

WATSON RESIDENCE

General Notes

1. All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
2. All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
3. All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
4. The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
5. The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.
6. The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
7. Hurst Design Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
8. Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
9. The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

Structural Notes

Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for drywall. Inner trimmer/jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).

All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.

Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Ceiling joists and flat roof joists shall be cross bridged at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanently.

Rafters shall be doubled at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.

All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.

Connections shall be in accordance with the applicable building code as a minimum.

MATERIAL DESIGN STRESSES (Minimum)

Framing Member	Fb(psi)	Fv(psi)	Fc(psi)	E(psi)
SAVN LUMBER				
Wood beams & headers	1000	130	1000	1,400,000
Wood joists	1000	130	1000	1,400,000
Wood studs/misc. framing	875	110	1000	1,400,000
MicroIam (LVL)	3100	285	2510	2,100,000

See Drawings for special conditions and/or min. structural requirements
Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



INTERIOR PRESENTATION VIEWS

Not to Scale

Common Abbreviations

R/R = Remove & Replace
EX. = Existing
TYP. = Typical
U.N.O. = Unless noted otherwise

V.I.F. = Verify in field
R.O. = Rough opening
F.F. = Finished floor
L.B.P. = Load bearing point

Design Loads

1. Floor Live Loads:
First Floor: 40 psf
Second Floor: 30 psf
Floor Dead loads: 10 psf

2. Roof Live Loads (snow): 30 psf
Roof Ctg Dead loads: 12 psf
Total Roof Loads: 42 psf

Square Footage

Front Porch Addition = 45 sq. ft.
New Walkway = 224 sq. ft.

First Floor Remodel = 618 sq. ft.
Second Floor Remodel = 48 sq. ft.

Project Description

The Project Scope includes the update of the front facade with new front porch, cultured stone cladding, and shutters. Create new paver walkway from porch to driveway. Repair (2) side chimneys as needed. Partial update of 2nd and 1st floor electrical and lighting. Living Room fireplace and built-ins; Wainscoting in Entry, Hall, Study, and Stairs; Stair update. Full Remodel and reconfiguration of Bath #2 on 2nd floor.

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Client Signature:

Date:

P.C. Signature:

Date:

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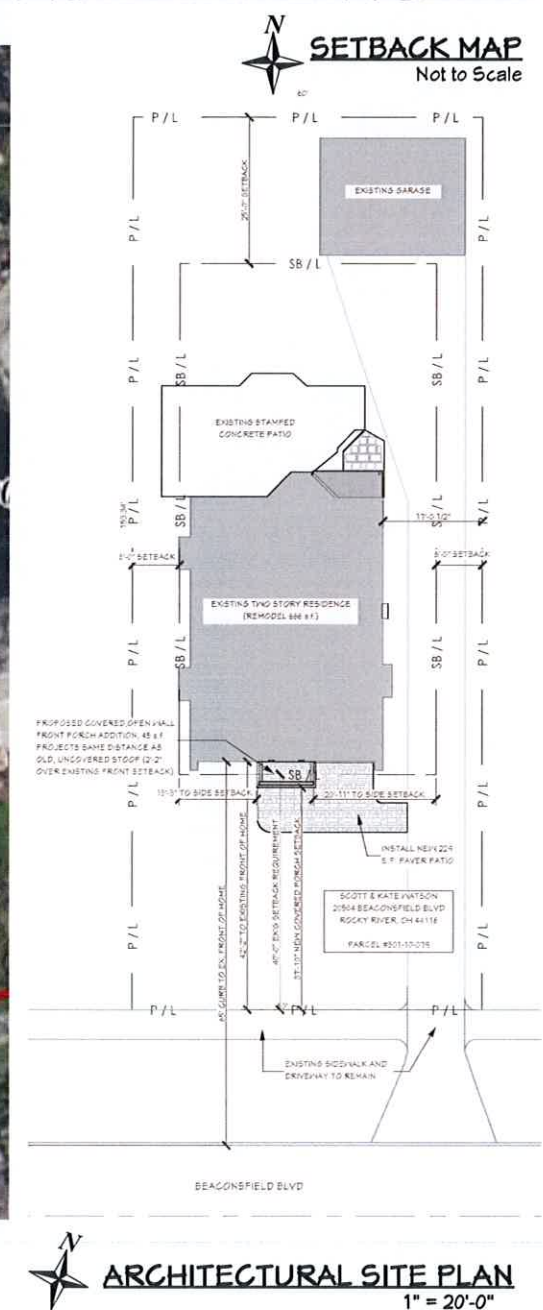
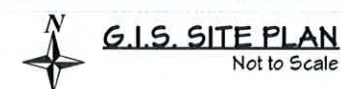
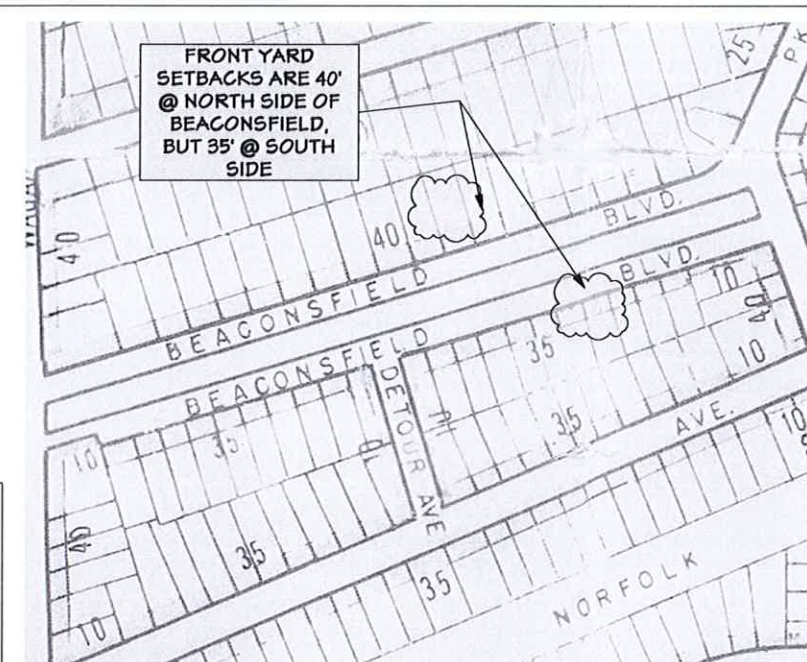
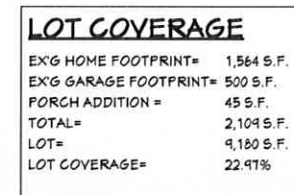
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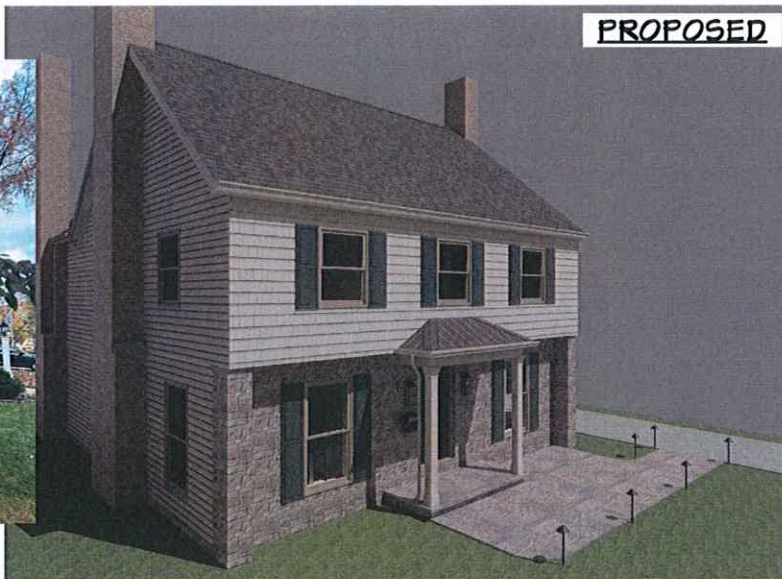
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BEFORE



PROPOSED



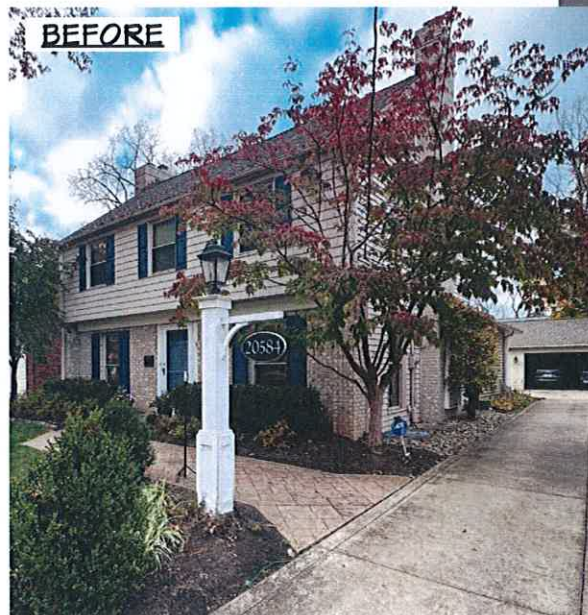
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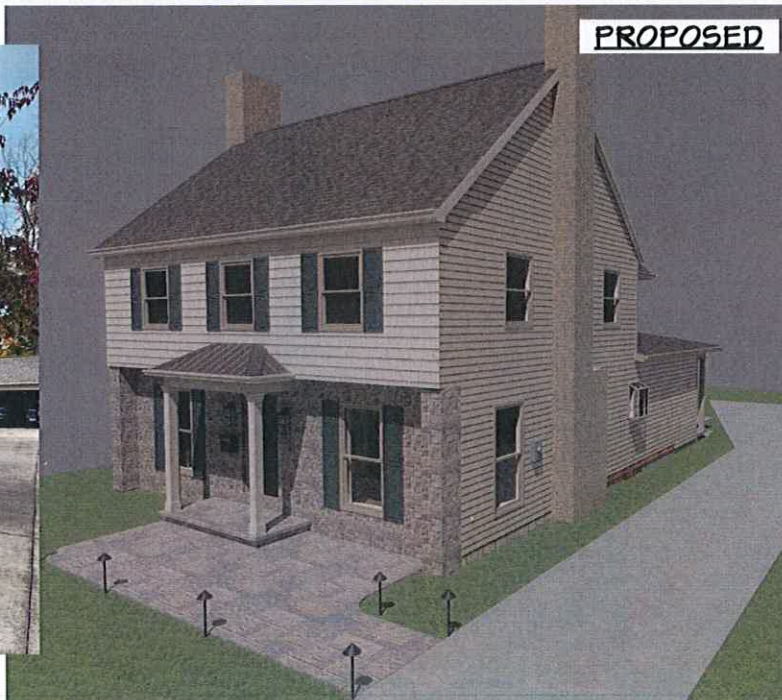
PROPOSED



BEFORE



PROPOSED



BEFORE PHOTOS AND PROPOSED AFTERS (3D VIEWS)

Not to Scale



NEIGHBORING HOMES TO THE WEST

CLOSE UP OF
NEIGHBORING
HOME TO WEST



Covered Porch over front Setback
on Neighboring Property 20668
Beaconsfield Blvd



NEIGHBORING HOMES TO THE EAST



NEIGHBORING HOMES TO THE SOUTH

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VINYL SHINGLE
SIDING TO REMAIN



