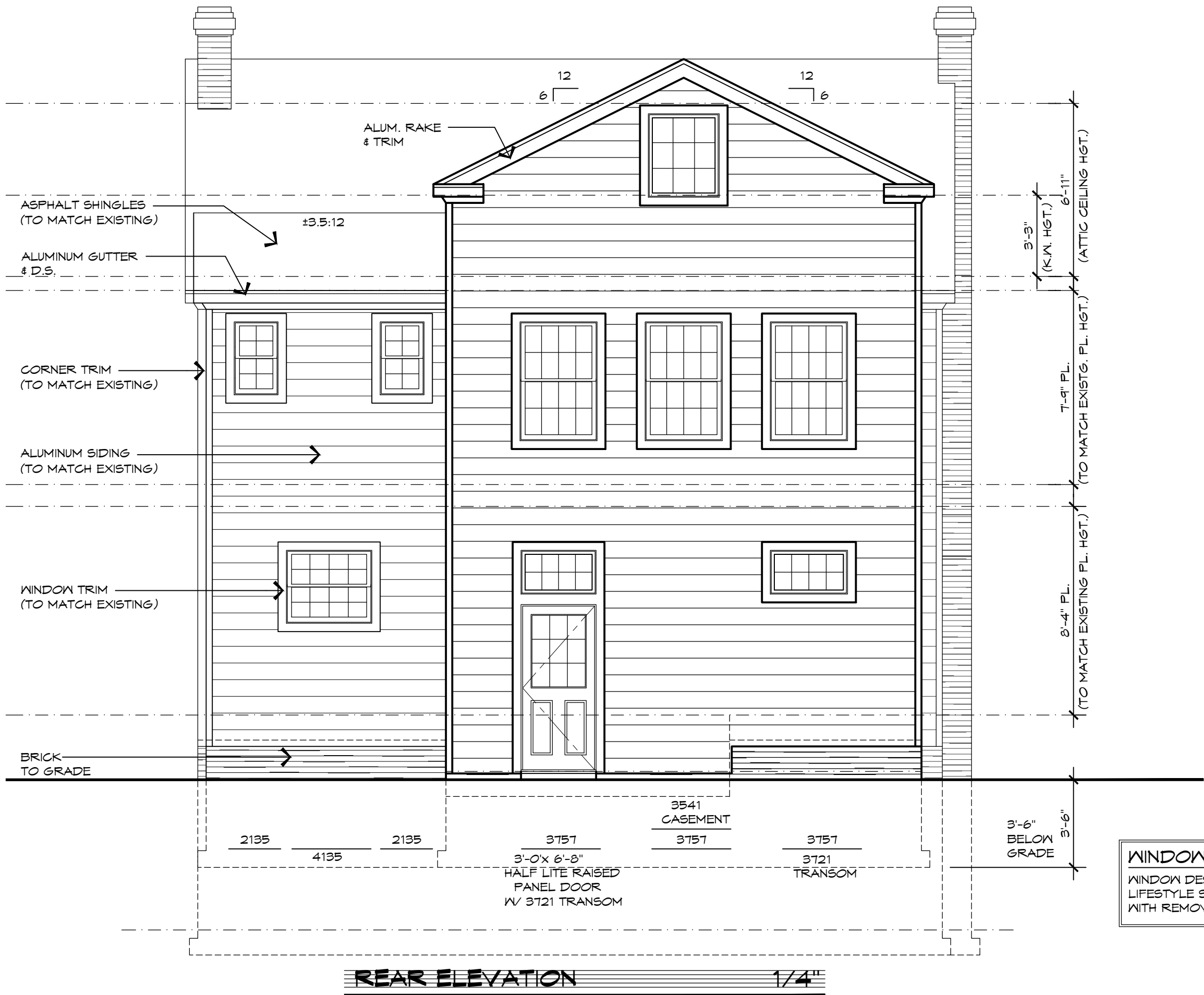


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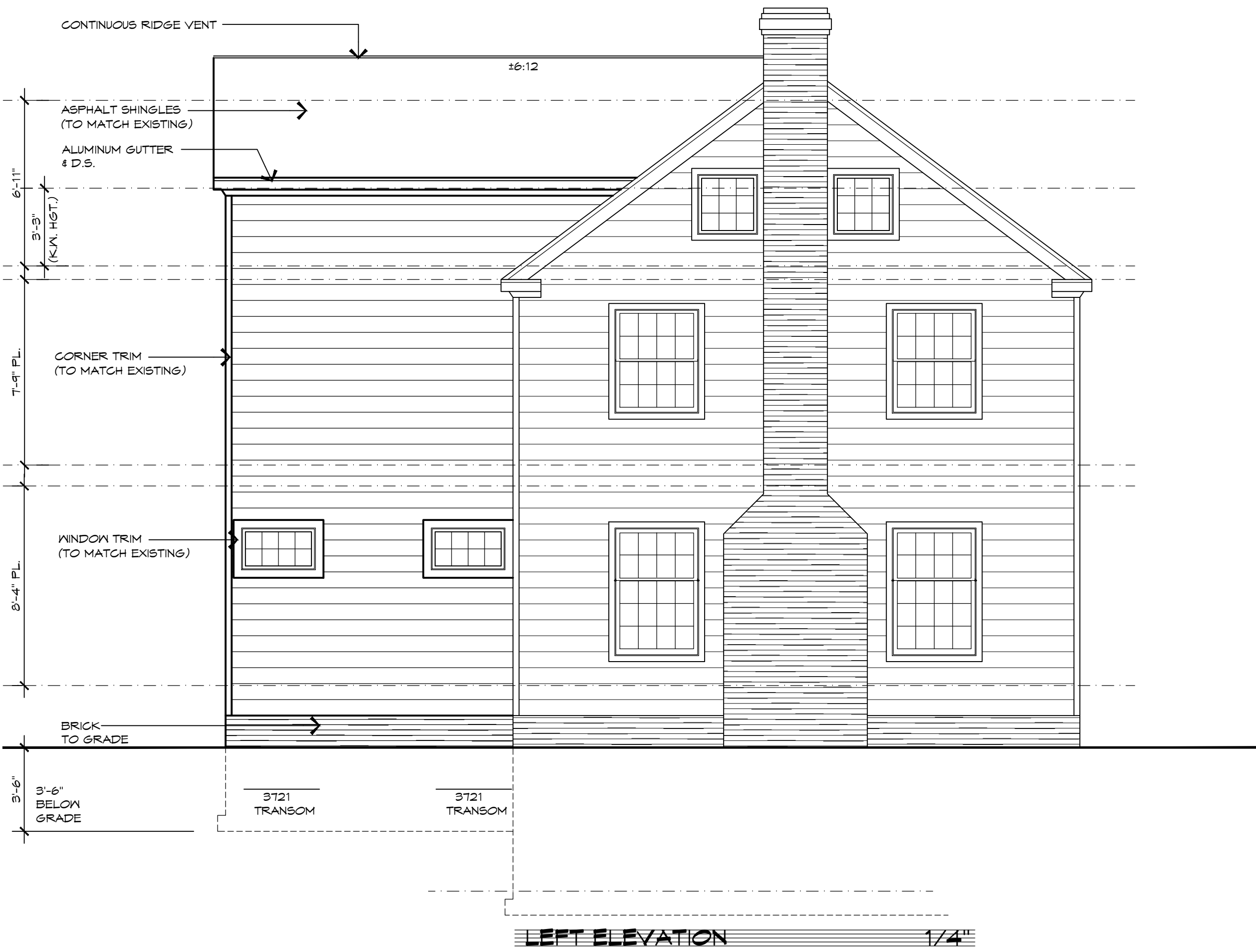
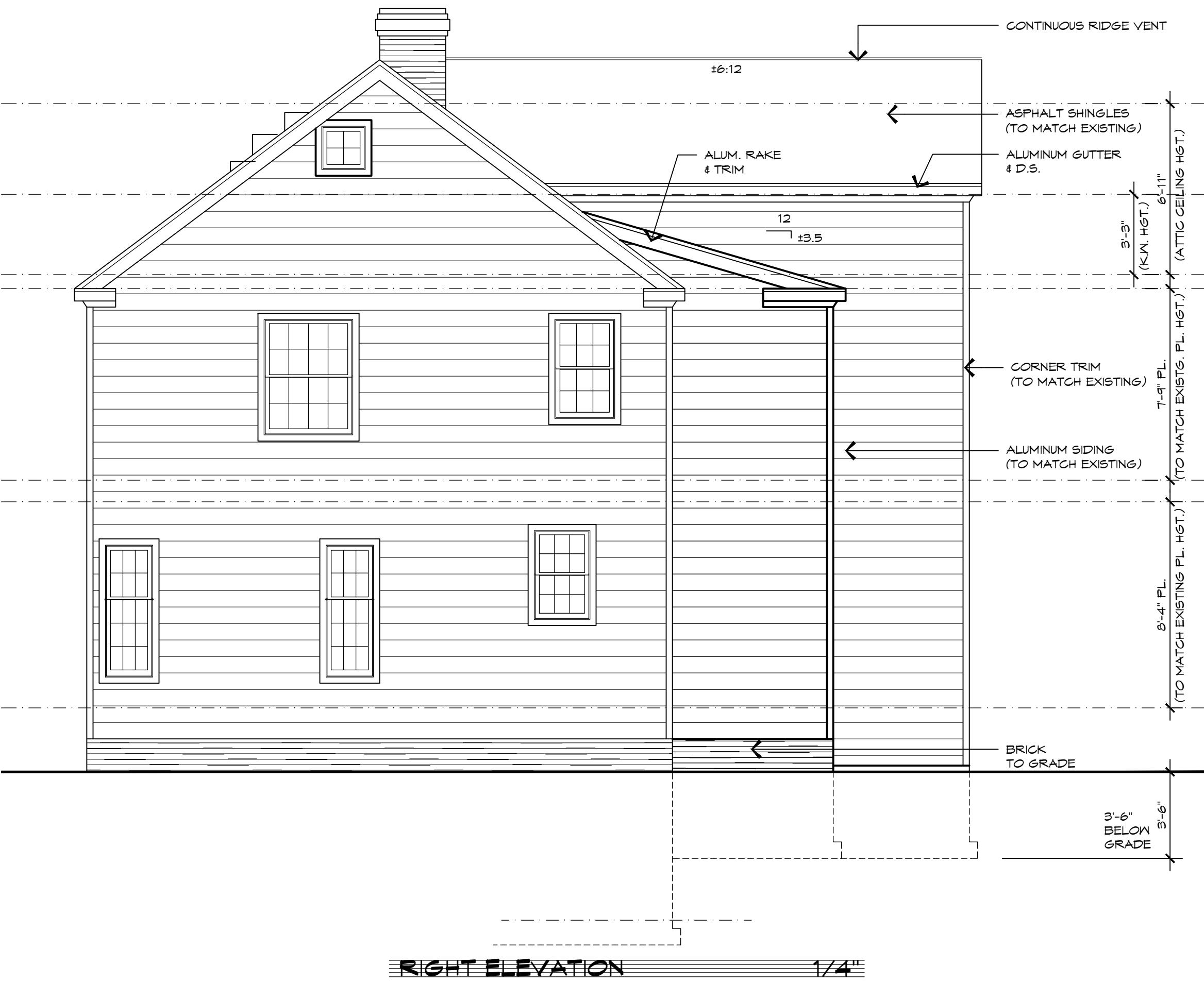
JOSEPH L. MYERS, ARCHITECT, INC.  
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Willoughby, Ohio 44094  
(440) 975-1800

