

City Of Rocky River
21012 Hilliard Boulevard Rocky River, Ohio 44116
APPLICATION FOR RESIDENTIAL PLAN APPROVAL

Submit one application per building or structure; **ALL** sections must be completed.

APPROVALS DATES:

Planning Comm: _____

Board of Appeals: _____

Design & Review: _____



Application Date: 8.27.25

Intent Sign Date: _____

1 PLAN SUBMISSION Plan review will commence once all below plan copies are submitted. Have 2 paper and 1 digital plan been submitted for plan review? Yes ☒ No _____ If No, date to be submitted by: _____	2 TYPE OF PROJECT: ☐ New Building Construction ☒ Building Addition ☐ Alteration (no additional sq. ft.) ☐ Repair/Maintain/ ☐ Accessory Building(> 200 sqft) ☐ Other (driveway, retaining wall.)	3 PHASED PLAN REVIEW: ☐ Foundation ☐ Framing: ☐ Other: ☐ Other: ☐ Other: ☐ Other:						
4a. DESCRIPTION OF THE EXTENT OF WORK INCLUDED FOR APPROVAL: (RCO 107.2.1) <u>SELECTIVE DEMOLITION. ADDITION TO REAR OF HOME w/ NEW SLAB</u>								
4b. Total Estimated Cost : \$ _____								
4c. List total square footage of All levels of construction. (Foundation = _____ sf.) (Main Floor = _____ sf.) (Second Floor = _____ sf.) (Attic/Roof = _____ sf.) (Other = _____ sf.)								
5 PROJECT LOCATION: (RCO 107.2.2) Legal description: _____ Street Address <u>18943 CORY ROAD</u> City/Township <u>Rocky River</u> Zip Code <u>44116</u> County <u>Cuyahoga</u> Directions _____ <table border="0" style="width: 100%;"><tr><td style="width: 50%;">▪ Is this project/building located in a flood plain?</td><td style="width: 10%; text-align: center;">Yes</td><td style="width: 10%; text-align: center;">☒ No</td></tr><tr><td>▪ Has flood plain administrator been contacted for requirements?</td><td style="text-align: center;">Yes</td><td style="text-align: center;">No</td></tr></table>			▪ Is this project/building located in a flood plain?	Yes	☒ No	▪ Has flood plain administrator been contacted for requirements?	Yes	No
▪ Is this project/building located in a flood plain?	Yes	☒ No						
▪ Has flood plain administrator been contacted for requirements?	Yes	No						
6 Method Of Demonstrating Energy Code Compliance Demonstrating Compliance to the 2019 RCO Section 1101.14-1104 ☒ or Demonstrating Compliance to the 2019 RCO Section 1105 (Simulated Performance) _____ or Demonstrating Compliance to the 2019 RCO Section 1106 (ERI) _____ or Demonstrating Compliance to the 2019 RCO Section 1112 (OHBA option) _____ or Demonstrating Compliance to the 2018 IECC _____								
7 BUILDING OWNER INFORMATION: (RCO 107.2.4) Name of owner <u>CONNIE HECKER</u> Attention: _____ Street Address <u>18943 CORY ROAD</u> City <u>Rocky River</u> State <u>OH</u> Zip <u>44116</u> Phone No. <u>440.478.3880</u> Fax _____ E-mail <u>CMTHECKER@TATTOO.COM</u>								
8 APPLICANT INFORMATION: (Owner or Owner's authorized agent) (RCO 107.2.4) Applicant <u>DANIEL KOWALSKI</u> Attention: _____ Street Address <u>3600 W. 214TH ST.</u> City <u>Fairview Park</u> State <u>OH</u> Zip <u>44126</u> Phone No. <u>440.454.9592</u> Fax _____ E-mail <u>KOWALSKIANDSONS@GMAIL.COM</u>								

9 REGISTERED DESIGN PROFESSIONAL -IF APPLICABLE: (RCO 106.1.1-3, 106.2)

Designer ☒ Architect ☐ Engineer ☐ Certified Fire protection system installer
Registration /Certificate No.: 13098
Street Address 3210 DEERFIELD DR. City AVER LAKE State OH Zip 44012
Phone No. 214-832-3434 Fax _____ E-mail DAVID@MAKONDESIGN.CO

10 EVIDENCE OF RESPONSIBILITY: (RCO 106.2)

(Required residential construction documents, when submitted for review as required under RCO section 107, shall bear the identification of the person primarily responsible for their preparation. Ohio Revised Code Section 3791.04 (A)(2)(b) permits construction documents for any residential building to be prepared by persons other than a registered architect or engineer, unless per Ohio Revised Code Section 3791.04 (A)(2)(c), the proposed work involves technical design analysis. The building official may rely on the placement of a 'seal' on the documents as evidence that the registered architect or engineer performed the technical analysis.