ASPHALT MAIN
ROOF TO REMAIN



VINTAGE**

NEW STANDING SEAM METAL
ROOFING AT PORCH



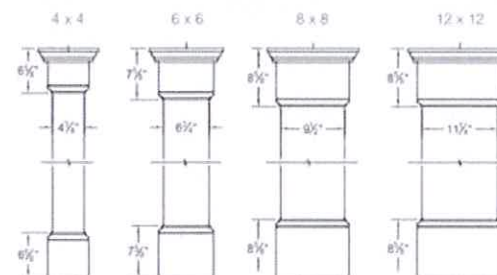
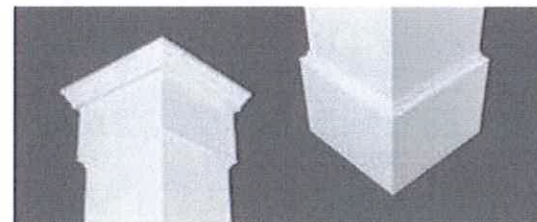
RECESSED PANEL
SHUTTERS

Sherwin Williams
Urban Putty
SW 7532

PAINT COMPOSITE
TRIM: URBAN PUTTY



PAINT EXISTING DOOR:
ROYCROFT PEWTER



COMPOSITE COLUMN
COVERS: 6" TRADITIONAL



PAVER WALKWAY & STOOP BORDER:
UNILOCK BRUSSELS SANDSTONE

EXTERIOR MATERIALS FRONT FACADE
Not to Scale



CULTURED STONE: CASA DI SASSI
CREMONA BLEND



PAVER WALKWAY & STOOP: TECHOBLOCK
BLU60 CHAMPLAIN GREY

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General Notes: Demolition

1. SALVAGE MATERIALS WHEN POSSIBLE, DONATE TO HABITAT FOR HUMANITY OR OTHER ORGANIZATION.
2. EXISTING FASCIAS, GUTTERS, ROOFING TO REMAIN ON EXISTING ROOF.
3. EXISTING SIDING, GRADE BRICK, SOFFITS, DOORS/WINDOWS TO REMAIN UNLESS OTHERWISE NOTED. ONLY REMOVE PORTIONS OF SIDING AS NEEDED FOR TIE-IN OF NEW PORCH ROOF, AS NOTED ON PLAN.
4. EXISTING LVP FLOORS ON FIRST FLOOR AND CARPET ON 2ND FLOOR TO BE PROTECTED AND TO REMAIN.
5. REMOVE PORTIONS OF DRYWALL ON WALLS AND CEILINGS AS NEEDED ONLY FOR INSTALLATION OF NEW ELECTRICAL WIRING, GAS LINE, AND SOIL STACK.
6. SAVE ALL TREES ON SITE, OTHER THAN THE REMOVAL OF SELECT TREES AS NEEDED ON ON FRONT OF HOME AS NEEDED DUE TO EXCAVATION FOR NEW PORCH AND WALKWAY.

WALL LEGEND	
---	Object to be demolished
XXXX	Wall to be demolished
---	Existing interior wall to remain
---	Existing exterior wall to remain
---	New 2x4 interior wall
---	New 2x4 exterior wall
---	Existing foundation wall w/ brick to remain
---	New CMU foundation w/ brick veneer
---	Existing poured concrete foundation wall
---	New poured concrete foundation wall
---	New handrail

