-75 for Class B, and 76-200 for Class C. In all cases, Smoke Development must be less than 450. LEXAN® Thermoclear, Thermoclick, and Corrugated sheet products have a class A classification.

8

7

6

5

4

3

2

1

SPECIFICATIONS

A. DESIGN CRITERIA

1. THE BRIGHTCOVERS CANOPY SYSTEM IS A PRE-MANUFACTURED PRODUCT AND SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CHAPTER 16 (STRUCTURAL REQUIREMENTS) SET FORTH IN THE 2024 OHIO BUILDING CODE (OBC).
2. BUILDING TYPE: TYPE IIIB
4. FIRE SUPPRESSION REQUIREMENTS
 - a. BASED OFF THE 2016 EDITION OF THE NFPA 13, THE PROPOSED BRIGHTCOVERS CANOPY SYSTEM MEETS THE DEFINITION OF EXCEPTION 18.15.7.2 OF BEING CONSTRUCTED WITH MATERIALS THAT ARE NON-COMBUSTIBLE, LIMITED COMBUSTIBLE, OR FIRE RETARDANT TREATED WOOD, AND THEREFORE DOES NOT REQUIRE THE INSTALLATION OF A FIRE SPRINKLER SYSTEM.
5. CONSTRUCTION MATERIALS
 - a. FRAMING: WROUGHT ALLUMINUM ALLOY - NONCOMBUSTIBLE
 - ALL ALUMINUM COMPONENTS CONFORM TO THE REQUIREMENT OF THE AA ALUMINUM DESIGN MANUAL (ADM) 2020 AND THE AA ALUMINUM STANDARDS AND DATA 2017.
 - b. LIGHT TRANSMITTING PLASTIC PANELS - CLASS CC1
 - BRIGHTCOVERS POLYCARBONATE PANELS COMPLY WITH THE SPECIFICATION REQUIREMENTS SET FORTH IN SECTION 2606 (LIGHT TRANSMITTING PLASTICS) AND 2609 (LIGHT TRANSMITTING PLASTIC ROOF PANELS) AND DOES NOT REQUIRE TO HAVE A FIRE RESISTANCE RATING.

RAFTER SPANS

LIVE/SNOW LOAD (PSF)	PANEL SPAN 24"		PANEL SPAN 48"	
	OVERHANG (FT)	MAX SPAN (FT)	OVERHANG (FT)	MAX SPAN (FT)
25	0	14.50	0	10.25
	1	14.50	1	10.25
	2	14.75	2	10.50
	3	15.00	3	10.75
30	0	14.00	0	10.00
	1	14.25	1	10.00
	2	14.25	2	10.25
	3	15.00	3	10.00

X13 BEAM SPANS

LIVE/SNOW LOAD (PSF)	T-BAR SPAN (FT)	ALLOWABLE BEAM SPAN W/ 0' OH						ALLOWABLE BEAM SPAN W/ 1' OH						ALLOWABLE BEAM SPAN W/ 2' OH						ALLOWABLE BEAM SPAN W/ 3' OH					
		POST HEIGHT (FT)						POST HEIGHT (FT)						POST HEIGHT (FT)						POST HEIGHT (FT)					
		7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12
25	8.0	20.0'	20.0'	19.5'	17.5'	15.5'	13.0'	18.0'	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'
	9.0	19.0'	18.5'	17.0'	16.5'	14.0'	12.0'	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'
	10.0	18.0	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'	
	11.0	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'	
	12.0	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'		13.0'	12.5'	11.5'	10.0'	8.0'	
	13.0	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'		12.5'	12.0'	11.0'	9.5'		
	14.0	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'		13.0'	12.5'	11.5'	10.0'	8.0'		12.0'	11.5'	10.5'	9.0'		
30	8.0	20.0'	19.5'	18.0'	16.0'	14.5'	13.0'	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'
	9.0	18.5'	18.5'	16.5'	15.5'	13.5'	12.0'	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'
	10.0	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'	
	11.0	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'	
	12.0	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'		13.0'	12.0'	11.0'	9.5'	8.0'	
	13.0	15.5'	15.0'	13.0'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'		12.5'	11.5'	10.5'	9.0'		
	14.0	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'		13.0'	12.0'	11.0'	9.5'	8.0'		12.0'	11.0'	10.0'	8.5'		
	15.0	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'		12.5'	11.5'	10.5'	9.0'			11.5'	10.5'	9.5'	8.0'		

NOTE: UNLESS OTHERWISE NOTED, TABLE CALCULATIONS ARE BASED ON WIND SPEEDS UP TO 115 MPH.



3453 West 140th Street
Cleveland, OH 44111
(855) 412-7444
www.BrightCovers.com
permits@BrightCovers.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TRANSLUCENT LLC DBA BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC DBA BRIGHTCOVERS® IS PROHIBITED.
COPYRIGHT 2023, TRANSLUCENT LLC; ALL RIGHTS RESERVED



NOTES:

1. ALL DIMENSIONS SHALL BE FIELD VERIFIED. (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - 2024 OHIO BUILDING CODE (OBC),
 - 2019 OHIO RESIDENTIAL CODE (ORC),
 - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
 - 2017 AA ALUMINUM STANDARDS AND DATA.
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:

BOB GRAY
1713 SOUTHBEND DRIVE
ROCKY RIVER, OH 44116
CUYAHOGA COUNTY
PARCEL# 303-02-032

DESCRIPTION:

20' WIDTH X 16' LENGTH
SIDING TO FOOTERS
BRONZE FRAME W/ WHITE PANELS

JOB #: 475423_2024/DEC/GRAY

PIN: 20X16.1V.000-000.000-000.X13-4F3.G31.ZW

DRAWN BY: SL DATE: 10/08/24

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	XX/XX/XX

-	-
---	---

TITLE:

SPECIFICATIONS AND TABLES

SHEET: 6

REV: 0