Document Preparer Name: DAVID MAKON Title/Company: OWNER/MAKON A+D
Address: 3210 DEERFIELD DR. City: AVER LAKE State: OH Zip: 44012

11 INDUSTRIALIZED UNITS INFORMATION: (The following information applies to the INDUSTRIALIZED UNITS and alternative materials, designs, methods of construction or equipment approved by the State of Ohio, Board of Building Standards Industrialized units (IU) program.) (RCO 106.1.4, Section 114)

Authorized Manufacturer and project Information:

Approval number: _____ Approval Date: _____

Board approved documents submitted to local Building Official? _____ YES _____ NO

Details of on-site interconnection of modules or assemblies submitted to BO? _____ YES _____ NO

12a CONSTRUCTION DOCUMENTS REQUIREMENTS:

(Refer to RCO 106.1-3 (1-9) for specific construction document requirements)

12b LOT LINE MARKERS REQUIRED: Before any work is started in the construction of a residential building or addition all boundary lines shall be marked at their intersections with permanent markers. (Refer to RCO 108.2 & 108.2.1) ✓

Time limitation of Application: (RCO 107.2.1) The approval of construction documents under this section is a "license" and the failure to approve such construction documents as submitted within thirty days after filing or the disapproval of such construction documents is an "adjudication order denying the issuance of a license" requiring the opportunity for an "adjudication hearing" as provided by sections 119.07 to 119.13 of the Revised Code and as modified by sections 3781.031 and 3781.19 of the Revised Code. In accordance with section 109, an adjudication order denying the issuance of a license shall specify the reasons for such denial.

13 CERTIFICATION: (RCO 107.2.5)

I certify that I am the ☒ Owner ☐ Owner Authorized Agent
All information contained in this application is true, accurate, and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the address shown above and copied to the Owner.

Signature

Connie Hecker

Print Name: Connie Hecker

Date: 8/27/2025

14 THE AREA BELOW IS FOR OFFICIAL USE ONLY:

Fee Description	Amount	Deposits
PLAN REVIEW		
Permit Fee		
Other Fees		
Sub-Total	\$	\$
B.B.S. +1%		
Curb Crossing		
Street Cleaning		
Curb Cut		
Sewer Tie In Fee		
Total Fees	\$	
Date Received	_____	Estimated Cost _____
Check Number	_____	Permit Number _____
Processed By	_____	

Notes:

HECKER RESIDENCE

REAR ADDITION TO EXISTING HOME

ABBREVIATIONS

A/C	AIR CONDITIONING	JT	JOINT
ACT	ACOUSTICAL CEILING	L	LONG, LENGTH
	TILE	LAM	LAMINATE(D)
ADJ	ADJACENT	LAV	LAVATORY
AFF	ABOVE FINISHED	LH	LEFT HAND
	FLOOR	LL	LIVE LOAD
ALT	ALTERNATE	LT	LIGHT
ALUM	ALUMINUM	LVR	LOUVER
ARCH	ARCHITECT(URAL)	MAS	MASONRY
AUTO	AUTOMATIC	MAX	MAXIMUM
A/V	AUDIO / VISUAL	MATL	MATERIAL
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BLK	BLOCK	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BO	BOTTOM OF	MO	MASONRY OPENING
BOM	BOTTOM OF	MTD	MOUNTED
	MASONRY	NIC	NOT IN CONTRACT
BOT	BOTTOM	NOM	NOMINAL
CAB	CABINET	NTS	NOT TO SCALE
CEM	CEMENT	OC	ON CENTER
CLG	CEILING	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	OFD	OVERFLOW DRAIN
CJ	CONTROL JOINT	OH	OVERHEAD
CL	CENTERLINE	OPH	OPOSITE HAND
CLR	CLEAR	OPG	OPENING
CMU	CONCRETE MASONRY	OPP	OPPOSITE
	UNIT	PL	PLASTIC
CO	CASED OPENING	PLAM	PLASTIC LAMINATE
COL	COLUMN	PLUMB	PLUMBING
CONC	CONCRETE	PWD	PLYWOOD
CONST	CONSTRUCTION	POLY	POLYETHYLENE
CONT	CONTINUOUS	PT	PRESSURE TREATED
COORD	COORDINATE(D)	PTD	PAINTED
CP	CARPET(D)	PVC	POLYETHYLENE VINYL
CT	CERAMIC TILE		CHLORIDE
CTR	CENTER	QT	QUARRY TILE
D	DEEP, DEPTH	R	RISER, RADIUS
DEMO	DEMOLISH	RAD	RADIUS
	DEMOLITION	RUB	RUBBER BASE
DTL	DETAIL	RD	ROOF DRAIN
DF	DRINKING FOUNTAIN	REF	REFERENCE
DIA	DIAMETER	REFG	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	REV	REVISION
DS	DOWNSPOUT	RH	RIGHT HAND
DW	DISH WASHER	RO	ROUGH OPENING
DWG	DRAWING	RT	RUBBER TILE
EFS	EXTERIOR INSULATION	RTU	ROOF TOP UNIT
	FINISH SYSTEM	SC	SEALED CONCRETE
EJ	EXPANSION JOINT	SCHED	SCHEDULE
EL	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
EPDM	ETHYLENE PROPYLENE	SPEC	SPECIFICATION(S)
	DIENE MONOMER	SQ	SQUARE
EQ	EQUAL	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	STL	STEEL
EW	ELECTRIC WATER	STD	STANDARD
EXH	EXHAUST	STRUCT	STRUCTURAL
EXT	EXTERIOR	SV	SHEET VINYL
FD	FLOOR DRAIN	SYS	SYSTEM
FE	FIRE EXTINGUISHER	T	TREAD
FEC	FIRE EXTINGUISHER	TELE	TELEPHONE
	CABINET	TO	TOP OF
FFE	FINISHED FLOOR	TOC	TOP OF CONCRETE
	ELEVATION	TOJ	TOP OF JOIST
FIN	FINISH	TOM	TOP OF MASONRY
FLR	FLOOR	TOS	TOP OF STEEL
FLUOR	FLUORESCENT	TOW	TOP OF WALL
FO	FACE OF	TYP	TYPICAL
FOF	FACE OF FINISH	T&G	TONGUE AND GROOVE
FOM	FACE OF MASONRY	VCT	VINYL COMPOSITION TILE
FOS	FACE OF STUD	VERT	VERTICAL
	FOOTING	VIF	VERIFY IN FIELD
GA	GAUGE	VTR	VENT RISER
GALV	GALVANIZED	W	WIDE, WIDTH
GWB	GYSUM WALL BOARD	WASH	WASHER
H	HIGH	WC	WATER CLOSET
HC	HANDICAPPED	WD	WOOD
HM	HOLLOW METAL	WH	WATER HEATER
HOR	HORIZONTAL	WWF	WELDED WIRE FABRIC
HT	HEIGHT	w/	WITH
HVAC	HEATING / VENTILATING &	w/o	WITHOUT
	AIR CONDITIONING		
INSUL	INSULATED), (ION)		
INT	INTERIOR		

GENERAL NOTES

THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.

DO NOT SCALE DRAWINGS.

VERIFY FIELD CONDITIONS AND COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED TO THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTIONS MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.

THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, TELEPHONE AND SPRINKLER EQUIPMENT.

THE CONTRACTOR SHALL COORDINATE WITH ALL BUILDING TRADES INVOLVED IN THE PROJECT TO INSURE PROPER CLEARANCES FOR FIXTURES, DUCTS, CEILING, ETC., CONTRACTOR SHALL COORDINATE ALL TRADES INCLUDED TO MAINTAIN THE CEILING HEIGHTS NOTED ON THE DRAWINGS. ANY CONFLICTS SHALL BE REPORTED TO THE ARCHITECT.