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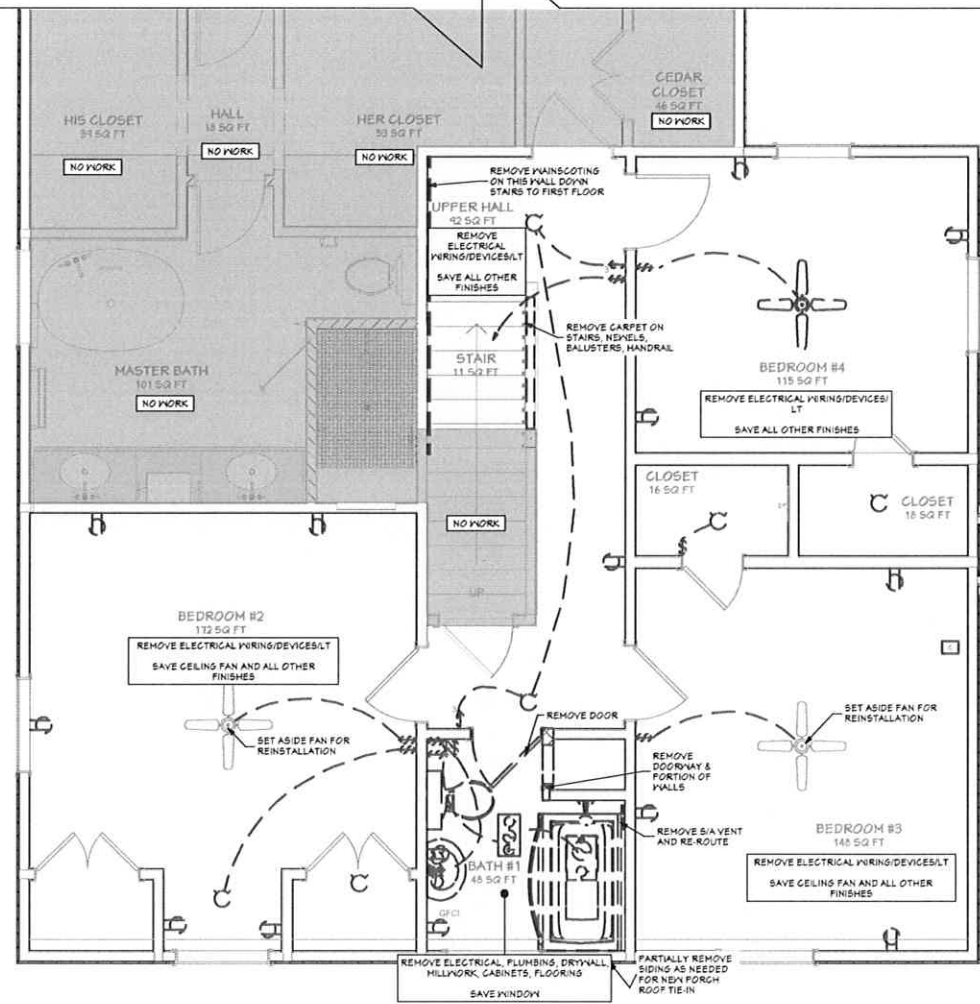
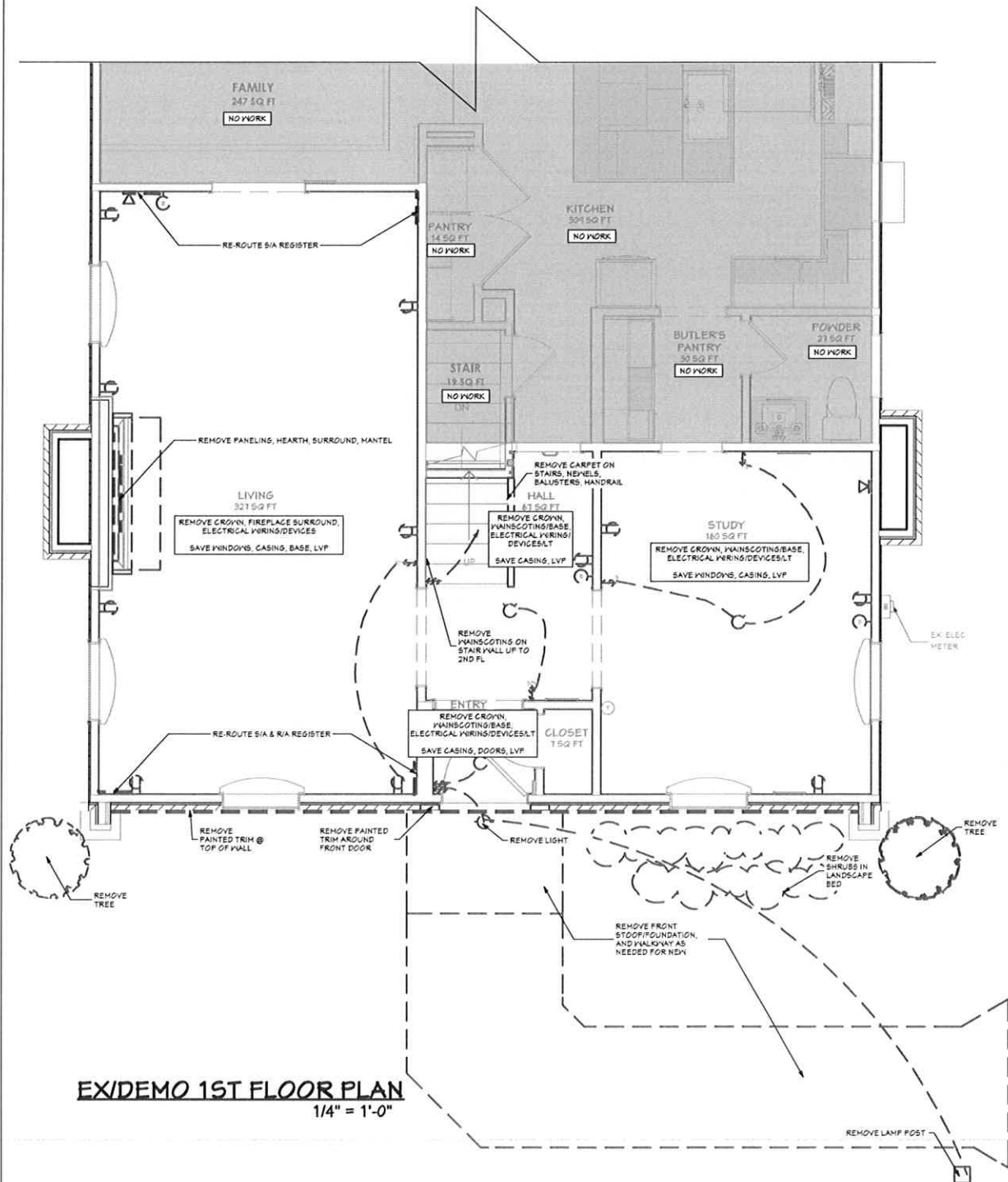
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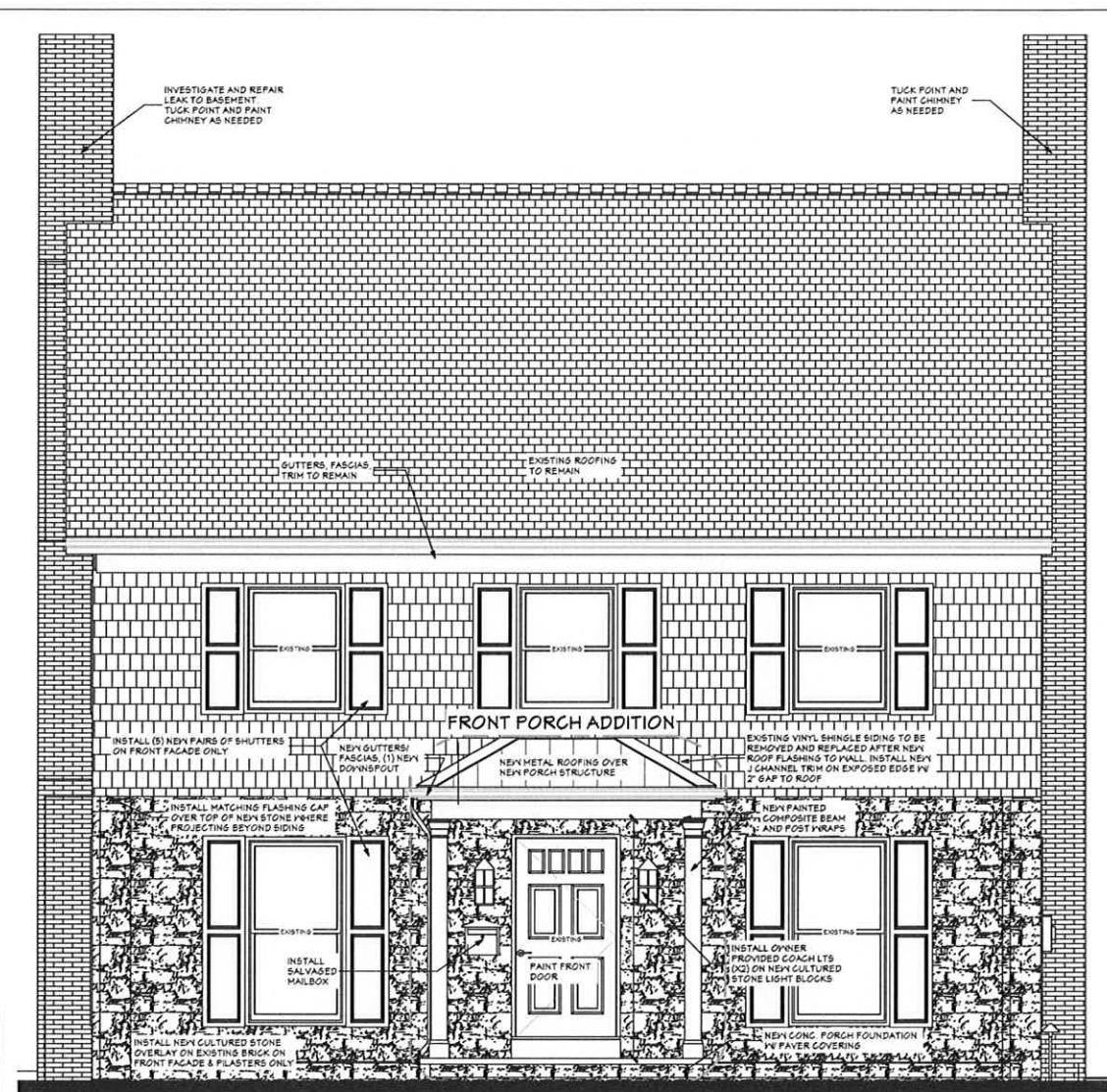
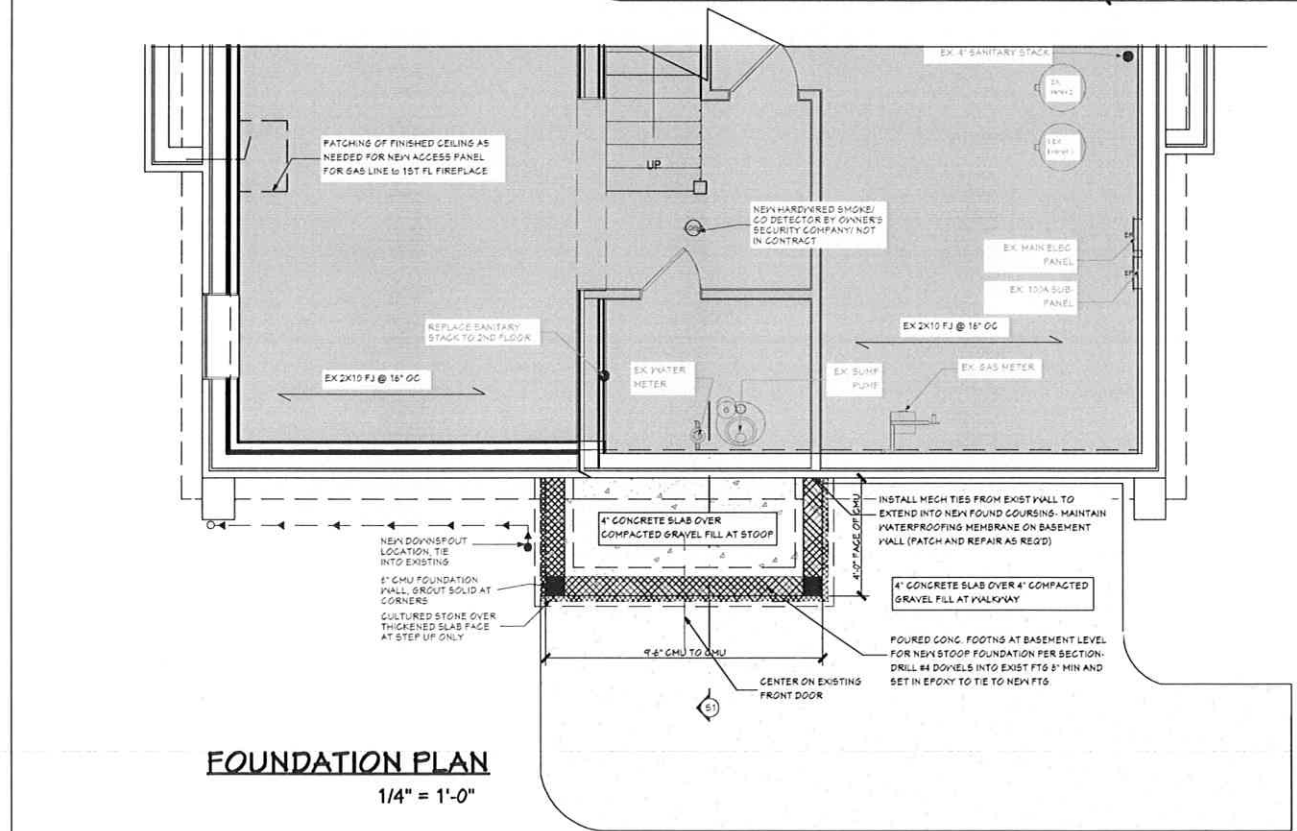
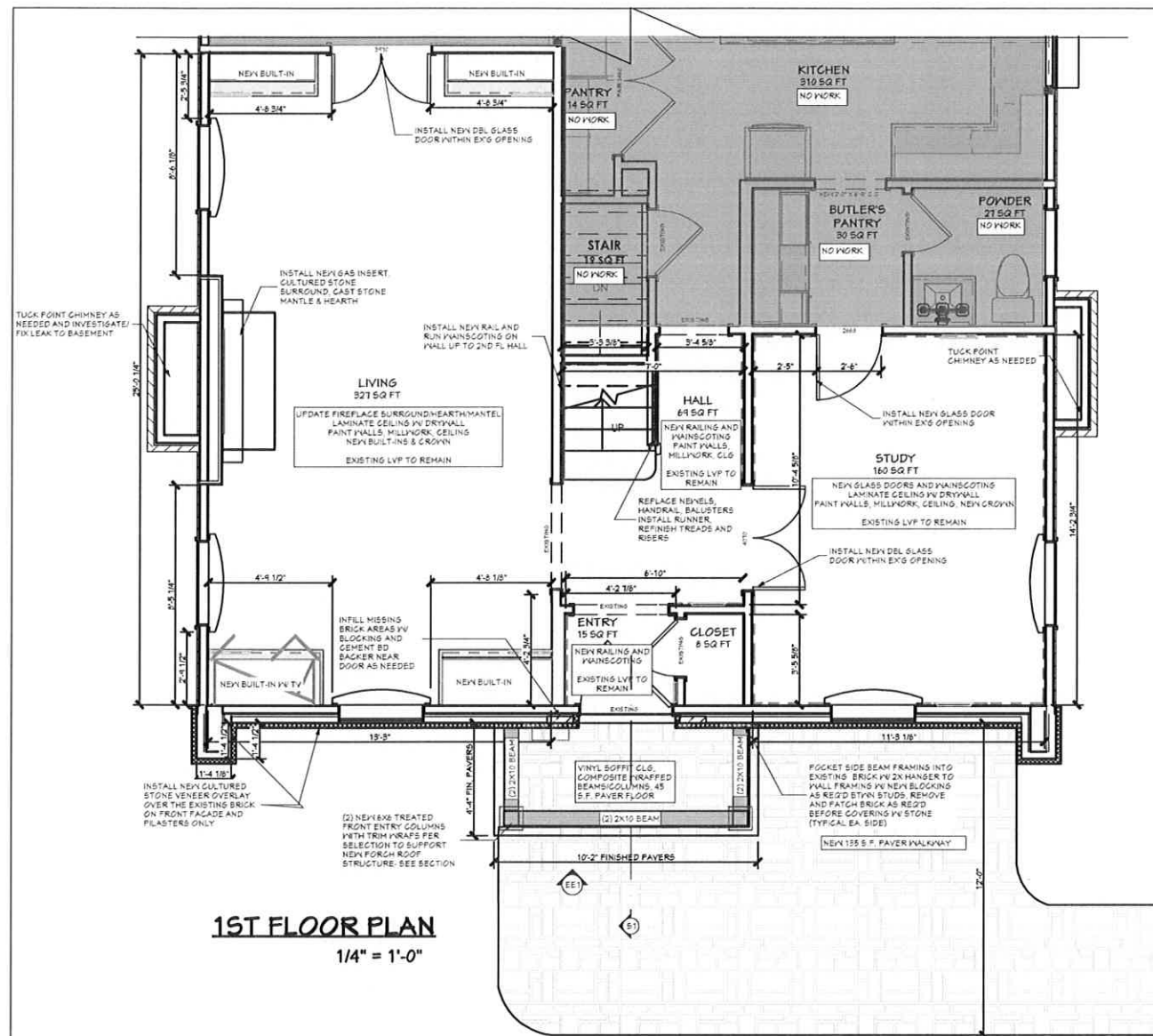
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Foundation Notes:

- DIRECTIONAL CLEAN OUTS SHALL BE INSTALLED ON THE DRAIN TILE, AND ALL GUTTERS SHALL BE TIED TO THE STORM SEWER. SECTION 408.410FC
- THE FOUNDATION MUST EXTEND A MINIMUM OF 6" ABOVE GRADE. SECTION 404.1.6
- INSTALL NEW PAVETOPPED CONCRETE WALKWAY AND STOOP, PER SITE PLAN SLOPE AWAY FROM HOUSE.

Framing Notes:

- FRAME FOR NEW POCKET DOOR IN BATH #1 AS NEEDED. MODIFY FRAMING AROUND SHOWER FOR NEW LAYOUT. FRAME FOR NEW NICHE.
- FRAMING FOR NEW FRONT PORCH ROOF, COLUMNS, AND BEAMS AS NOTED ON PLANS AND SECTION.
- PROVIDE ALL NECESSARY BLOCKING BEHIND WALL MOUNTED ACCESSORIES, SHOWER DOORS, AND GRAB BARS.

