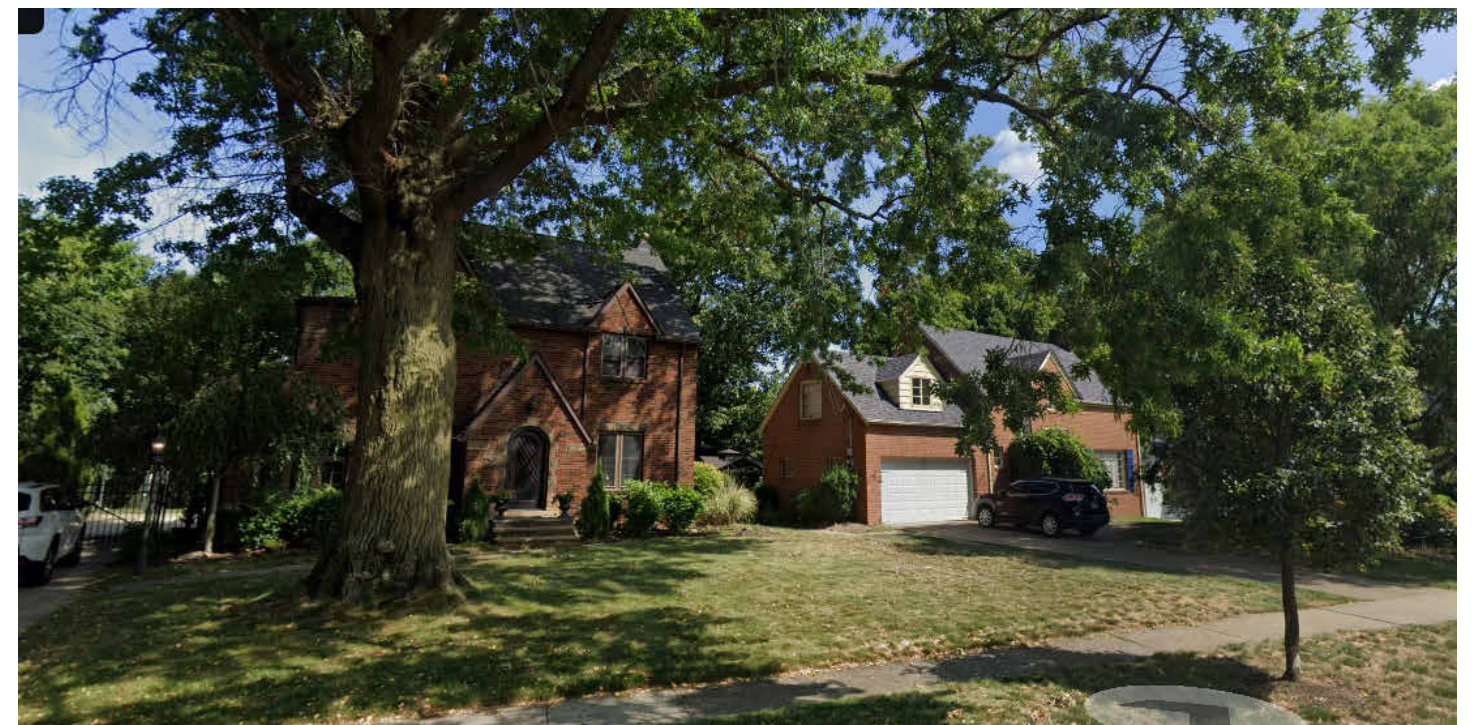
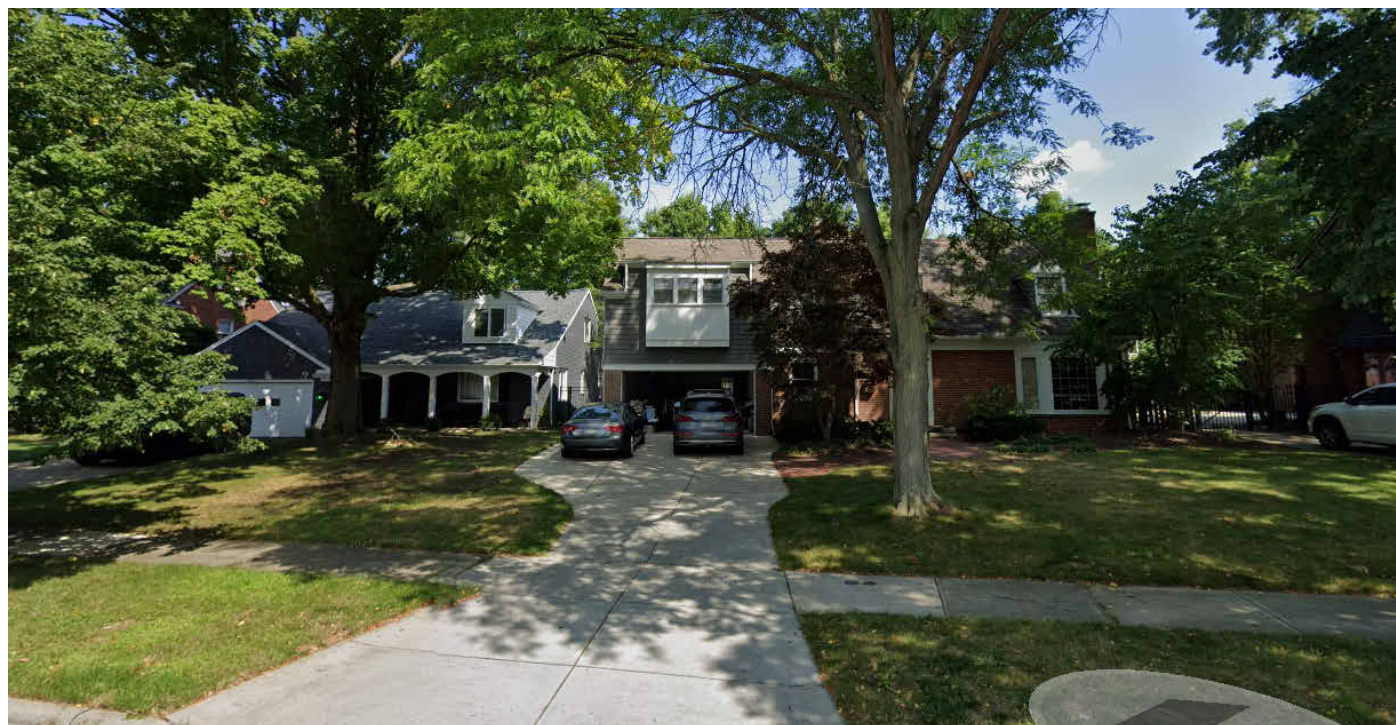










Andrew and Sarah Stanton

# Two-Story Addition

2296 Valley View Drive  
Rocky River, Ohio 44116

Revised Permit Set

04-21-2025



Schmitz  
Design Co.

Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton

Two-Story Addition

2296 Valley View Drive  
Rocky River, Ohio 44116

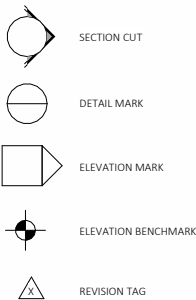
#### ABBREVIATIONS

|       |                                        |        |                                      |
|-------|----------------------------------------|--------|--------------------------------------|
| ADA   | UL A117.1 2009 STANDARDS               | N.I.C. | NOT IN CONTRACT                      |
| AFF   | ABOVE FINISH FLOOR                     | NFPA   | NATIONAL FIRE PROTECTION ASSOCIATION |
| ALUM  | ALUMINUM                               |        |                                      |
| B/    | BOTTOM OF                              | O/     | OVER                                 |
| BD    | BOARD                                  | OC     | ON CENTER                            |
| BLDG  | BUILDING                               | OBC    | OHIO BUILDING CODE                   |
| BOTT  | BOTTOM                                 | OL     | OCCUPANT LOAD                        |
|       |                                        | OPP    | OPPOSITE                             |
| C.O.  | CLEANOUT                               | PT     | PRESSURE TREATED                     |
| CFM   | CUBIC FEET PER MINUTE                  | PERF   | PERFORATED                           |
| CLG   | CEILING                                | PLAM   | PLASTIC LAMINATE                     |
| CLR   | CLEAR                                  | PLYWD  | PLYWOOD                              |
| CMU   | CONCRETE MASONRY UNIT                  | PR     | PAIR                                 |
| CMC   | CONCRETE                               | PTD    | PAINTED                              |
| CONT  | CONTINUOUS                             | PVC    | POLYVINYL CHLORIDE                   |
| CPT   | CARPET                                 |        |                                      |
| D.S.  | DOWNSPOUT                              | R.O.   | ROUGH OPENING                        |
| DEMO  | DEMOLITION/DEMOLISH                    | REF    | REFERENCE                            |
| DIA   | DIAMETER                               | REQ'D  | REQUIRED                             |
| DN    | DOWN                                   | RH     | RIGHT HAND                           |
| DWG   | DRAWING                                | RM     | ROOM                                 |
|       |                                        | RR     | RESTROOM                             |
| (E)   | EXISTING                               | RTU    | ROOF TOP UNIT                        |
| ETR   | EXISTING TO REMAIN                     |        |                                      |
| EA    | EACH                                   | S.B.O. | SUPPLIED BY OWNER                    |
| ELEV  | ELEVATION                              | SAN    | SANITARY                             |
| EQ    | EQUAL                                  | SCHED  | SCHEDULE                             |
| EW    | EACH WAY                               | SF     | SQUARE FOOT                          |
| EXIST | EXISTING                               | SIM    | SIMILAR                              |
| EXT   | EXTERIOR                               | SSTL   | STAINLESS STEEL                      |
|       |                                        | STL    | STEEL                                |
| FD    | FLOOR DRAIN                            | STRUCT | STRUCTURE/ STRUCTURAL                |
| FE    | FIRE EXTINGUISHER                      |        |                                      |
| FFE   | FINISH FLOOR ELEVATION                 | T/     | TOP OF                               |
| FRP   | FIBERGLASS REINFORCED PLASTIC          | TYP    | TYPICAL                              |
| FRT   | FIRE RETARDANT TREATED                 |        |                                      |
| FT    | FEET/FOOT                              | UL     | UNDERWRITERS LABORATORIES            |
| FTG   | FOOTING                                | UNO    | UNLESS NOTED OTHERWISE               |
|       |                                        |        |                                      |
| GA    | GAUGE                                  | V      | VOLT                                 |
| GALV  | GALVANIZED                             | V.I.F. | VERIFY IN FIELD                      |
| GFCI  | GROUND-FAULT CIRCUIT INTERRUPTER       | VTR    | VENT THROUGH ROOF                    |
| GWB   | GYPNUM WALL BOARD                      |        |                                      |
| GYP   | GYPNUM                                 | W      | WIDE                                 |
|       |                                        | W/     | WITH                                 |
| HM    | HOLLOW METAL                           | WD     | WOOD                                 |
| HSS   | HOLLOW STEEL SECTION                   | WWF    | WELDED WIRE FABRIC                   |
|       |                                        |        |                                      |
| IECC  | INTERNATIONAL ENERGY CONSERVATION CODE | @      | AT                                   |
|       |                                        | ,      | CENTERLINE                           |
| LAV   | LAVATORY                               | ∅      | DIAMETER                             |
| LH    | LEFT HAND                              |        |                                      |
| LVL   | LAMINATED VENEER LUMBER                |        |                                      |
|       |                                        |        |                                      |
| M.O.  | MASONRY OPENING                        |        |                                      |
| MASY  | MASONRY                                |        |                                      |
| MAX   | MAXIMUM                                |        |                                      |
| MECH  | MECHANICAL                             |        |                                      |
| MEP   | MECHANICAL, ELECTRICAL, & PLUMBING     |        |                                      |
| MFR   | MANUFACTURER                           |        |                                      |
| MGYP  | MOISTURE RESISTANT GYPNUM BOARD        |        |                                      |
| MIN   | MINIMUM                                |        |                                      |
| MTL   | METAL                                  |        |                                      |