MULLIGAN RESIDENCE  
21154 ENDSLEY AVENUE  
ROCKY RIVER, OHIO  
ELEVATIONS

DRAWN  
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DATE  
JULY 2024  
SCALE  
1/4" = 1'-0"  
JOB NO.  
21100  
SHEET  
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OF 6 SHEETS

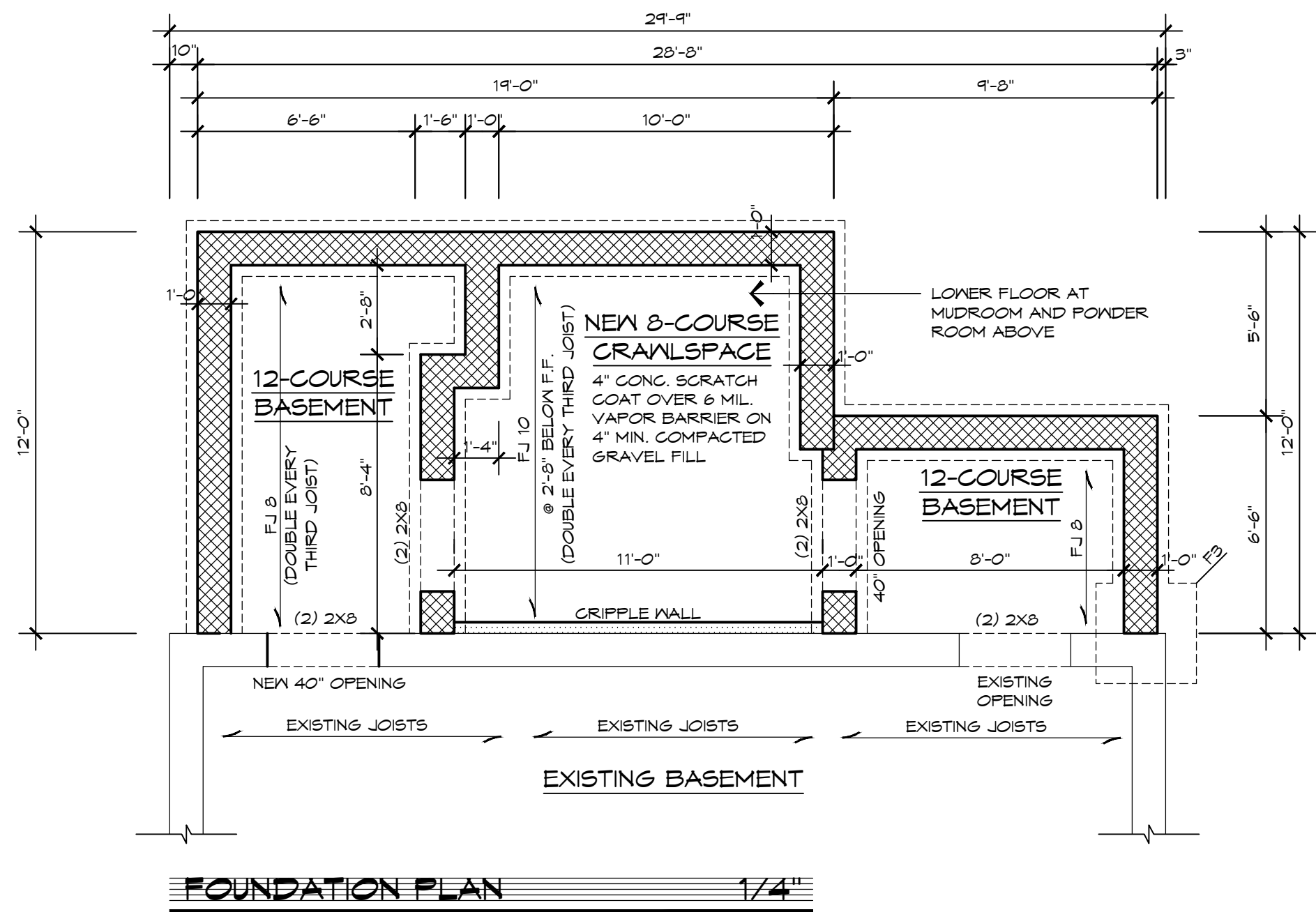
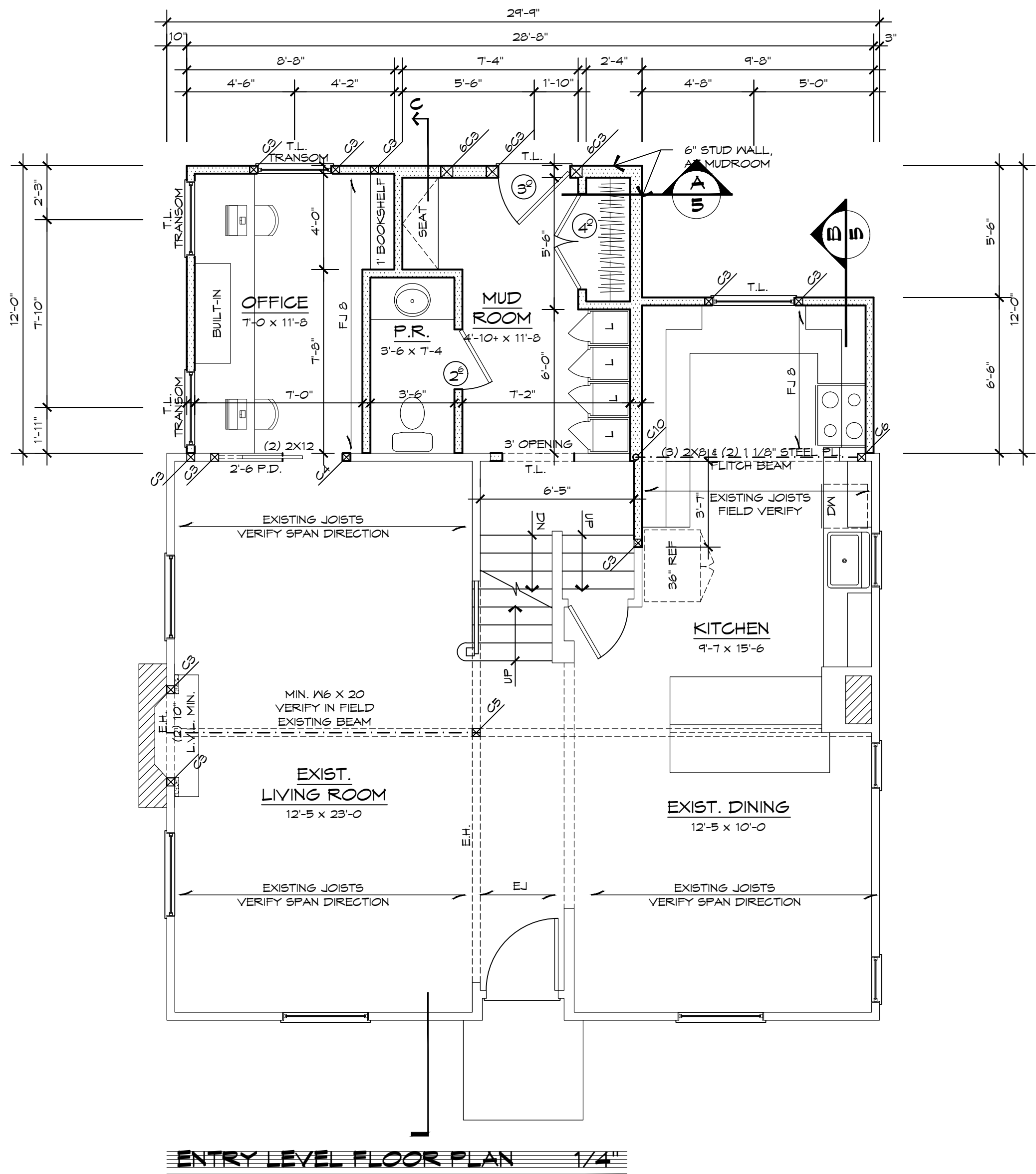