Finish Notes:

- NEW LVP FLOORING IN THE BATH ONLY. INSTALL NEW BASE AND SHOE MOLDING AT NEW FLOOR LOCATIONS
- PROTECT EXISTING LVP FLOORING ON FIRST FLOOR IN REMODELED AREAS. THIS FLOOR IS DISCONTINUED. HOMEOWNER HAS LIMITED STOCK OF FLOORING IN BASEMENT.
- INSTALL REGISTERS AT TOEKICK OR WALL REGISTER LOCATIONS. PAINT COLOR TO MATCH CABINETS OR WALL
- NEW CULTURED STONE, MANTEL, AND SURROUND AT FIREPLACE IN LIVING ROOM, PER ELEVATIONS
- NEW TILE IN ON SHOWER WALLS AND BENCH, PER ELEVATIONS. TO BE INSTALL WITH PREFABRICATED SHOWER SHOWER BASE.
- INSTALL CABINETS PER ELEVATIONS. NOTE MODIFIED HEIGHTS, WIDTHS, DEPTHS. ACCESSORIES BY CABINET MANUFACTURER, UNLESS OTHERWISE NOTED. DECORATIVE HOOD COVER TO BE PROVIDED BY CABINET MANUFACTURER.
- NEW MILLWORK IN REMODELED AREAS AS NOTED. NOTE SELECT MILLWORK TO REMAIN.

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---	Object to be demolished
XXXX	Wall to be demolished
----	Existing interior wall to remain
----	Existing exterior wall to remain
----	New 2x4 interior wall
----	New 2x4 exterior wall
----	Existing foundation wall w/ brick to remain
----	New CMU foundation w/ brick veneer
----	Existing poured concrete foundation wall
----	New poured concrete foundation wall
----	New handrail

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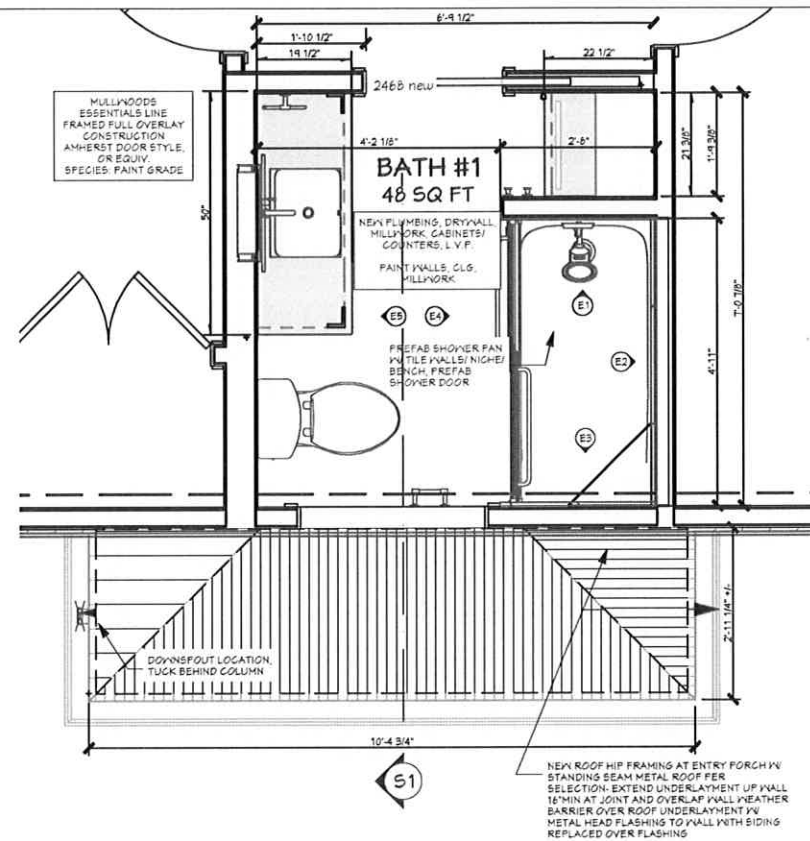
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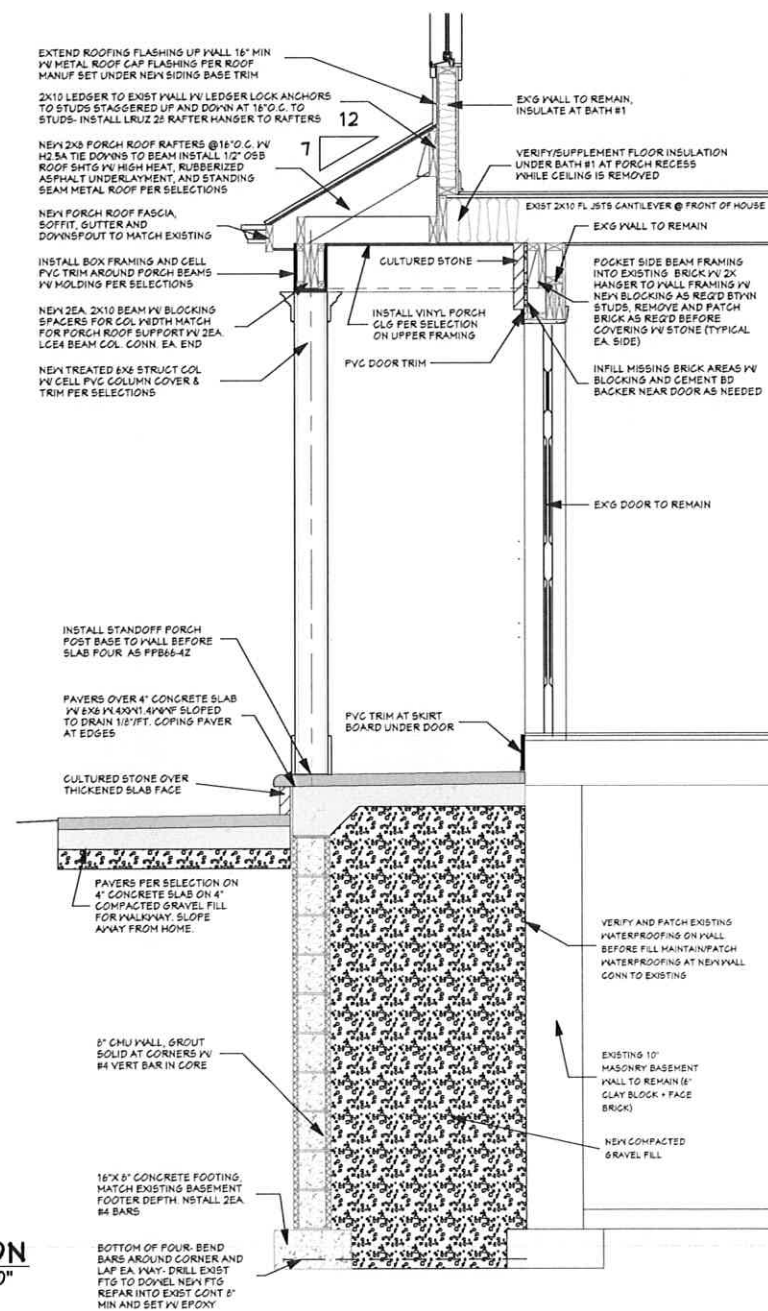
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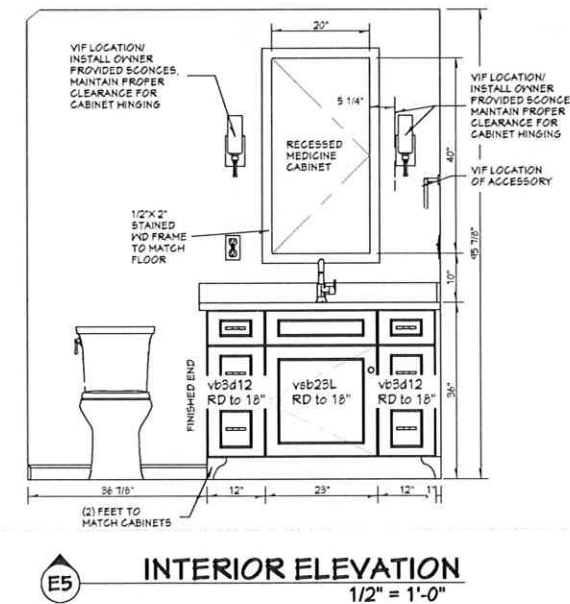
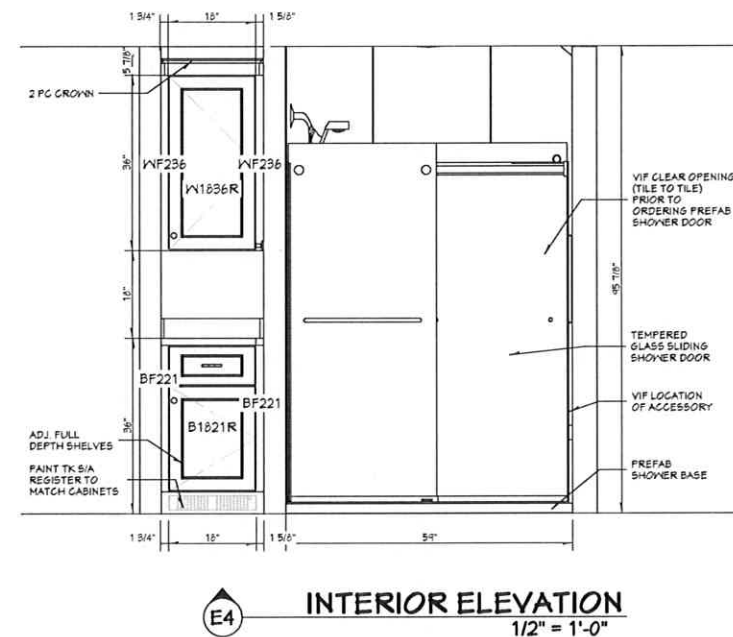
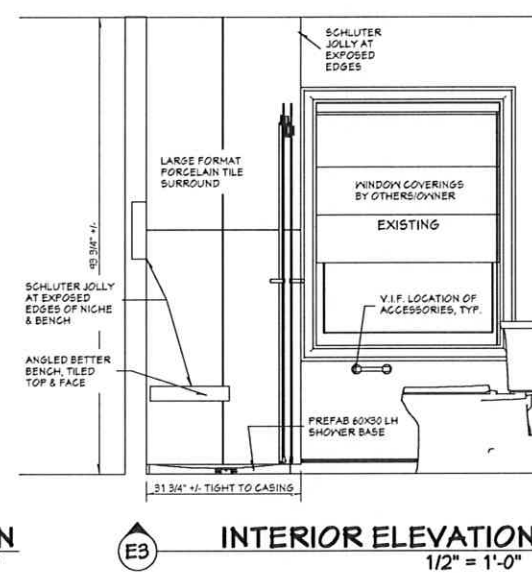
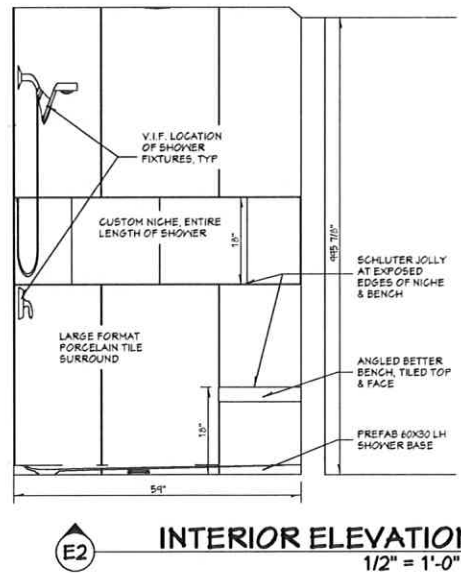
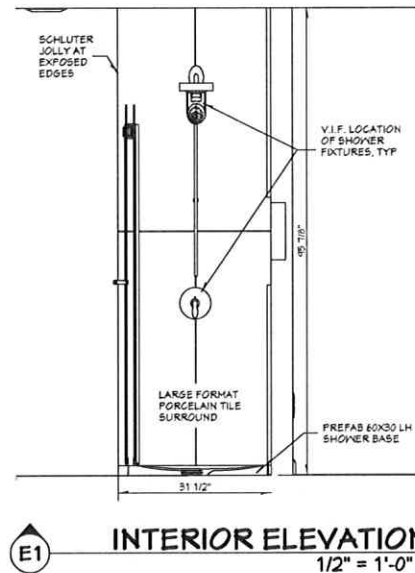
2ND FLOOR ENLARGED PLAN & ROOF PLAN
1/2" = 1'-0"

