

44094

ughby, Stre Se

440) 975-1800

DATE JULY 2024 SCALE 1/4" = 1'-0" JOB NO. 21100

NOTES TO CONTRACTORS

- 1. ALL INTERIOR AND EXTERIOR WALL DIMENSIONS ARE FIGURED AS NOMINAL 4" UNLESS OTHERWISE NOTED ON PLANS
- 2. ALL RESIDENTIAL CONSTRUCTION AND FRAMING DETAILS SHALL BE IN ACCORDANCE WITH: -THE 2019 RESIDENTIAL CODE OF OHIO

-THE 2018 "MOOD FRAME CONSTRUCTION MANUAL" FOR ONE AND TWO FAMILY DWELLINGS BY THE AMERICAN FOREST & PAPER ASSOCIATION. -THE 2001 EDITION OF "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION

CONSTRUCTION

- A. HOUSE MUST BE CONSTRUCTED USING THE PLATFORM FRAMING METHOD. B. COLUMNS ARE TO BE STACKED BASEMENT-TO-FIRST-FLOOR, FIRST FLOOR-TO-SECOND FLOOR, & SECOND FLOOR-TO-ROOF.
- C. ALL COLUMNS TO HAVE SOLID BLOCKING, END GRAIN BEARING, UNDER EACH COLUMN IN FLOOR JOIST SYSTEM BETWEEN TOP & BOTTOM 2X PLATES FOR CONTINUOUS BEARING TO FOUNDATION WALL OR STEEL BELOW.
- D. NAILING OF BUILT-UP-COLUMNS SHALL BE IN ACCORDANCE WITH SECTION 15.3.3 OF THE 2018 "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE AMERICAN
- E. ALL NAILING OF ROOF, FLOOR AND WALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH TABLE 602.3(1) OF THE OHIO RESIDENTIAL CODE.
- 4. T.L. = TYPICAL LINTEL = (2) 2 x 12 MITH 1/2" PLYWOOD PLATE BETWEEN. 6" T.L. = TYPICAL LINTEL = (3) 2 X 12 WITH (2) 1/2" PLYMOOD PLATES BETWEEN.
- 5. THE FOLLOWING RAFTER, CEILING, AND FLOOR JOIST DESIGNATIONS MAY APPEAR ON THE DRAWINGS. IF THEY DO, THE FOLLOWING APPLY:

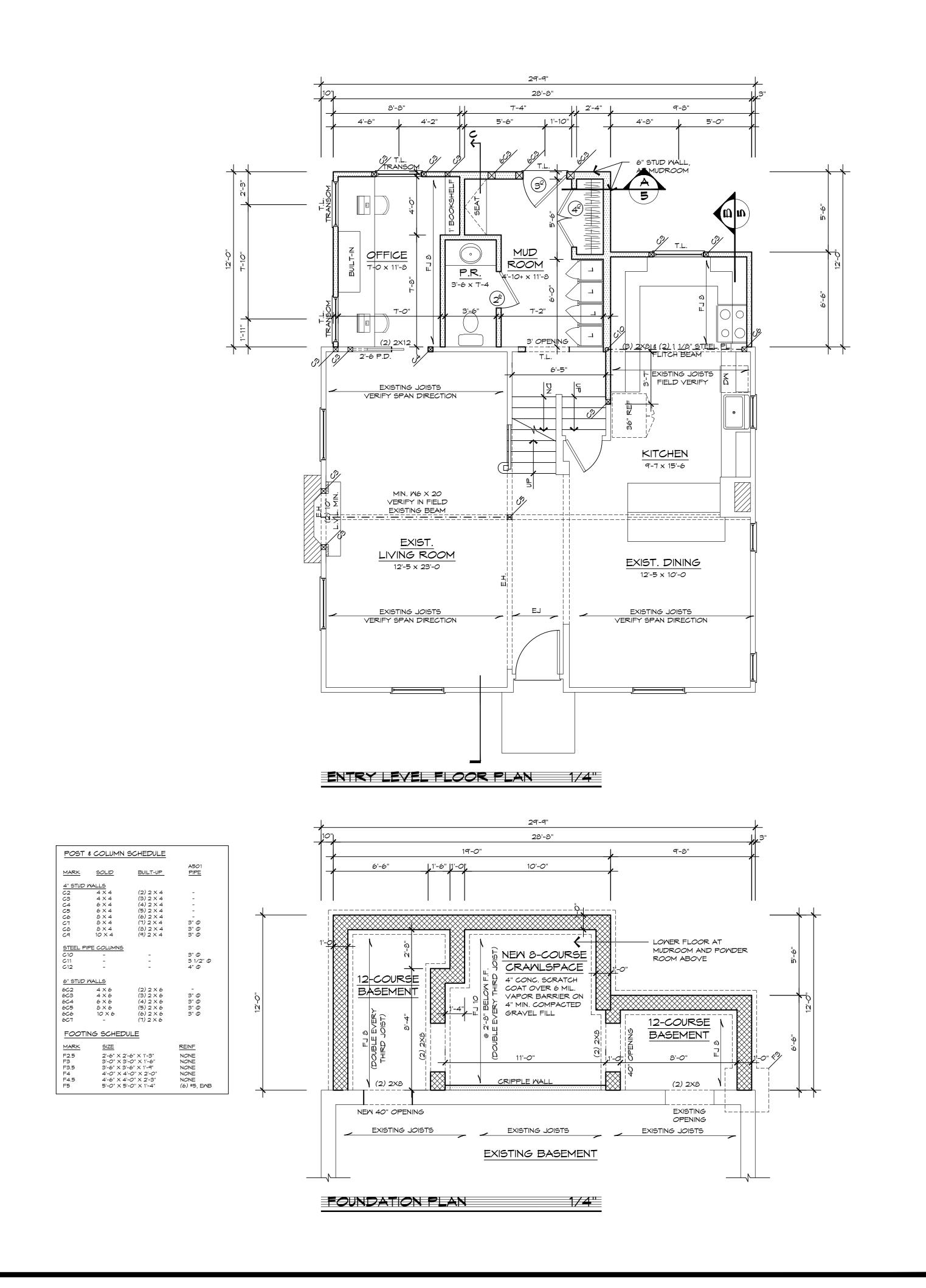
RAFTER DESIGNATION SCHEDULE R6 = 2 x 6 RAFTERS @ 16" O.C. R8 = 2 x 8 RAFTERS @16" O.C. R10 = 2 x 10 RAFTERS @ 16" O.C. R12 = 2 x 12 RAFTERS @ 16" O.C. CEILING JOIST DESIGNATION SCHEDULE CJ6 = 2 x 6 CEILING JOIST @ 16" O.C.

