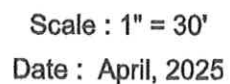




SCALE 1" = 20'-0"



**Michael & Julie Spooner**  
20852 Beaconsfield Blvd.  
Rocky River, Ohio



## Certification

This Plat was prepared from a field survey, analysis of Recorded Plats, Recorded Deeds and Cuyahoga County Records. Bearings are to an assumed meridian and are used to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge.

  
Sean A. Boland, P.S.  
Registered Ohio Professional  
Surveyor 7699

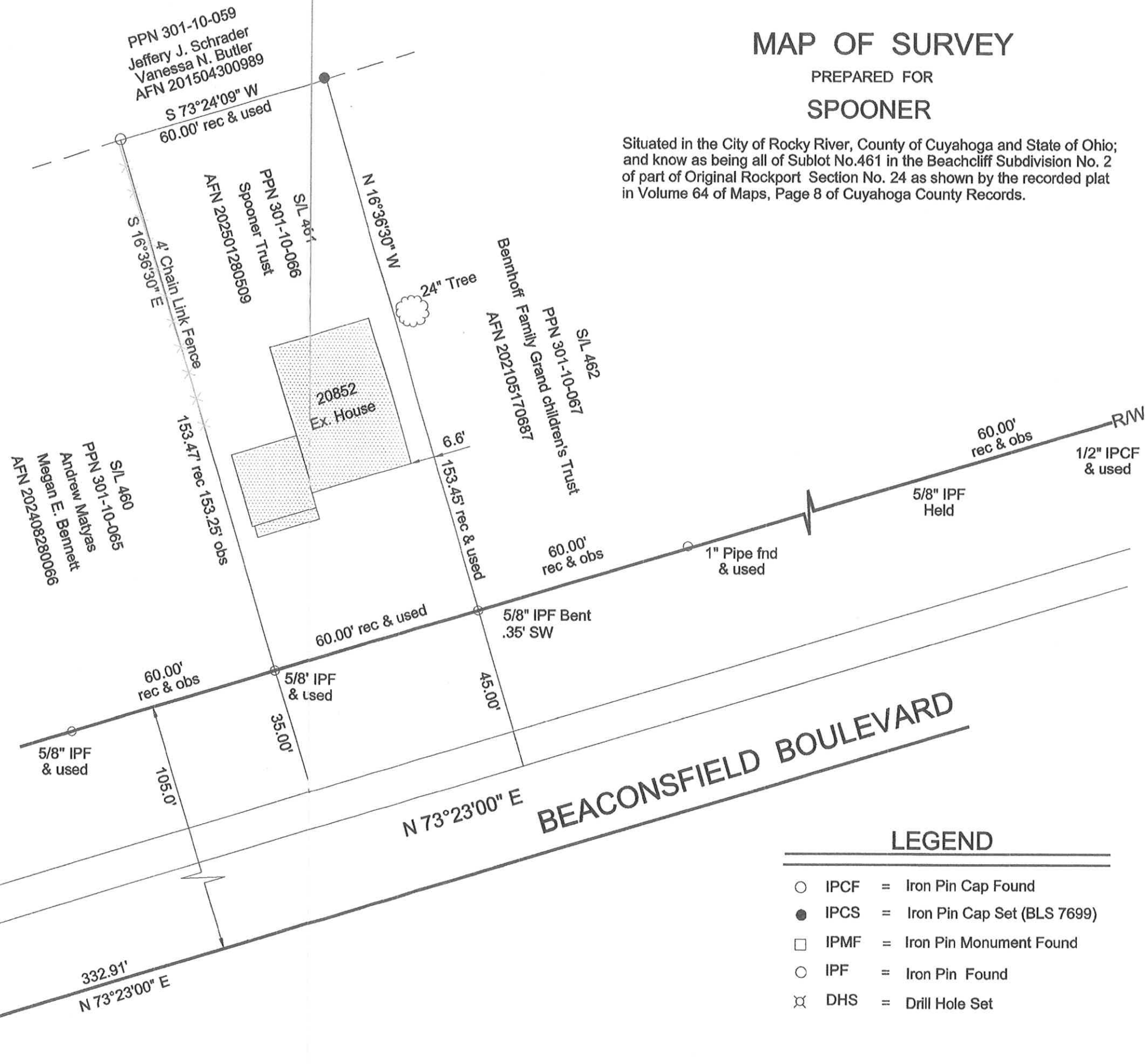
WAGAR ROAD 60'

N 00°30'20"W

IPMF  
fnd & used

PREPARED FOR  
SPOONER

Situated in the City of Rocky River, County of Cuyahoga and State of Ohio; and know as being all of Sublot No.461 in the Beachcliff Subdivision No. 2 of part of Original Rockport Section No. 24 as shown by the recorded plat in Volume 64 of Maps, Page 8 of Cuyahoga County Records.