WINDOW NOTE:  
WINDOW DESIGNATIONS ARE 'PELLA  
LIFESTYLE SERIES' DOUBLE HUNG  
WITH REMOVABLE SASH.



- NOTES TO CONTRACTORS**
- ALL INTERIOR AND EXTERIOR WALL DIMENSIONS ARE FIGURED AS NOMINAL 4" UNLESS OTHERWISE NOTED ON PLANS
  - ALL RESIDENTIAL CONSTRUCTION AND FRAMING DETAILS SHALL BE IN ACCORDANCE WITH:  
-THE 2019 RESIDENTIAL CODE OF OHIO  
-THE 2019 "WOOD FRAME CONSTRUCTION MANUAL" FOR ONE AND TWO FAMILY DWELLINGS BY THE AMERICAN FOREST & PAPER ASSOCIATION  
-THE 2021 EDITION OF "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION
  - CONSTRUCTION  
A. HOUSE MUST BE CONSTRUCTED USING THE PLATFORM FRAMING METHOD.  
B. COLUMNS ARE TO BE STACKED BASEMENT-TO-FIRST-FLOOR, FIRST FLOOR-TO-SECOND FLOOR, & SECOND FLOOR-TO-ROOF.  
C. ALL COLUMNS TO HAVE SOLID BLOCKING, END GRAIN BEARING, UNDER EACH COLUMN IN FLOOR JOIST SYSTEM BETWEEN TOP & BOTTOM 2x PLATES FOR CONTINUOUS BEARING TO FOUNDATION WALL OR STEEL BELOW.  
D. NAILING OF BUILT-UP COLUMNS SHALL BE IN ACCORDANCE WITH SECTION 15.3.3 OF THE 2019 "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE AMERICAN WOOD COUNCIL.  
E. ALL NAILING OF ROOF, FLOOR AND WALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH TABLE 602.3(1) OF THE OHIO RESIDENTIAL CODE.
  - T.L. = TYPICAL LINTEL = (2) 2 x 12 WITH 1/2" PLYWOOD PLATE BETWEEN.  
6" T.L. = TYPICAL LINTEL = (3) 2 x 12 WITH (2) 1/2" PLYWOOD PLATES BETWEEN.
  - THE FOLLOWING RAFTER, CEILING, AND FLOOR JOIST DESIGNATIONS MAY APPEAR ON THE DRAWINGS. IF THEY DO, THE FOLLOWING APPLY.  
**RAFTER DESIGNATION SCHEDULE**  
R6 = 2 x 6 RAFTERS @ 16" O.C.  
R8 = 2 x 8 RAFTERS @ 16" O.C.  
R10 = 2 x 10 RAFTERS @ 16" O.C.  
R12 = 2 x 12 RAFTERS @ 16" O.C.  
**CEILING JOIST DESIGNATION SCHEDULE**  
CJ6 = 2 x 6 CEILING JOIST @ 16" O.C.  
CJ8 = 2 x 8 CEILING JOIST @ 16" O.C.  
CJ10 = 2 x 10 CEILING JOIST @ 16" O.C.  
CJ12 = 2 x 12 CEILING JOIST @ 16" O.C.  
**FLOOR JOIST DESIGNATION SCHEDULE**  
FJ6 = 2 x 6 @ 16" O.C.  
FJ10 = 2 x 10 @ 16" O.C.  
FJ12 = 2 x 12 @ 16" O.C.
  - ROOF SLOPES SHOULD BE LAYED OUT IN PLACE AND THE RELATIONSHIP TO EACH OTHER AND TO RELATED WINDOW OR DOOR OPENINGS SHOULD BE VERIFIED PRIOR TO ORDERING TRUSSES, WINDOWS, OR SETTING ANY RAFTERS.
  - THE FINISH GRADE AROUND THE HOUSE SHALL SLOPE AWAY FROM THE FOUNDATION AROUND THE ENTIRE PERIMETER IN ACCORDANCE W/ RCO 401.3. IF NECESSARY, SNALES SHOULD BE CREATED TO ALLOW THIS. IF CLAYS OR OTHER IMPERMEABLE SOILS ARE ENCOUNTERED DURING THE EXCAVATION, FOUNDATION WATER PROOFING OR AMOUNT OF DRAIN TILE MAY NEED TO BE INCREASED & THE ARCHITECT SHOULD BE NOTIFIED.
  - THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS NOTED ON THE DRAWINGS AND SHALL BE FAMILIAR WITH THE RELATIONSHIP BETWEEN THEM, BOTH HORIZONTALLY THROUGH STRINGS, AND VERTICALLY FROM FLOOR TO FLOOR AND FLOOR TO FOUNDATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING ANY CONSTRUCTION.
  - AN OVERALL REVIEW OF THE PLANS SHOULD BE CONDUCTED BY THE CONTRACTOR AND ANY UNCLEAR AREAS OR DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
  - IF NO DISCREPANCIES ARE REPORTED AND THE CONTRACTOR/OWNER DOES NOT EMPLOY THE ARCHITECT FOR CONSTRUCTION OBSERVATION ON THIS PROJECT, THEN THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR MISINTERPRETATIONS OR ERRORS MADE BY THE CONTRACTOR IN THE FIELD.
  - THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL WORK IS DONE IN ACCORDANCE WITH LOCAL CODES, WHETHER INDICATED AS SUCH ON THE DRAWINGS OR NOT.