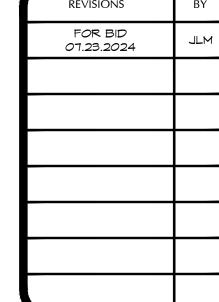
CJ8 = 2 x 8 CEILING JOIST @ 16" O.C. CJ10 = 2 x 10 CEILING JOIST @ 16" O.C. CJ12 = 2 x 12 CEILING JOIST @ 16" O.C.

FLOOR JOIST DESIGNATION SCHEDULE FJ8 = 2 X 8 @ 16" O.C. FJ10 = 2 x 10 @ 16" O.C.

FJ12 = 2 x 12 @ 16" O.C.

- 6. ROOF SLOPES SHOULD BE LAYED OUT IN PLACE AND THE RELATIONSHIP TO EACH OTHERANDTO RELATED WINDOW OR DOOR OPENINGS SHOULD BE VERIFIED PRIOR TO ORDERING TRUSSES, WINDOWS, OR SETTING ANY RAFTERS.
- 7. THE FINISH GRADE AROUND THE HOUSE SHALL SLOPE AWAY FROM THE FOUNDATION AROUND THE ENTIRE PERIMETER IN ACCORDANCE W/ RCO 401.3. IF NECESSARY, SWALES SHOULD BE CREATED TO ALLOW THIS. IF CLAYS OR OTHER IMPERMEABLE SOILS ARE ENCOUNTERED DURING THE EXCAVATION, FOUNDATION WATER PROOFING OR AMOUNT OF DRAIN TILE MAY NEED TO BE INCREASED & THE ARCHITECT SHOULD BE NOTIFIED.
- 8. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS NOTED ON THE DRAWINGS AND SHALL BE FAMILIAR WITH THE RELATIONSHIP BETWEEN THEM, BOTH HORIZONTALLY THROUGH STRINGS; AND VERTICALLY FROM FLOOR TO FLOOR AND FLOOR TO FOUNDATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING ANY CONSTRUCTION.
- 9. AN OVERALL REVIEW OF THE PLANS SHOULD BE CONDUCTED BY THE CONTRACTOR AND ANY UNCLEAR AREAS OR DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- 10. IF NO DISCREPANCIES ARE REPORTED AND THE CONTRACTOR/OWNER DOES NOT EMPLOY THE ARCHITECT FOR CONSTRUCTION OBSERVATION ON THIS PROJECT, THEN THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR MISINTERPRETATIONS OR ERRORS MADE BY THE CONTRACTOR IN THE FIELD.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL WORK IS DONE IN ACCORDANCE WITH LOCAL CODES; WHETHER INDICATED AS SUCH ON THE DRAWINGS OR