General Notes: Roofing

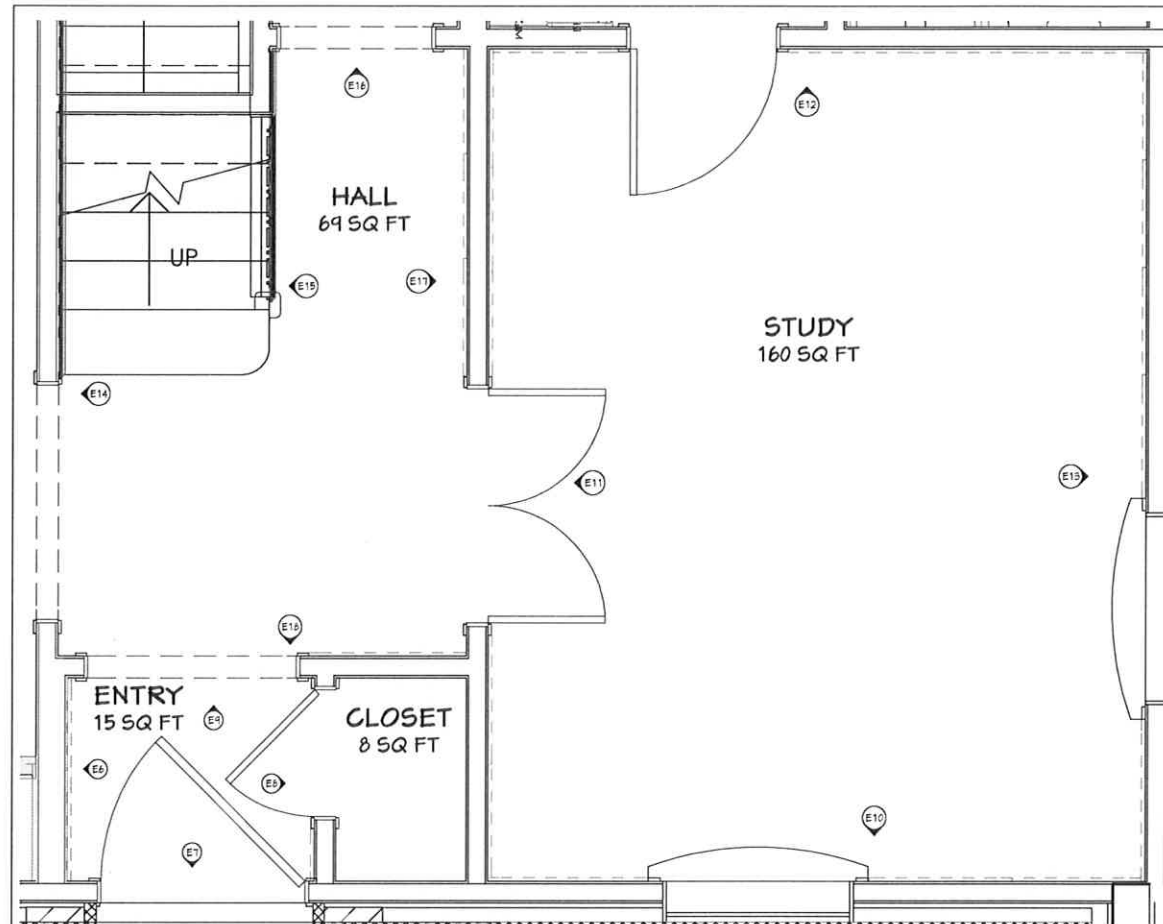
- 1 Ice & Water to be installed on entire porch roof. Use high temp under metal.
- 2 Necessary flashing and metal caps for aprons, rakes, drip edges, and side wall flashing are to be installed.



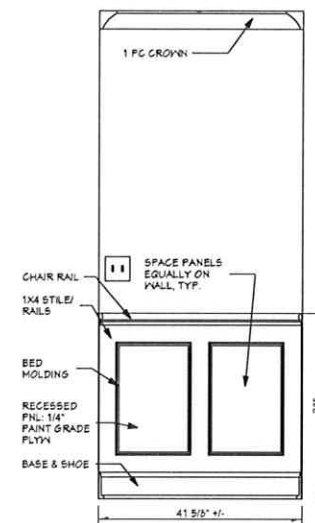
SECTION 51
1/2" = 1'-0"



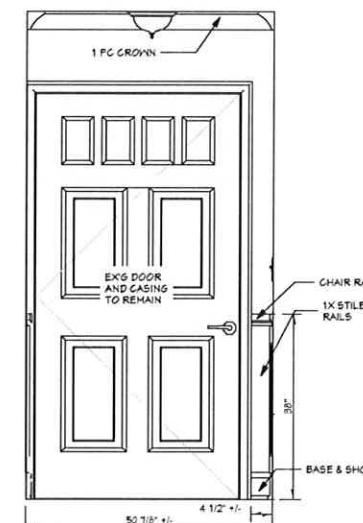
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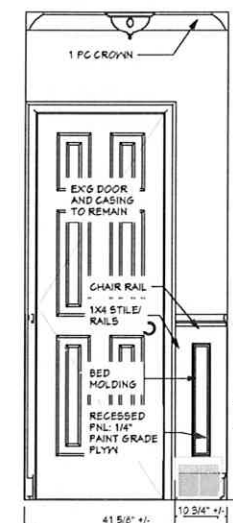
1st FL ENLARGED PLAN
1/2" = 1'-0"



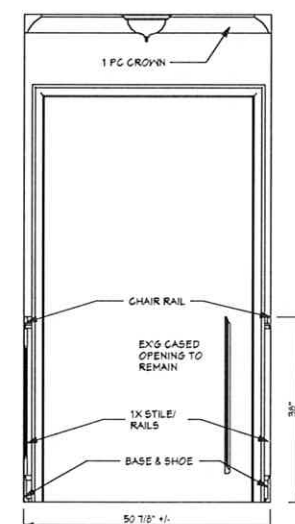
E6 INT. ELEVATION
1/2" = 1'-0"



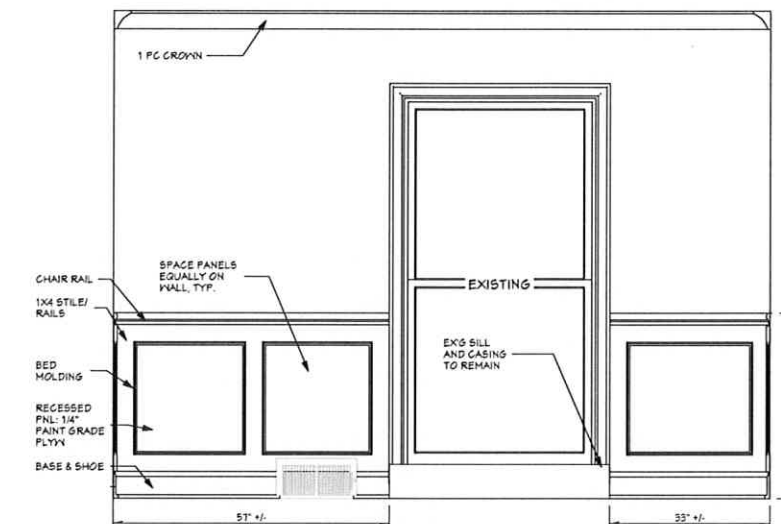
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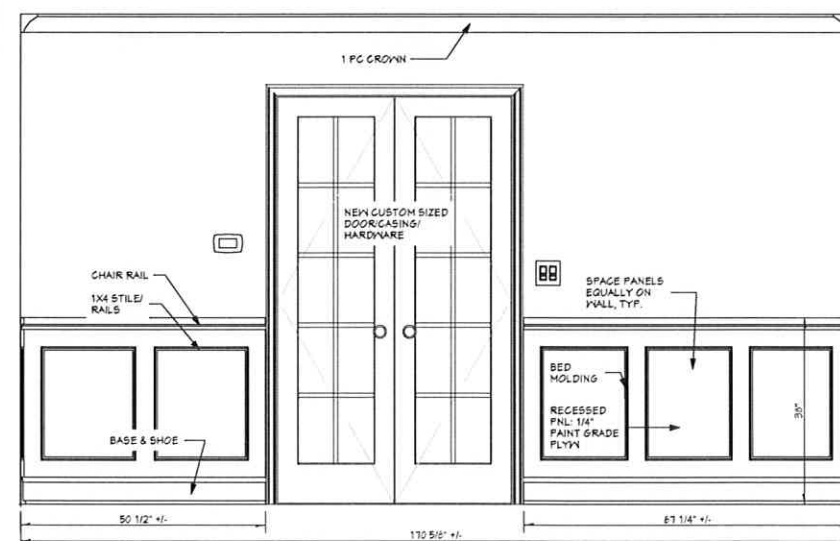
E8 INT. ELEVATION
1/2" = 1'-0"



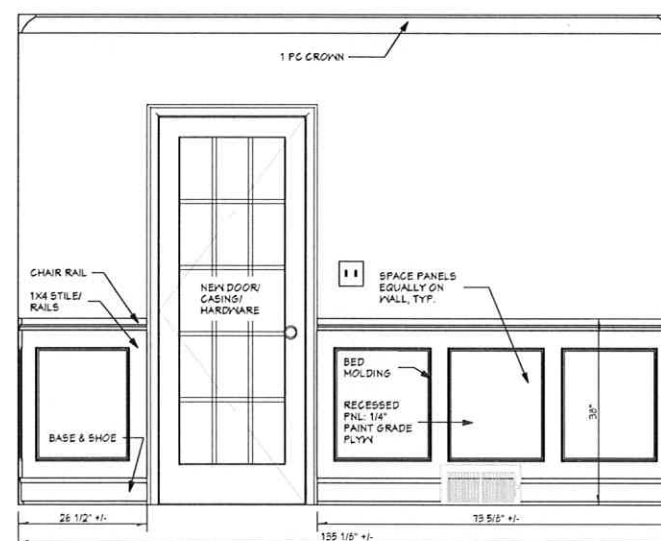
E9 INT. ELEVATION
1/2" = 1'-0"