## LEGEND

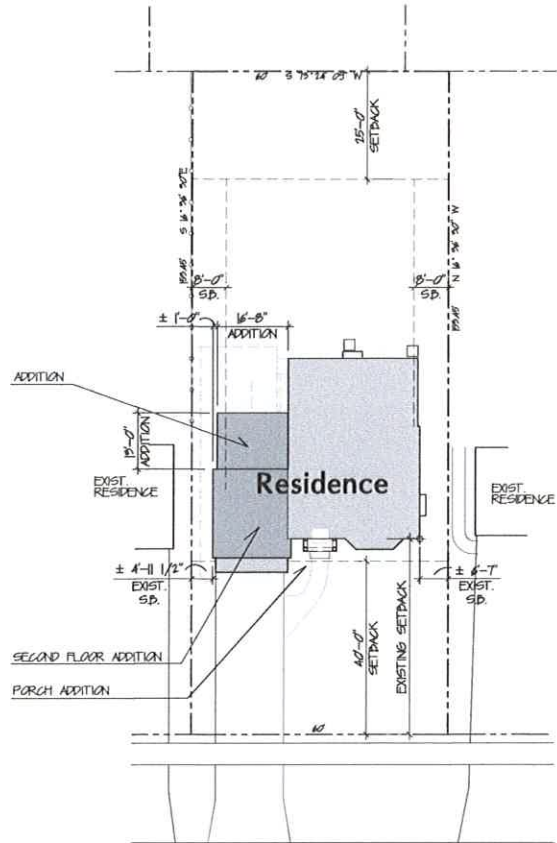
- IPCF = Iron Pin Cap Found
- IPCS = Iron Pin Cap Set (BLS 7699)
- IPMF = Iron Pin Monument Found
- IPF = Iron Pin Found
- ⊗ DHS = Drill Hole Set



Addition & Renovation for  
Mike & Julie Spooner  
20852 Beaconsfield Blvd.  
Rocky River Ohio

Drawing Index

- A-1 Title Sheet, Site Plan & Elevations
- A-2 Elevations & Wall Sections
- A-3 Foundation & First Floor Plans
- A-4 Second Floor & Roof Framing Plans
- A-5 General Notes & Details
- D-1 Demolition Plans & Elevations



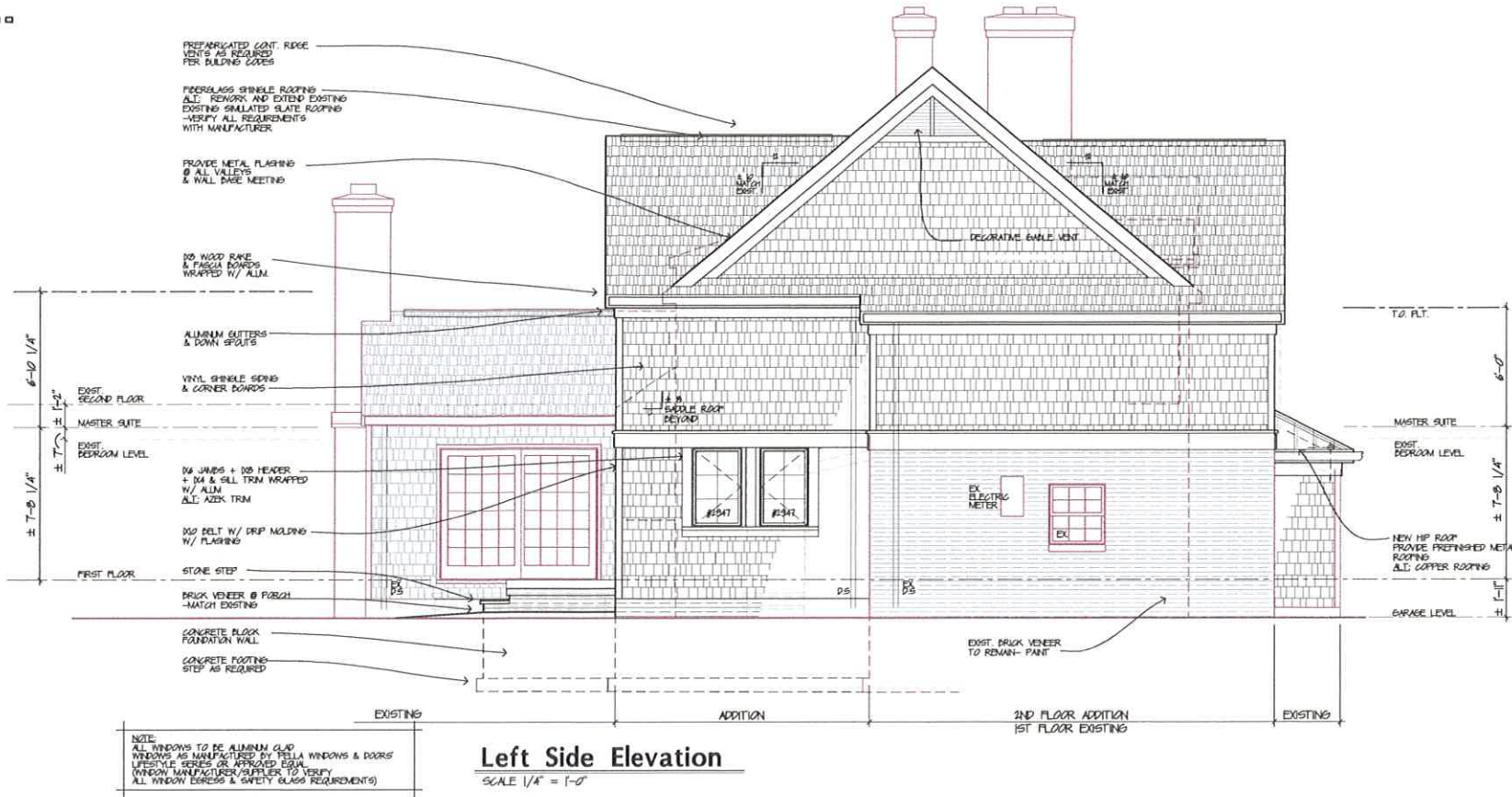
Beaconsfield Blvd.