#### GENERAL PROJECT NOTES

- The work shall conform to all applicable local, state, and national codes.
- Field verify existing conditions prior to performing any demolition, fabrication, or construction work.
- Contractor shall review and become familiar with all existing conditions prior to commencing work. Any conditions not documented on these drawings or observed to be different than those shown on these drawings are to be reported to the architect and owner prior to commencing the work.
- Contractor shall submit all not already submitted permit documents, qualifications, etc. and be responsible for all fees associated with permits, utility extensions, tap-inspections, etc. The contractor is responsible for obtaining the permits, and all associated permit and inspection costs / fees.
- If a discrepancy or conflict between code requirements, drawing details, specifications, engineering data, manufacturer's recommendations, existing conditions, or owner provided information becomes known to the contractor, they shall promptly report it to the architect/engineer and owner for corrective action.
- Contractor and sub-contractors shall determine erection procedures and sequencing and provide all required shoring and bracing as needed to complete the work.
- It is the sole responsibility of the contractor and sub-contractors to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work.
- Written dimensions take precedence over scaled dimensions.
- Before any work is started, all boundary lines shall be marked at their intersections with permanent markers and setbacks shall be checked for conformance.

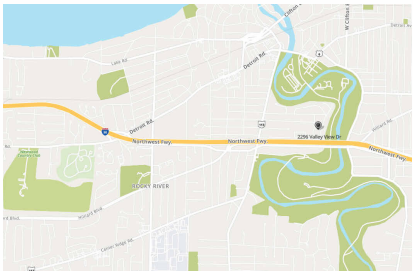
#### SYMBOL LEGEND



#### DRAWING INDEX

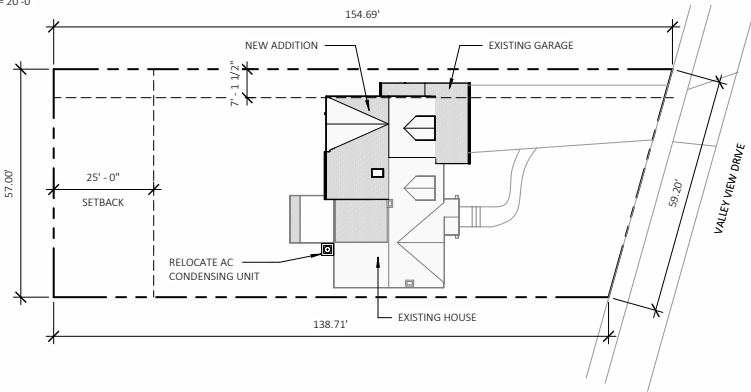
|      |                                  |
|------|----------------------------------|
| A0.0 | Title Sheet                      |
| A0.1 | General Notes                    |
| A0.2 | Wall Bracing Details             |
| A1.1 | Demolition Plans                 |
| A1.2 | Foundation and First Floor Plans |
| A1.3 | Second Floor and Roof Plan       |
| A1.4 | Framing Plans                    |
| A2.0 | Exterior Elevations              |
| A2.1 | Exterior Elevations              |
| A3.0 | Wall Section and Details         |
| A3.1 | Wall Section                     |
| A3.2 | Wall Section                     |
| A4.0 | Electrical Plans                 |
| A4.1 | Electrical Plans                 |

#### LOCATION MAP



#### SITE PLAN

SCALE: 1" = 20'-0"



#### ZONING INFORMATION:

|                     |                                                                                    |
|---------------------|------------------------------------------------------------------------------------|
| Parcel No:          | 301-35-015                                                                         |
| Zoning:             | R1 - Single Family Residential                                                     |
| Front Yard Setback: | refer to setback map                                                               |
| Rear Yard Setback:  | 25 feet                                                                            |
| Side Yard Setback:  | 7'-1.5" feet (1/8 lot width)                                                       |
| Height:             | 25 feet                                                                            |
| Condensing Unit:    | Locate in the rear or side yard, but not less than 10 feet from the side lot line. |

#### CODE COMPLIANCE

**Applicable Codes:** 2019 Residential Code of Ohio (RCO)  
2017 Ohio Plumbing Code (OPC)  
2017 Ohio Mechanical Code (OMC)  
2017 National Electric Code (NEC)  
Local Building and Zoning Ordinances

**General Project Scope:** New addition to a single family home.

|                                  |                         |
|----------------------------------|-------------------------|
| <b>Design Criteria:</b>          |                         |
| Ground snow load                 | 20 psf (RCO 301.2(6))   |
| Wind design speed                | 115 mph (RCO 301.2(1))  |
| Seismic design category          | A (RCO 301.2(2))        |
| Winter design temp               | 5° (RCO 301.2(1)e)      |
| Ice barrier underlayment         | Required (RCO 301.2(1)) |
| Flood hazard                     | N/A                     |
| Air freezing index               | 1500 (RCO 403.3(2))     |
| Dead load                        |                         |
| Floor Construction               | 12 psf                  |
| Roof Construction                | 15 psf                  |
| Exterior Stud Wall Construction  |                         |
| Vinyl Siding                     | 12 psf                  |
| Brick Veneer                     | 48 psf                  |
| Interior Wall Construction       |                         |
| Gypsum Board                     | 8 psf                   |
| Plaster                          | 20 psf                  |
| Live load (RCO 301.5)            |                         |
| Sleeping room                    | 30 psf                  |
| Rooms other than sleeping rooms  | 40 psf                  |
| Passenger vehicle garages        | 50 psf                  |
| Stairs                           | 40 psf                  |
| Balconies and decks              | 40 psf                  |
| Min roof live load (RCO 301.6)   |                         |
| Flat to < 4:12                   | 20 psf                  |
| 4:12 pitch to < 12:12 pitch      | 16 psf                  |
| 12:12 pitch or greater           | 12 psf                  |
| Allowable Deflection (RCO 301.7) |                         |
| Interior Walls and Partitions    | H/180                   |
| Floors                           | L/360                   |
| Gypsum Ceilings                  | L/240                   |
| All other structural members     | L/240                   |
| Exterior walls                   | H/180                   |

#### Energy Efficiency - Chapter 11

Ohio Home Builders Association Alternative Energy Code Option  
Table 1112.2.1 - Insulation and Fenestration Requirements by Component  
Compliance Path #1

|                          |                                                                                                             |
|--------------------------|-------------------------------------------------------------------------------------------------------------|
| Fenestration U-Factor:   | U-0.32                                                                                                      |
| Skylight U-Factor:       | U-0.60                                                                                                      |
| Ceiling R-Value:         | R-49 (or R-38 where the insulation extends uncompressed over the top wall plate at the eaves per 1102.2.1 ) |
| Wood Frame Wall R-Value: | R-15                                                                                                        |
| Mass Wall R-Value:       | R-13 or R-17 when more than half the insulation is on the interior of the mass wall.                        |
| Floor R-Value:           | R-30 or sufficient to fill the framing cavity (R-19 min.)                                                   |
| Basement Wall R-Value:   | R-10 continuous or R-13 cavity (min. 4 feet)                                                                |
| Slab R-Value:            | R-10 for 2 feet                                                                                             |
| Crawl Space R-Value:     | R-10 continuous or R-13 cavity                                                                              |