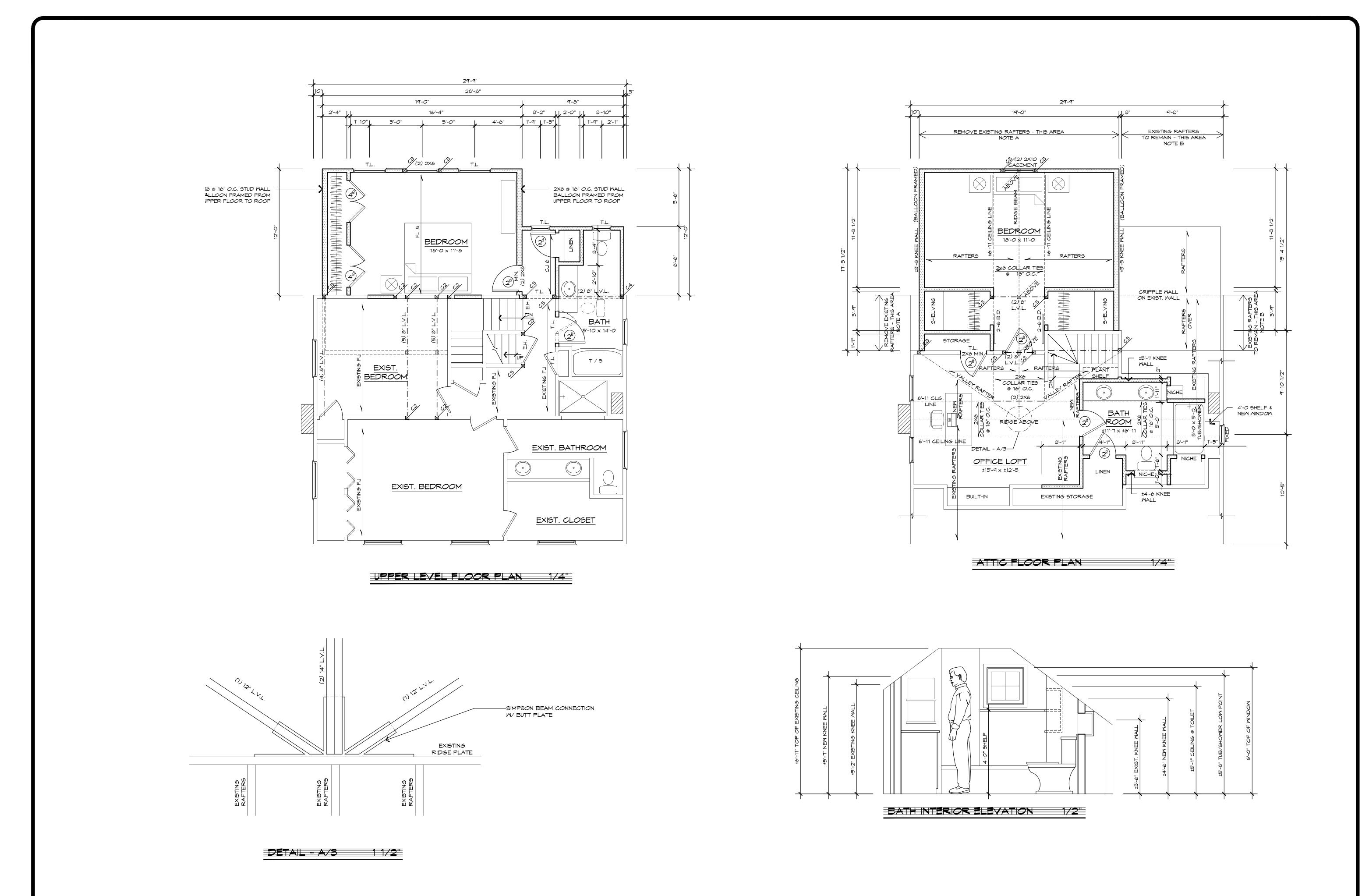
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GENERAL NOTES
  RCO 2019 DESIGN CRITERIA TABLE 301.2.(1)
  WIND DESIGN SPEED = 90 MPH (BASIC)
  = 115 MPH (ULTIMATE)
SEISMIC DESIGN CATEGORY B
  WEATHERING - SEVERE
FROST DEPTH = 42"
TERMITES = MODERATE TO HEAVY
   DECAY = SLIGHT TO MODERATE
  MANUAL J DESIGN CRITERIA
5 DEGREES DESIGN TEMPERATURE
ICE BARRIER UNDERLAYMENT REQUIRED 36" AT EAVES AND VALLEYS
  RESIDENTIAL CODE OF OHIO DESIGN CRITERIA: RCO 301
ROOF LIVE LOADS:
                                                                                                                                              11. FIREBLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH RCO R602.8 TO CUT OFF ALL CONCEALED
       MINIMUM LIVE LOAD = 20 PSF
ROOF SNOW LOAD = 20 PSF
DRIFT SNOW LOAD (VALLIES) = 40 PSF
                                                                                                                                                   DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER
BETWEEN STORIES, AND BETWEEN THE TOP STORY AND THE ROOF SPACE. OPENINGS AROUND
                                                                                                                                                   PENETRATIONS TO BE SEALED WITH AN APPROVED MATERIAL.
        MIDTH OF VALLEY DRIFT = 3" EACH SIDE VALLEY
DRIFT SNOW LOAD (ROOF STEPS) = 48 PSF
WIDTH OF DRIFT AT ROOF STEP = 6'-4" FROM ROOF STEP
                                                                                                                                               12. SAFETY GLAZING IS REQUIRED FOR ALL GLASS AREAS THAT ARE LESS THAN 18" ABOVE THE FLOOR;
                                                                                                                                                   LOCATED IN A DOOR OR WITHIN 24" HORIZONTALLY OF A DOOR; ADJACENT TO STAIRS OR LANDINGS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE OR TUB PLATFORMS; OR IS IN A SINGLE PANEL
 FLOOR LIVE LOADS:
BASIC FLOOR LIVE LOAD = 40 PSF
                                                                                                                                                   GREATER THAN 9.5.F., AND OTHER AREAS IN ACCORDANCE WITH 308.4 ITEMS 1 THRU 8 AND EXCEPTIONS OF THE RESIDENTIAL CODE OF OHIO.
        SLEEPING AREA FLOOR LIVE LOAD = 30 PSF
         DECKS & BALCONY LIVE LOAD = 40 PSF
                                                                                                                                               13. HANDRAILS ARE REQUIRED AT ALL STAIRS WITH 4 RISERS OR MORE AND SHALL BE MOUNTED AT 36"
   FLOOR & ROOF DEAD LOADS:
        1ST FLOOR DEAD LOAD = 12 PSF
2ND FLOOR DEAD LOAD = 12 PSF
                                                                                                                                               14. IF HARD SURFACE TILE IS USED IT SHALL BE SET IN THIN-SET PORTLAND CEMENT MORTAR OVER ',"
                                                                                                                                                   MIN. CEMENT BOARD ALONG WITH CRACK ISOLATION MEMBRANE. GROUT JOINTS SHALL BE 1/8", NOT EXCEEDING A MAXIMUM OF 3/16" AND GROUT SHALL BE "BOSTIK TRUCOLOR" OR MATCHING EQUIVALENT.
         DECKS AND BALCONY DEAD LOAD = 8 PSF
         CEILING DEAD LOAD = 6 PSF
        6:12 ROOF RAFTERS DEAD LOAD = 12 PSF
6:12 CATHEDRAL CEILING ROOF DEAD LOAD = 18 PSF
                                                                                                                                                   IF VINYL SHEET GOODS ARE USED, A 1/4" WHITE BIRCH UNDERLAYMENT (OR MATCHING EQUIVALENT)
                                                                                                                                                   SHALL BE USED OVER THE SUB-FLOOR.
          TRUSSED ROOF DEAD LOAD = 20 PSF
                                                                                                                                                   ALL FLOORING SHALL BE INSTALLED PER T.C.A. GUIDELINES AND/OR MFR'S SPECIFICATIONS AND
       BASIC 3 SECOND GUST = 90 MPH (BASIC)
                                                                                                                                               15. SOFFIT AND RIDGE VENTS MUST SUPPLY OPEN SPACE FOR VENTILATION OF NOT LESS THAN 1/150 OF
        BASIC 3 SECOND GUST = 115 MPH (ULTIMATE)
                                                                                                                                                   THE TOTAL ATTIC OR SPACE WHICH THEY ARE VENTILATING OR MUSHROOM TYPE VENTS SHOULD BE ADDED HIGH ON THE REAR ROOF SLOPE, PROVIDE SCREENING OVER OPENINGS WHERE REQUIRED. USE INSULATION BAFFLES TO MAINTAIN CLEAR AIR SPACE, RIDGE VENTS TO BE 12" WIDTH, 18 SQ. IN. NFA PER LINEAR FT. MIN.,
       55 (.2 SEC SPECTRAL RESPONSE ACCELERATION) = 0.14

51 (1 SEC SPECTRAL RESPONSE ACCELERATION) = 0.053
                                                                                                                                                   MITH EXTERNAL BAFFLE AND MEATHER FILTER. AIR VENT SHINGLE VENT II OR EQUAL
        SEISMIC DESIGN CATEGORY B
                                                                                                                                                16. INSULATION AND MOISTURE VAPOR RETARDERS SHALL BE INSTALLED IN ACCORDANCE WITH RCO 316 & 601.3. IN
                                                                                                                                                   ALL FRAMED WALLS, FLOORS AND ROOF/CEILINGS COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION.
   TYPICAL LINTEL:

TYPICAL WINDOW AND DOOR LINTELS NOTED (T.L.) SHALL BE (2) 2 X 12 WITH A 1/2" PLYWOOD PLATE BETWEEN.
   TYPICAL MINDOW AND DOOR LINTELS NOTED (6" T.L.) SHALL BE (3) 2 \times 12 MITH (2) 1/2" PLYMOOD PLATES BETWEEN. 1
                                                                                                                                                   ENERGY COMPLIANCE (2019 RCO OHBA ALTERNATIVE 1112.) AIR LEAKAGE TESTING (BLOWER DOOR) & VERIFICATION
                                                                                                                                                   REPORT REQUIRED FOR LAS THAN 5 ACH, DUCT LEAKAGE (TIGHTNESS) TESTING & VERIFICATION REPORT REQUIRED IF OUTSIDE CONDITIONED SPACE, MECHANICAL VENTILATION REQUIRED PER RCO 303.4.
 FOUNDATIONS:

A. DESIGN BEARING PRESSURE HAS BEEN ASSUMED TO BE 2,000 PSF. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR MUST VERIFY SOIL BEARING PRESSURE, AND THAT SETTLEMENTS AT THIS PRESSURE WILL BE
                                                                                                                                            13. THE ENTIRE STRUCTURE TO BE SEALED IN ACCORDANCE WITH THE RCO ENERGY AND ICC PRESCRIPTIVE
MITHIN ACCEPTABLE LIMITS.

B. ALL BACKFILLED AREAS MUST BE PREPARED AND INSTALLED TO PROVIDE THE BEARING PRESSURE ASSUMED BELOW ALL CONCRETE FOOTINGS & SLABS ON GRADE.

C. EXTERIOR FOOTINGS MUST HAVE A MINIMUM OF 3'-6' COVER FOR FROST PROTECTION.

D. ALL CONCRETE FOOTINGS TO HAVE (2) #5'S CONT. AND #5 DOWELS 4'-3" LONG @ 32" O.C FROM FOOTING INTO BLOCK CORES, GROUT CORES SOLID AT EACH DOWEL.
                                                                                                                                             19. THE EXTERIOR ENVELOPE OF THE STRUCTURE SHALL BE PROTECTED BY FLASHING IN ACCORDANCE WITH RCO
                                                                                                                                                  RT03.6. WHERE ALUM, TRIM IS USED IT SHALL BE INSTALLED IN A MANNER THAT DOES NOT ALLOM GAPS TO OCCUR
WHICH WOULD ALLOM THE ENTRY OF WATER, ICE OR INSECTS. FOLLOM THE RECOMMENDATIONS OF THE "ALCOA
                                                                                                                                                   ALUM. SOFFIT INSTALLATION PLANNER".
ALLM, SOFFILING IALLATION PLANNER".

E. ALL HIGHER FOOTINGS MUST BE STEPPED DOWN TO BOTTOM OF BASEMENT FOOTING (S.F.T.B.), OR TO LOWER

ADJACENT FOOTINGS, TO ENSURE EVEN SETTLEMENT OF FOUNDATIONS. STEP FOOTINGS AT 2 HORIZONTAL

UNITS TO 1 VERTICAL UNIT PER STEP.

ALLM, SOFFILING IALLATION PLANNER".

20. BASEMENT AND CRAWL SPACE WALLS SHALL HAVE FOAM INSULATION IN THE CORES TO ACHIEVE A MASS WALL

UNITS TO 1 VERTICAL UNIT PER STEP.
                                                                                                                                                   INSULATION VALUE OF R10 (OR U-FACTOR OF 0.082) OR MUST HAVE R13 INSULATION, HELD IN PLACE ON THE INSIDE
 F. IF ANY INDICATION OF UNEVEN BEARING CONDITIONS IS DETECTED, (2) #5 CONT. REBAR SHALL BE INSTALLED IN THE BOTTOM OF ALL FOOTINGS. (3" CLEAR FROM BASE).
                                                                                                                                                   FACE OF THE WALL TO 24" MIN. BELOW EXTERIOR GRADE. FINISHED BASEMENTS SHALL HAVE R13 INSULATION FULL
                                                                                                                                                   HEIGHT ON THE INSIDE FACE OF WALL WITH A VAPOR BARRIER.
 G. BACKFILLED AREAS BELOW SLAB ON GRADE (GARAGE & PORCHES).
         1. FOUNDATION WALLS, MITHIN THE SLAB-ON-GRADE GARAGE AREAS, SHALL BE BACKFILLED WITH #57 SIZE OR #8 SIZE GRAYEL OR CRUSHED STONE.
                                                                                                                                             21. HEATING AND COOLING EQUIPMENT AND WATER HEATERS SHALL BE SIZED IN ACCORDANCE WITH SECTION M1401.3
                                                                                                                                                             OF THE RCO AND SECTION 403 OF THE INTERNATIONAL ENERGY CONSERVATION CODE.
        2. THE BACKFILL SHALL BE PLACED IN LIFT'S NOT TO EXCEED 12" THICKNESS.
3. EACH LIFT OF BACKFILL SHALL BE COMPACTED WITH NOT MORE THAN TWO PASSES OF A VIBRATORY PLATE COMPACTER.
                                                                                                                                              22. ALL KITCHEN RANGES SHALL BE EQUIPPED W/ EXHAUST FANS THAT PROVIDE 100 CFM INTERMITTENT OR 25 CFM
                                                                                                                                                  CONT. VENTED TO OUTSIDE. ALL BATHROOMS TO BE EQUIPPED WITH EXHAUST FANS THAT PROVIDE 50 CFM INTERMITTENT OR 20 CFM CONT. VENTED TO OUTSIDE PER 2019 R.C.O. 303.3, (DO NOT VENT TO ATTIC).
 CONCRETE:

A. CONCRETE TO HAVE A MINIMUM CEMENT CONTENT OF 564 #/CY, A MAX. WATER TO CEMENT RATIO OF 0.49,
AND OBTAIN A MIN. STRENGTH OF 4.000 PSI @ 20 DAYS, UNLESS OTHERWISE NOTED.