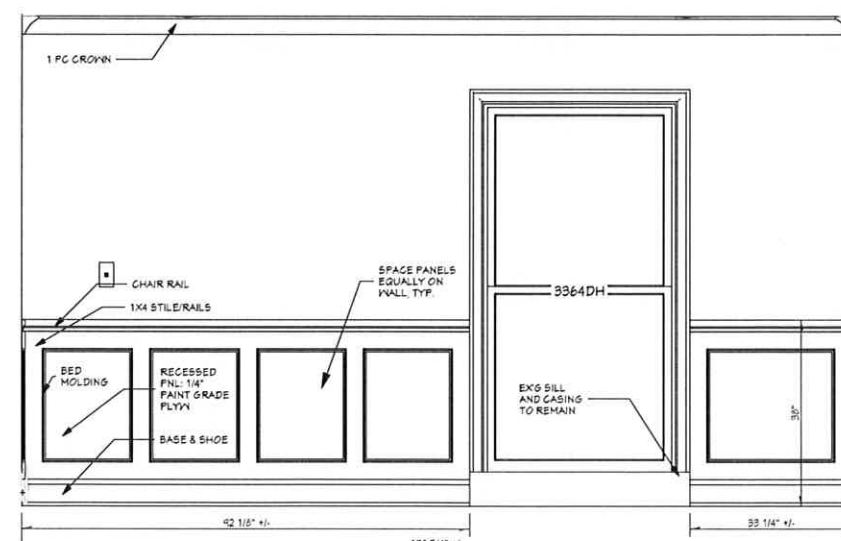
E10 INT. ELEVATION
1/2" = 1'-0"



E11 INT. ELEVATION
1/2" = 1'-0"



E12 INT. ELEVATION
1/2" = 1'-0"



E13 INT. ELEVATION
1/2" = 1'-0"

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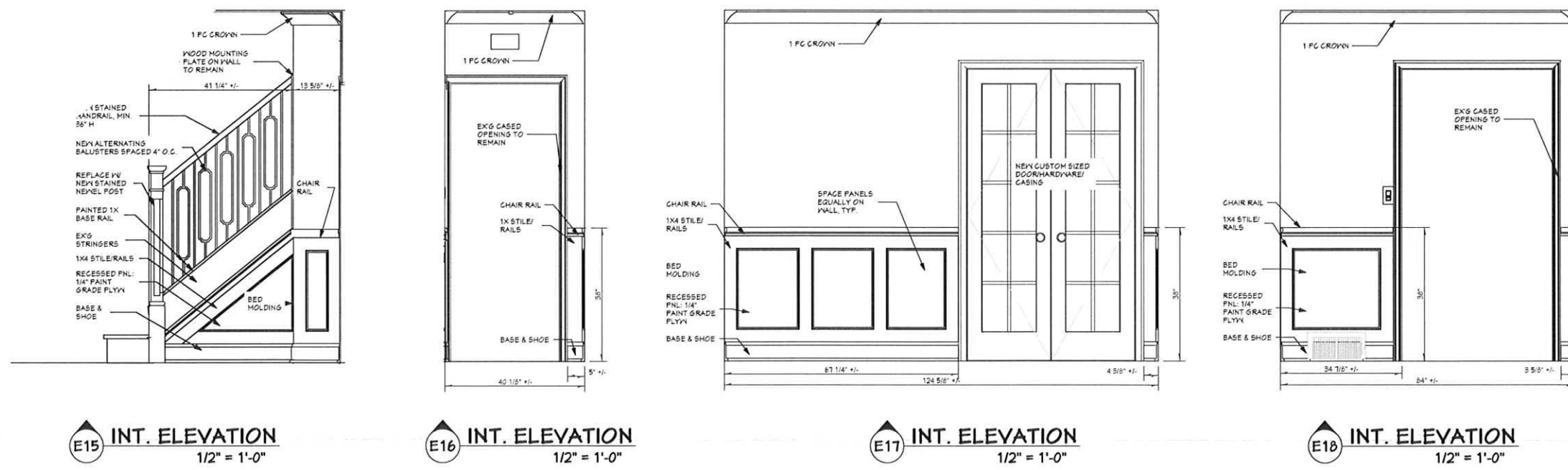
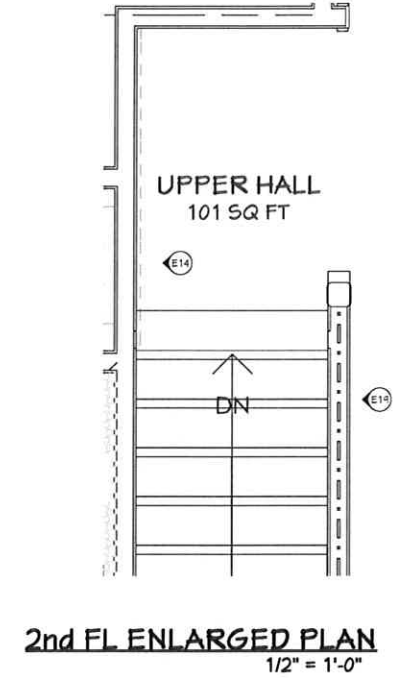
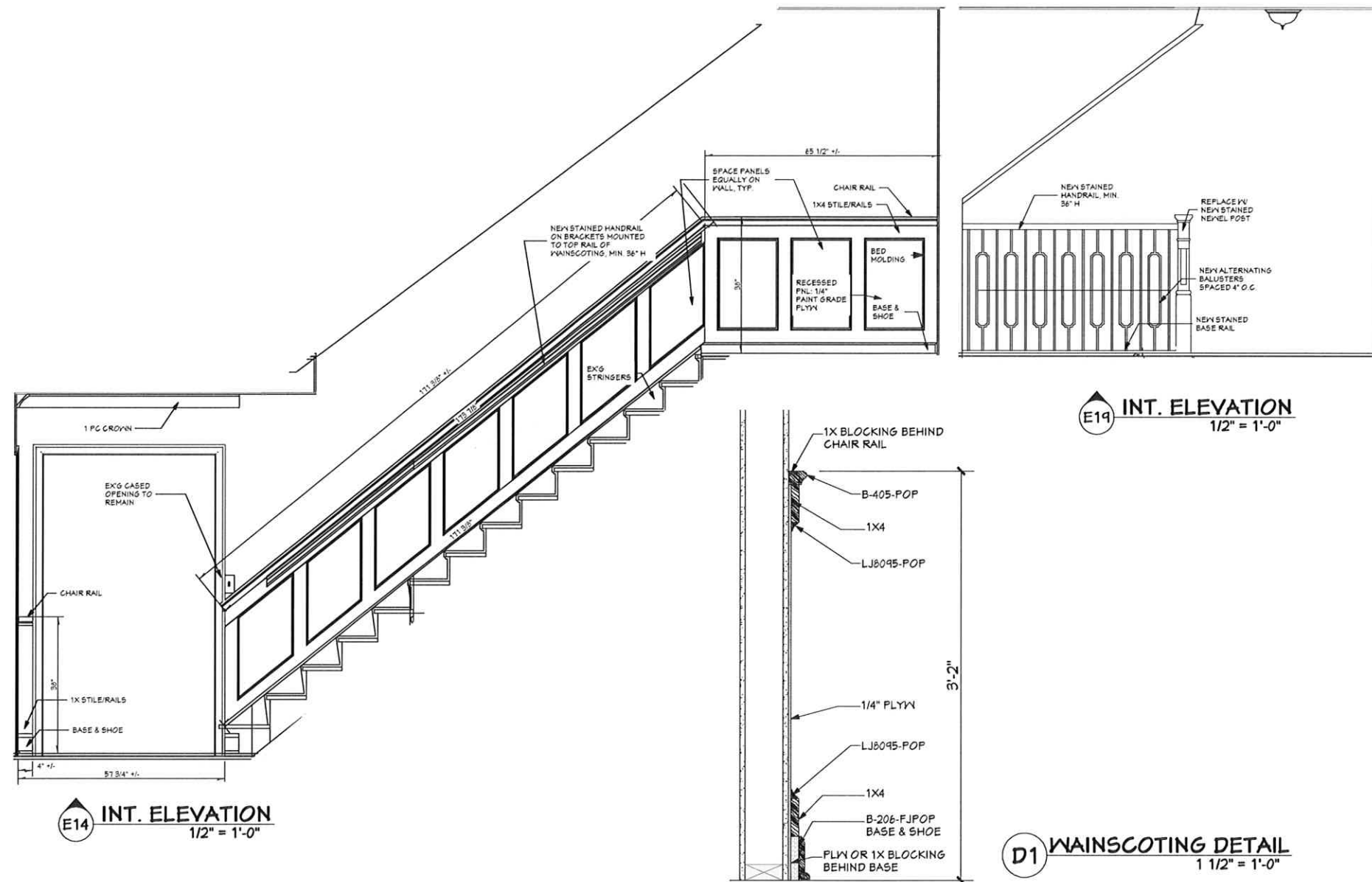
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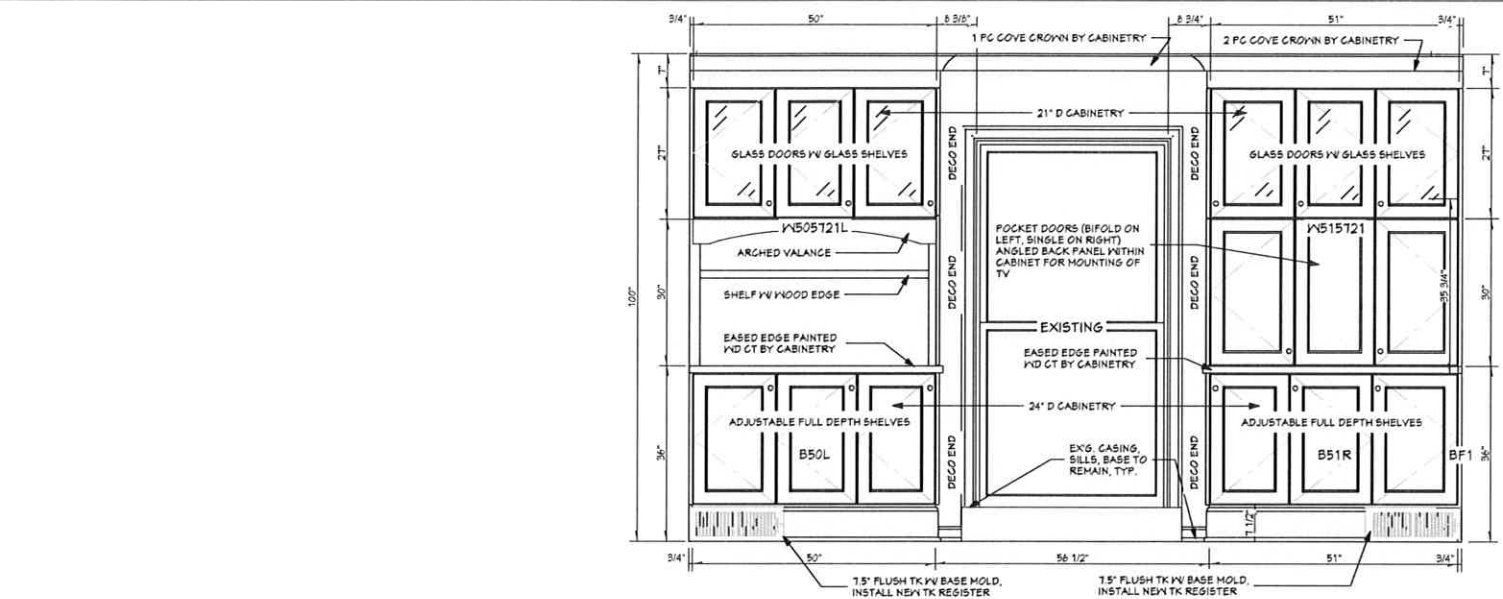
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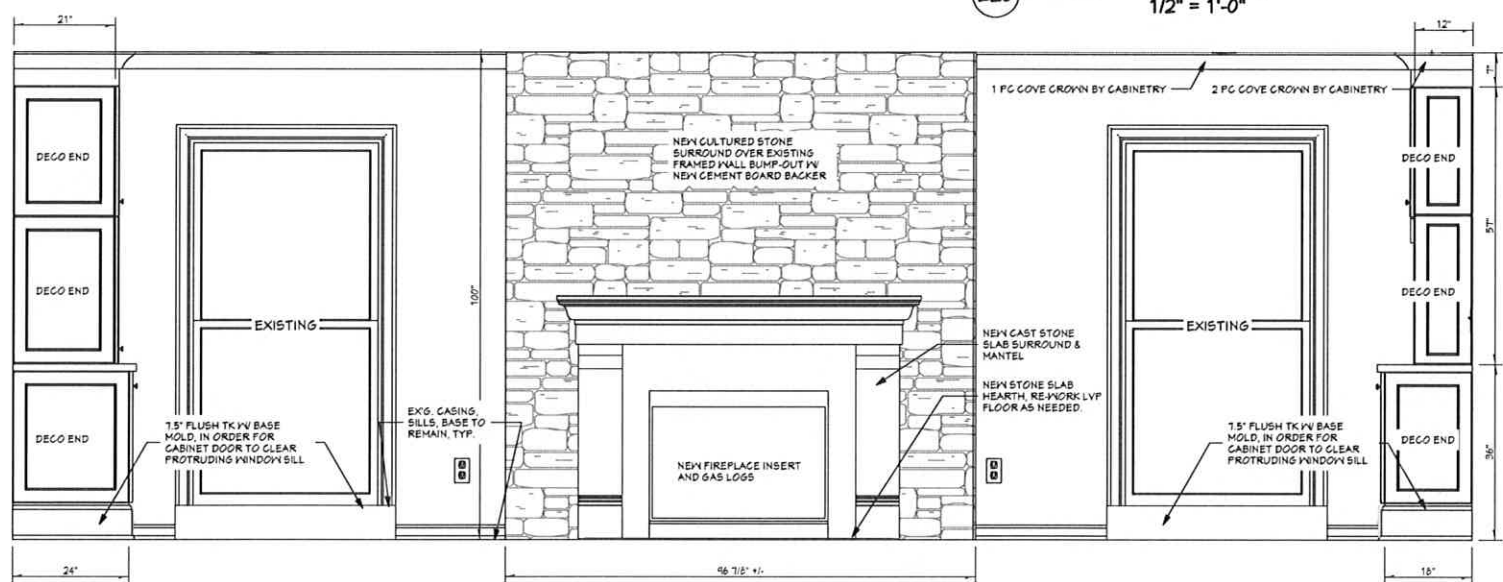
WATSON RESIDENCE