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

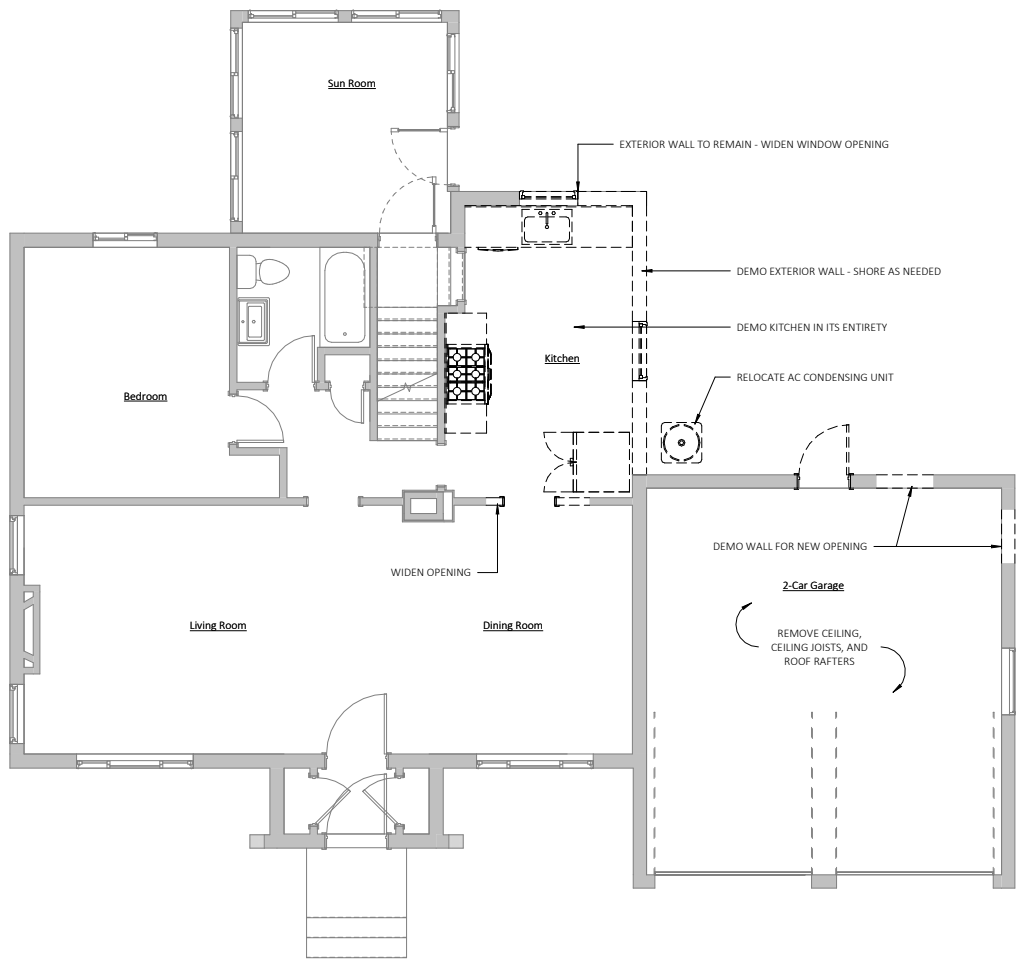
04-21-2025 Revised Permit Set

Title Sheet

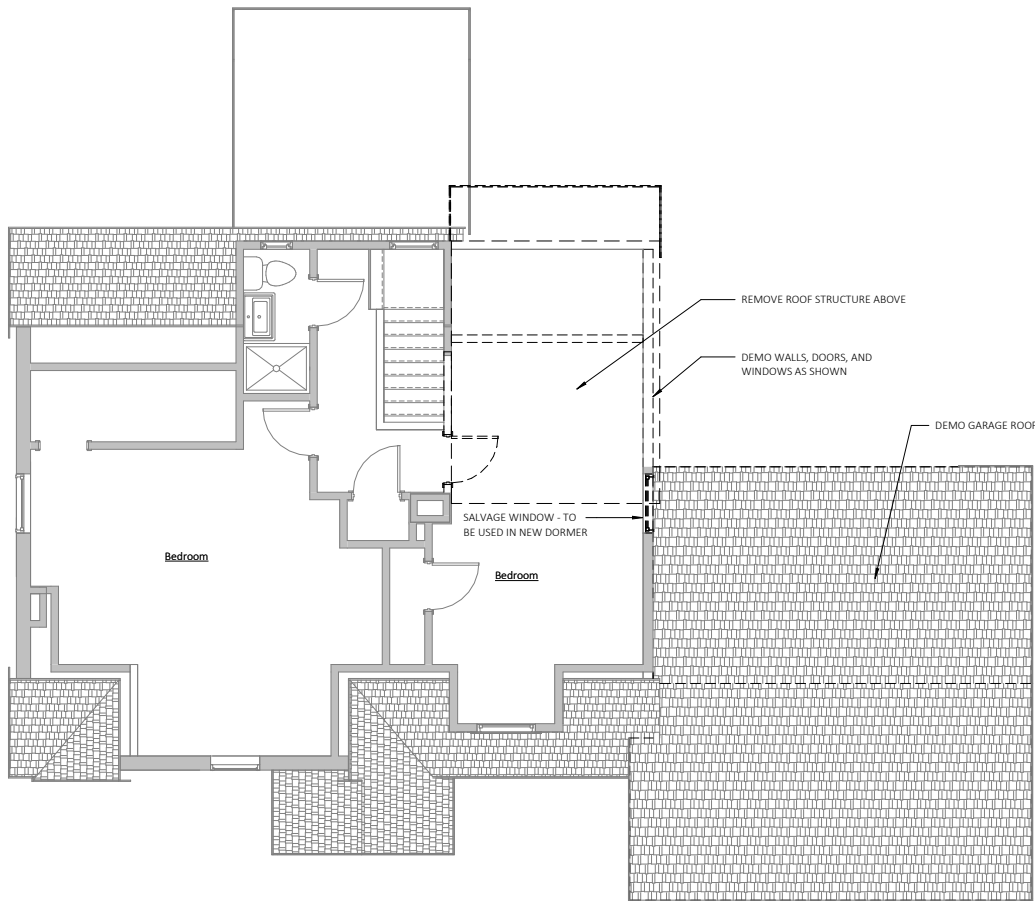
A0.0

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO., LLC



A First Floor Demo  
1/4" = 1'-0"



B Second Floor Demo  
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION ACTIVITIES. NOTIFY THE ARCHITECT OF ANY CONDITIONS AFFECTING THE WORK THAT VARY FROM THOSE INDICATED WITHIN THESE DOCUMENTS.
2. REMOVE ALL MATERIALS SCHEDULED FOR DEMOLITION FROM THE PROJECT SITE AND DISPOSE OF THEM IN A LEGAL MANNER. DO NOT BURN MATERIALS.
3. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF ADJACENT AREAS AND SURFACES THAT ARE NOT SCHEDULED FOR DEMOLITION IN ORDER TO ENSURE NO DAMAGE IS CAUSED TO ADJACENT AREAS OR SURFACES.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY DUST PARTITIONS AND WALK OFF MATS AS REQUIRED.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING TO BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION AS NEEDED.

DEMOLITION LEGEND

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN



Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
**Two-Story Addition**  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

04-21-2025 Revised Permit Set

Demolition  
Plans

A1.1

Project Number: 2315

FLOOR PLAN LEGEND

- EXISTING TO REMAIN  
NEW CONSTRUCTION

FLOOR PLAN GENERAL NOTES

1. FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS, INCLUDING FLOOR LEVEL HEIGHTS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE FACE OF SHEATHING. ALL OTHER DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
3. INTERIOR WALL ASSEMBLIES SHALL CONSIST OF 1/2" GYP BD ON EA SIDE OF 2x4 WOOD FRAMING @ 16" OC, UNO.
4. FRAMING SIZES BASED OFF SPRUCE-PINE-FIR (SPF) GRADE #2 OR BETTER UNO.
5. FIELD VERIFY ALL RELEVANT DIMENSIONS AND CONDITIONS PRIOR TO FABRICATION OF ANY SYSTEMS.
6. WALL BRACING SHALL BE CONSTRUCTED IN COMPLIANCE WITH RCO 602.10.
7. HVAC DESIGN PROVIDED BY OTHERS, SHOWN HERE FOR REFERENCE AND COORDINATION ONLY.
8. PROPERLY BRACE ALL FOUNDATION WALLS PRIOR TO BACKFILLING.
9. CONTRACTOR TO CONFIRM THE FOUNDATION HEIGHT IS AT LEAST 6" ABOVE FINISHED GRADE AT THE FULL PERIMETER OF THE STRUCTURE. (4" FOR MASONRY STRUCTURES RCO 404.1.6)



Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
Two-Story Addition  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

