

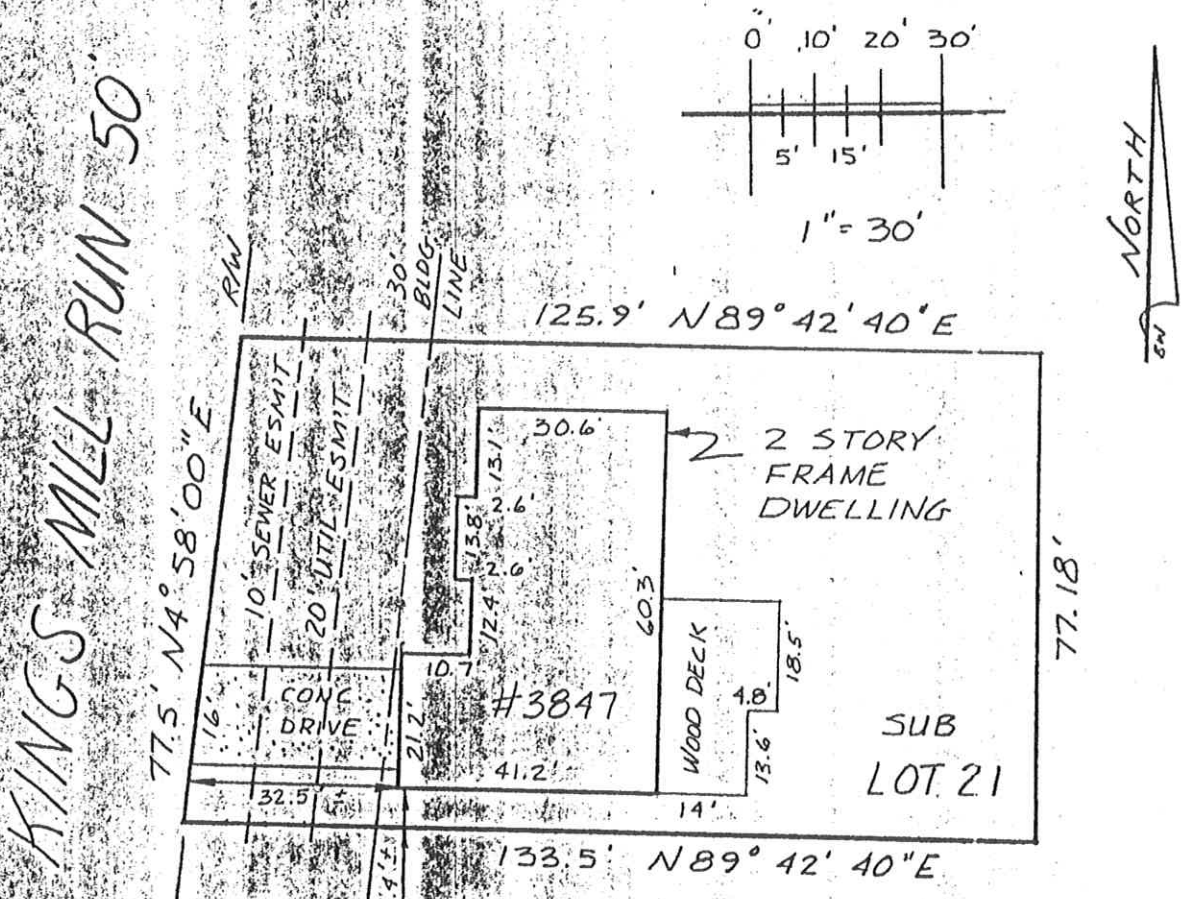
SITE INSPECTION REPORT

On 10-21-92 we inspected subject premises and received answers to the following questions:

Person Interviewed: **MR. KELLER**

1. What is the property owners name? Answer: **PHILIP & ELIZABETH KELLER**
2. Who is in possession? Answer: **PHILIP & ELIZABETH KELLER**
3. In possession as owner, tenant under lease, or land contractee? Answer: **PRESENT OWNER**
4. Have any materials been furnished or work performed in improving this property within the last ninety days? Answer: **NO**
5. Have any improvements to the street such as grading, surfacing, curbing, sidewalks or sewers been made within the last six months? Answer: **NO**

MAP OF MORTGAGE LOCATION SURVEY 3847 KINGS MILL RUN



DESCRIPTION OF ENCROACHMENTS AND VIOLATIONS:
NONE APPARENT

16'

4'

6 ft

4'

Railing

4'

4 ft

Railing

4'

4'

14'

3'

4'

4'

6'

3'

5'

14'

14 ft step to corner

Railing

7' 4"

3'

18"

3'

6'

44"

26"

18"

3'

Gate

Gate

Open Deck Area

Covered Deck Area

Entire deck surface and platform steps are to be Tanzite planks, 6" x 48" each. Skirting is Tanzite fascia boards.