Scott & Kate Watson
20584 Beaconsfield Blvd.
Rocky River, OH 44116

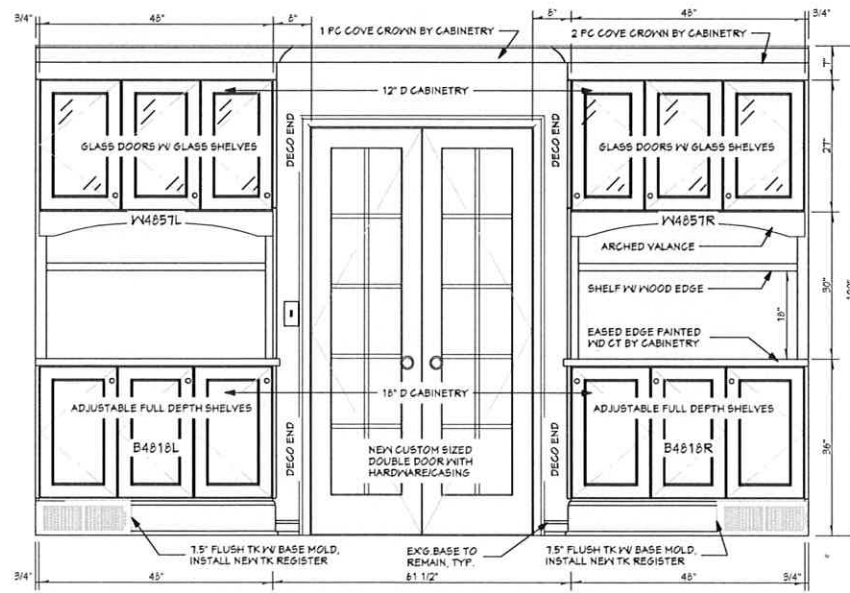
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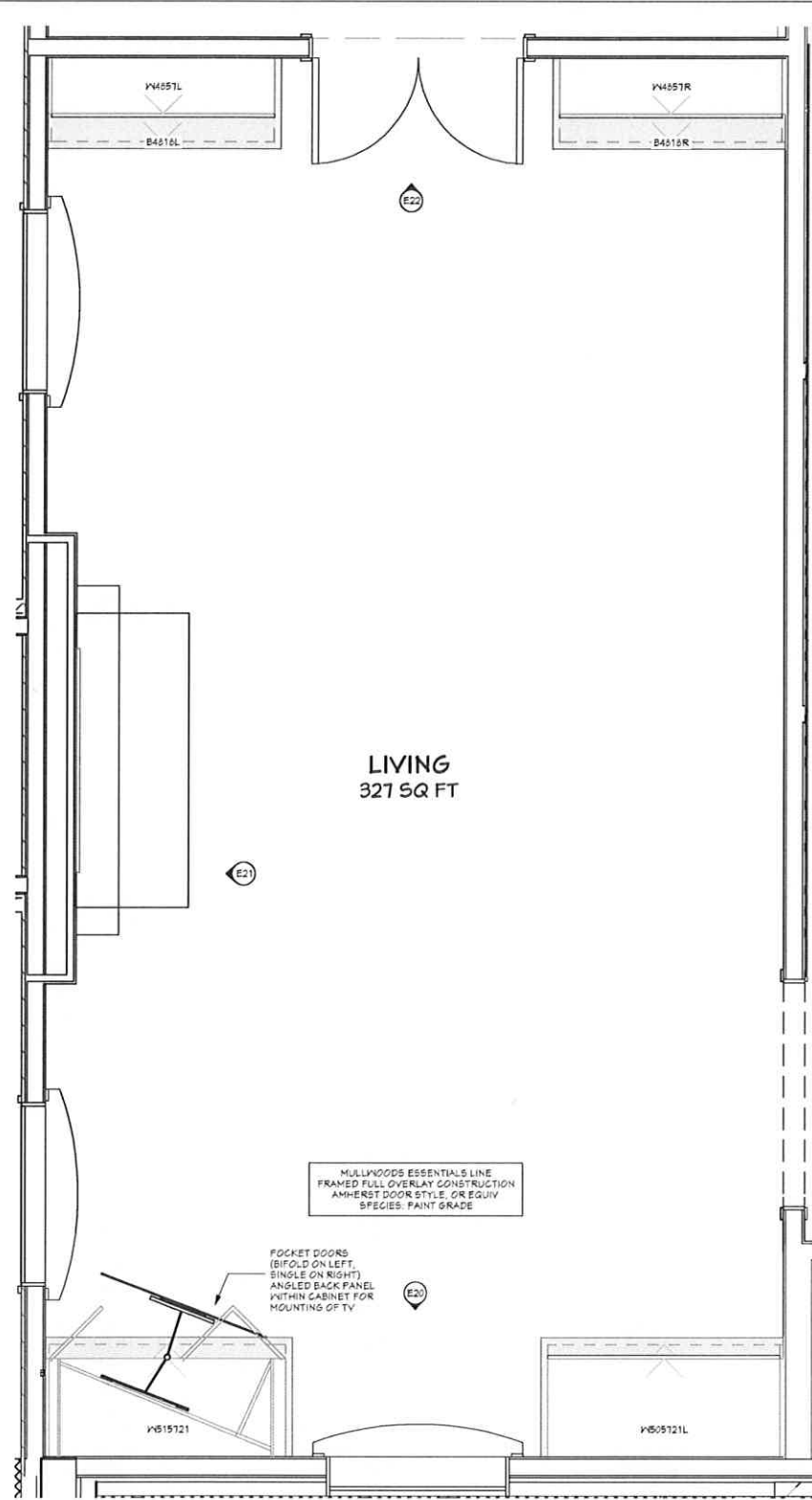
E20 INT. ELEVATION
1/2" = 1'-0"



E21 INT. ELEVATION
1/2" = 1'-0"



E22 INT. ELEVATION
1/2" = 1'-0"



1ST FL ENLARGED PLAN
1/2" = 1'-0"

Job #	Print Date
8346-T2	3/26/2025
Design Info	
Design Phase	D# Date
BZA	1.1 03/26/25
Designer	Initials
Revision	# Date
	# ###
Client Initials	

26185 Center Ridge Road
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General Notes:Plumbing

- 1 Plumbing shall be a fully operational system of hot and cold water. Provide and install all piping, soil, vents, drains, sewage removal and water supply systems to connect with appropriate water and sewage systems. All permits and inspections are to be obtained by the plumbing trade contractor as required by local building codes and the Uniform Plumbing Code.
- 2 Drainage system shall be Schedule 40 PVC pipe. All connections shall have PVC cement or appropriate joint compound and assembled tight for no leakage. Tie new or altered lines into the existing drainage system.
- 3 Install new copper, or PEX supply lines for each new fixture and tie into the existing lines. The type of water supply lines used will be determined by the plumber at time of install. The supply lines will be 1/2" or 3/4" in diameter depending on fixture requirements.
- 4 Install PVC traps, shut off valves and escutcheons at each fixture in Bath #1.
- 5 Existing water heater(s) to remain.
- 6 Directional clean outs shall be installed on the drain tile, and all gutters shall be tied to the storm sewer. Section 405.4/OPC.