Site Plan

SCALE 1" = 10'-0"

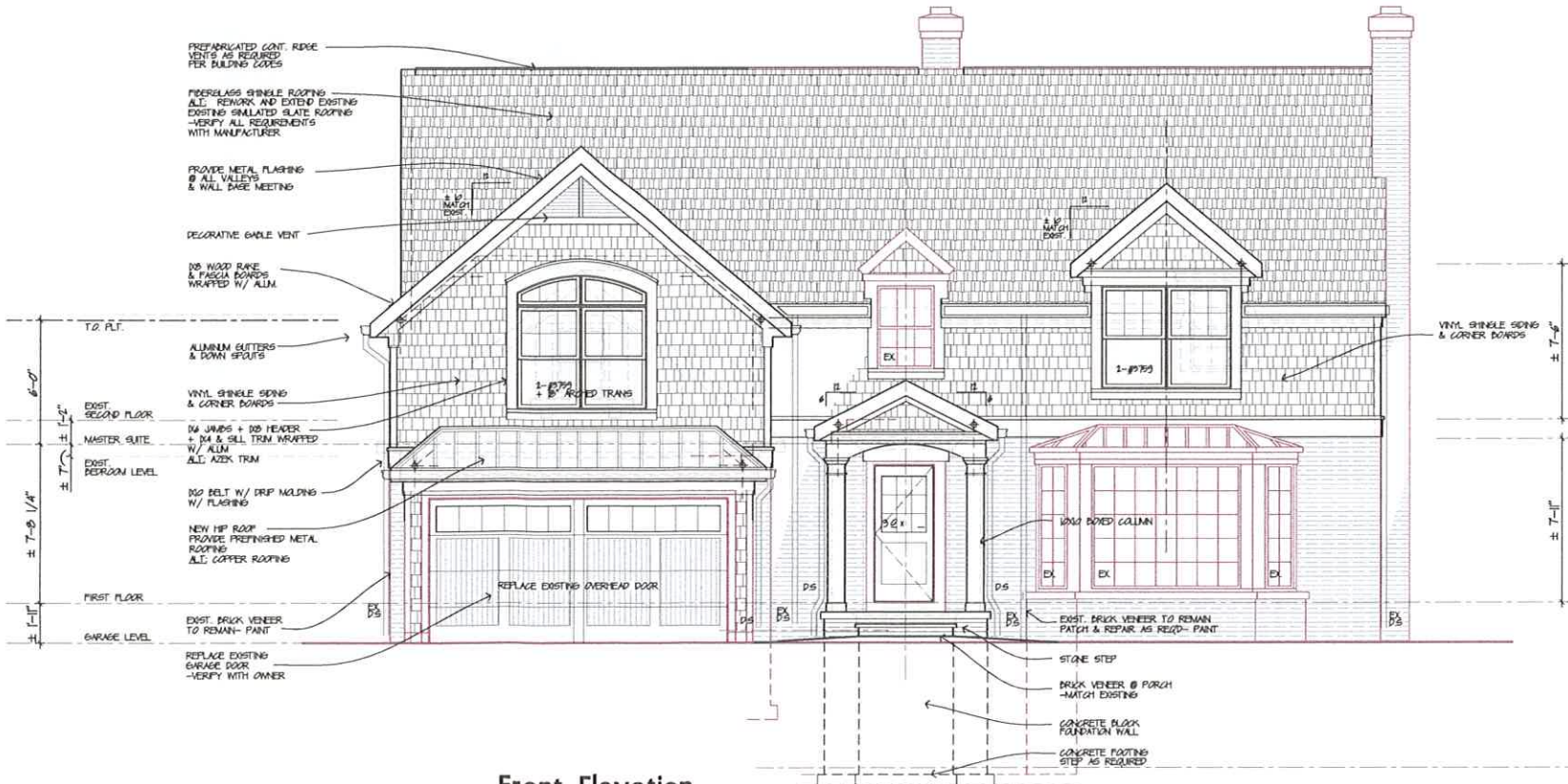
SITE INFORMATION PER  
SEAN A. ROLAND, P.S.  
& CUYAHOGA COUNTY TAX MAPS  
<https://myplace.cuyahogacounty.us>  
- VERIFY ALL INFORMATION WITH SURVEYOR