HOUSE

32'

14'

Legend:

- Privacy Screen - other source 48" w x 75" h
- 4 ft Rail Kit
- Tuscany C10 Railing

Covered Deck Area

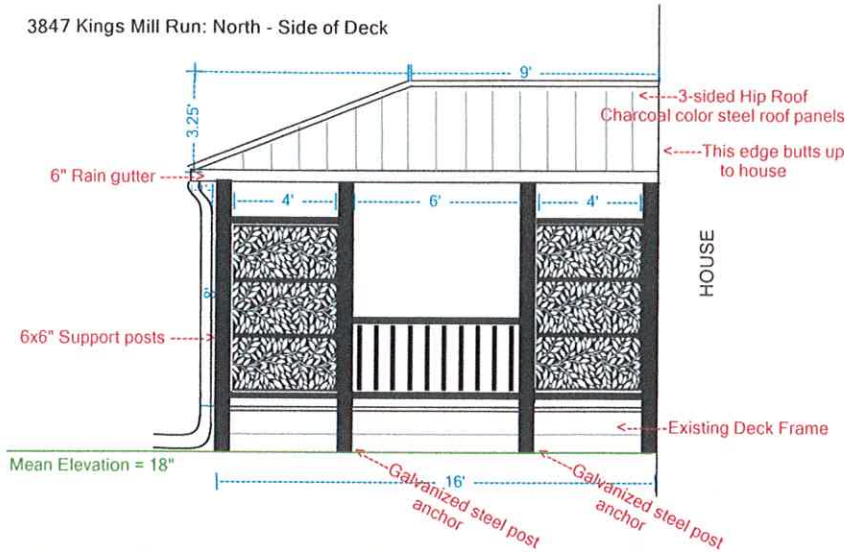
Open Deck Area

HOUSE

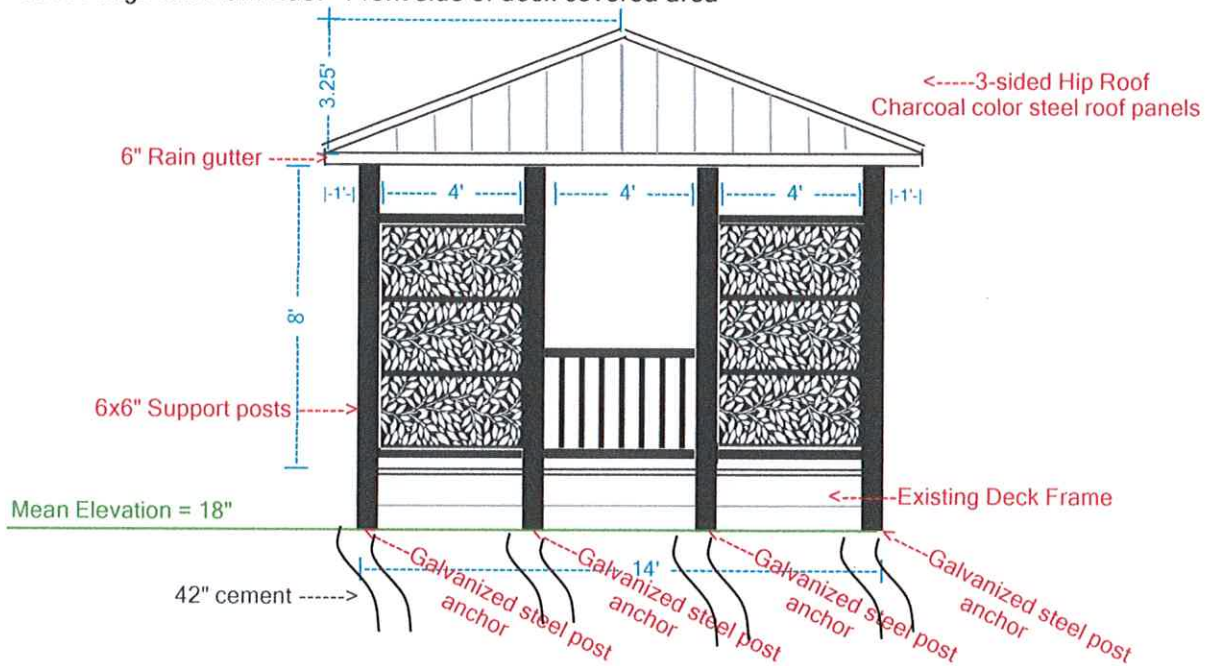
-  - Privacy Screen - other source 48" w x 75" h
-  - 4 ft Rail Kit
-  - Tuscany C10 Railing
-  - 10 ft ht 6" Support Post
-  - 4" Railing Post

