

PROPOSED DORMER ADDITION FOR:

THE EMIG RESIDENCE

1524 HAMPTON ROAD ROCKY RIVER, OHIO 44116
PERMIT JUNE 04 2025

CODE REVIEW

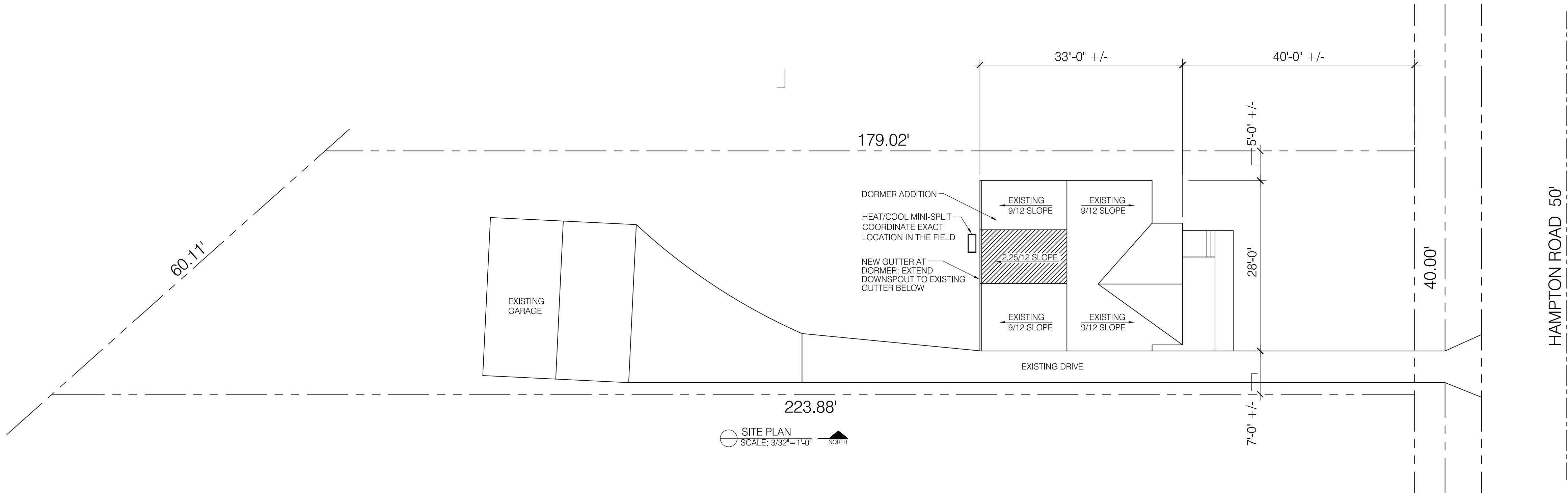
PERMANENT PARCEL NO: 301-24-040
DORMER ADDITION FLOOR AREA: 83 SQUARE FEET
CODE USED:
CITY OF ROCKY RIVER, OH CODE OF ORDINANCES, PART ELEVEN, TITLE SEVEN:
CHAPTER 1153; SINGLE-FAMILY AND TWO-FAMILY RESIDENTIAL DISTRICT REGULATIONS
2019 RESIDENTIAL CODE OF OHIO W/ UPDATES
2023 NATIONAL ELECTRIC CODE (NEC)
1155.05 LOT REGULATIONS
1-STORY DORMER ADDITION AT SECOND FLOOR
ROOF RAFTERS TO BE DOUGLAS FIR-LARCH #1 OR BETTER
LVL'S TO BE LOUISIANA PACIFIC LP SOLIDSTART 2900 - 2.0
ROOF LOAD: 20 PSF SNOW LOAD & 10 PSF DEAD LOAD
FLOOR DESIGN LOADS: 40 PSF (NON-SLEEPING ROOMS) & 10 PSF DL

DRAWING INDEX

A-1 SITE PLAN, GENERAL NOTES
A-2 DEMOLITION, SECOND AND FRAMING PLANS
A-3 ELEVATIONS
A-4 SECTIONS

MATERIALS LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW CONSTRUCTION
	CONCRETE
	CONCRETE BLOCK
	STEEL
	ROUGH LUMBER
	PLYWOOD
	SAFING INSULATION RIGID INSULATION



GENERAL NOTES

- COORDINATE WORK WITH ALL DRAWINGS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR TO BE RESPONSIBLE FOR SHORING, UNDERPINNING, BRACING AND OTHER TEMPORARY SUPPORT NECESSARY.
- ABANDONED, UNUSED OR FUNCTIONLESS MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, PIPING, CONDUIT, FIXTURES, ETC., SHALL BE REMOVED. IN NO CASE SHALL ANY ABANDONED ITEMS REMAIN UNLESS OTHERWISE NOTED.
- REMOVE AND DISPOSE OF ALL CONSTRUCTION NOT INDICATED TO REMAIN, NOT REQUIRED FOR COMPLETION OF NEW CONSTRUCTION, AND NOT INDICATED TO BE SAVED AND REUSED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PROTECTION OF EXISTING ELEMENTS TO REMAIN AND SHALL REPAIR ANY DAMAGES, TO THE OWNER'S SATISFACTION, PRIOR TO COMPLETION OF CONSTRUCTION. THIS INCLUDES ANY BLOCK AND BRICK THAT IS CUT TO BE PATCHED & REPAIRED TO OWNER'S SATISFACTION.
- DIMENSIONS THROUGHOUT THESE CONTRACT DOCUMENTS FOR NEW WALL ARE MEASURED FACE TO FACE U.N.O. ALL DIMENSIONS REFERENCING EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.
- CONTRACTOR TO VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE BUILDING AND SITE AFFECTED BY THIS WORK , SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK.
- CONTRACTOR TO CONFORM TO LATEST ADOPTED EDITION OF ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

DRAWING SYMBOLS

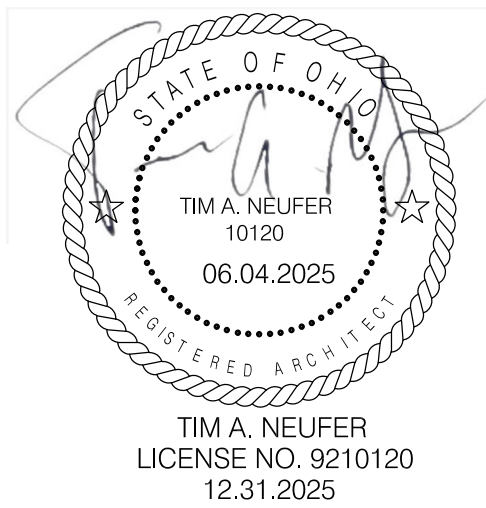
	PLAN DETAIL TAG
	DETAIL TAG/ REFERENCE SHEET
	ROOM NAME AND NUMBER
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	SECTION DETAIL TAG
	WALL SECTION DETAIL TAG
	RELATIVE ELEVATION TAG
	REVISION NUMBER TAG

ISSUED FOR: PERMIT
DATE: 06/04/25

New Architecture
2157 Glenbury Avenue
216.956.0426
tanardt@cox.net
Cleveland, Ohio 44107

PROPOSED DORMER
ADDITION FOR
THE EMIG RESIDENCE
1524 HAMPTON ROAD
ROCKY RIVER OHIO 44116

SITE PLAN
GENERAL NOTES

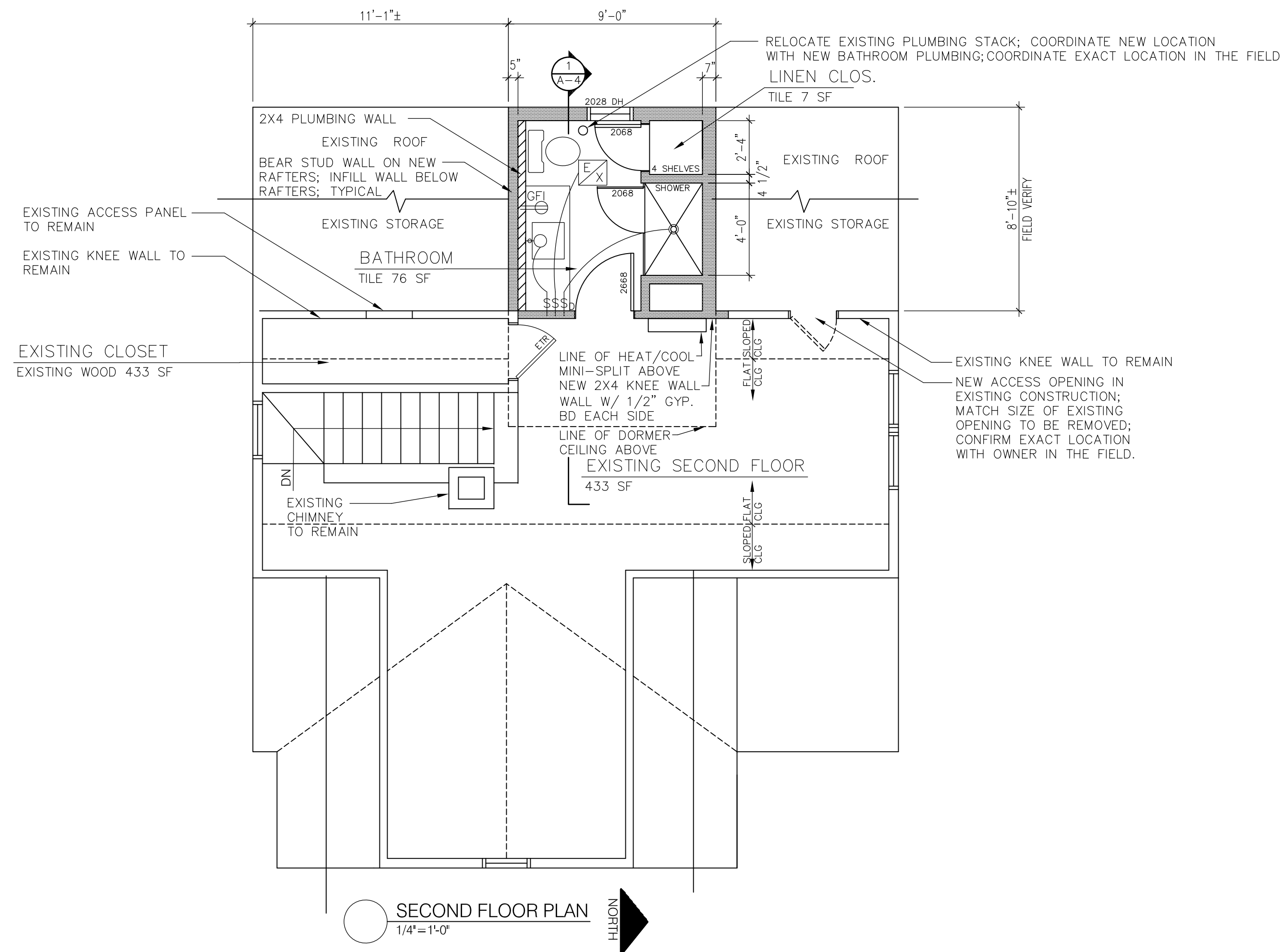
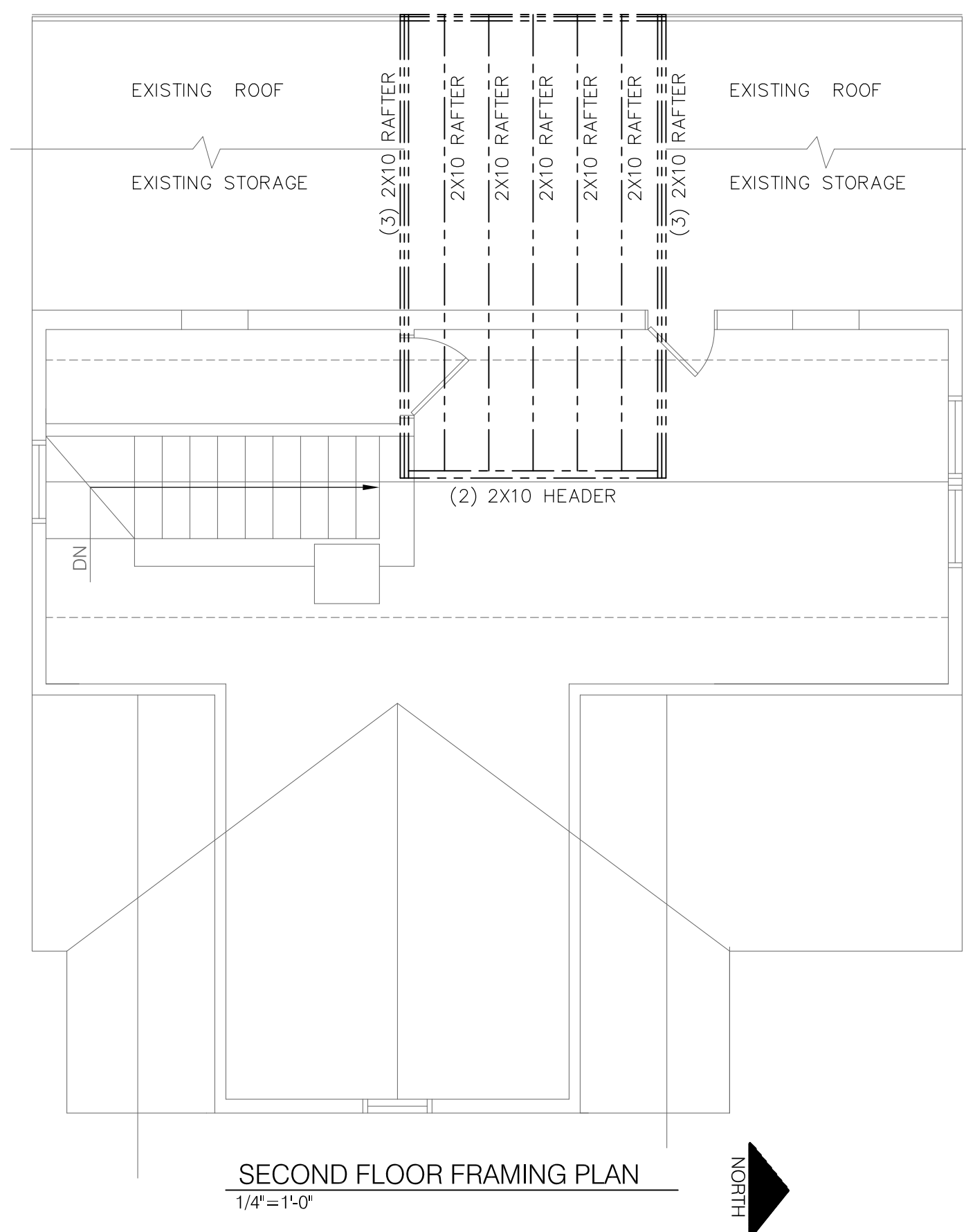
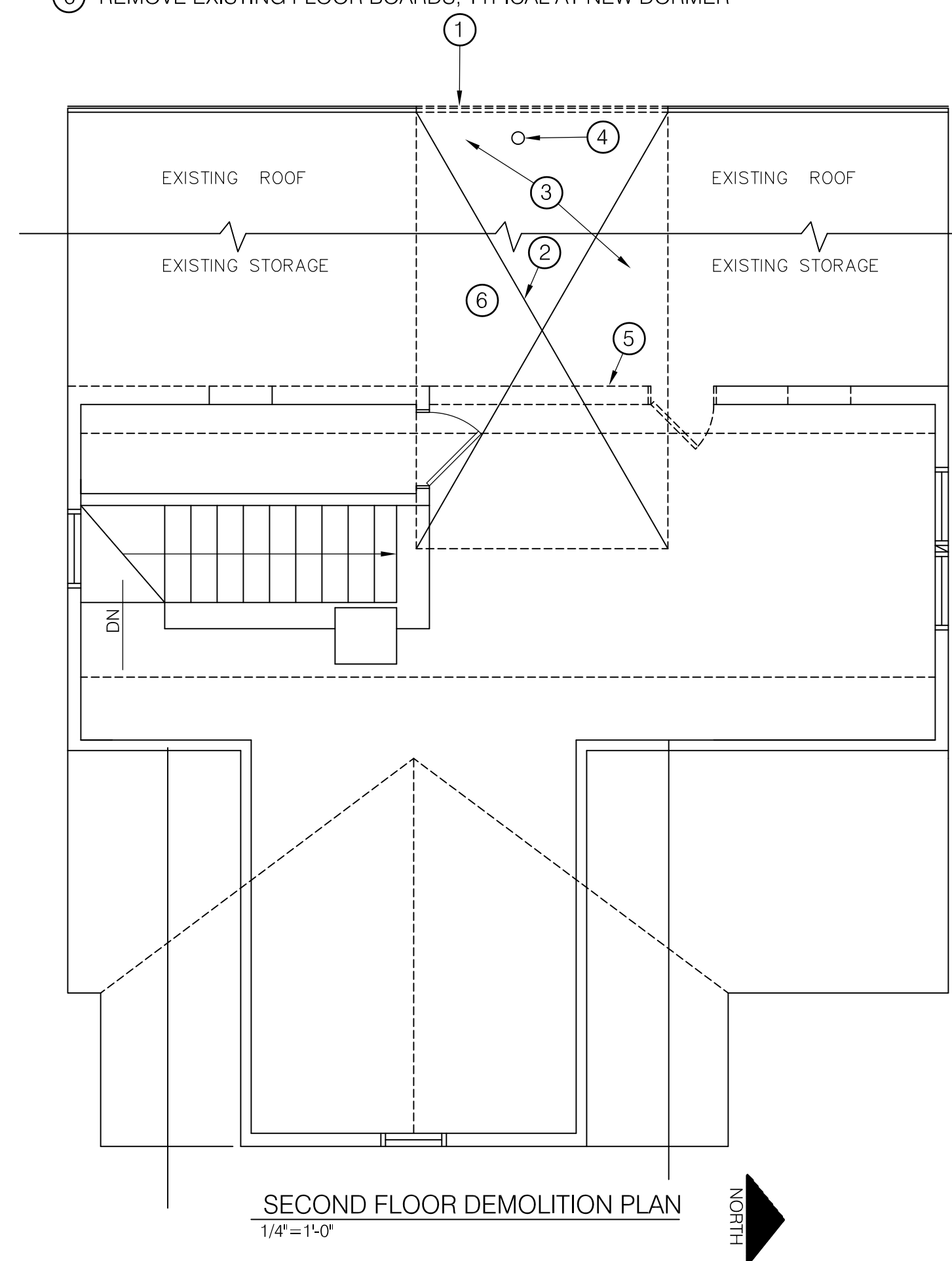


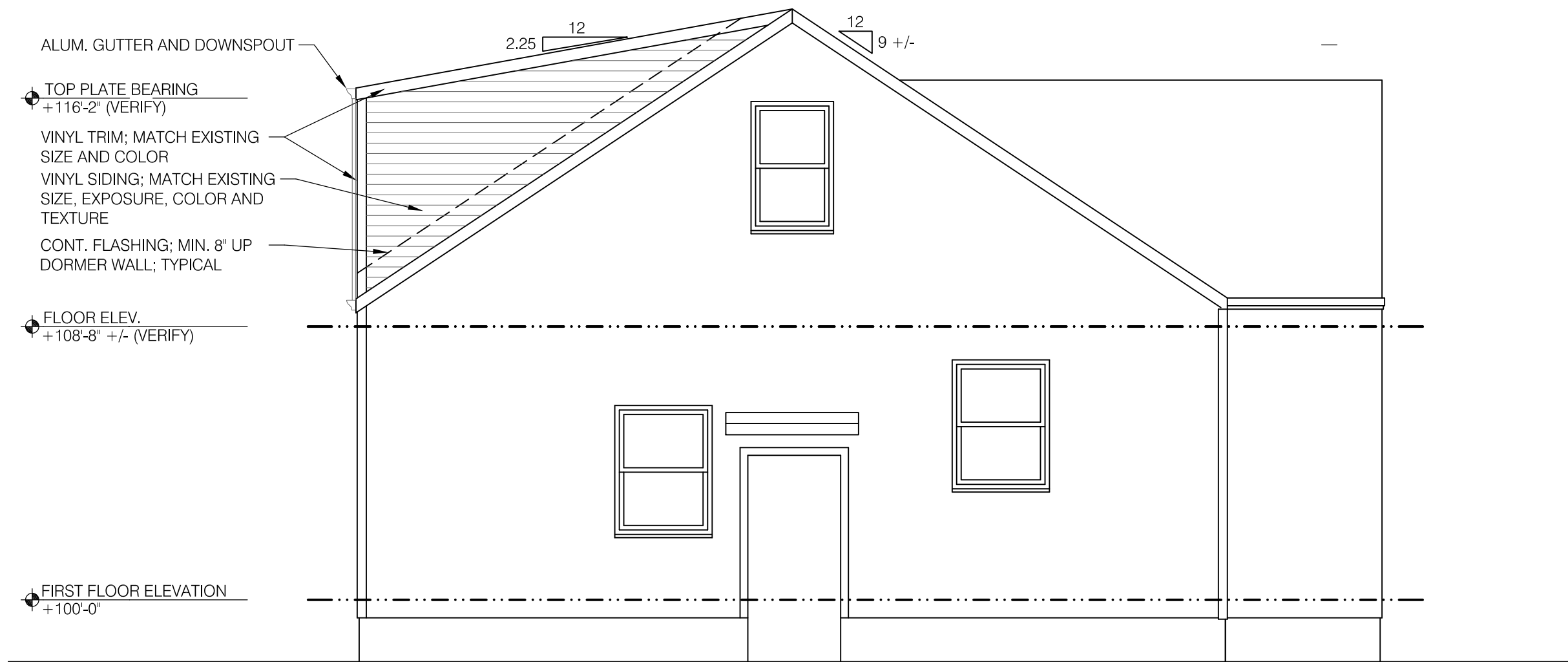
2503

A-1

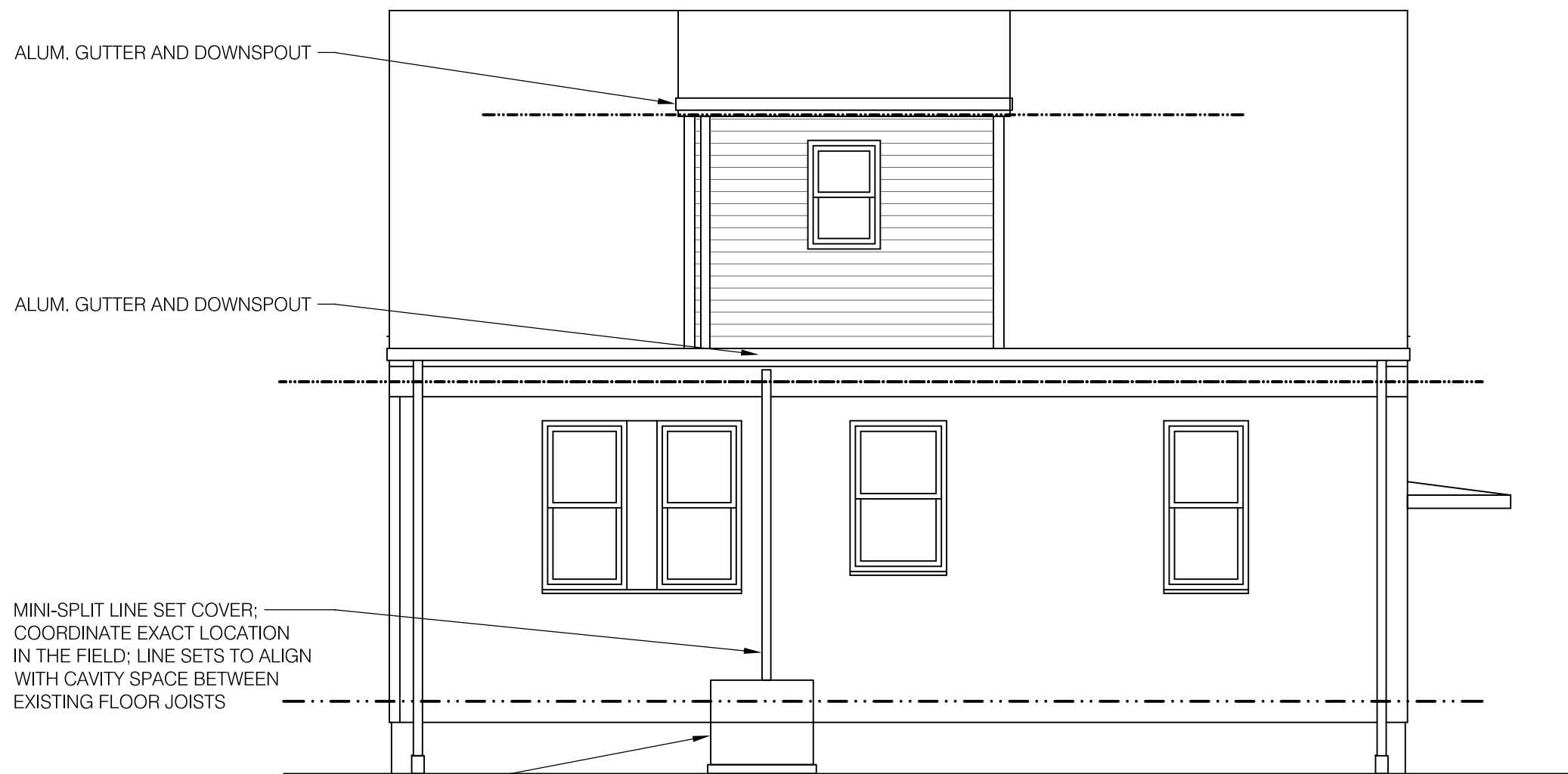
PLAN NOTES (#)