|                     |               |
|---------------------|---------------|
| LOT AREA            | 9,180 SQ. FT. |
| MAX. LOT COVERAGE   | 25.0 %        |
| ALLOWABLE COVERAGE  | 2,510 SQ. FT. |
| EXISTING COVERAGE   | 1,718 SQ. FT. |
| ALLOWABLE EXPANSION | 842 SQ. FT.   |
| PROPOSED COVERAGE   | 1,369 SQ. FT. |
|                     | 21 %          |



Left Side Elevation

SCALE 1/4" = 1'-0"



Front Elevation

SCALE 1/4" = 1'-0"



Addition & Renovation for  
Mike & Julie Spooner

20852 Beaconsfield Blvd.  
Rocky River Ohio



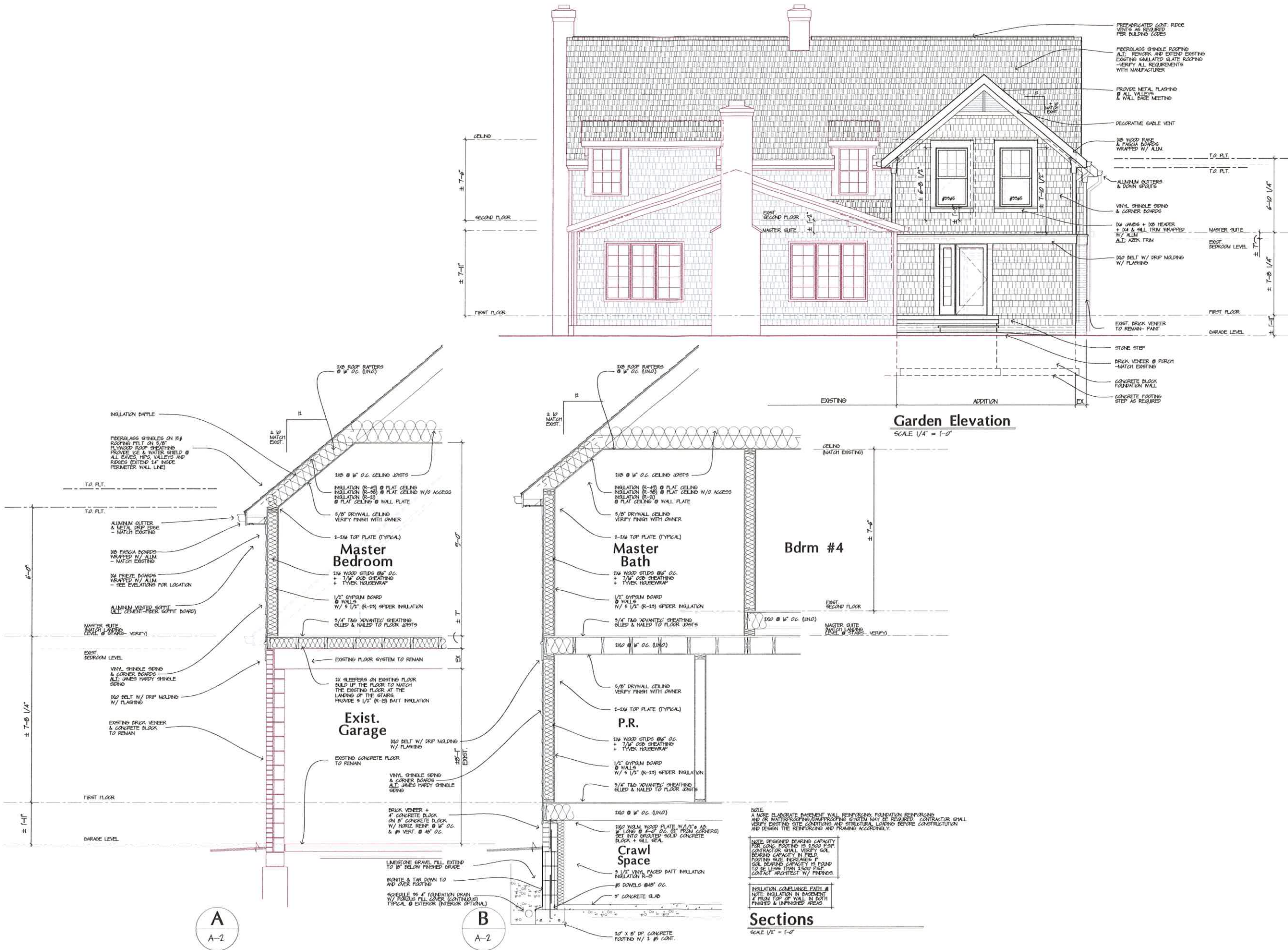
Title Sheet,  
Site Plan,  
Elevations

A-1

Sheet Number  
Copyright © 2025

Project No: 2508  
Drawn By: J.L.  
Checked By:





STATE OF OHIO  
THOMAS LISGETT  
REGISTERED ARCHITECT  
EXPIRATION DATE 03/2025

5-22-25 Rev/new  
6-2-25 Permit

Ohio

20852 Beaconsfield Blvd.  
Rocky River

THE ARCUS GROUP, INC.  
ARCHITECTS  
1244 Smith Court  
Rocky River, Ohio 44116  
Tel: 440.336.5530