FIRE EXTINGUISHER, ELECTRICAL PANELS, TELEPHONE EQUIPMENT BOARDS, ETC., SHALL BE LOCATED IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING AGENCIES. ANY LOCATIONS NOT SHOWN SHALL BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-OUT AND INSTALLATION. UNLESS OTHERWISE NOTED, THE ABOVE PANELS AND/OR EQUIPMENT SHALL BE FULLY RECESSED AND MAINTAIN INTEGRITY OF WALL FIRE RATING REQUIREMENTS.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.

IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PBC) OR OTHER TOXIC MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION IN WRITING TO THE OWNER.

PROJECT SCOPE

REAR ADDITION TO EXISTING HOME – RECONSTRUCTION OF EXISTING REAR PORCH AND EXTENSION OF EXISTING PRIMARY BEDROOM.

DESIGN LOADS:

FIRST FLOOR LOADS: 40 PSF (L.L.) + 30 PSF (D.L.) = 70 PSF (T.L.)

FLOOR DEFLECTION: L/600 MAX.
30 PSF (L.L.) + 15 PSF

ROOF LOAD: (D.L.) = 45 PSF MAX.
WIND LOAD: 115 MPH
SOIL BEARING PRESSURE: 2000 PSF ASSUMED

EARTHQUAKE DESIGN DATA (SECTION 1613)

SEISMIC USE GROUP: GROUP 1
SPECTRAL RESPONSE ACCELERATIONS
S_s = 0.175
S_i = 0.051

SITE CLASS: (TABLE 1613.5.2) = C (ASSUMED)

BASIC SEISMIC FORCE – RESISTING SYSTEM (TABLE 1617.6)

TYPE 2T

BUILDING FRAME SYSTEM

RESPONSE MODIFICATION FACTOR = 6.5
DEFLECTION AMPLIFICATION FACTOR = 4.5

PROJECT TEAM

ARCHITECTURAL:

MAISON ARCHITECTURE + DESIGN P 216 832 3434
32110 DEERFIELD DRIVE
AVON LAKE OHIO
CONTACT: DAVID MAISON
EMAIL: DAVID@MAISONDESIGN.CO

INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS:

A. REF	GENERAL REFERENCE/EXISTING SITE MAP
A1.0	SITE PLAN & PROPERTY SURVEY
D1.0	DEMOLITION PLAN & FOUNDATION PLAN
A1.1	FLOOR PLAN & ROOF PLAN
A3.1	ELEVATIONS
A4.1	BUILDING SECTION & DETAILS
U1.0	UTILITIES PLAN