POST & COLUMN SCHEDULE				
MARK	SOLID	BUILT-UP	ASO1	PFE
4" STUD WALLS				
C2	4 x 4	(2) 2 x 4		
C3	4 x 4	(3) 2 x 4		
C4	6 x 4	(4) 2 x 4		
C5	6 x 4	(5) 2 x 4		
C6	8 x 4	(6) 2 x 4		
C7	8 x 4	(7) 2 x 4		
C8	8 x 4	(3) 2 x 4	0.0 0.0	
C9	10 x 4	(3) 2 x 4	0.0 0.0	
STEEL PIPE COLUMNS				
C10	-	-	0.0	0.0
C11	-	-	0.0 1/2	0
C12	-	-	0.0 1/2	0
6" STUD WALLS				
6C2	4 x 6	(2) 2 x 6		
6C3	4 x 6	(3) 2 x 6	0.0 0.0	
6C4	6 x 6	(4) 2 x 6		
6C5	8 x 6	(5) 2 x 6		
6C6	10 x 6	(6) 2 x 6		
6C7		(7) 2 x 6		
FOOTING SCHEDULE				
MARK	SIZE	REIN.		
F3.5	2'-0" X 2'-0" X 1'-0"	NONE		
F3.5	3'-0" X 3'-0" X 1'-0"	NONE		
F4	4'-0" X 4'-0" X 2'-0"	NONE		
F4.5	4'-0" X 4'-0" X 2'-0"	NONE		
F5	5'-0" X 5'-0" X 1'-0"	(5) #5, 2XB		

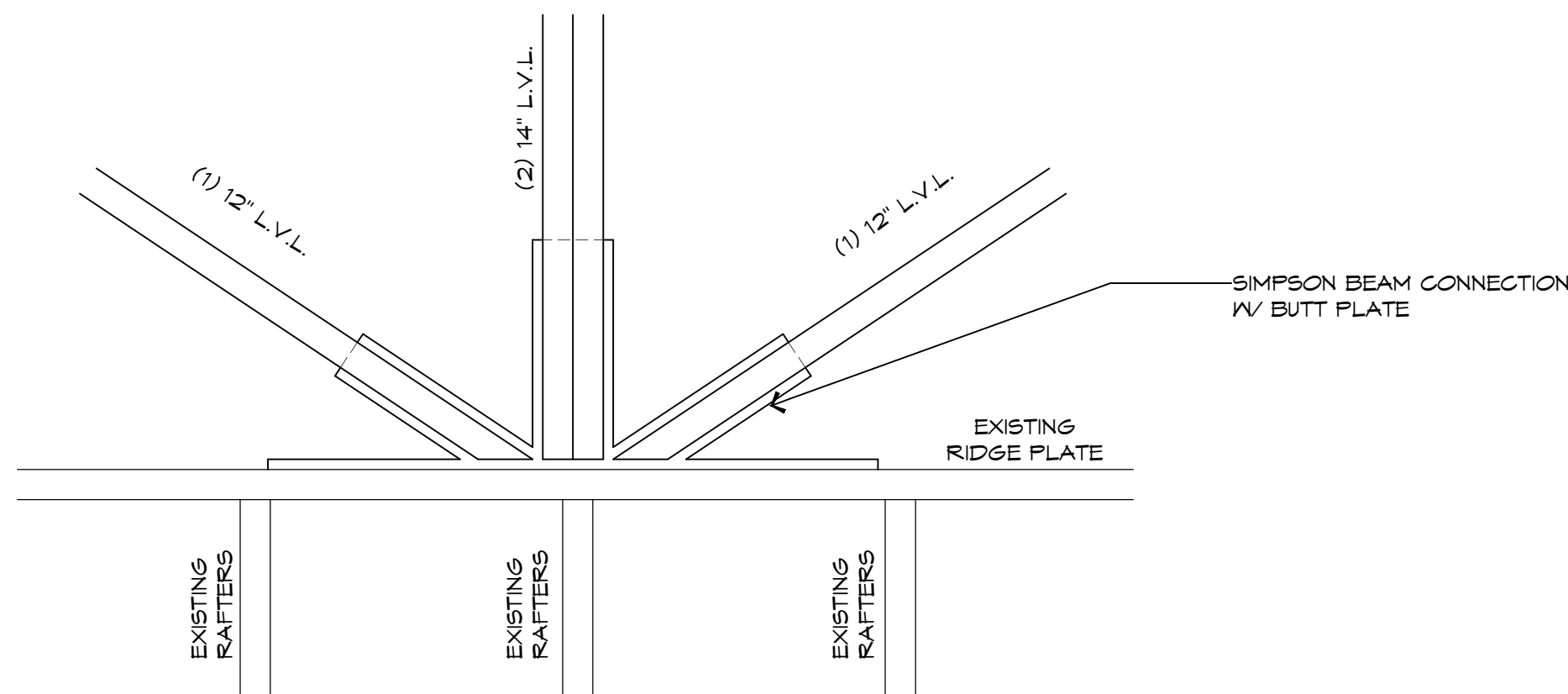


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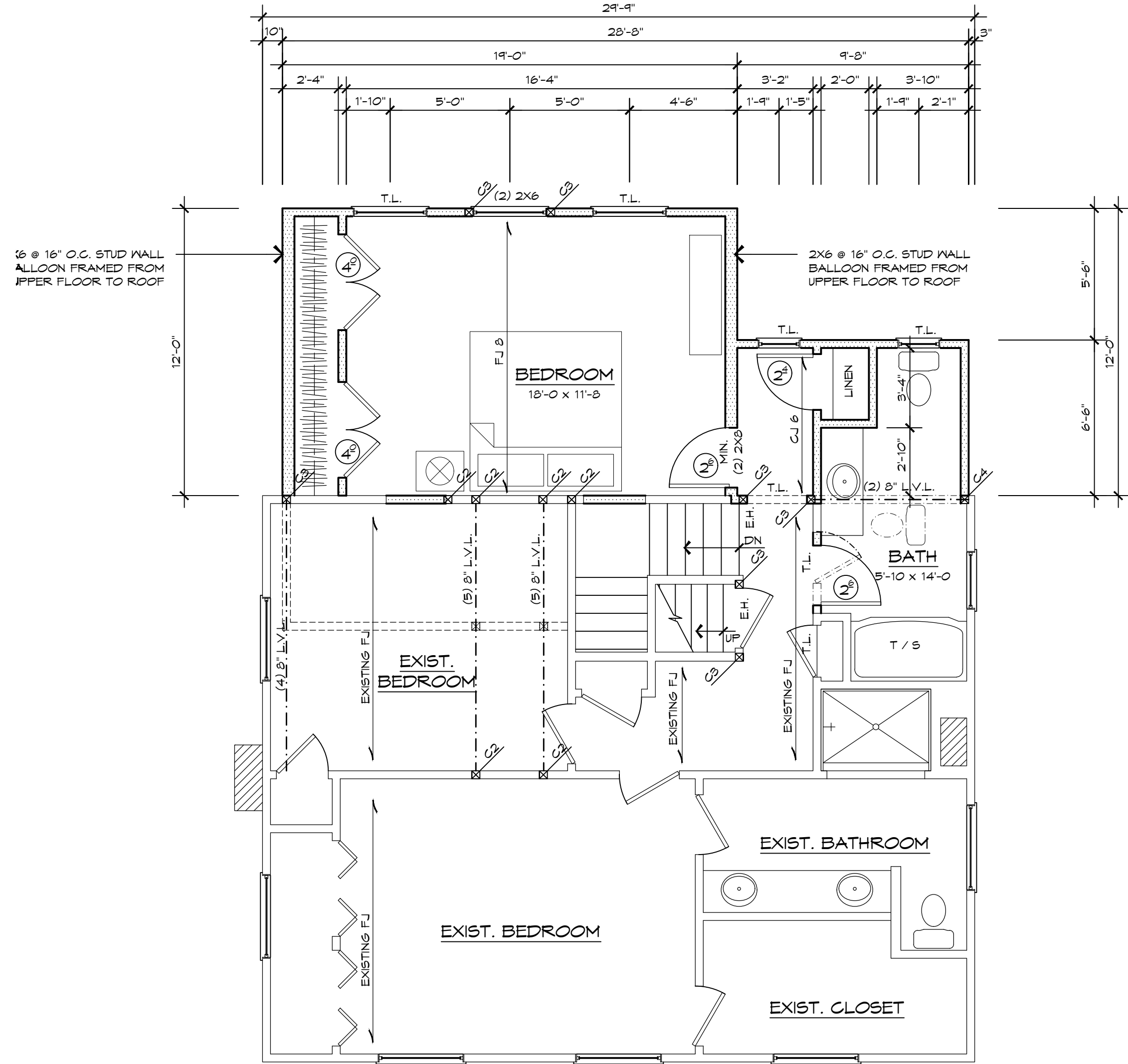
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**MULLIGAN RESIDENCE**  
21154 ENDSLEY AVENUE  
ROCKY RIVER, OHIO  
FOUNDATION & ENTRY LEVEL FLOOR PLANS