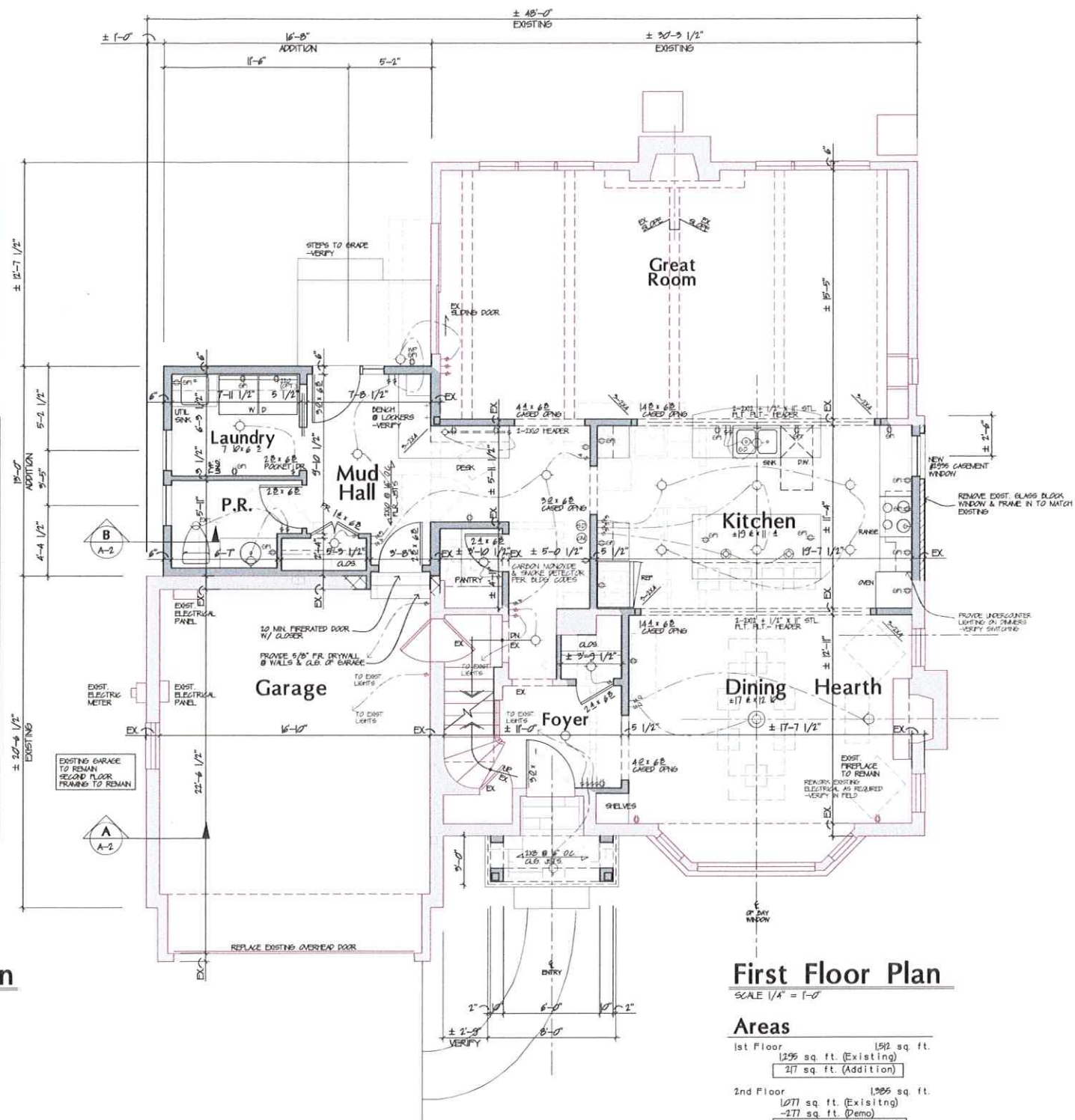
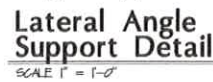