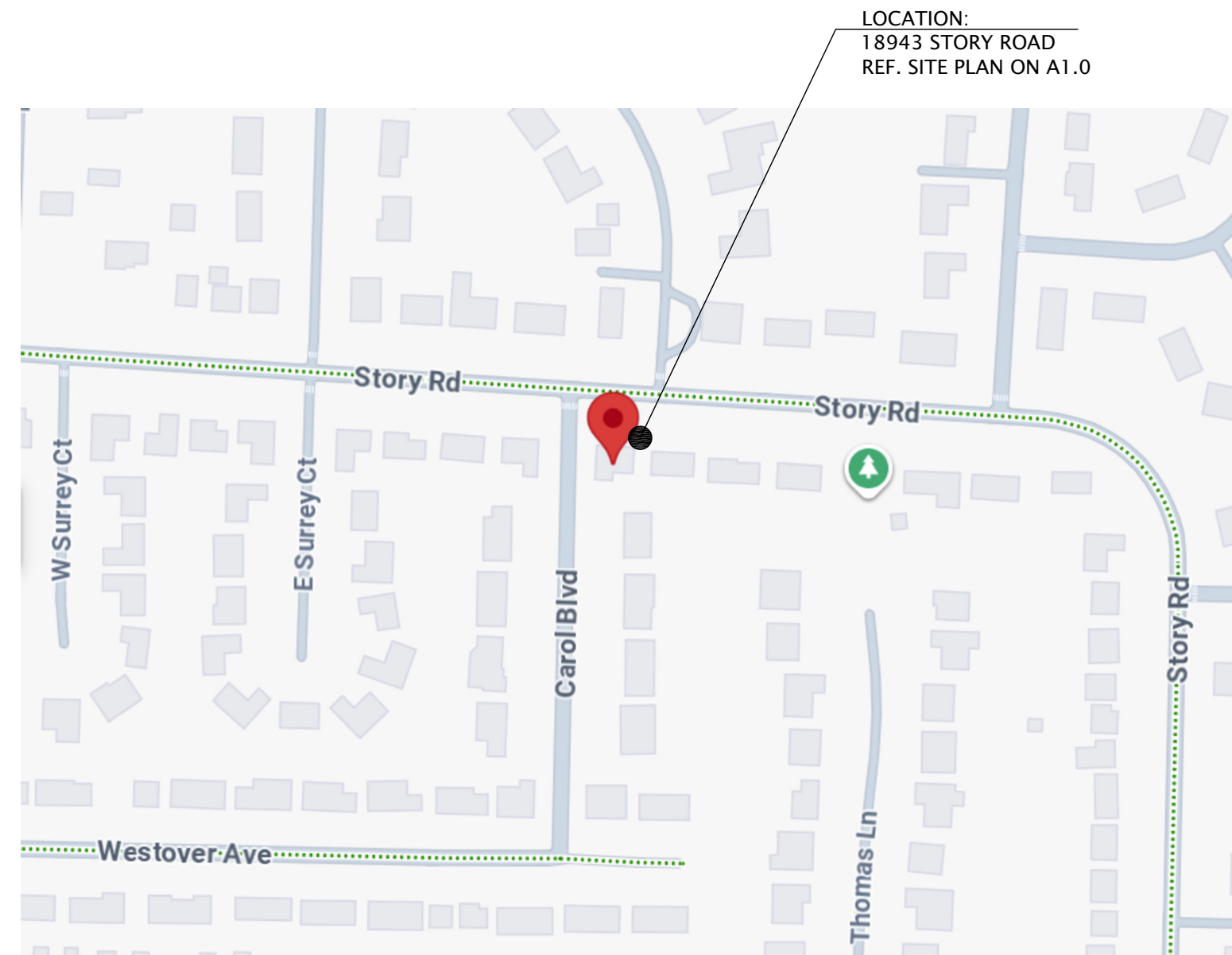
PROJECT DATA

EXISTING HOME LIVING AREA FOOTPRINT (INCLUDING PORCH): 1,895 S.F.

PROPOSED NEW FOOTPRINT: 1,943 S.F.

LOT AREA: 11,520 S.F.

LOCATION MAP

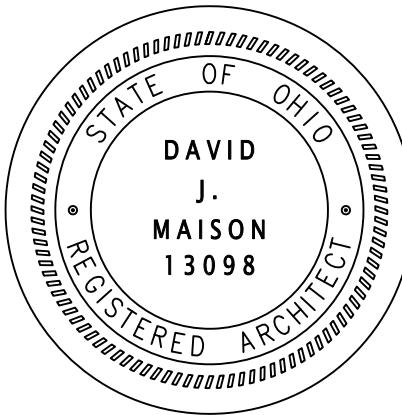


MAISON^{A+D}

ARCHITECTURE & DESIGN | CLEVELAND, OH

PHONE: 216.832.3434

32110 DEERFIELD DRIVE
AVON LAKE, OHIO 44012



DAVID J. MAISON
LICENSE #13098
EXP. DATE 12/31/2025

HECKER RESIDENCE
EXISTING HOME REAR ADDITION

18943 STORY ROAD
ROCKY RIVER, OHIO 44116

SYMBOL LEGEND

SECTION MARK
INDICATES DIRECTION
A1.1 / 01 SHEET # / DETAIL #

DETAIL REFERENCE
DETAIL NUMBER
SHEET NUMBER
INDICATES AREA

COLUMN CENTERLINE
8

ELEVATION REFERENCE
INDICATES DIRECTION
A1.1 / 01 SHEET # / DETAIL #

NORTH ARROW
CORRIDOR
100 SPACE NAME AND NUMBER

FINISH TAG
W/P T1
S/P B1
F/OP1

ELEV.
0'-0"

FLOOR ELEVATION IN SECTIONS

0'-0"

SPOT ELEVATIONS IN PLANS, REFLECTED CEILING PLANS, ETC.