B. USE 6% +/- 1% ENTRAINED AIR FOR ALL CONCRETE EXPOSED TO MEATHER.

23. ALL SMOKE DETECTORS NOTED AS 5 ARE TO BE HARD WIRED WITH BATTERY BACK-UP, SMOKE DETECTORS
SHALL BE LOCATED IN ALL SLEEPING ROOMS AND AS NOTED ON DRAWINGS AND/OR PER 2019 R.C.O. SECTION 314,
A SMOKE ALARM UTILIZED PHOTOELECTRIC & LONIZATION TECHNOLOGY FOR MAIL BE LOCATED OUTSIDE EACH
  B. USE 6% 4/- 1% ENTRAINED AIR FOR ALL CONCRETE EXPOSED TO MEATHER.
C. ALL GARAGE SLABS SHALL BE AIR ENTRAINED.
D. ALL CONCRETE SLABS & TERRACE/PATIO SLABS TO HAVE SAWCUT CONTROL JOINTS AT A MAX OF 10'-0" ON
                                                                                                                                                     SLEEPING AREA. (AT LEAST ONE ON EACH FLOOR). THE ALARM CIRCUIT FOR MULTIPLE SMOKE DETECTORS SHALL
                                                                                                                                                BE INTERLOCKED TOGETHER.
          CENTER EACH WAY, WITHIN 6 HOURS OF POUR.
                                                                                                                                             24. CARBON MONOXIDE ALARMS C SHALL BE INSTALLED AND HARDWIRED OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF ALL SLEEPING ROOMS. (2019 R.C.O SECTION 315). CARBON MONOXIDE DETECTORS MAY BE INCLUDED
 E. ALL STEEL BEAMS MUST BEAR A MINIMUM OF 4" ON CONCRETE WALLS.

    MASONRY:
    A. CONCRETE MASONRY UNITS PER ASTM C90, GRADE N: BRICK PER ASTM C216, GRADE SM, TYPE FBS: MORTAR PER ASTM C270, TYPE S: PROPORTION SPECIFICATIONS, GROUT PER ASTM C476, 2000 PSI STRENGTH.
    B. BACK FILLING AGAINST BASEMENT WALLS SHALL NOT BE DONE PRIOR TO INSTALLATION OF FIRST FLOOR

                                                                                                                                                    IN COMBINATION UNIT WITH THE SMOKE DETECTORS. ALL ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034.
                                                                                                                                            25. ELECTRICAL:

A. LOCATIONS OF CONVENIENCE OUTLETS AND LIGHT FIXTURES SHALL BE LOCATED AS REQUIRED IN SECTION
                                                                                                                                                          210.52 AND 210.70 OF THE N.E.C. PROVIDE GFI RECEPTACLES IN ACCORDANCE WITH 210.8 OF THE N.E.C. ALL 120 VOLT, SINGLE PHASE, 15-20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN HABITABLE AREAS SHALL
         JOISTS BRIDGING AND SHEATHING.
  C. ALL STEEL BEAMS BEARING ON MASONRY WALLS ARE TO BE ANCHORED TO WALL WITH BEARING PLATES WITH
          (2) 1/2" CIRCULAR NELSON STUDS, 5" LONG, WHERE INDICATED ON PLAN.
                                                                                                                                                          BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH N.E.C. 210.12.
  D. ALL STEEL BEAMS MUST BEAR AT LEAST 8" ON MASONRY WALLS.

E. MASONRY WALLS MUST BE GROUTED SOLID A MINIMUM OF 24" WIDE (3 CORES) X 16" HIGH (2) COURSES
                                                                                                                                                          ALL 20 AMP, 120 VOLT RECEPTACLES IN HABITABLE AREAS TO BE TAMPER RESISTANT IN ACCORDANCE WITH
                                                                                                                                                        N.E.C. 406.11.

WHERE WHIRLPOOLS, SPAS, OR TUBS ARE INSTALLED, ALL WIRING AND INSTALLATION OF LIGHT FIXTURES,
F. CONTRACTOR MUST COVER TOP OF MASONRY WALLS AT END OF EACH DAY UNTIL COMPLETELY SEALED TO PROTECT THEM FROM PRECIPITATION AND EFFLORESCENCE.
                                                                                                                                                         SMITCHES, RECEPTACLES AND OTHER ELECTRICAL DEVICES SHALL BE INSTALLED ACCORDING TO N.E.C
                                                                                                                                              26. ALL EXTERIOR DOORS TO BE INSULATED STEEL WITH DEAD BOLTS UNLESS OTHERWISE NOTED.
 STEEL:

A. ROLLED SHAPES, PLATES AND BARS SHALL BE ASTM A36, Fy = 36 KSI
                                                                                                                                               27. PROVIDE AN ATTIC ACCESS PANEL (MIN. SIZE 22" X 30") IN AN AREA WITH 30" CLEARANCE ABOVE WITH A LIGHT IN
    B. WIDE FLANGE SHAPES SHALL BE ASTM A992. Fu = 50 SKI
       ALL PIPE COLUMNS SHALL BE ASTM A53, FY = 36 KSI
ALL TUBE BEAMS AND COLMNS SHALL BE ASTM A500, GRADE B, FY = 46 KSI
                                                                                                                                                   INSULATION. THE OWNER SHALL BE OFFERED AN "ATTIC TENT" ATTIC ACCESS INSULATOR COVER. ACCESS MUST BE
        ALL FLOOR JOISTS BEARING ON STEEL BEAMS TO BE FASTENED TO THE BEAM
                                                                                                                                                   PROVIDED TO ALL ATTIC SPACES PER R.C.O. R807.
        ALL TWO STORY COLUMNS SHALL BE SECURELY CONNECTED TO SECOND FLOOR FRAMING OR BE PLATFORM
                                                                                                                                              28. ALL ROOFS TO HAVE GUTTERS AND DOWNSPOUTS AS REQUIRED FOR PROPER DISCHARGE INTO STORM SEMERS
                                                                                                                                                   . ALL ROOFS TO HAVE SUTTERS AND DOWNSPOUTS AS REQUIRED FOR FRODER DISCHARGE INTO STORM SEMERS, OR ONTO SPLASH BLOCKS AS REQUIRED BY THE CITY. THE OWNER SHALL BE OFFERED THE OPTION OF INCLUDING "MASTER SHIELD" GUTTER PROTECTION, ALONG WITH THEIR COMPLETE WARRANTY.
 <u>MOOD:</u>
A. ALL RAFTERS, JOISTS AND HEADERS SHALL BE NO. 2 GRADE, HEM-FIR (NORTH) OR SOUTHERN PINE, OR
                                                                                                                                             29. PROVIDE BITUTHENE PROTECTION (ICE AND WATER GUARD) UP 36" ON ALL EAVES, AND IN VALLEYS, SADDLES,
SLOPES LESS THAN 4:12, AND 36" MIN. UP SIDE WALLS ADJACENT TO ROOF SURFACES OR OTHER AREAS WHERE
B. ALL WALL STUDS AND BUILT-UP POSTS SHALL BE A MINIMUM OF NO 2 GRADE, SOUTHERN PINE, OR BETTER
(E = 1,400,000 PSI).