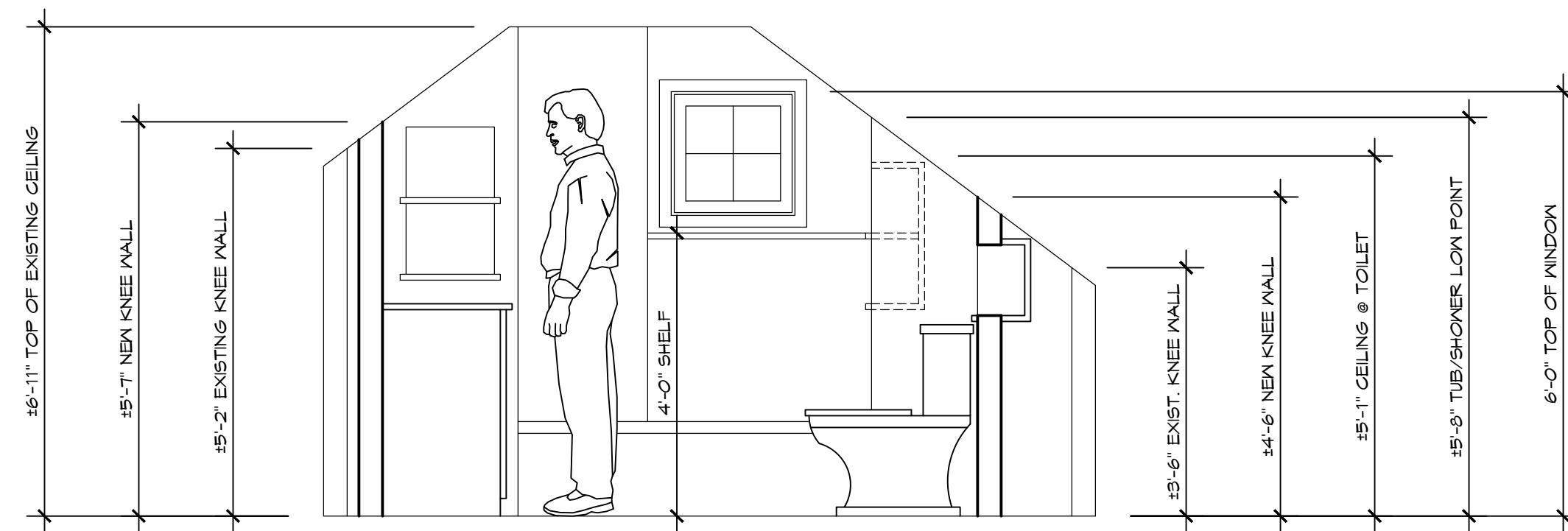
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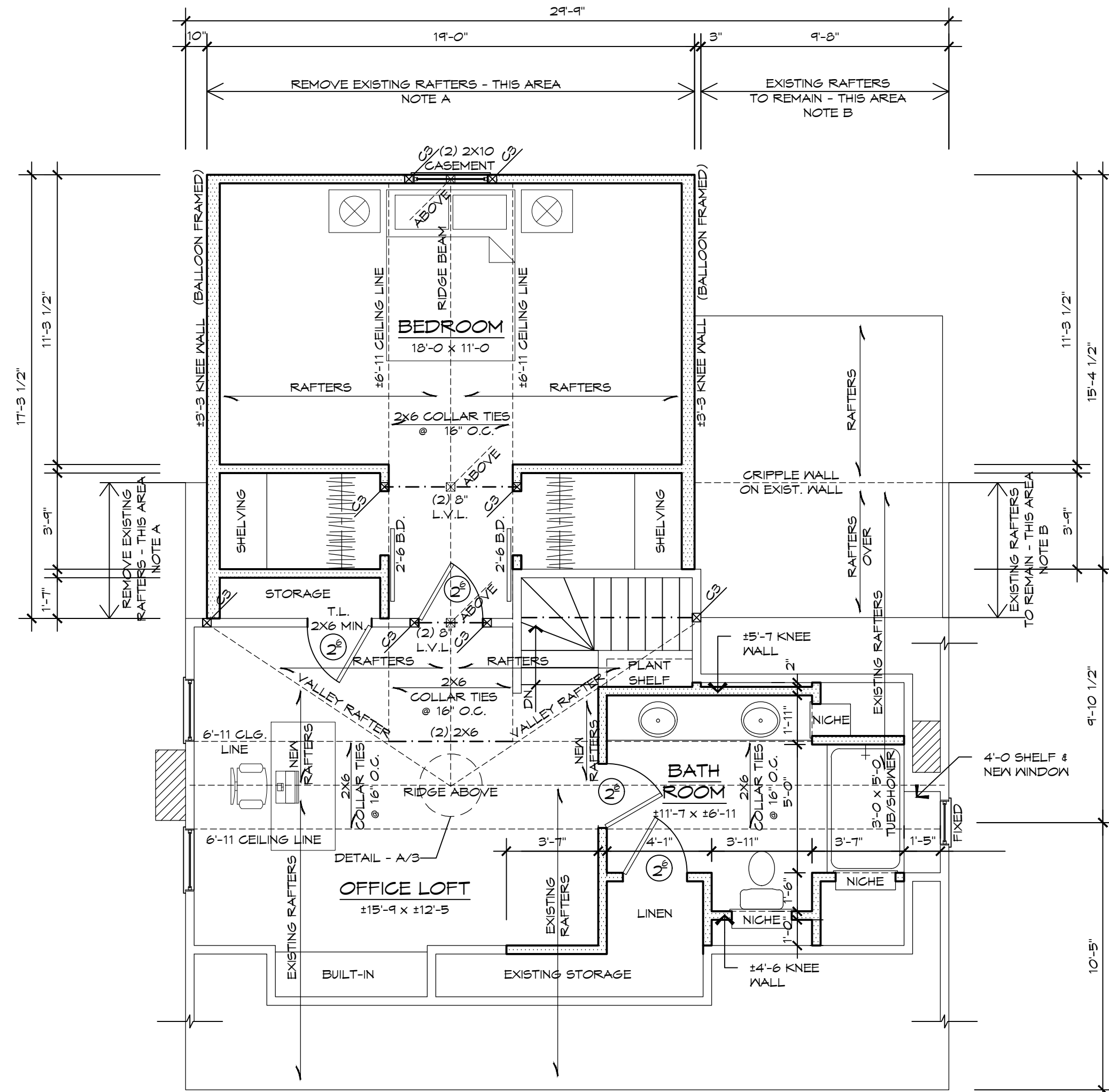
DETAIL - A/3 1 1/2"



UPPER LEVEL FLOOR PLAN 1/4"



BATH INTERIOR ELEVATION 1/2"



ATTIC FLOOR PLAN 1/4"

MULLIGAN RESIDENCE

21154 ENDSLEY AVENUE  
ROCKY RIVER, OHIO

ATTIC & UPPER LEVEL FLOOR PLANS

JOSEPH L. MYERS, ARCHITECT, INC.

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SHEET

3

OF 6

SHEETS

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FOR BD  
07.23.2024

BY  
JLM

<b>MULLIGAN RESIDENCE</b>		<b>JOSEPH L. MYERS, ARCHITECT, INC.</b>	
21154 ENDSLEY AVENUE ROCKY RIVER, OHIO		38030 Second Street Willoughby, Ohio (440) 975-1800	
ROOF PLAN & GENERAL NOTES			

OF 6 SHEETS

## GENERAL NOTES

1. **SOFITING BUILDING CODES:**  
ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE "2018 RESIDENTIAL CODE OF OHIO," (RCO).

2. **R602 2018 DESIGN CRITERIA TABLE 202.1(1)**  
**GROUND SNOW LOAD = 35 PSF**  
**WIND DESIGN SPEED = 40 MPH (BASIC)**  
**MINIMUM WIND SPEED = 115 MPH (ULTIMATE)**  
**SEISMIC DESIGN CATEGORY B**  
**WEATHERING - SEVERE**  
**FROST DEPTH = +2'**  
**TERRAIN - MODERATE TO HEAVY**  
**POSS. T-SLOPE TO MODERATE**  
**MANUAL J DESIGN CRITERIA**  
**8 DEGREE DESIGN TEMPERATURE**  
**ICE BARRIER UNDERLAYMENT REQUIRED #8" AT EAVES AND VALLEYS**

3. **RESIDENTIAL CODE OF OHIO DESIGN CRITERIA RCO 901**  
**ROOF LIVE LOADS:**  
**MINIMUM LIVE LOAD = 20 PSF**  
**ROOF SNOW LOAD = 30 PSF**  
**DRIFT SNOW LOAD (VALLEYS) = 40 PSF**  
**BOTH OF VALLEY DRIFT = 5 EACH SIDE VALLEY**  
**DRIFT SNOW LOAD (ROOF STEPS) = 40 PSF**  
**BOTH OF DRIFT AT ROOF STEP = 6'-4" FROM ROOF STEP**  
**FLOOR LIVE LOADS:**  
**BASIC FLOOR LIVE LOAD = 40 PSF**  
**SLEEPING AREA FLOOR LIVE LOAD = 30 PSF**  
**DECK & BALCONY LIVE LOAD = 40 PSF**  
**FLOOR & DEAD LOADS:**  
**2ND FLOOR DEAD LOAD = 12 PSF**  
**2ND FLOOR DEAD LOAD + 12 PSF**  
**DECKS AND BALCONY DEAD LOAD = 12 PSF**  
**GELING DEAD LOAD = 8 PSF**  
**12 ROOF RAFTERS DEAD LOAD = 12 PSF**  
**6"x12 CATHEDRAL GELING ROOF DEAD LOAD = 10 PSF**  
**TRUSSED ROOF DEAD LOAD = 20 PSF**