HARDWARE
DOOR TYPE

TOILET ACCESSORIES SYMBOL
AB

WALL DESIGNATION SYMBOL
-A

KEYNOTE SYMBOL
REFER TO NOTE ON SPECIFIC SHEET
1

F|XX1 F|XX2 EXTENT OF FLOOR FINISH NOTED

W|XX1 W|XX2 EXTENT OF WALL FINISH NOTED

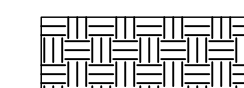
W|XX1 EXTENT OF WALL FINISH NOTED

0'-0" RCP ELEVATION
XXX1

CEILING FINISH

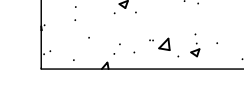
MATERIALS LEGEND

EARTH



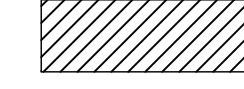
EARTH

CONCRETE



STRUCTURAL/ PRECAST

MASONRY



BRICK

STONE



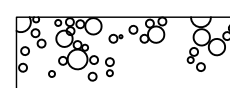
CUT STONE

WOOD

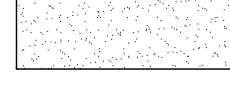


FINISH WOOD

PLYWOOD



GRAVEL FILL



SAND, GROUT



CMU



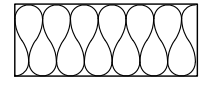
ROUGH WOOD

METAL



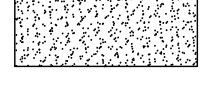
STEEL OR SS

INSULATION



BATT INSULATION

MISC



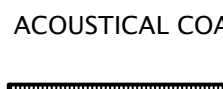
FIREPROOFING

GW



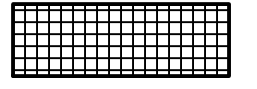
ACOUSTICAL COATING

EXPANSION MATERIAL



ACOUSTICAL MATERIAL/ DUCTLINER

SMALL SCALE METAL



RIGID INSULATION



EIFS

MEMBRANE/FLEXIBLE FLASHING

GLASS

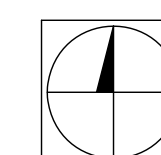
CARPET

SMALL GLASS

ZONING: AUGUST 26 2025
PROJECT: HEC0825

A
REF

GENERAL REFERENCE



STRUCTURAL KEYED NOTES

FOUNDATION:

F1 1'-0" X 1'-6" CONCRETE FOOTING & 8" SOLID FILLED CMU FOUNDATION WALL W/ ALL REQUIRED STEEL REINFORCEMENT TO MIN. 3'-6" BELOW GRADE, TYP. WATERPROOFING & MIN. 2" RIGID PERIMETER INSULATION CONT. - PROVIDE 4" DRAIN TILE AND GRAVEL SURROUND @ FOOTING, TYP. TIE INTO EXISTING FOOTINGS & FOUNDATION - REF. SECTION ON SHEET A4.1

S1 4" REINFORCED CONCRETE SLAB ON GRADE, 2X2 WWF W/6 MIL. VAPOR BARRIER ON MIN. 6" POROUS FILL, TURN DOWN SLAB @ PERIMETER, TYP. REF. SECTION ON SHEET A4.1

BEAMS:

B1 (2) 16" LVL BEAM (ABOVE)

B2 (3) 2X12 BEAM (ABOVE)

POSTS:

P1 STUD PACK EMBEDDED IN WALL CONSTRUCTION

DIMENSION NOTES

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH A PLUS/MINUS (+/-) TOLERANCE.

"ALIGN" MEANS ALIGNMENT OF SIMILAR COMPONENTS OF CONSTRUCTION (I.E. WALLS, JAMBS, ETC.) WHICH ARE ADJACENT OR IN LINE WITH EACH OTHER ACROSS VOIDS.