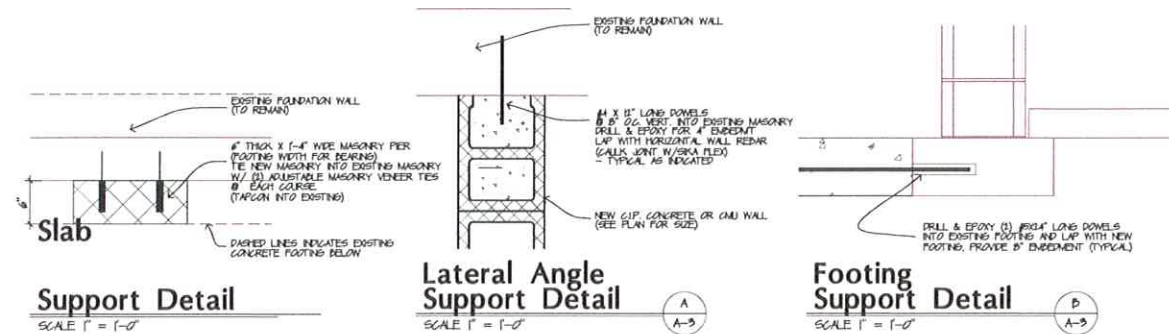
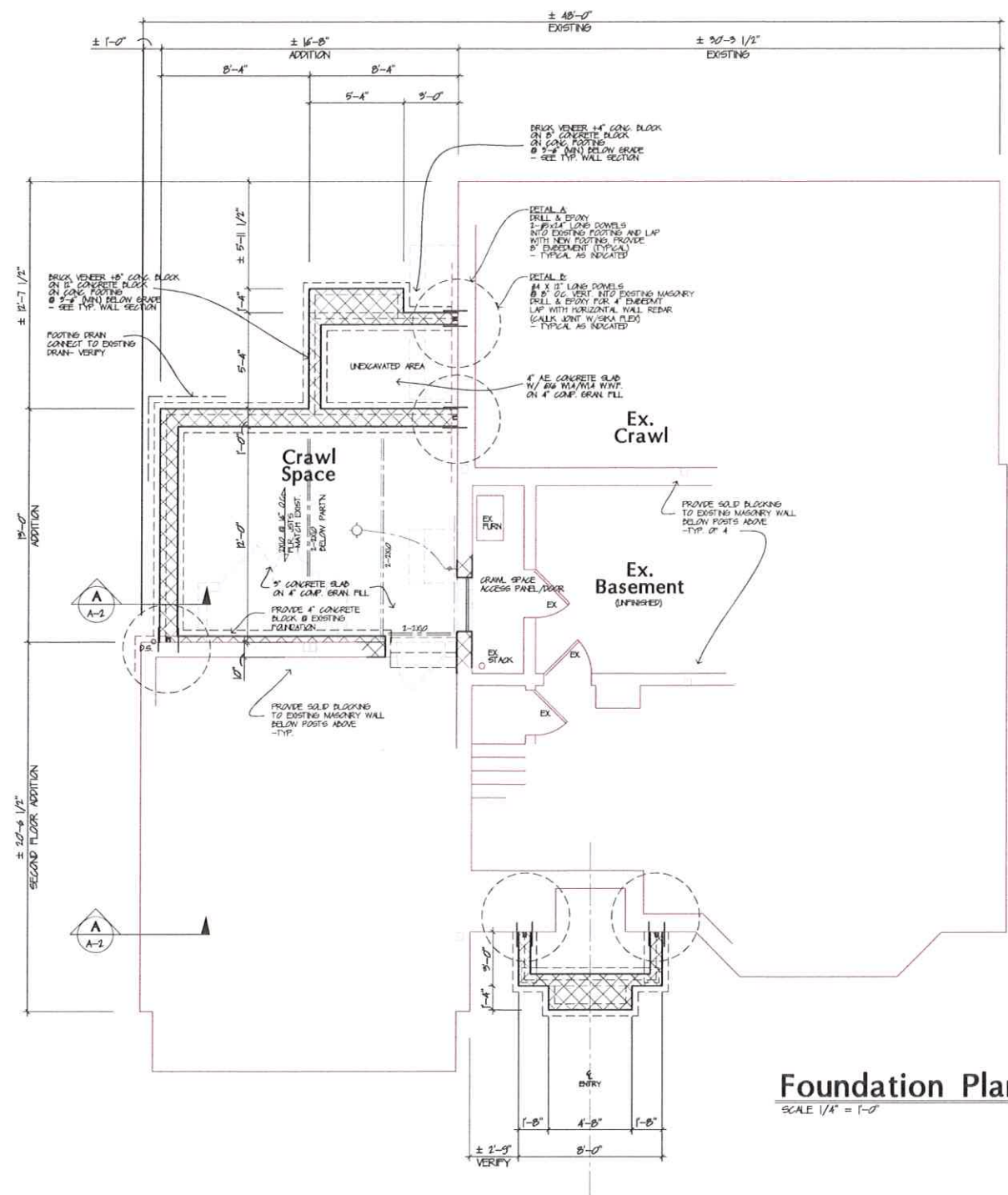
Elevations