4. **TYPE LISTS:**  
**ROOFING MATERIALS AND DOOR LABELS NOTED (T-LL) SHALL BE 2" X 12" X 1/2" PLYWOOD PLATE BETWEEN TYPE A AND DOOR LABELS NOTED (6-T-LL) SHALL BE 2" X 12" X 1/2" PLYWOOD PLATES BETWEEN FOUNDATIONS.**

5. **FOUNDATIONS:**  
A. DESIGN BEARING PRESSURE HAS BEEN ASSUMED TO BE 2,000 PSF. (2) FOR CONSTRUCTION, THE GENERAL CONTRACTOR MUST VERIFY SOIL BEARING PRESSURE, AND THAT SETTLEMENTS AT THIS PRESSURE WILL BE WITHIN ACCEPTABLE LIMITS.  
B. ALL UNFINISHED AREAS MUST BE PREPARED AND INSTALLED TO PROVIDE THE BEARING PRESSURE ASSUMED BELOW ALL CONCRETE FOOTINGS & SLABS ON GRADE.  
C. ROOF FOOTINGS MUST HAVE A MINIMUM OF 2'-6" COVER FOR PROTECTION.  
D. ALL CONCRETE FOOTINGS TO HAVE (2) #5S CONT. AND #5S DOMELS 4'-3" LONG @ 2'-0" S/C FROM FOOTING INTO EXISTING GROUND. GROUND COVER TO BE 12" MINIMUM.  
E. ALL HIGHER FOOTINGS MUST BE STEPPED DOWN TO BOTTOM OF BASEMENT FOOTINGS (8" T-FL) OR TO LOWER ADJACENT FOOTINGS, TO MEET BOTH SETBACK OF FOUNDATIONS. STOP FOOTINGS AT 2 HORISONTAL UNITS TO 1 VERTICAL UNIT PER STEP.  
F. FOUNDATION FOOTINGS TO REMAIN IN CONDITIONS IS DETECTED, (2) #5 CONT. REBAR SHALL BE INSTALLED IN THE BOTTOM OF ALL FOOTINGS (7' CLEAR FROM BASE).  
G. BACKFILLED AREAS BUILT UPON EXISTING FOUNDATIONS, STOP FOOTINGS AT 2 HORISONTAL UNITS TO 1 VERTICAL UNIT PER STEP.  
H. 1. FOUNDATION WALLS, WITHIN THE GLAD-N-GRADE GARAGE AREAS, SHALL BE BACKFILLED WITH #51  
2. TO 10 KID GRAVEL, OR COMBED STONE.  
I. THE BACKFILL SHALL BE PLACED IN LIFTS UNTL TO EXCEED 12" THICKNESS.  
J. TOP OF BACKFILL SHALL BE COMPACTED WITH NOT MORE THAN TWO PASSES OF A VIBRATORY PLATE COMPACTOR.

6. **CONCRETE:**  
CONCRETE TO HAVE A MINIMUM CEMENT CONTENT OF 584 YDS / CY MAX. WATER TO CEMENT RATIO OF 0.48, AND OBTAIN A MIN. STRENGTH OF 4,000 PSI @ 28 DAYS, UNLESS OTHERWISE NOTED.  
A. ALL CONCRETE SHALL BE CAST WITHIN 24 HOURS OF FORMWORK BEING APPLIED TO REINFORCE.  
B. ALL GARAGE SLABS SHALL BE AIR ENTRAINED.  
C. REINFORCED SLABS & TIE RODS SHALL BE INSTALLED TO HAVE SMOOTH CONTROL JOINTS AT A MAX OF 10'-0" ON CENTER EACH WAY. WITHIN 8 HOURS OF CUR.  
D. STEEL BEAMS MUST BEAR A MINIMUM OF 4" ON CONCRETE.

7. **MASONRY:**  
A. CONCRETE MASONRY MUST BE ASTM C48, GRADE I BRICK PER ASTM C216, GRADE N-1 TYPE FBX, MORTAR PER ASTM C270, TYPE S, MIXTURE SPECIFICATIONS, GROUT PER ASTM C495, 2000 PSI STRENGTH.  
B. BACK FILLING AGAINST BASEMENT WALLS SHALL NOT BE DONE PRIOR TO INSTALLATION OF FIRST FLOOR FINISH FLOORING.  
C. ALL STEEL BEAMS BEARING ON MASONRY WALLS ARE TO BE ANCHORED TO WALL WITH BEARING PLATES WITH 1/2" MIN. OVERLAP WITH BEARING PLATE ON OTHER SIDE OF WALL.  
D. ALL STEEL BEAMS MUST BEAR AT LEAST 6" ON MASONRY WALLS.  
E. ALL MASONRY WALLS MUST BE GROUDED SOLID ON A MINIMUM OF 24" (N.E.) (3 COURES) X 16" HIGH (2 COURES) UNDER BEAM.  
F. CONTRACTOR MUST COVER TOP OF MASONRY WALLS AT END OF EACH DAY UNTL COMPLETELY SEALED TO PROTECT THEM FROM PRECIPITATION AND EFFLORESCENCE.

8. **STEEL:**  
A. ROLLER SHEDS, PLATES AND BEAMS SHALL BE ASTM A58, FY = 58 KSI  
B. ROCE FLANGE SHAPES SHALL BE:  
C. ALL PIPE COLLARS SHALL BE ASTM A58, FY = 58 KSI  
D. ALL TIE BEAM AND COLLARS SHALL BE ASTM A409, GRADE B, FY = 48 KSI  
E. ALL FLOOR JOISTS BEARING ON STEEL BEAMS TO BE FASTENED TO THE BEAM.  
F. ALL STRUCTORY COLLARS SHALL BE SECURALLY CONNECTED TO SECOND FLOOR FRAMING OR BE PLATFORM FRAMED.

9. **WOOD:**  
A. RAFTERS, JOISTS AND HEADERS SHALL BE NO 2 GRADE, HEM-FIR (NORTH) OR SOUTHERN PINE, OR BETTER, (E = 1,400,000 PSI)  
B. ALL STUD AND JOIST JOIST POSTS SHALL BE A MINIMUM OF NO 2 GRADE, SOUTHERN PINE, OR BETTER, (E = 1,400,000 PSI)  
C. ALL EMPOWERED LUMBER OR LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE (PRESSURE TREATED) (PPT)  
D. DOUBLE ALL FLOOR JOISTS RUNNING PARALLEL UNDER PARTITION WALLS.  
E. ALL HEADERS AND RAFTERS ABOVE SKYLIGHTS AND DORMERS SHALL BE AT LEAST DOUBLED, UNLESS OTHERWISE INDICATED.  
F. ALL FRAMING UNDER HIP-ROOFS, SPAS, TUBS, AND KITCHEN SINKS WHICH ARE LARGER THAN NORMAL, SHALL BE DOUBLED.  
G. ALL DRILLING AND NOTCHING OF FLOOR JOISTS SHALL BE IN ACCORDANCE WITH RCD 902.2. DIAMETERS OF HOLES SHALL NOT EXCEED THE DEPTH OF A MEMBER. HOLES SHALL NOT BE GREATER THAN 2" CLEAR TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER CHOLE, NORTH OR SOUTH IN THE MEMBER.  
H. ALL JOISTS SHALL BE NOTCHED TO FIT OVER THE CHOLE, OR TO FIT IN ACCORDANCE WITH RCD 902.9 AND 902.9.1. PROVIDE MITER, YES OR STOP SHOES WHERE REQUIRED.  
I. ALL JOISTS SHALL BE NOTCHED TO FIT OVER THE CHOLE, OR TO FIT IN ACCORDANCE WITH RCD 902.9 AND 902.9.1. PROVIDE MITER, YES OR STOP SHOES WHERE REQUIRED.  
J. ALL RAFTERS SHALL BE NOTCHED TO FIT OVER THE CHOLE, OR TO FIT IN ACCORDANCE WITH RCD 902.9 AND 902.9.1. PROVIDE MITER, YES OR STOP SHOES WHERE REQUIRED.  
K. ALL RAFTERS IN ROOF OVERHEADS MUST BE SUPPORTED ON 2XPS HINS, RUNNINGS ACROSS THE SHEATHING AND RAFTERS BELOW. RAFTERS SHALL NOT BE SUPPORTED DIRECTLY ON THE SHEATHING ONLY.]

10. **STRUCTURAL WOOD:**  
A. DESIGN VALUES LISTED ARE FOR NORMAL LOAD DURATION UNDER DRY CONDITIONS UNO. MULTIPLY VALUES BY ALL APPLICABLE ADJUSTMENT FACTORS.