04-21-2025 Revised Permit Set

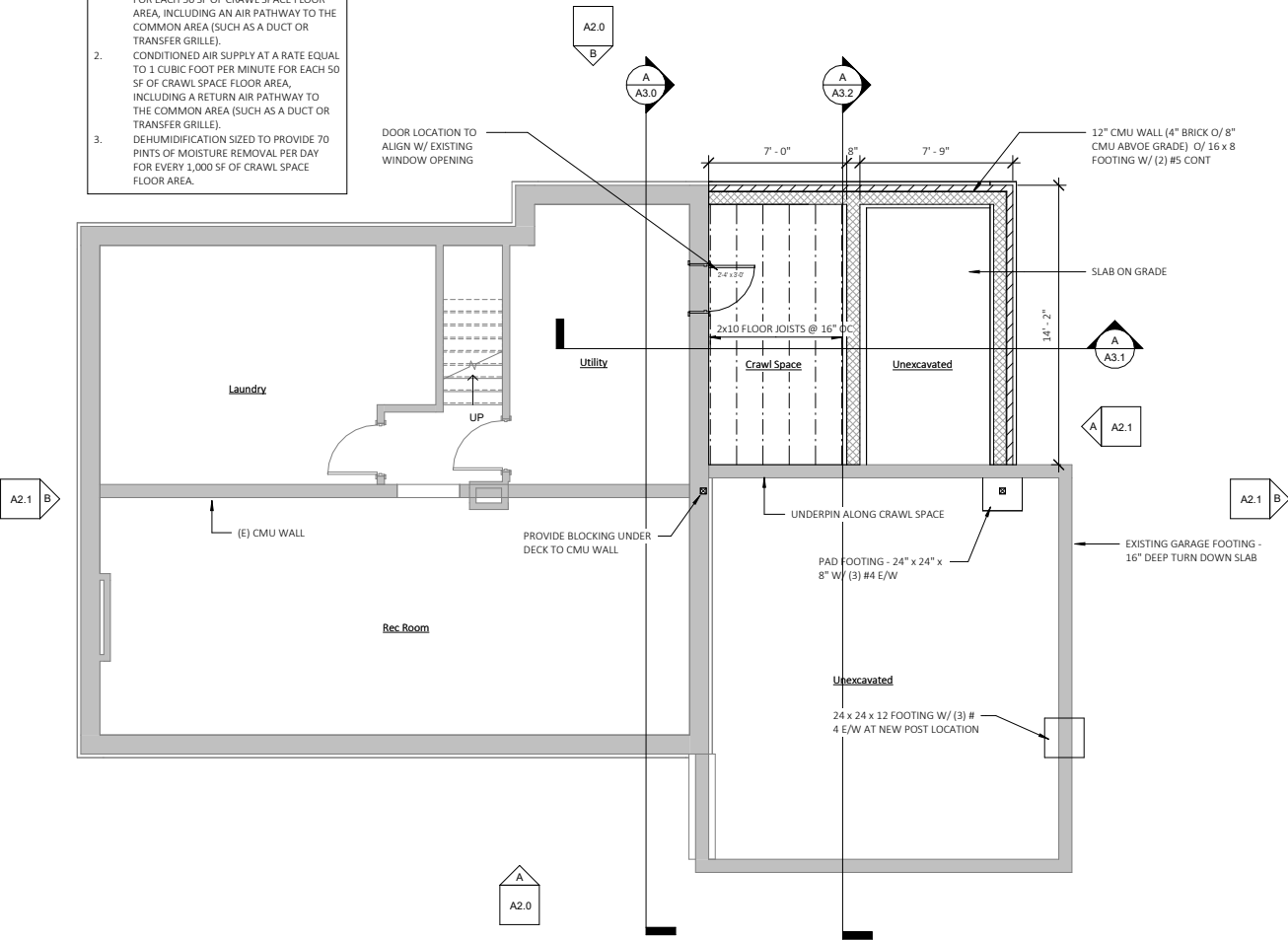
Foundation and  
First Floor Plans

A1.2

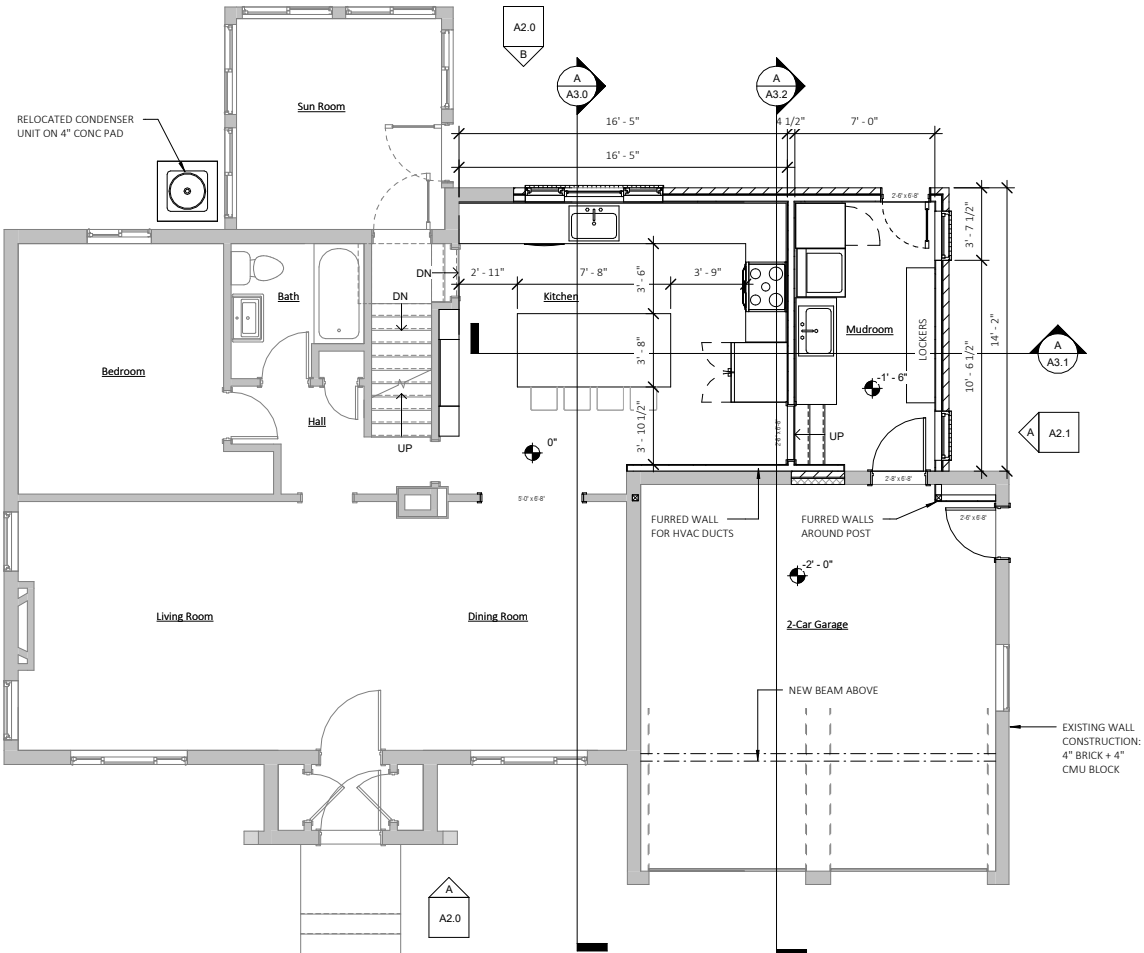
Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC

- HVAC:** PROVIDE CRAWLSPACE WITH ONE OF THE FOLLOWING:
1. MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE FOR EACH 50 SF OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE).
  2. CONDITIONED AIR SUPPLY AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE FOR EACH 50 SF OF CRAWL SPACE FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE).
  3. DEHUMIDIFICATION SIZED TO PROVIDE 70 PINTS OF MOISTURE REMOVAL PER DAY FOR EVERY 1,000 SF OF CRAWL SPACE FLOOR AREA.



A Basement  
1/4" = 1'-0"



B First Floor  
1/4" = 1'-0"





Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
Two-Story Addition  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

04-21-2025 Revised Permit Set

Second Floor  
and Roof Plan

A1.3

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC

FLOOR PLAN LEGEND

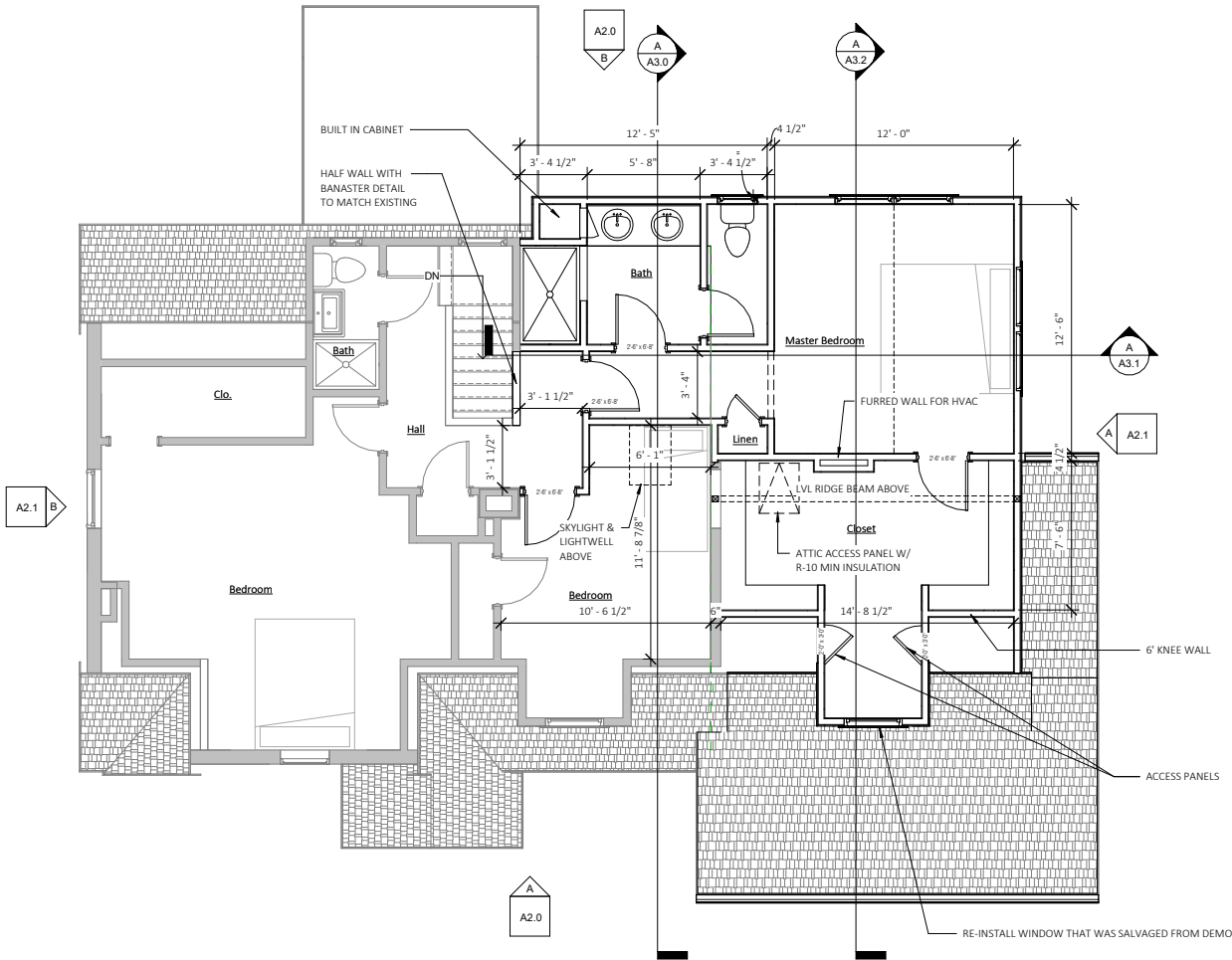
- EXISTING TO REMAIN  
NEW CONSTRUCTION

FLOOR PLAN GENERAL NOTES

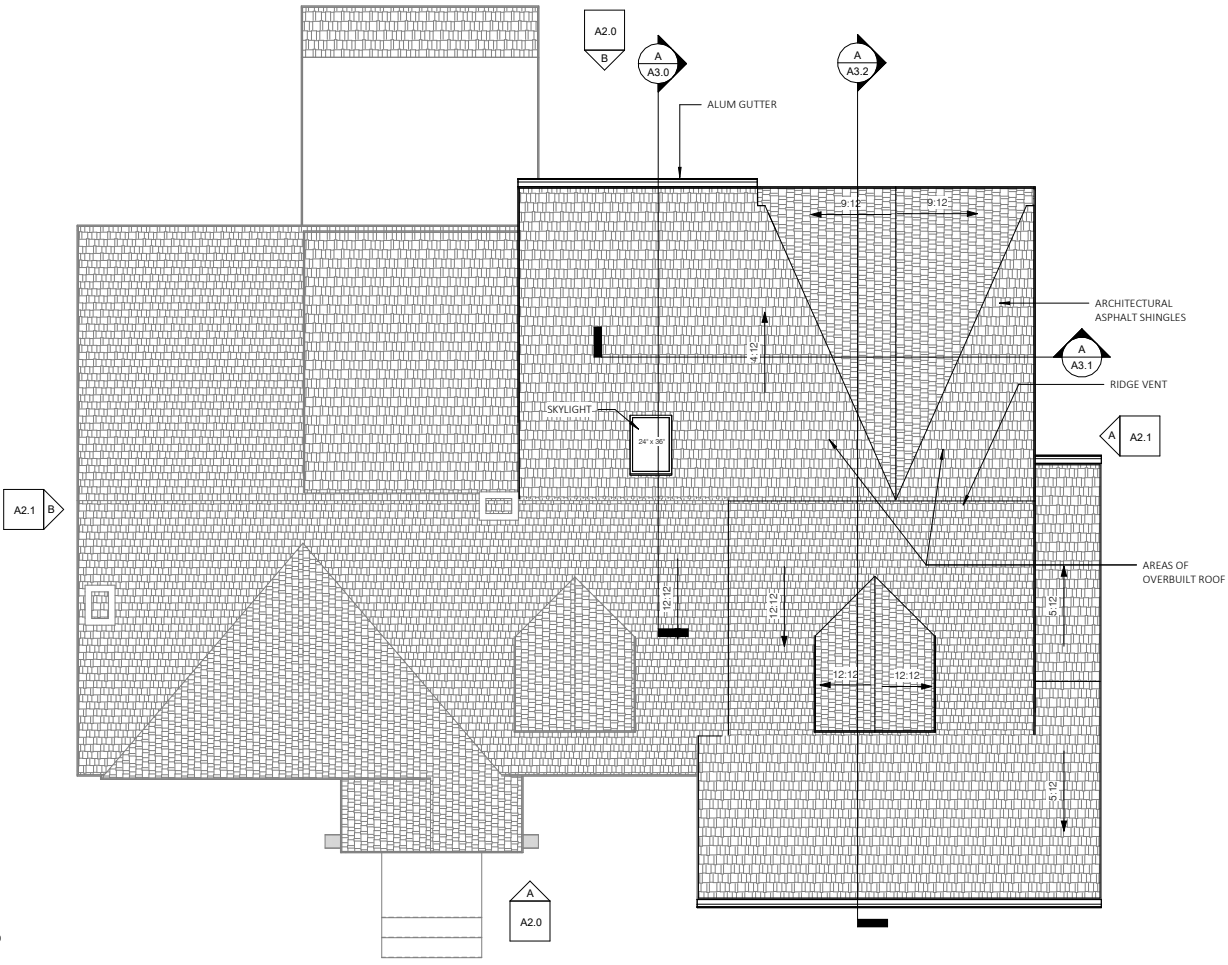
- FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS, INCLUDING FLOOR LEVEL HEIGHTS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE FACE OF SHEATHING. ALL OTHER DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
- INTERIOR WALL ASSEMBLIES SHALL CONSIST OF 1/2" GYP BD ON EA SIDE OF 2x4 WOOD FRAMING @ 16" OC, UNO.
- FRAMING SIZES BASED OFF SPRUCE-PINE-FIR (SPF) GRADE #2 OR BETTER UNO.
- FIELD VERIFY ALL RELEVANT DIMENSIONS AND CONDITIONS PRIOR TO FABRICATION OF ANY SYSTEMS.
- WALL BRACING SHALL BE CONSTRUCTED IN COMPLIANCE WITH RCO 602.10.
- HVAC DESIGN PROVIDED BY OTHERS, SHOWN HERE FOR REFERENCE AND COORDINATION ONLY.
- PROPERLY BRACE ALL FOUNDATION WALLS PRIOR TO BACKFILLING.
- CONTRACTOR TO CONFIRM THE FOUNDATION HEIGHT IS AT LEAST 6" ABOVE FINISHED GRADE AT THE FULL PERIMETER OF THE STRUCTURE. (4" FOR MASONRY STRUCTURES RCO 404.1.6)

ROOF PLAN GENERAL NOTES

- PROVIDE ICE GUARD ON ALL VALLEYS AND FOR 3' ON ALL EAVES.
- WHERE ROOF PITCH IS LESS THAN 4:12, ICE GUARD SHALL BE CONTINUOUS UNDER ENTIRE ROOF AREA.



A Second Floor  
1/4" = 1'-0"

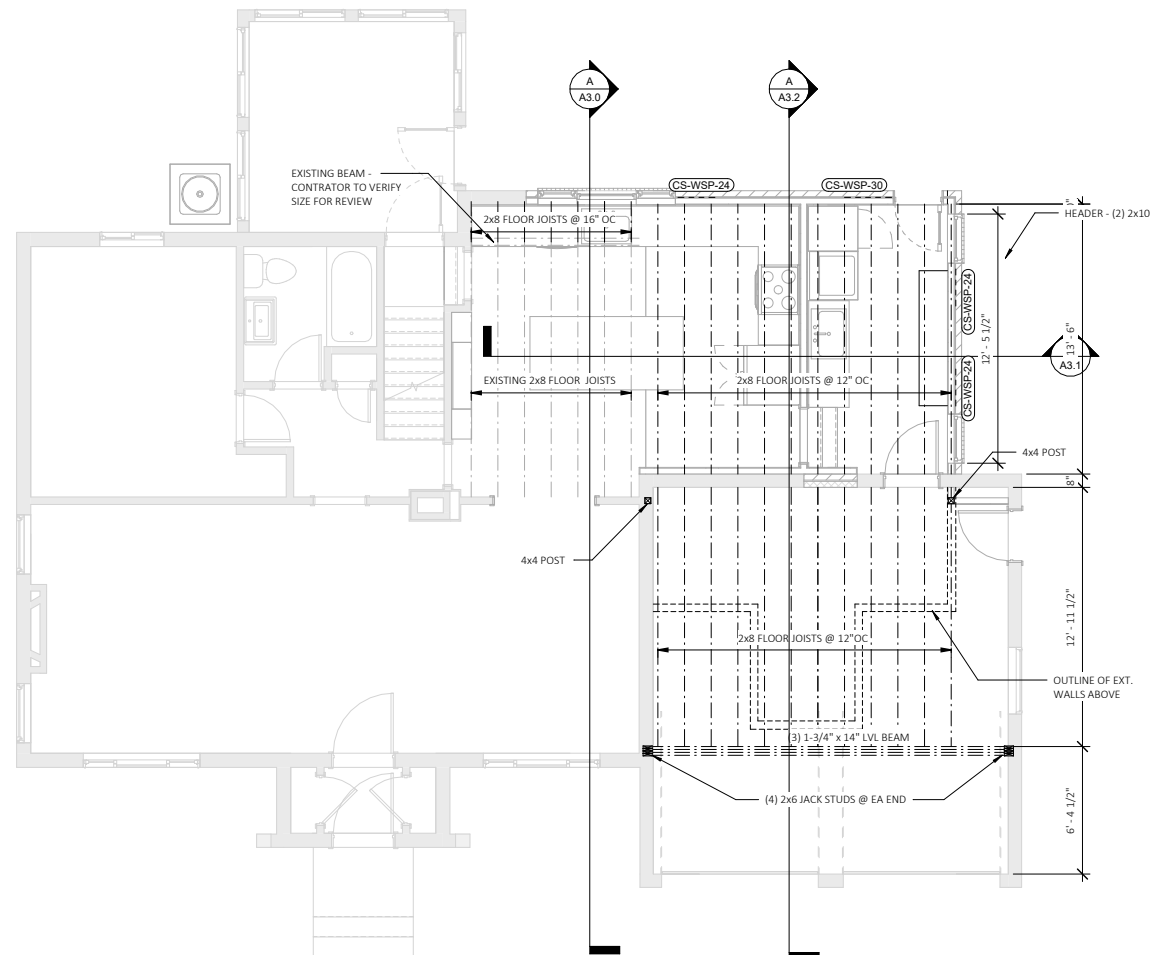


B Roof Plan  
1/4" = 1'-0"

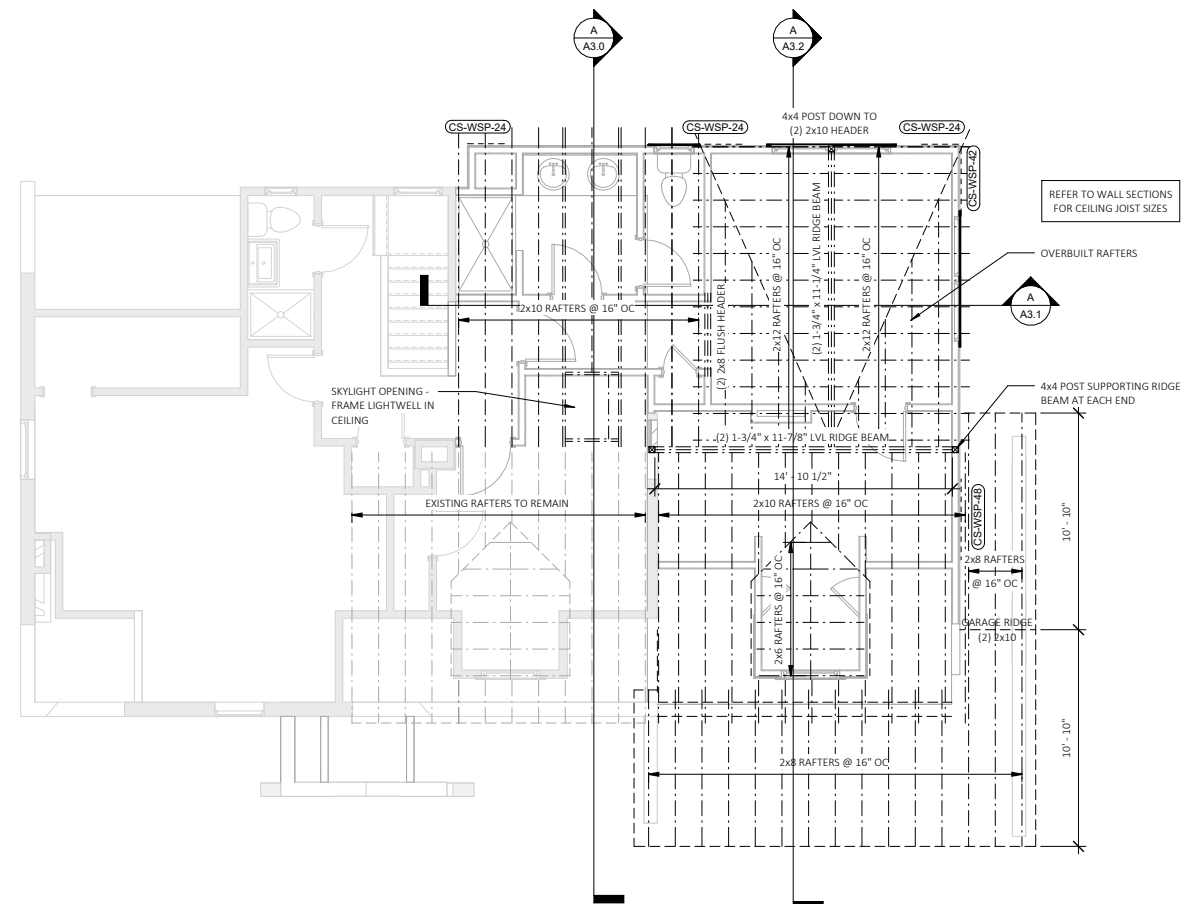


1. EXISTING EXTERIOR AND INTERIOR WALL FRAMING CONSISTS OF 2x4 WOOD STUDS AT 16" OC
2. NEW INTERIOR WALL ASSEMBLIES SHALL CONSIST OF 1/2" GYP BD ON EA SIDE OF 2x4 WOOD FRAMING @ 16" OC, UNO
3. HEADER SIZES IN BEARING WALLS ARE NOTED ON THE PLANS.
4. REFER TO BUILDING SECTIONS FOR HEIGHT OF RAISED RAFTER BEAMS
5. WOOD FRAMING TO BE SPRUCE-PINE-FIR #2 OR BETTER
6. PROVIDE SOLID BLOCKING DOWN TO SILL PLATE AT ALL POST LOCATIONS.
7. ENSURE EXISTING FOUNDATION WALLS ARE SOLID WHERE NEW POSTS BEAR.
8. WALL BRACING SHALL BE CONSTRUCTED IN COMPLIANCE WITH RCO 602.10. REFER TO SHEET A0.2 FOR CONSTRUCTION DETAILS.

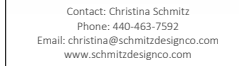
**CS-WSP-XX** CONTINUOUSLY SHEATHED WOOD STRUCTURAL  
PANEL W/ 7/16" OSB OR PLYWOOD SHEATHING. MIN.  
LENGTH NOTED IN INCHES. REFER TO SHEET A0.2 FOR  
CONSTRUCTION DETAILS.



**A** Second Floor Framing Plan  
1/4" = 1'-0"



**B** Roof Framing Plan  
1/4" = 1'-0"



Andrew and Sarah Stanton  
Two-Story Addition  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

04-21-2025 Revised Permit Set

## Framing Plans

### A1.4

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC



Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
**Two-Story Addition**  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

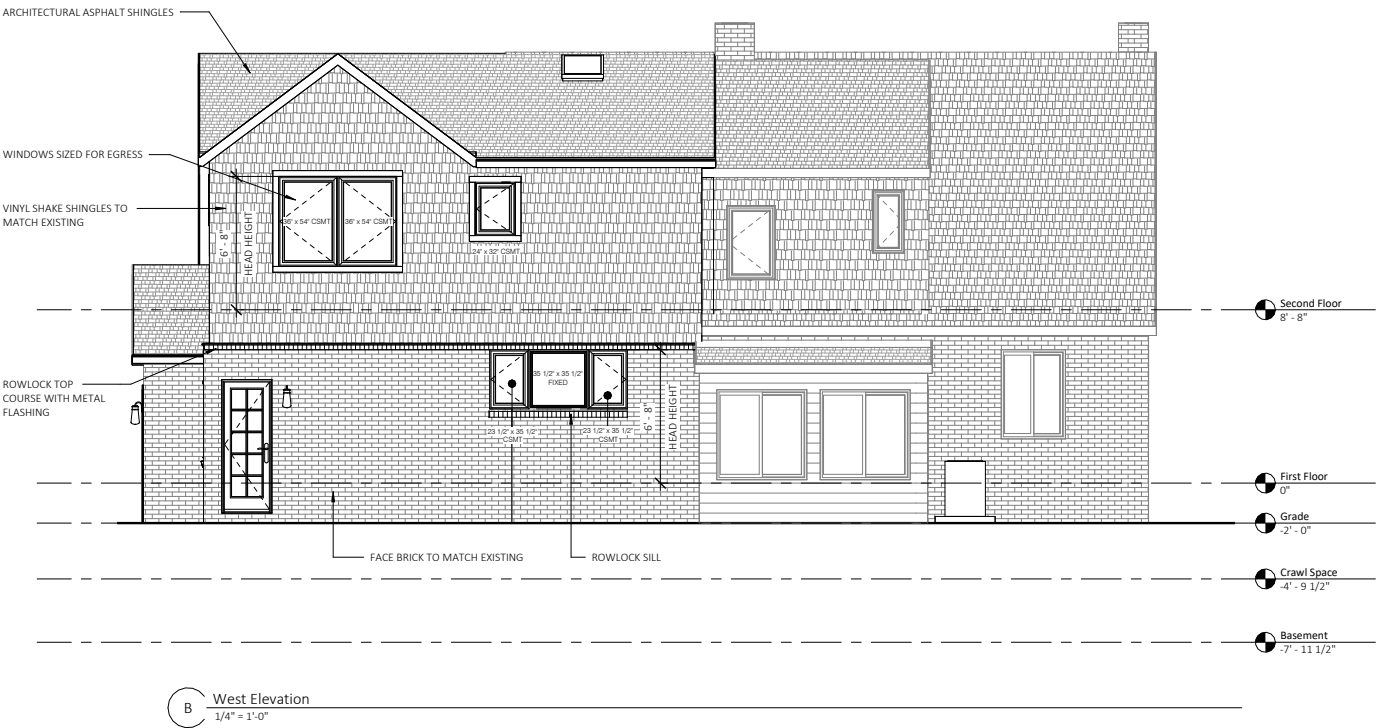
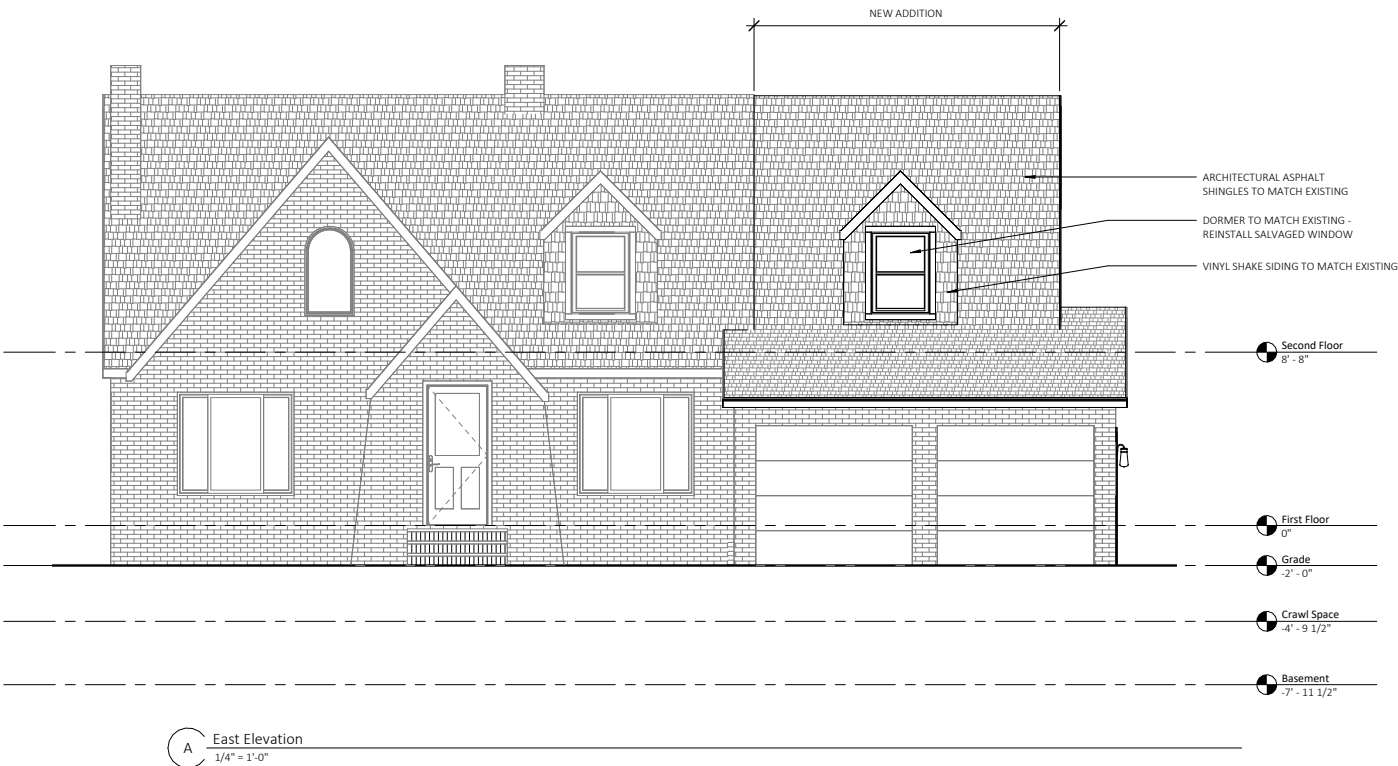
04-21-2025 Revised Permit Set