A-2

Sheet Number  
Copyright © 2025

Project No: 2518  
Drawn By: J.L.  
Checked By:





# Areas

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|                         |              |
|-------------------------|--------------|
| 1st Floor               | 591 sq. ft.  |
| 1295 sq. ft. (Existing) |              |
| 271 sq. ft. (Addition)  |              |
| 2nd Floor               | 1965 sq. ft. |
| 1077 sq. ft. (Existing) |              |
| -277 sq. ft. (Demo)     |              |
| 555 sq. ft. (Addition)  |              |
| Total                   | 2856 sq. ft. |

|             |                        |
|-------------|------------------------|
| Garage      | 424 sq. ft. (Existing) |
| Front Porch | 24 sq. ft.             |

NOTE: ALL MCGROUTS MULTIPLE OF 5" OR MORE SHALL BE DOTTED PER MANUFACTURER'S REQUIREMENTS

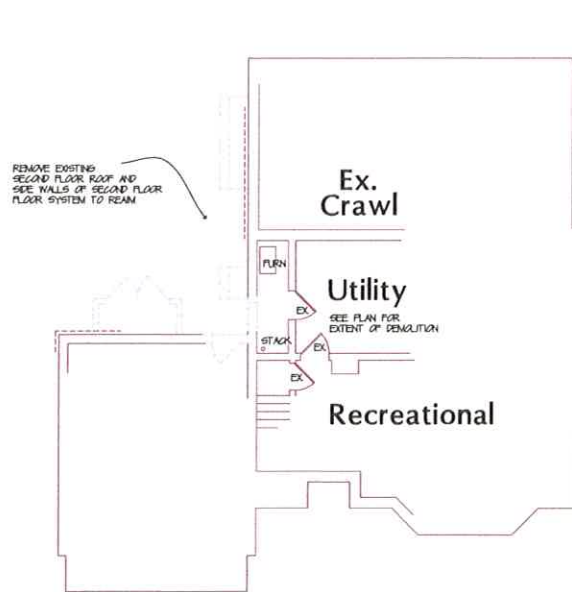
NOTE: PROVIDE (3") FLOOR JOISTS BELOW ALL PARTITIONS (ADJ) PARALLEL TO FLOOR JOISTS. PROVIDE 6" FLOORING BELOW ALL PARTITIONS (ADJ) PERPENDICULAR TO FLOOR JOISTS.

NOTE: CONTRACTOR IS TO VERIFY ALL STRUCTURAL, MECHANICAL, ELECTRICAL & PLUMBING BEFORE STARTING CONSTRUCTION

NOTE: ALL ELECTRICAL FIXTURES SWITCHING & WIRING INDICATED ON THE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. CONTRACTOR TO VERIFY WITH OWNER & LOCAL BUILDING OFFICIALS.

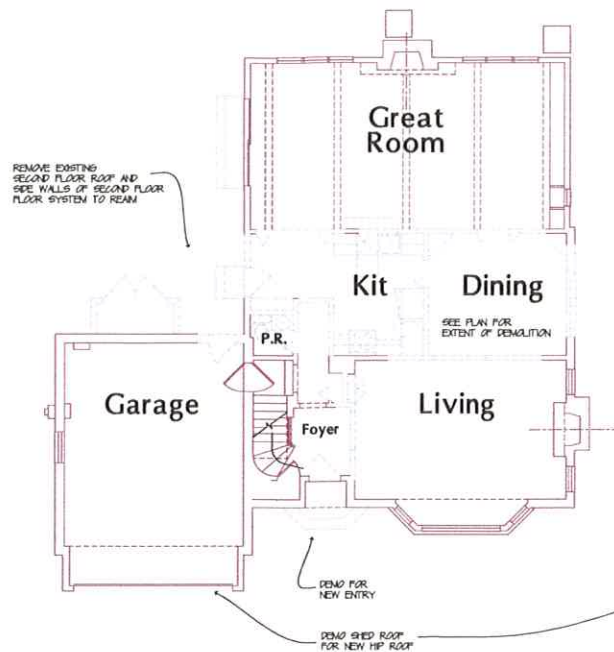
NOTE: CONTRACTOR SHALL VERIFY W/ THE OWNER THE LOCATION(S) OF ALL ATTIC ACCESS PANELS OR DOORS