11. **STUD WALLS (2X4, 2X6, 4X4) TO BE SOUTHERN PINE, NO 3 GRADE OR BETTER, OR EQUIVALENT.**  
2X4 X 2X6 E = 1,400 KSI  
FC = 1,400 PSI  
FD = 1,200 PSI  
F = 1,000 PSI

12. **POST 1-TIMBER (8X8 AND LARGER) TO BE DOUGLAS FIR, NO. 1 DENSE GRADE OR BETTER, OR EQUIVALENT.**  
FD = 180 PSI  
FC = 175 PSI  
F = 1800 KSI

13. **DIMENSIONAL LUMBER (2X AND 4X) TO BE SOUTHERN PINE, NO. 2 GRADE OR BETTER, OR EQUIVALENT.**  
FD (2X6) 1000 PSI  
FD (2X8) X 1200 PSI  
FD (2X10) X 800 PSI  
FD (2X12) X 1200 PSI  
FC = 1150 PSI  
FC = 960 PSI  
F = 1400 PSI

14. **LAMINATED VENEER LUMBER (LVL) TO BE MCGRUM BY TRUSS JOIST MACMILLAN, OR EQUIVALENT.**  
FY = 200 PSI  
FD = 2600 PSI  
E = 1,900,000 PSI

15. **PARALLEL PLY BEAMS TO BE BY TRUSS JOIST MACMILLAN, OR EQUIVALENT**  
FY = 230 PSI  
FD = 2,600 PSI  
E = 2,000,000 PSI

16. **PARALLEL PLY COLUMNS TO BE BY TRUSS JOIST MACMILLAN, OR EQUIVALENT**  
FY = 2,400 PSI  
FD = 2,600 PSI  
E = 1,900,000 PSI

17. **HORIZONTAL PLUS PLY BEAMS & COLUMNS EXPOSED TO WEATHER CONDITIONS SHALL BE BY TRUSS JOIST MACMILLAN, OR EQUIVALENT.**  
BEAMS: COLUMNS:  
FY = 1150 PSI FY = 1150 PSI  
FD = 1,320 PSI FD = 1,320 PSI  
E = 1,400,000 PSI E = 1,394,000 PSI

18. **WHERE ALUMINUM BIDS #8 USED, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE CBC, AND PROVIDE FOR EXPANSION & CONTRACTION, AND PROPER CLEARANCES FOR J-GUANNELLS & ADJACENT SURFACES.**

19. **FIREPROOFING SHALL BE PROVIDED IN ACCORDANCE WITH RCO 902.2 TO CUT OFF ALL CONCEALED DRAWINGS (BOOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN AND BETWEEN THE TOP STORY AND THE ROOF SPACE. PENETRATIONS THROUGH PENETRATIONS TO BE SEALED WITH AN APPROVED MATERIAL.**

20. **BATTERY GLASS IS REQUIRED FOR ALL GLASS AREAS THAT ARE LESS THAN 18" ABOVE THE FLOOR. IF LOCATED IN A DOOR OR WINDOW, IT SHALL BE INSTALLED IN A MANNER THAT DOES NOT ALLOW GAPS TO OCCUR WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE OR TUB PARTITIONS, OR 5" IN A SINGLE PANEL OPERATOR 4'-0" OR OTHER AREA WITHIN A RANGE OF 30" FROM THE 18" TO 30" AND EXCEPTIONS OF THE RESIDENTIAL CODE OF OHIO.**

21. **MATERIALS ARE REQUIRED AT ALL STARTS WITH 4 RISERS OR MORE SHALL BE MOUNTED AT 36" ABOVE THE TREAS (RISERS).**

22. **A HARD BOARD OF 1/2" IS USED IT SHALL BE SET IN MINNET PORTLAND CEMENT MORTAR OVER 1/2" MIN. CEMENT BOARD ALONG WITH GRAB INSULATION THEREUNDER. GROUT JOINTS SHALL BE 1/2" NOT EXCEEDS A MAXIMUM OF 3/16" AND GROUT SHALL BE BOSTIN, TRUCOLOR, OR MATCHING EQUIVALENT. IF VINYL SHEET GOODS ARE USED, A 1/4" WHITE BRICK UNDERLAYMENT (OR MATCHING EQUIVALENT) SHALL BE USED OVER THE SUB-FLOOR.**

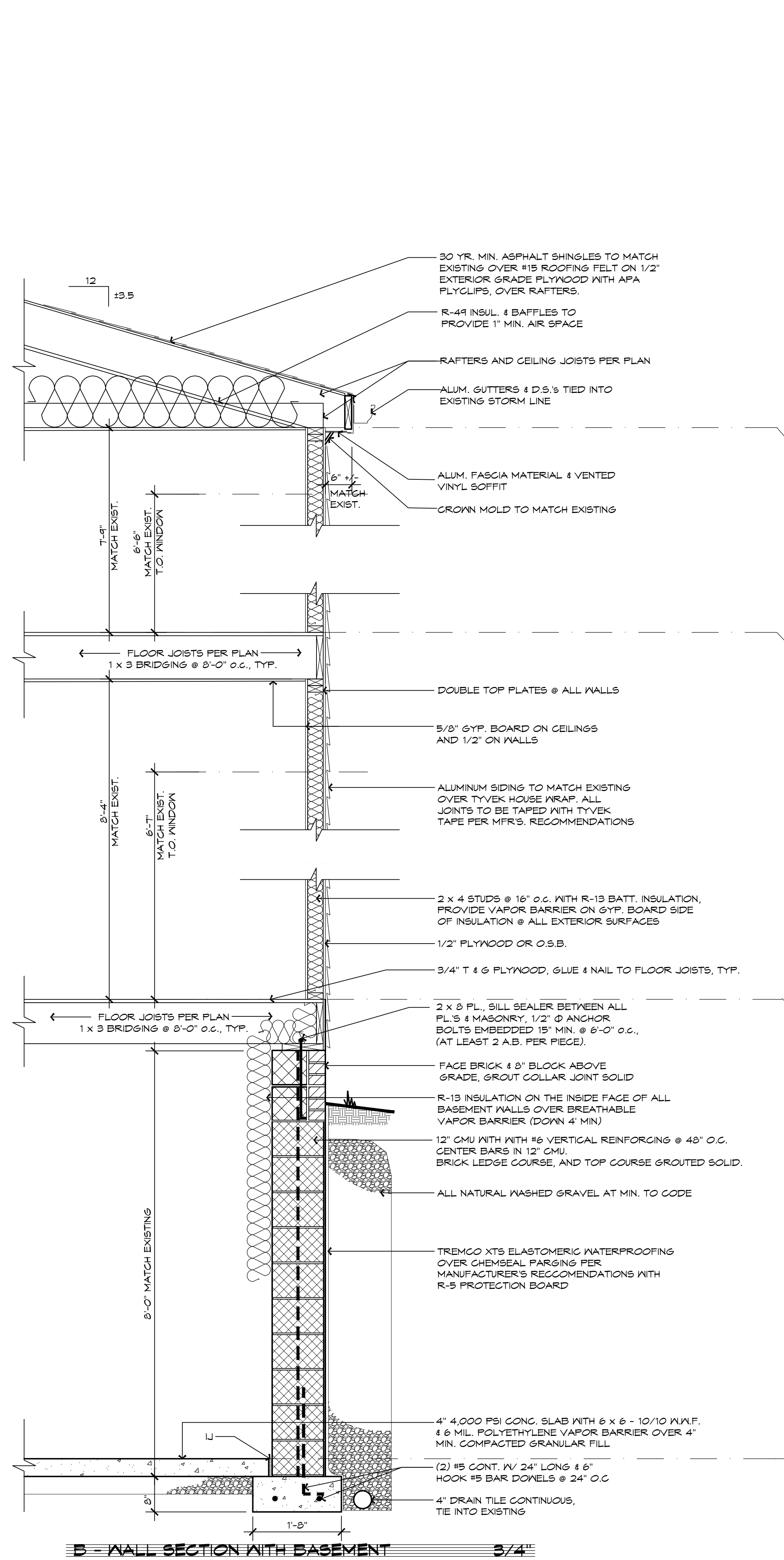
23. **ALL FLOORING SHALL BE INSTALLED PER T.O.A. GUIDELINES AND/OR MFR'S SPECIFICATIONS AND RECOMMENDATIONS.**

24. **SOFFIT AND RIDGE VENTS MUST SUPPLY OPEN SPACE FOR VENTILATION OF NOT LESS THAN 1/350 OF THE TOTAL ATTIC OR SPACE WHICH THEY ARE VENTILATING OR UNDERHOOD TYPED VENTS SHOULD BE ADDED HIGH ON THE REAR ROOF SLOPE. PROVIDE SCREENING OVER OPENINGS WHERE REQUIRED. USE INSULATION BATTLES TO MAINTAIN CLAMP AIR SPACE RIDGE VENTS TO 12" VENT, 15 SOG, N/A PER LINEAR FT. MIN. WITH EXTERNAL BATTLE AND WEATHER FILTER. AIR VENT SINGLE VENT 1 OR EQUAL.**