Exterior  
Elevations

A2.0

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC







Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
**Two-Story Addition**  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

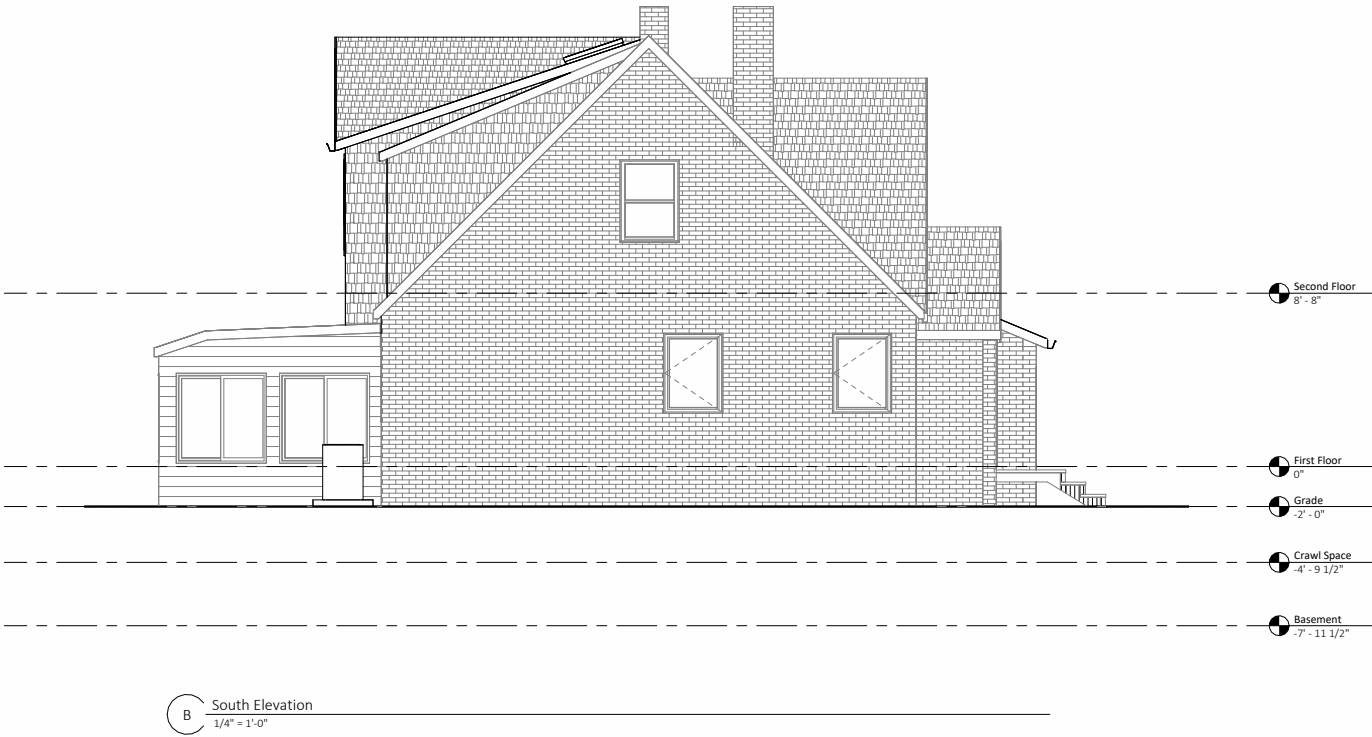
04-21-2025 Revised Permit Set

Exterior  
Elevations

A2.1

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC





Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com

Andrew and Sarah Stanton  
**Two-Story Addition**  
2296 Valley View Drive  
Rocky River, Ohio 44116



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

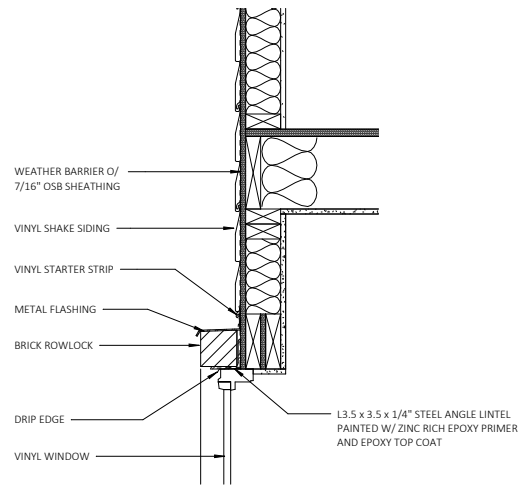
04-21-2025 Revised Permit Set

Wall Section  
and Details

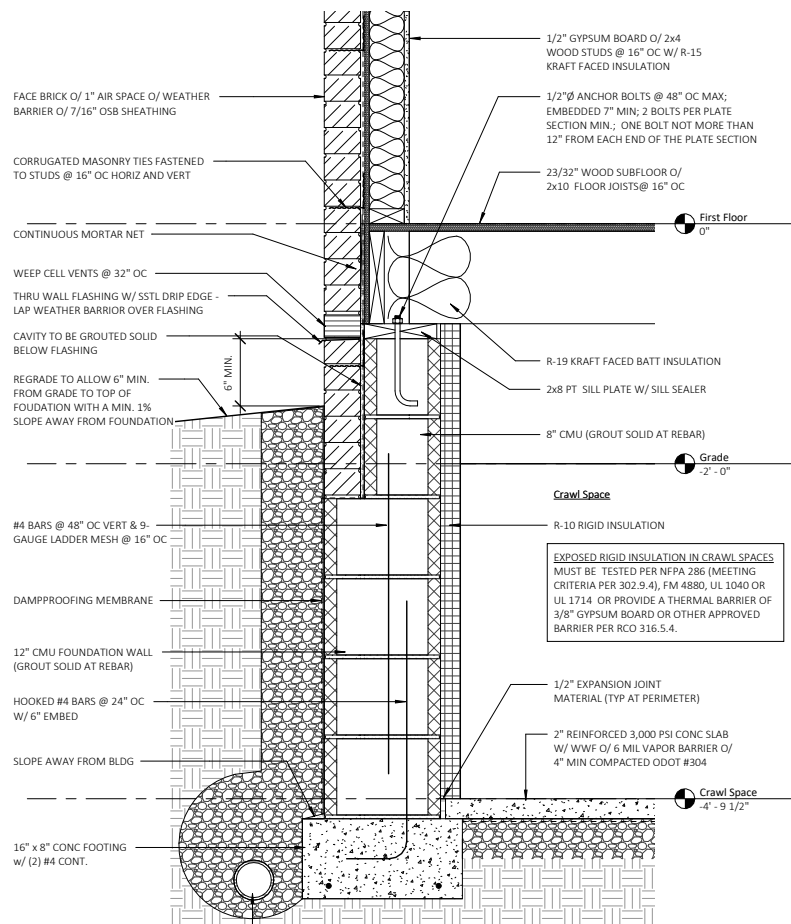
**A3.0**

Project Number: 2315

COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC



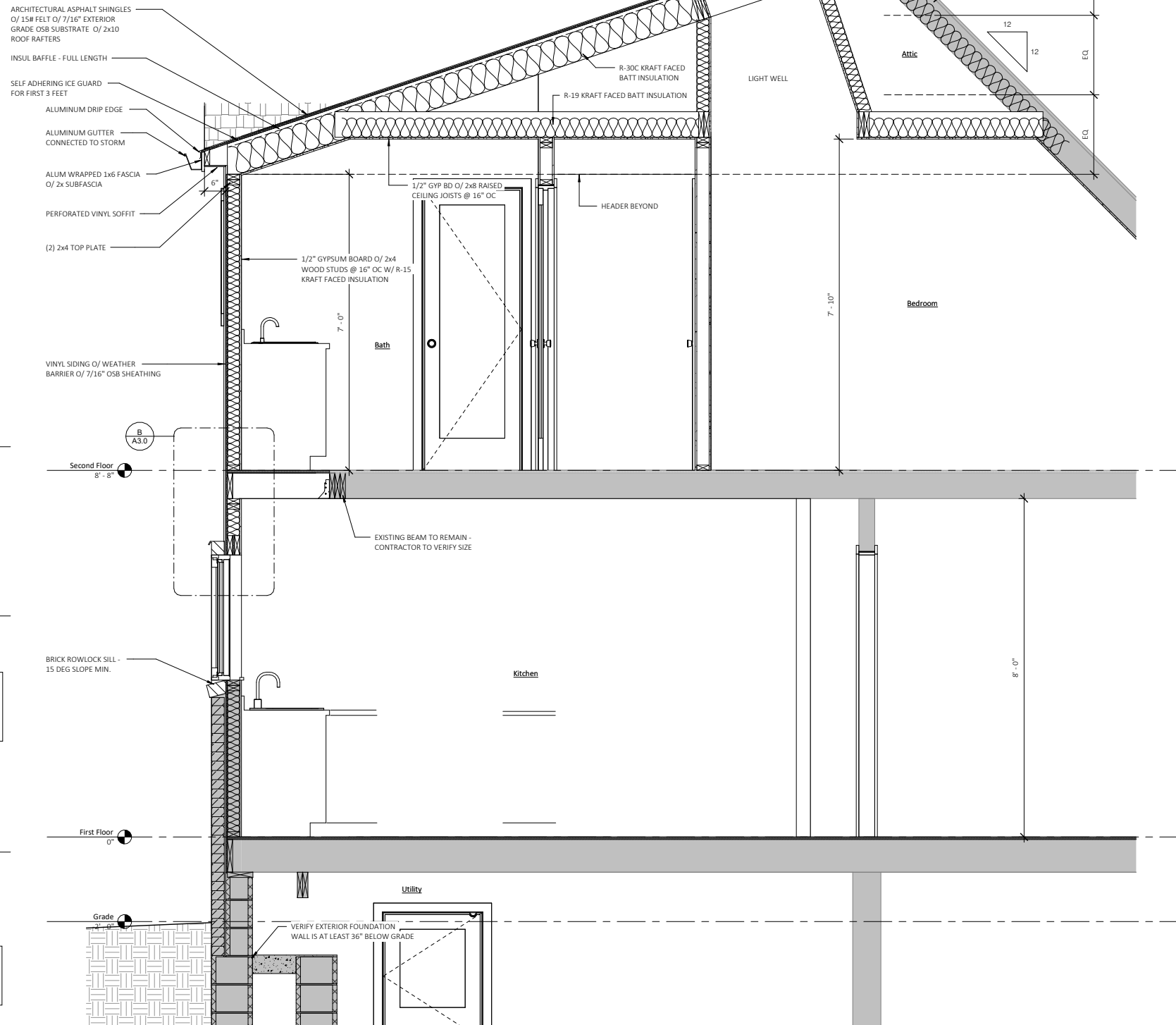
**B** Top of Brick Detail  
1 1/2" = 1'-0"



OPTIONAL: PROVIDE GRAVEL BACKFILL WRAPPED IN FILTER FABRIC TO WITHIN 12" OF GRADE AND 4" PERF PVC PIPE WRAPPED IN FILTER FABRIC ON 2" GRAVE BASE W/ GRAVEL EXTENDING 12" BEYOND FOOTING EDGE AND 6" ABOVE PIPE. CONNECT TO UNDERGROUND STORM SEWER SYSTEM.

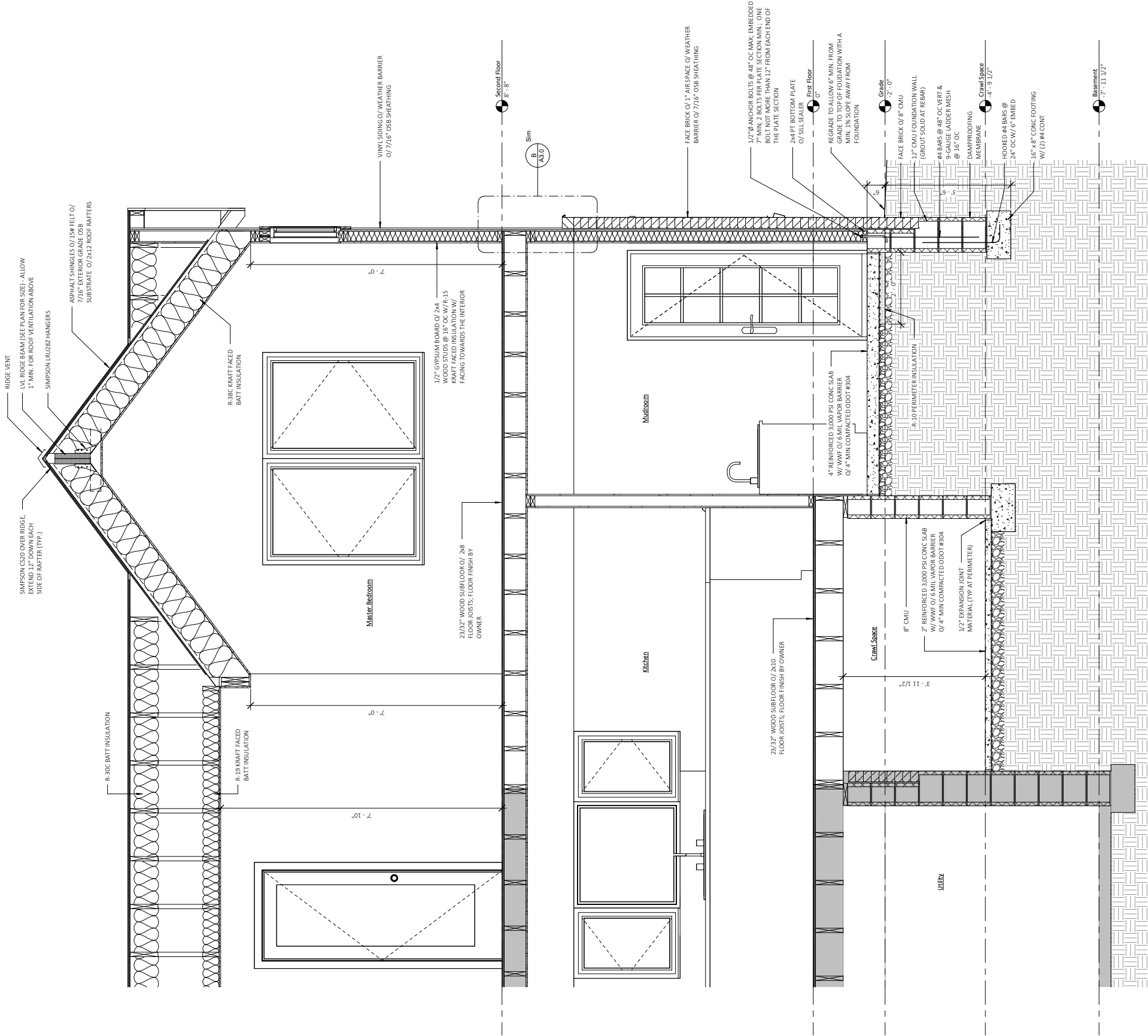
6 MIL VAPOR BARRIER: JOINTS SHALL BE OVERLAPPED 6" AND BE SEALED OR TAPED. THE EDGES SHALL EXTEND NOT LESS THAN 6" UP THE STEM WALLS AND SHALL BE ATTACHED TO THE STEM WALLS

**C** Typical Foundation Detail  
1 1/2" = 1'-0"

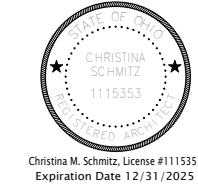


**A** Wall Section Thru Kitchen  
3/4" = 1'-0"





A Wall Section Thru Master Bedroom  
3/4" = 1'-0"



Christina M. Schmitz, License #1115353  
Expiration Date 12/31/2025

04-21-2025 Revised Permit Set

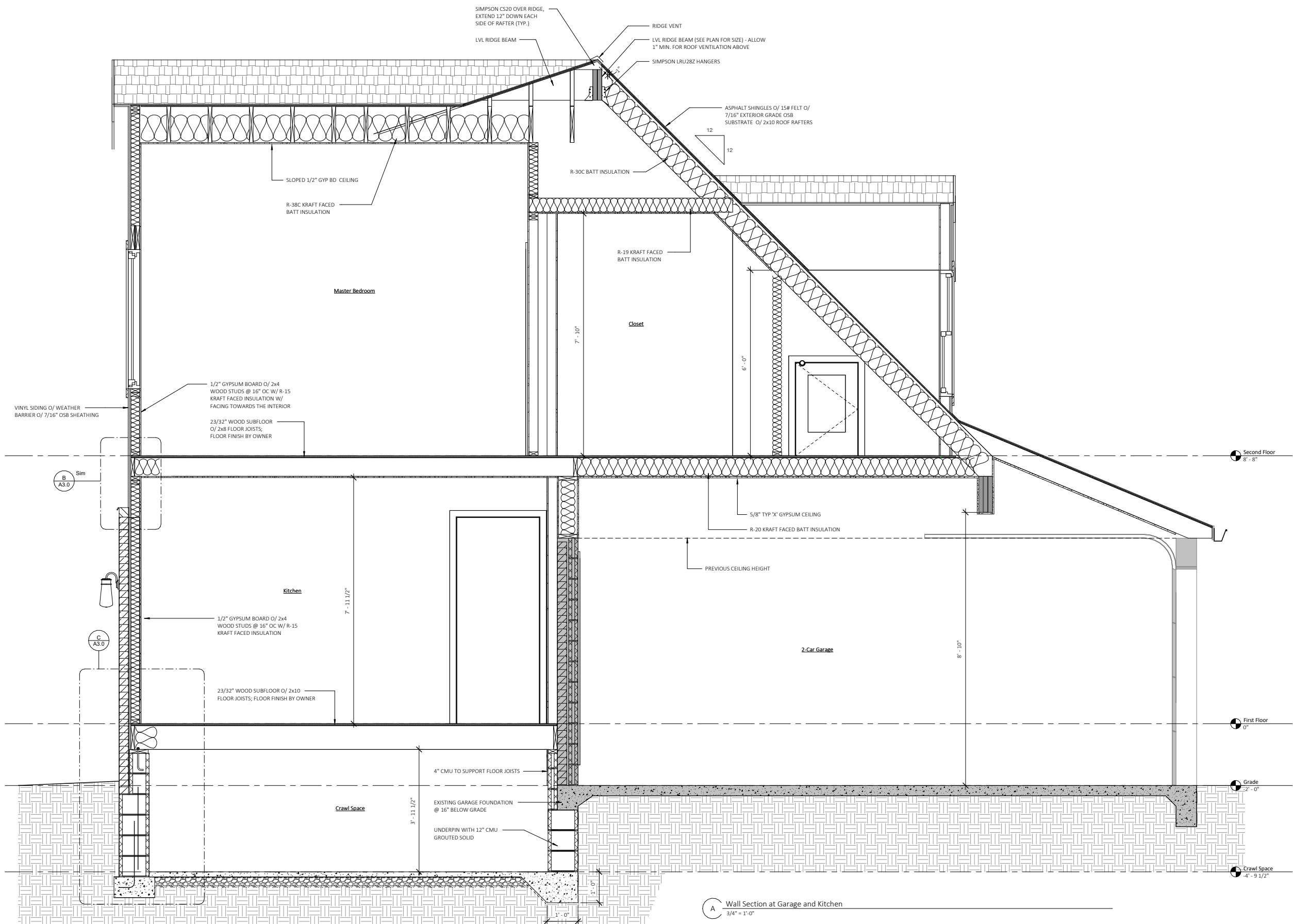
Wall Section

A3.1

Project Number: 2315

Andrew and Sarah Stanton  
Two-Story Addition  
2296 Valley View Drive  
Rocky River, Ohio 44116

Schmitz Design Co.  
Contact: Christina Schmitz  
Phone: 440-463-7592  
Email: christina@schmitzdesignco.com  
www.schmitzdesignco.com



A Wall Section at Garage and Kitchen  
3/4" = 1'-0"

Andrew and Sarah Stanton  
Two-Story Addition  
2296 Valley View Drive  
Rocky River, Ohio 44116



04-21-2025 Revised Permit Set

Wall Section

A3.2

Project Number: 2315