NOTE: CONTRACTOR SHALL VERIFY ALL MCGROUT & STRUCTURAL FLOOR JOIST ALLOWABLE DEFLECTION. PROVIDE REINFORCED CONCRETE SLAB OR STRUPEX MANUFACTURER.



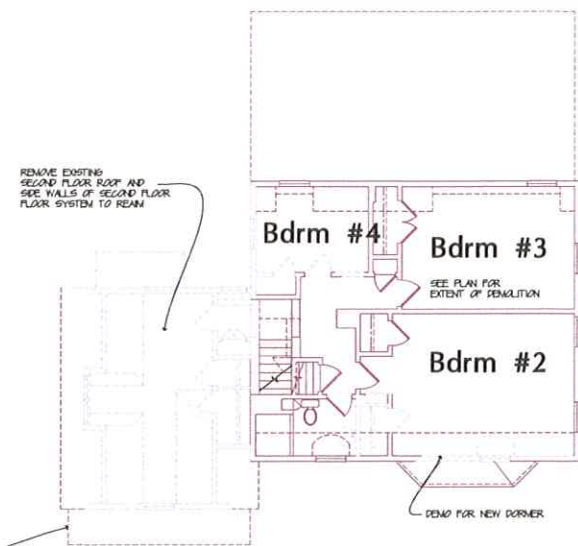
**Foundation Plan**

SCALE 1/8" = 1'-0"



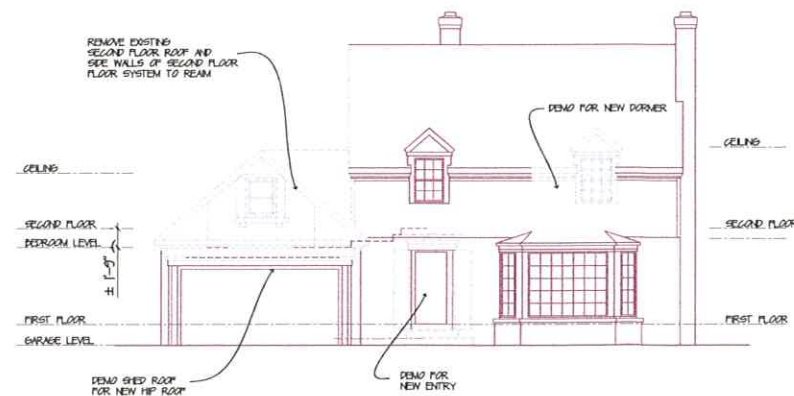
**First Floor Plan**

SCALE 1/8" = 1'-0"



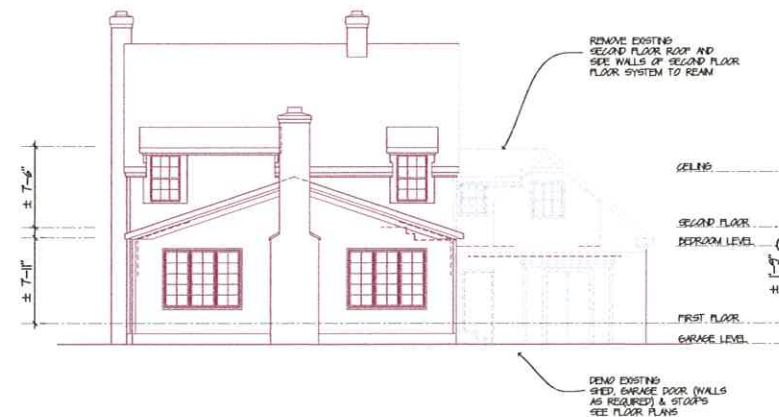
**Second Floor Plan**

SCALE 1/8" = 1'-0"



**Front Elevation**

SCALE 1/8" = 1'-0"



**Garden Elevation**

SCALE 1/8" = 1'-0"



ISSUED  
6-2-25 Permit

**Addition & Renovation for  
Mike & Julie Spooner**

20852 Beaconsfield Blvd.  
Rocky River  
Ohio



**Demolition  
Plans &  
Elevations**

**D-1**

Sheet Number  
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Project No: 1318  
Drawn By: TLL  
Checked By: