

Design and Construction Board of Review
Meeting Minutes
July 21, 2025

A meeting of the Design and Construction Board of Review was held at 5:00 PM at the Rocky River City Council Chambers, with the following members present:

Steve Jennings, Member
Kiera Szytec, Member
Christina Schmitz, Member

1. Spine & Joint Health & Wellness
21690 River Oak Dr

Sign Review

Present – Melissa Ruocco, Power of Life

- Beige color
- Individually cut
- Not illuminated
- Just the one sign on the south elevation only

Mr. Jennings motioned to approve as submitted. Mrs. Szytec seconded.

3 Ayes – 0 Nays
Approved

2. Prifti Residence
2805 Carmen Dr

New front deck

Present – Ilir Prifti, Homeowner

- Composite materials – hasn't decided yet, but will not be aluminum – black color
- The stairs come out in front of the deck – they are recessed in the deck a little bit
- Solid skirt in front – landscaping on the sides
- The Board member asked about the posts and their spacing – Mr. Prifti said he is not sure that he made the rendering with Chat GDP – The Board tells him the spacing is typically 5'
- Railing will go down both sides of the stairs – different on each side because of how the stairs are set in
- The posts are put into the ground – a 36" hole with rubber that the posts sit on
- Steps will match the deck

Mr. Jennings motioned to approve with the condition that there are equally spaced posts on the front that are approximately 5' apart. Mrs. Schmitz seconded.

3 Ayes – 0 Nays
Approved

3. Kleckner Residence
2798 Hampton Rd

Two-story addition – garage on first floor and master suite on second – and a one-story sunroom addition on the rear of the home

Present – Jill Brandt, Architect
Jeanne Kleckner, Homeowner

- Bringing the garage forward and attaching it to the house with a primary master suite on the second floor
- One-story sunroom addition on the rear
- Extending the front porch
- Matching the brick and shingles
- Will either match existing shake siding or will reside – regardless, it will match
- Reusing some existing windows – new ones will match
- The garage is recessed from the face of the house
- The Board asked about possibly removing the roof spacing between the dormer windows on the rear of the second-story addition – Mrs. Brandt said they did that to match the existing windows of the house
- The Board asked about the purpose of the garage door on the rear of the garage – Mrs. Kleckner said currently the driveway goes to the rear of the property, and the garage door is to maintain that openness and convenience, especially when entertaining – demolishing the driveway and garage behind the addition
- The Board asked if they considered putting the standing seam on the dormer – Mrs. Brandt said they went back and forth and decided to go with the asphalt shingles, but it is on the window well
- The garage door on the rear of the garage will be paneled and match the siding color

Mrs. Szytec motioned to approve with a recommendation to look at combining the rear dormer windows to eliminate the gutter and downspout. Mr. Jennings seconded.

3 Ayes – 0 Nays
Approved

4. O'Brien Residence
2244 Winfield Ave

First-floor kitchen addition and second-floor bathroom dormer addition

Present – Jill Brandt, Architect

- Expand the kitchen and better utilize the mudroom and dormer bathroom on the rear
- Matching the existing brick – found a good match already

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- The Board asked if they are going to match in the brick – Mrs. Brandt said they will leave that to the mason – if it doesn't, there is a downspout that can hide where the old and new brick meet
- The window height on the addition will match the existing window height on the existing south elevation
- Putting a new door on the breezeway with vinyl siding, the same vinyl that will be on the dormer – matching the gable siding on the garage
- The new entry door into the mudroom will be trimmed out; there is no room for any other materials
- Behind the existing mudroom, they are creating a cricket – one directional slope

Mrs. Szytec motioned to approve as submitted. Mr. Jennings seconded.