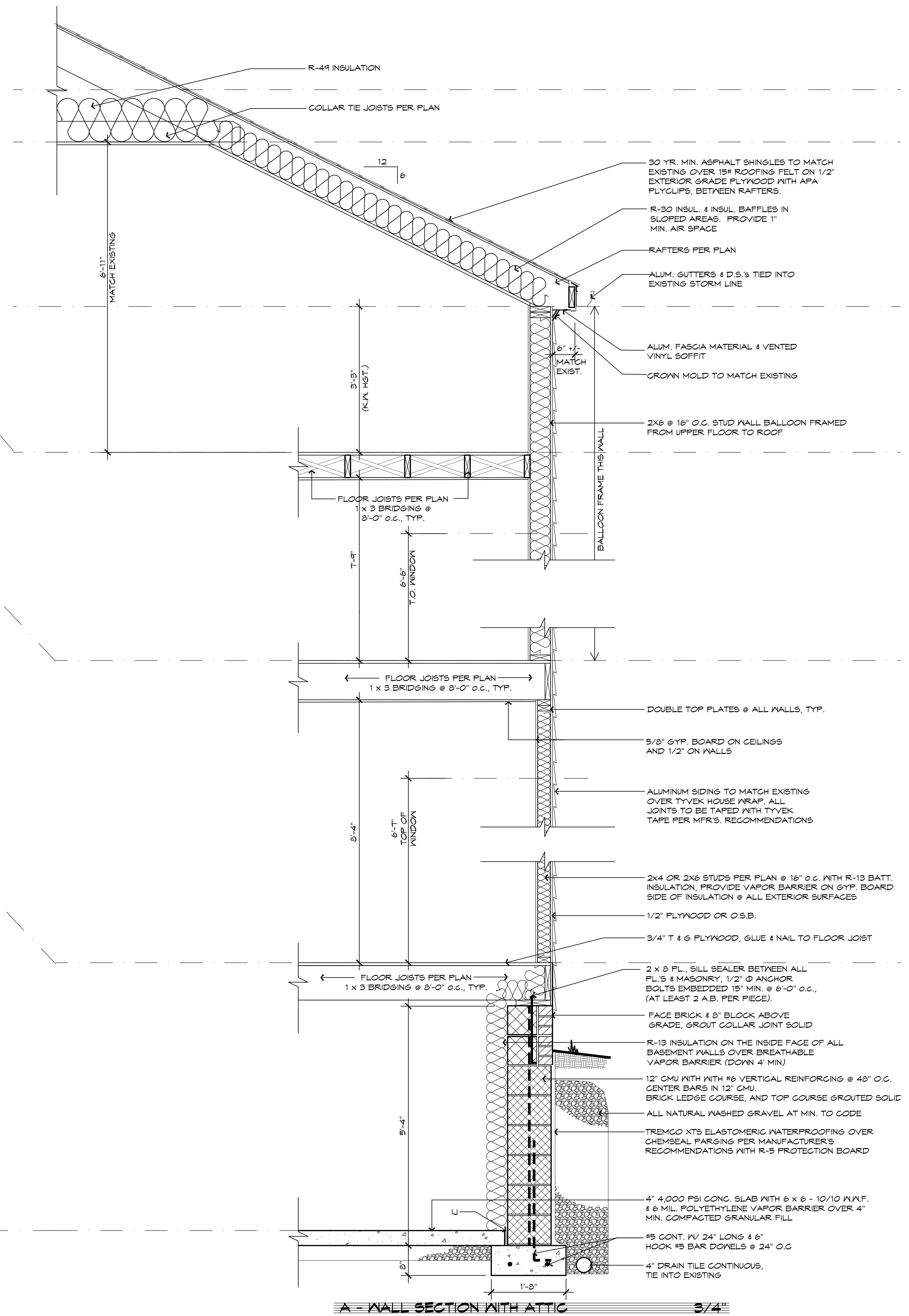
25. **INSULATION AND MOISTURE VAPOR RETARDERS SHALL BE INSTALLED IN ACCORDANCE WITH RCO 314.1 601.3. IN ALL FRAMED WALLS, FLOORS AND ROOF/CELLULOSE CONDENSATION ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-WINTER SIDE OF THE INSULATION.**

26. **ENERGY COMPLIANCE (2018 RCM ALTERNATIVE 112) AIR LEAKAGE TESTING (BLOWER DOOR) VERIFICATION REPORT REQUIRED FOR SLAB & AGH. DUCT LEAKAGE TIGHTNESS TESTING & FLOORBOARD REPORT REQUIRED IF OUTSIDE CONDITIONED SPACE. MECHANICAL VENTILATION REQUIRED**





B - WALL SECTION WITH BASEMENT 3/4"



A - WALL SECTION WITH ATTIC 3/4"

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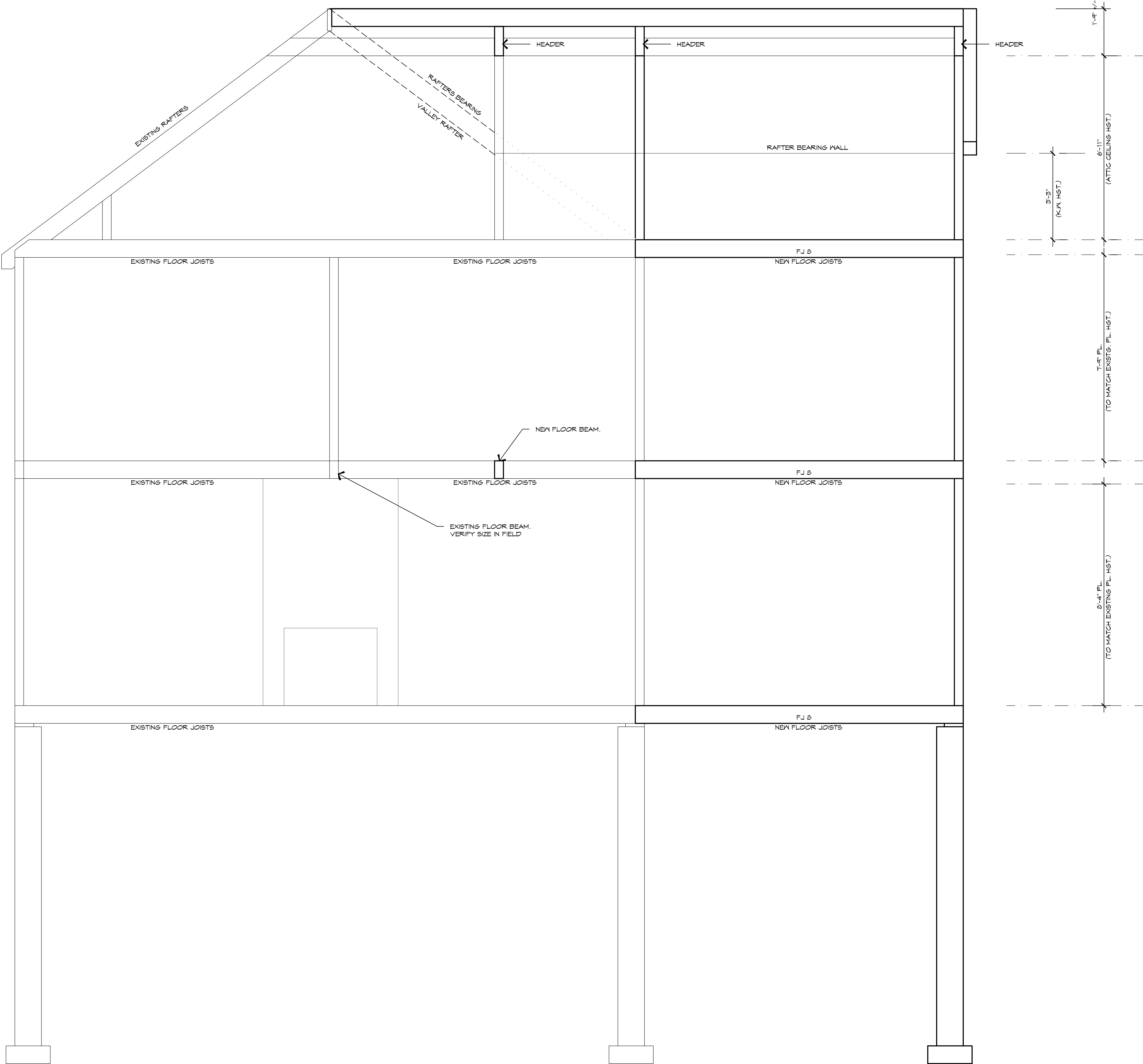
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