Scale: $1/4" = 1 \text{ ft.}$

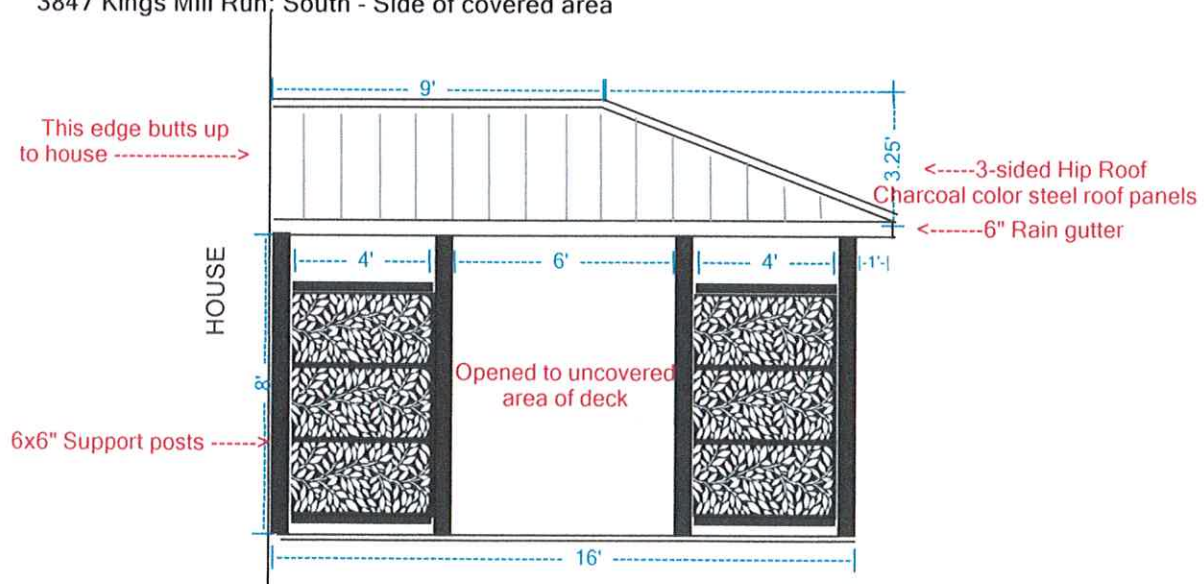
3847 Kings Mill Run: North - Side of Deck



3847 Kings Mill Run: East - Front side of deck covered area



3847 Kings Mill Run: South - Side of covered area





Representation of hip roof. However the roof will be covered in charcoal colored steel sheet panels, not shingled as seen here.

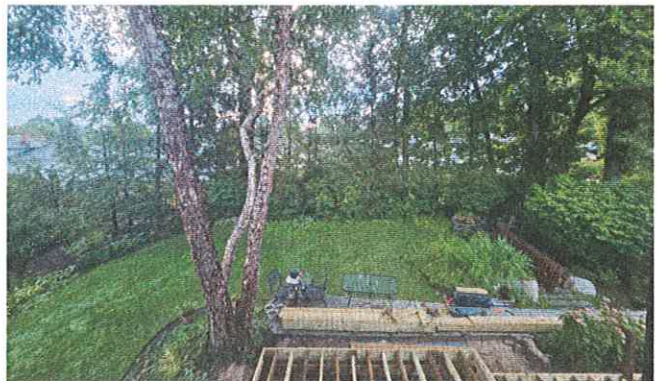
Our deck has less elevation and only requires two steps as indicated on the blueprint submitted.

Railing will be all black aluminum, posts and balusters as indicated on the blueprint.

Existing structure attached to the house including deck, platform steps, attached pergola with tarp as protective covering and lattice privacy panels.



Our backyard.



Neighbors' north and south of us.



Patrick and Kim Kelly
3867 Kings Mill Run
Rocky River, OH
44116

440-221-9095

City of Rocky River
Board of Zoning and Building Appeals

Dear Chairman Farrell, Secretary Christ and Members Wolf, Wright, Martinez and Harpster

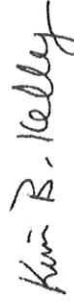
My name is Patrick Kelly. My wife Kim and I reside at 3867 Kings Mill Run. Our house is located just south of our next-door neighbor, Phillip and Elizabeth Keller. The Kellers have reviewed with us their plans to reconstruct their backyard deck and add a roof to a portion of the structure. We do have any objections to the plan. In fact, we enthusiastically support the enhancement to their property.

Sincerely,



Patrick J. Kelly

Kim B. Kelly



Philip Berne
3827 Kings Mill Run
Rocky River, OH 44116
7/28/2025

Rocky River Zoning Board
21012 Hilliard Blvd
Rocky River, OH 44116

Dear Rocky River Zoning Board:

I am neighbors with Elizabeth and Philip Keller, they reside next to me at 3847 Kings Mill Run, Rocky River, OH 44116. They are getting work done on their deck in their backyard and are adding a permanent roof to the deck. Let this letter serve as notice that I have no issue or concern with this construction and approve of them adding a permanent roofed area to their deck. Please feel free to reach out directly to me if you have any questions or concerns. My contact information is listed below.

Sincerely,



Philip Berne
Phone: 440-759-6584
Email: Philip.berne@yahoo.com