C. ALL EXPOSED LUMBER OR LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE
                                                                                                                                                   POSSIBLE SNOW ACCUMULATION OR ICE BACK-UP MAY OCCUR.
                                                                                                                                             30. A FLOOR DRAIN SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL FURNACES AND WATER HEATERS, ALL FURNACES SHALL BE LOCATED IN THE BASEMENT, AVOID RUNNING DUCT WORK IN ATTIC IF AT ALL POSSIBLE. IF
PRESSURE TREATED (PPT)

D. ALL WOOD EXCEPT FOR EXTERIOR TREATED LUMBER, SHALL BE A MINIMUM OF \delta" ABOVE EXTERIOR GRADE
                                                                                                                                                   ABSOLUTELY NECESSARY TO RUN DUCT WORK IN ATTIC, IT MUST BE SEALED TIGHTLY AND BE COMPLETELY
    E. DOUBLE ALL FLOOR JOISTS RUNNING PARALLEL UNDER PARTITION WALLS ABOVE
      ALL HEADERS AND RAFTERS AROUND SKYLIGHTS AND DORMERS SHALL BE AT LEAST DOUBLED, UNLESS NOTED OTHERWISE.
                                                                                                                                             31. ALL WINDOWS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE WINDOW MANUFACTURER'S GUIDELINES
                                                                                                                                                   COORDINATE INSTALLATION WITH THE APPLICATION OF WEATHER WRAP. USE TAPE AND BACKER ROD PROVIDED BY THE MANUFACTURER.
 G. ALL FRAMING UNDER WHIRLPOOLS, SPAS, TUBS, AND KITCHEN ISLANDS WHICH ARE LARGER THAN NORMAL,
 SHALL BE DOUBLED FULL LENGTH.

H. ALL DRILLING AND NOTCHING OF FLOOR JOISTS SHALL BE IN ACCORDANCE WITH RCO 502.8. DIAMETERS OF
                                                                                                                                             32. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE WINDOW LOCATED NO MORE
       HOLES SHALL NOT EXCEED ONE-THIRD THE DEPTH OF A MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" CLEAR TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE OR NOTCH IN THE MEMBER. ALL DRILLING OR NOTCHING OF WALL STUDS OR TOP PLATES SHALL BE IN ACCORDANCE WITH RCO 602.6 AND 602.6.1. PROVIDE METAL TIES OR STUD SHOES WHERE REQUIRED.
                                                                                                                                                   THAN 44" ABOVE THE FINISHED FLOOR. THE OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 S.F. (5.0 FOR
                                                                                                                                                  GRADE FLOOR OPENINGS). THE OPENING SHALL HAVE A MINIMUM OPENING HEIGHT OF 24" AND OPENING MIDTH OF 20". IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WINDOWS USED MEET THESE REQUIREMENTS. (WHERE PERMITTED BY THE LOCAL BUILDING DEPARTMENT, A WINDOW WITH AN EASILY REMOVABLE SASH THAT
     ALL RAFTERS SHALL BE FRAMED TO A RIDGE BOARD. AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. AT ALL VALLEYS & HIPS THERE SHALL BE A VALLEY OR HIP RAFTER NOT LESS THAN 2" NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER
                                                                                                                                                   DOES NOT REQUIRE SPECIAL KNOWLEDGE MAY CONTRIBUTE TO THE OPN'G AREA.)
 K. ALL RAFTERS IN ROOF OVERBUILDS MUST BE SUPPORTED ON A 2X8 MIN. RUNNING) ACCROSS THE SHEATHING STATES BELOW. (RAFTERS SHALL NOT BE SUPPORTED DIRECTLY ON THE SHEATHING ONLY.)

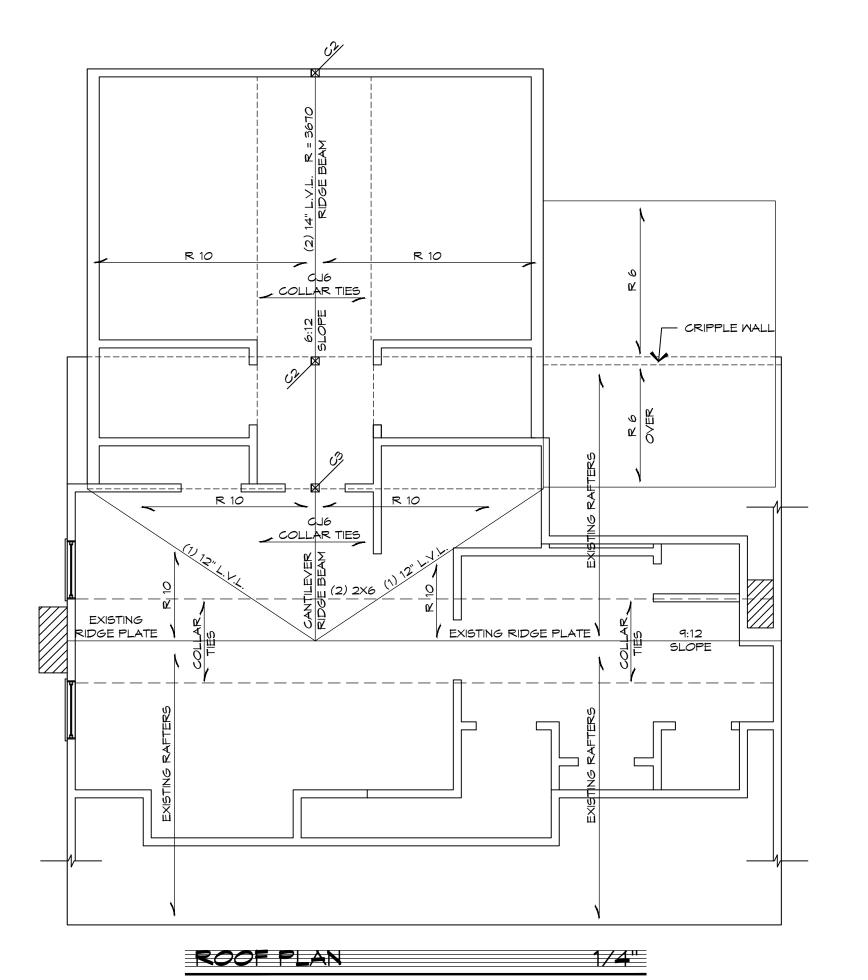
33. TYVEK HOUSE WRAP TO BE INSTALLED ON ALL VERTICAL EXTERIOR SURFACES, (LIVING SPACES OR NOT). ALL HOUSE WRAP TO BE "TYVEK" BRAND RAFTED FOR SPECIFIC USE (NO SUBSTITUTE). ALL JOINTS TO BE TAPED IN
                                                                                                                                                  HOUSE WRAP TO BE "TYVEK" BRAND RATED FOR SPECIFIC USE (NO SUBSTITUTE). ALL JOINTS TO BE TAPED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND PENETRATIONS SEALED. ASSURE THE UPPER
O. STRUCTURAL WOOD