- ① REMOVE EXISTING GUTTER, FASCIA AND GUTTER BOARD AT NEW DORMER LOCATION; VERIFY EXTENT OF REMOVAL IN THE FIELD.
- ② REMOVE EXISTING SHINGLES, SHEATHING AND RAFTERS; VERIFY EXTENT OF REMOVAL IN THE FIELD.
- ③ REMOVE EXISTING WOOD FLOOR BOARDS TO PROVIDE ACCESS NEW PLUMBING; VERIFY EXTENT OF REMOVAL IN THE FIELD.
- ④ RELOCATE EXISTING VENT STACK; VERIFY EXACT LOCATION IN THE FIELD
- ⑤ REMOVE EXISTING KNEE WALL; VERIFY EXTENT OF REMOVAL IN THE FIELD
- ⑥ REMOVE EXISTING FLOOR BOARDS; TYPICAL AT NEW DORMER

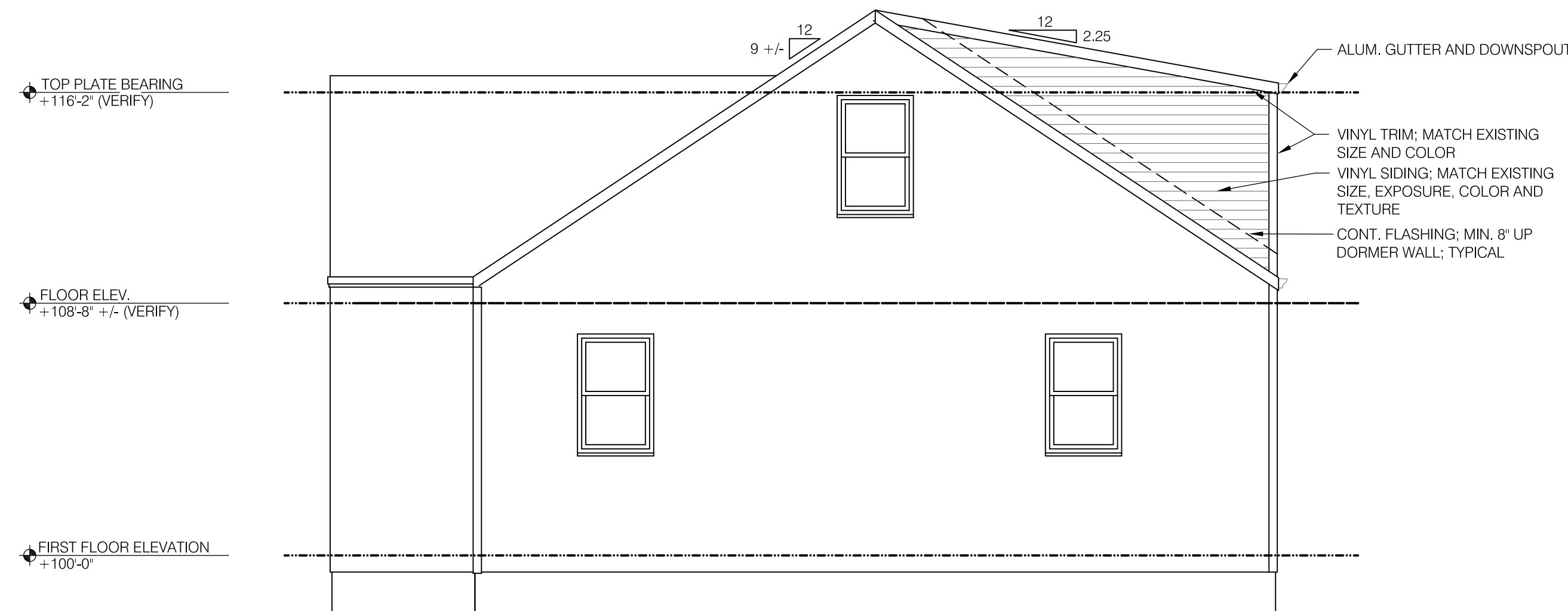




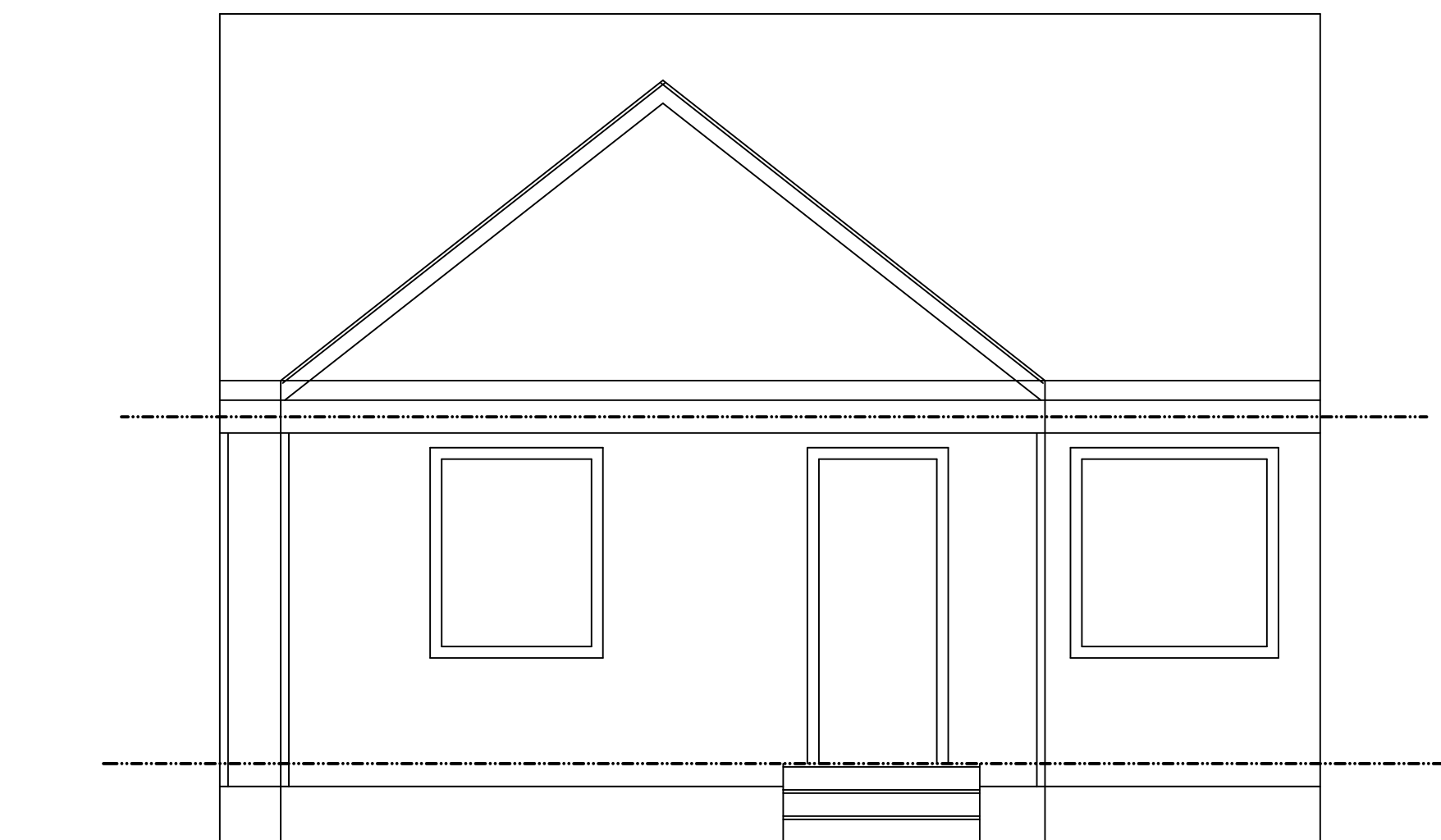
SOUTH ELEVATION
1/4"=1'-0"



WEST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"



EAST (FRONT) ELEVATION
1/4"=1'-0" NO WORK