General Notes:Ventilation

1. Install ventilation duct system to accommodate the ventilation needs.
2. All duct locations and termination points will be determined and located at the installer's discretion to best accommodate the needs of the project.
3. Vent fireplace through existing chimney
4. Verify correct venting for Bath #1 exhaust fan (to replace existing)

General Notes:Mechanical

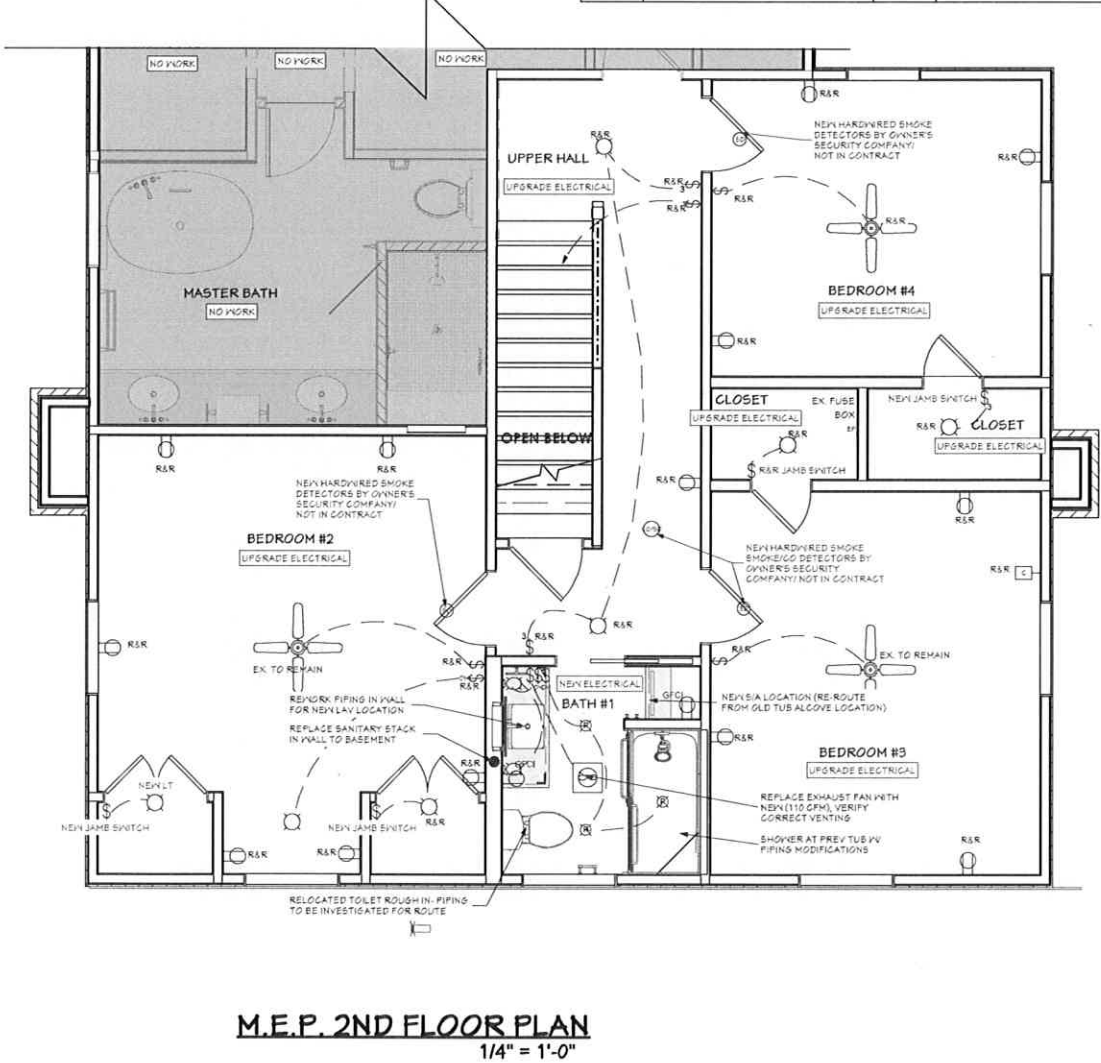
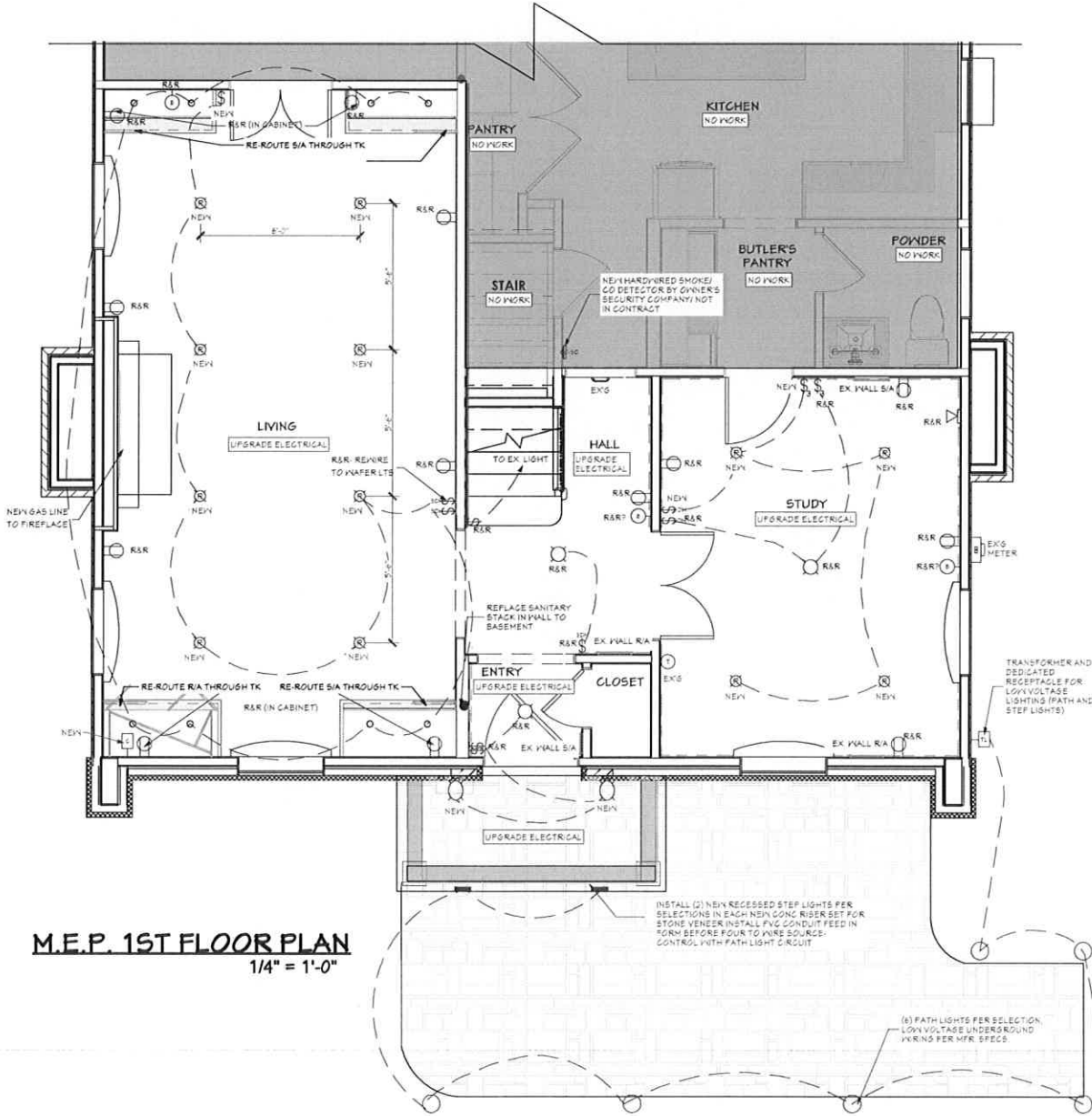
1. Existing furnace in existing basement to remain. Re-route Ductwork and add ductwork as needed through lockick of new cabinet locations in remodeled area (Living and Bath #1).
2. New registers as noted on plans in Remodeled area.

General Notes:Electrical

1. All new electrical work specified will comply with all applicable building codes, local, and National Electric Codes (NEC), utility requirements, and building restrictions.
2. All decorative light fixtures to be provided by owner and installed by Contractor. Verify in field heights and locations of decorative lights with owner prior to installing.
3. The new electrical devices and fixtures will have new rough in boxes, wires, circuits and connections as required per the drawings. All new circuits will tie into the homes existing electrical system either at the electrical panel or in gang series with existing circuits unless otherwise noted.
4. Any hardwired smoke detectors will be installed by Owner's Agent/Security Company. Hurst will coordinate with them, but this work is not in Contract.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	Floor Supply Air Register
	Toilet Supply Air Register
	Wall Supply Air Register
	Baseboard Supply Air Register
	Floor Return Air Register
	Wall Return Air Register
	Ceiling Return Air Register
	Exterior Exhaust Vent (Wall)
	Exterior Exhaust Vent Rectangular (Wall)
	Exterior Exhaust Vent Louvered (Wall)

ELECTRICAL - DATA - LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Ceiling Fan/Light		110V Receptacles: Hood Vent, Dedicated Circuit
	Ceiling Mounted Light Fixtures: Chandelier, Owner provided		220V Receptacles: Electric Range, Dedicated Circuit
	Ceiling Mounted Light Fixtures: Pendant, Owner provided		110V Receptacles: Cooktop, Dedicated Circuit
	Ceiling Mounted Light Fixtures: Surface, Owner provided		220V Receptacles: Oven, Dedicated Circuit
	Wall Mounted Light Fixtures: Vanity Light/Conceal, Flush mounted, Owner provided		110V Receptacles: Washer, Dedicated Circuit
	Ventilation Fan, Fan/Light, Fan/Light/Heat: Ceiling Mounted		220V Receptacles: Dryer, Dedicated Circuit
	Ventilation Fan: Wall Mounted		110V Receptacles: Duplex, Floor mounted
	Recessed Light Fixtures: 6" w/ Moisture Lens		110V Receptacles: Duplex, Ceiling mounted
	Recessed Light Fixtures: 4"		110V Receptacles: Junction Box
	Recessed Light Fixtures: 4" w/ Moisture Lens		110V Receptacles: Blank/Dead Face
	Cabinet Light Fixtures: In-cabinet		110V Receptacles: Weather Proof
	Cabinet Light Fixtures: Under cabinet		Switches: Single Pole
	Fluorescent Light Fixtures		Switches: 3-Way
	Ceiling Mounted Light Exterior Fixtures: Surface, Owner provided		Switches: 4-Way
	Wall Mounted Light Fixtures: Exterior Lantern, Flush mounted, Owner provided		Switches: Dimmer
	110V Receptacles: Duplex		Switches: Garbage Disposal, Air Switch
	110V Receptacles: Split Wired Circuit		Switches: Under Counter/Cabinet
	110V Receptacles: GFCI		Switches: Fan Dimmer
	110V Receptacles: Island, GFCI		Switches: Weather Proof
	110V Receptacles: Refrigerator/Freezer Dedicated Circuit		Wall Jacks: TV/Cable
	110V Receptacles: Dishwasher, Dedicated Circuit		Network Jack
	110V Receptacles: Microwave, Dedicated Circuit		Electrical Breaker Panel
	110V Receptacles: Garbage Disposal, Dedicated Circuit		CO/Smoke Detectors: Ceiling Mounted, Wall Mounted
	Door Chime/Door Bell		Thermostat
			Low Voltage Transformer



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