A. DESIGN VALUES LISTED ARE FOR NORMAL LOAD DURATION UNDER DRY CONDITIONS UNO.
                                                                                                                                                    LAYERS OF WRAP ALWAYS LAP OVER LOWER LAYERS, AND THAT WRAP OVER WINDOWS LAPS OVER THE WINDOW
        MULTIPLY VALUES BY ALL APPLICABLE ADJUSTMENT FACTORS.
                                                                                                                                             34. WHERE ALUMINUM SIDING IS USED, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE OBC, AND PROVIDE FOR
B. STUD WALLS (2X4, 2X6, 4X6) TO BE SOUTHERN PINE, NO. 2 GRADE OR BETTER, OR EQUIVALENT.
       2X4: 2X6:
Fc = 1,400 PSI Fc = 1.350 PSI
                                                                   2X4 $ 2X6 E = 1,400 KSI
       Fb = 1,100 PSI Fb = 1,000 PSI
C. POST & TIMBER (5X5 AND LARGER) TO BE DOUGLAS FIR, NO. 1 DENSE GRADE OR BETTER, OR EQUIVALENT.
     Fy = 165 PSI Fb = 1550 PSI
E = 1600 KSI Fc = 975 KSI
 D. DIMENSIONAL LUMBER (2X AND 4X) TO BE SOUTHERN PINE, NO. 2 GRADE OR BETTER, OR EQUIVALENT.
       Fb = (2X10) = 800 PSI E = 1,400 KSI
E. LAMINATED VENEER LUMBER (L.V.L.) TO BE MICROLAM BY TRUS JOIST MACMILLAN, OR EQUIVALENT.
FV = 285 PSI
       Fb = 2600 PSI
       E = 1,900,000 PSI
 F. PARALLAM PSL BEAMS TO BE BY TRUSS JOIST MACMILLAN, OR EQUIVALENT
       Fy = 285 PSI
       E = 2,000,000 PSI
  G. PARALLAM PSL COLUMNS TO BE BY TRUSS JOIST MACMILLAN, OR EQUVALENT
        Fc = 2,500 PSI
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H. PARALLAM PLUS PSL BEAMS & COLUMNS EXPOSED TO MEATHER CONDITIONS SHALL BE BY TRUS JOIST

MACMILLIAN, OR EQUIVALENT

Fb = 1.827 PSI



ROOF DESIGN LOADS:	
DRIFT SNOW LOAD @ ROOF STEP:	47 PSF
WIDTH OF DRIFT = 6'-0" (FROM ROOFSTEP)	
DRIFT SNOW LOAD ON VALLIES TO:	34 PSF
WIDTH OF DRIFT = 3'-0" (EACH SIDE OF VALLEY)	
BASIC ROOF DESIGN SNOW LOAD =	20 PSF
MINIMUM ROOF DESIGN LIVE LOAD =	20 PSF
RAFTER DESIGN DEAD LOAD (CATHEDRAL) =	16 PSF
BASIC RAFTER DEAD LOAD =	12 PSF
CEILING LIVE LOAD (CONSTRUCTION) =	10 PSF
BASIC CEILING JOIST LIVE LOAD =	O PSF
CEILING JOIST DEAD LOAD =	6 PSF



REVISIONS

FOR BID 07.23.2024

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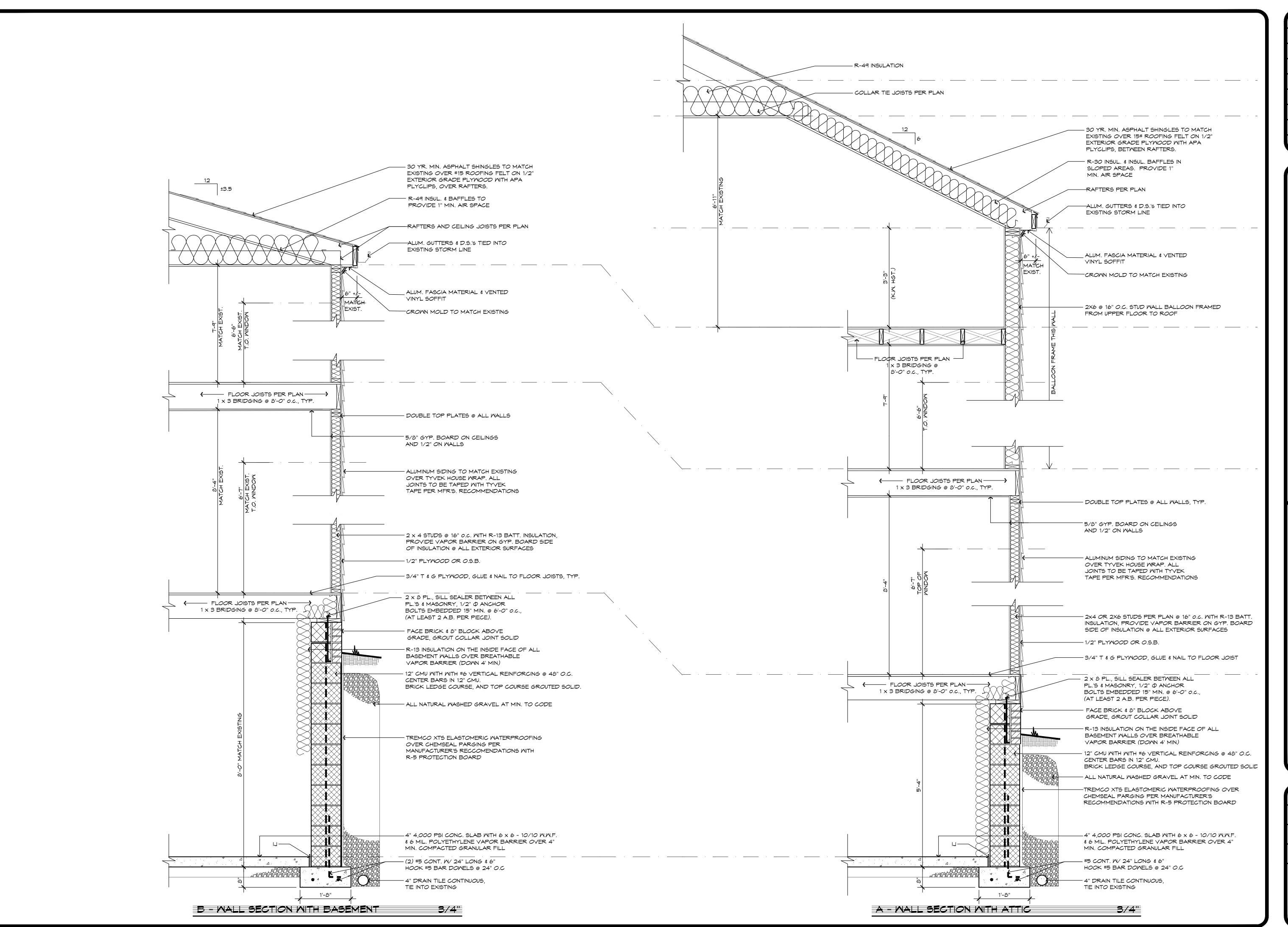
80