3 Ayes – 0 Nays
Approved

5. Umbenhour Residence
1032 Elmwood Rd

**Rear mudroom addition, covered
patio, and breezeway**

Present – John Faile, Architect
Susan Umbenhour, Homeowner

- Received a variance to have 32% lot coverage
- The rear addition will be a mudroom/art room
- Needed a safe walking space in the winter – they have an extended mudroom and a canopy to the garage – which allows them to take lawn equipment from the driveway to the backyard but still is covered to protect from the elements
- There are two sets of doors on the rear – one set will go away with the mudroom – the other set will be painted grey to match the garage
- The Board asked about the roof – Mr. Faile said he would like to pitch it all towards the south, so he only has to gutter it on the one side
- The columns will be painted grey
- The Board said she will lose a lot of natural light – Mrs. Umbenhour said she will be adding skylights
- Whatever fascia that is used on the addition, pavilion, and covered breezeway should be consistent with the existing fascia on the first floor – either match existing or update both so they look consistent
- The breezeway will have sliding doors that can be closed when the weather is bad, but still allow access to the rear yard for lawn equipment – the material will match the new fence – cedar horizontal fence boards
- The garage door will go from two-car to one-car

Mr. Jennings motioned to approve with the recommendation to investigate matching the fascia on the addition and the existing. Mrs. Schmitz seconded.

3 Ayes – 0 Nays
Approved

6. City of Rocky River
21012 Hilliard Blvd

New Fire Station

Present – David Urbansky, Architect
Rich Snyder, Director of Public Safety-Service
Aaron Lenart, Fire Chief

- Respaced the window spacing around the dormitories and lowered the watch room/tower
- Raised the parapet height on the one-story portion that attaches to City Hall to limit the amount of brick
- The proportion of the horizontals matches the police station
- The Board asked what is determining the size of the watch room/tower – Mr. Urbansky said it is program space
- The Board discussed whether there should be more glass on the watch room/tower – Mr. Urbansky said they are trying to avoid this looking like a public entrance
- The Board said that since they lowered the height, it doesn't need to be attached – they can now adjust the window spacing so that it's even across
- Mr. Snyder said that they would be losing the continuity between the police station and fire station because there is no detached tower on the police station – the Board said that since the height is shrunk, being detached will not be as noticeable
- The joints in the stone and the mullions will match what is on the police station – they do not match each other
- Mr. Snyder wants clarification on what makes it less attractive now that it is attached – The Board said that when they attached it, the spacing of the windows next to it had to shrink, which is different from the consistent rhythm of the other windows – since the height was lowered, detaching it would look better and less noticeable

Mrs. Szytec motioned to approve with the comment to investigate whether the watch room should be attached or detached to accommodate the window spacing to match the rest of the façade. Mr. Jennings seconded.

3 Ayes – 0 Nays
Approved

7. RiverRock Apartments, LLC
18997 & 18975 Hilliard Blvd

**Demolition of two existing carports
and the construction of one larger
carport**

Present – Andrew Deerhake, Property Owner
Christina Schmitz, Architect

- There are two existing garages/carports, and they will be demolished, and one continuous carport will take their place
- There is a 3' retaining wall between these properties and the properties on Rockcliff Dr – that is getting redone
- They have already received multiple variances for the project
- Trash enclosure in the middle with covered mailboxes
- It will split face CMU block with bronze aluminum trim
- Roof will pitch towards the driveway and have gutters and downspouts
- This will need to have a zero lot line footer to not encroach on the neighbors' properties
- The split face will be a rye color – The Board would prefer a burnished finish
- Chain-link fence should only run along the side yard – it has to stop at the face of the building per the development code – they can either not have a fence or use ornamental, which would be permitted

Mrs. Szytec motioned to approve with the condition that the chain-link fence stops at the face of the building, and with the comment that the Board strongly recommends using a burnished finish split-face CMU block. Mr. Jennings seconded.

2 Ayes – 1 Abstain (Schmitz)
Approved

The meeting adjourned at 6:30 pm.

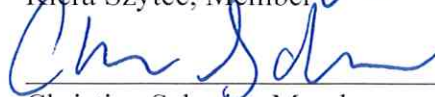
Respectfully submitted,



Steve Jennings, Chairman



Kiera Szytec, Member



Christina Schmitz, Member