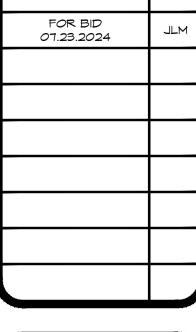
7 ∞ $\overset{\checkmark}{\smile}$

800

40)

	DRAWN XX	
	DATE JULY 2024	
1,	SCALE /4" = 1'-0"	
	JOB NO. 211 <i>00</i>	
_	SHEET	
OF 6		SHEETS



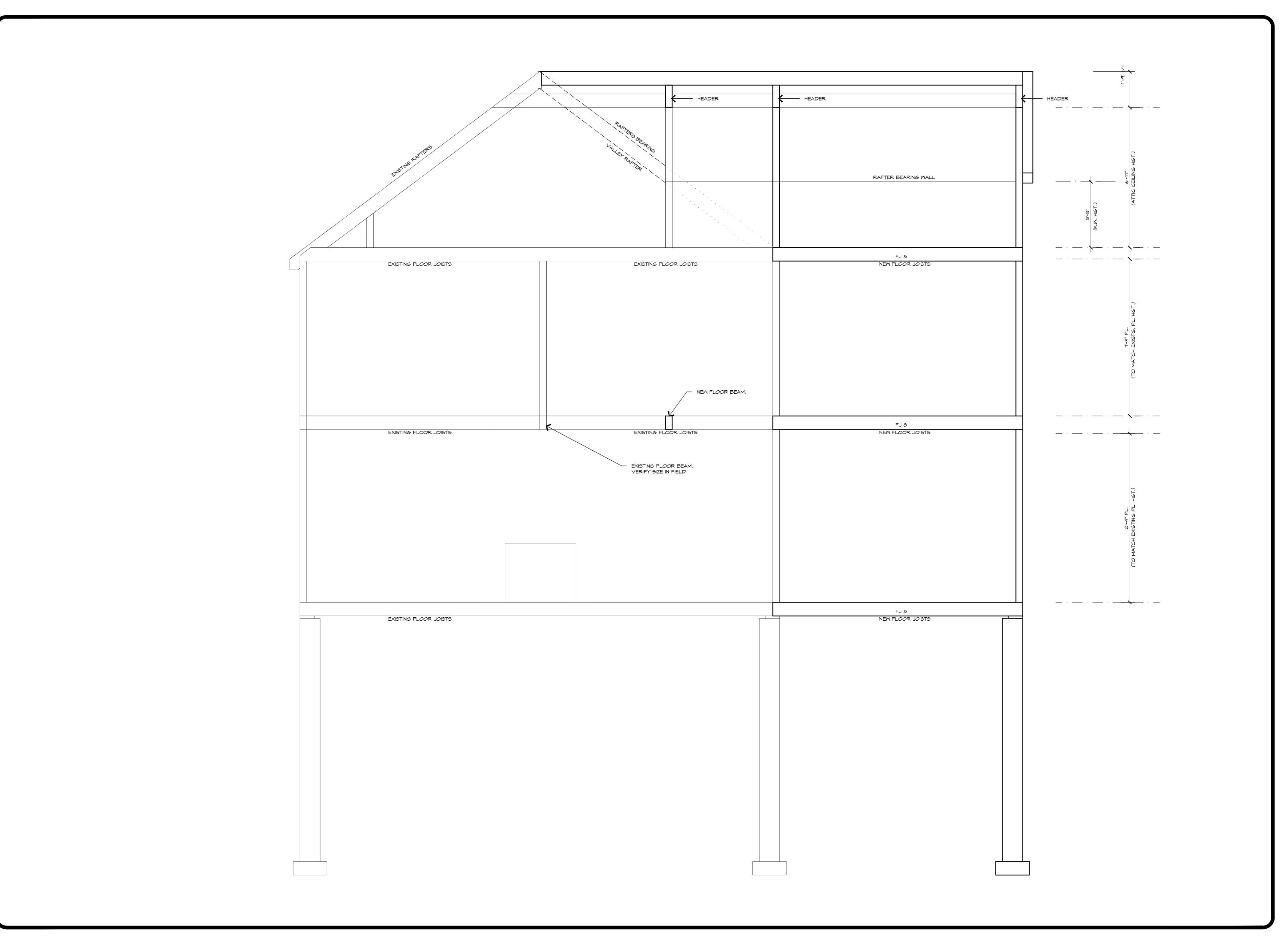


Street	RESIDENCE	JOSEPH L. MYER	RS, ARC
	JSLEY AVENUE	38030 Second Street	Willoughby,
	RIVER, OHIO	(440) 975-1800	,

JULY 2024

1/4" = 1'-0"

21100





JOSEPH L. MY 38030 Second Street (440) 975-1800

REVISIONS

FOR BID 07.23.2024

	MULLIGAN	21154 ENDS	ROCKY R	SEC	
(DRAW XX	N		
	DATE JULY 2024				
		SCALE 1/4" = 1			
	JOB NO. 211 <i>00</i>				