DIMENSIONS ARE INDICATED AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWING:

COLUMNS - FROM CENTERLINE TO CENTERLINE
METAL STUD PARTITIONS - FROM FACE OF FINISH TO FACE OF FINISH

CONCRETE - FROM FACE OF CONCRETE TO FACE OF CONCRETE
MASONRY - FROM FACE OF MASONRY TO FACE OF MASONRY
EXTERIOR WALL - FROM EXT. FACE OF WALL TO INTERIOR FACE OF FINISH
INTERIOR ELEVATION - FROM FINISHED FLOOR TO FINISHED CEILING

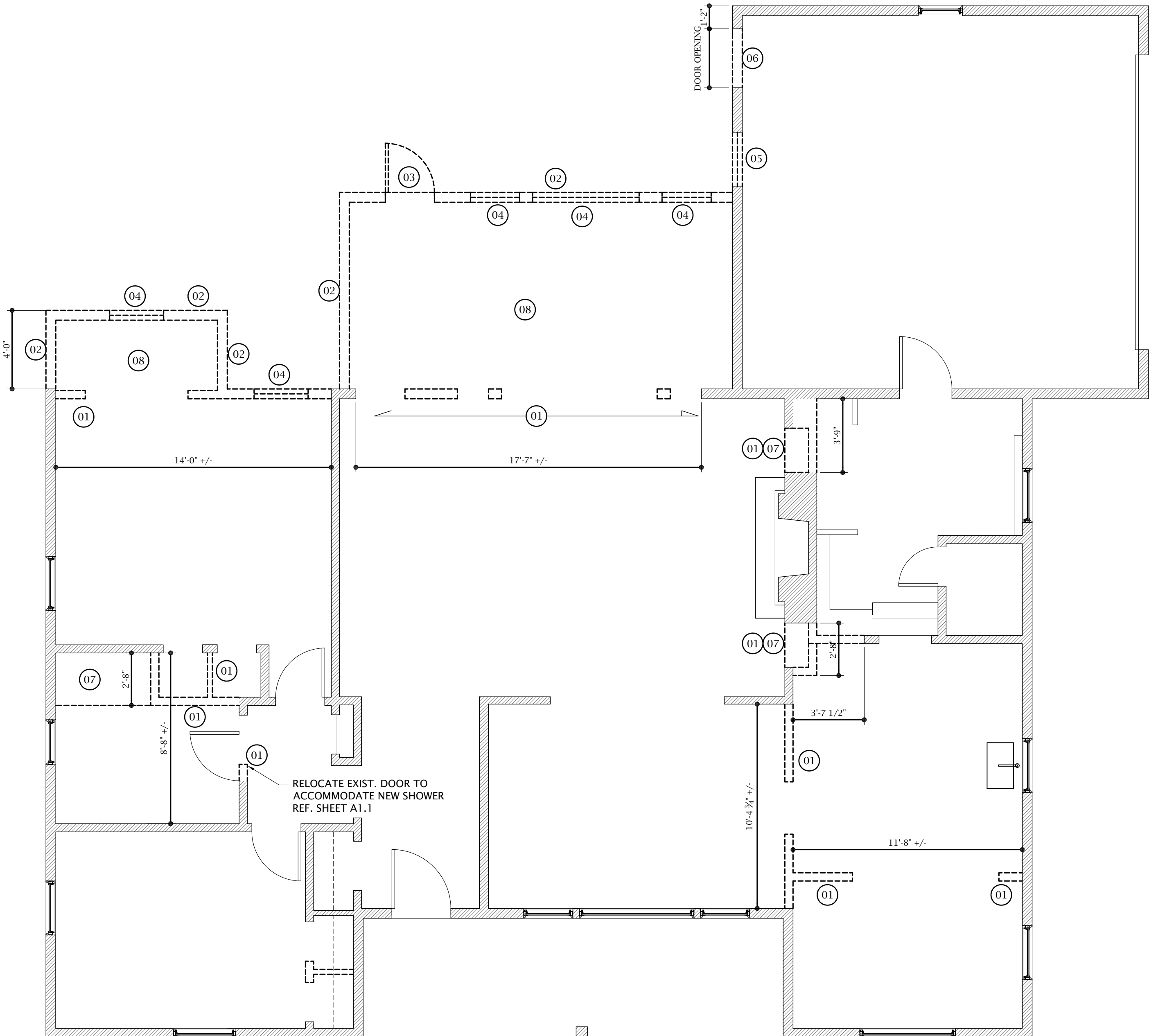
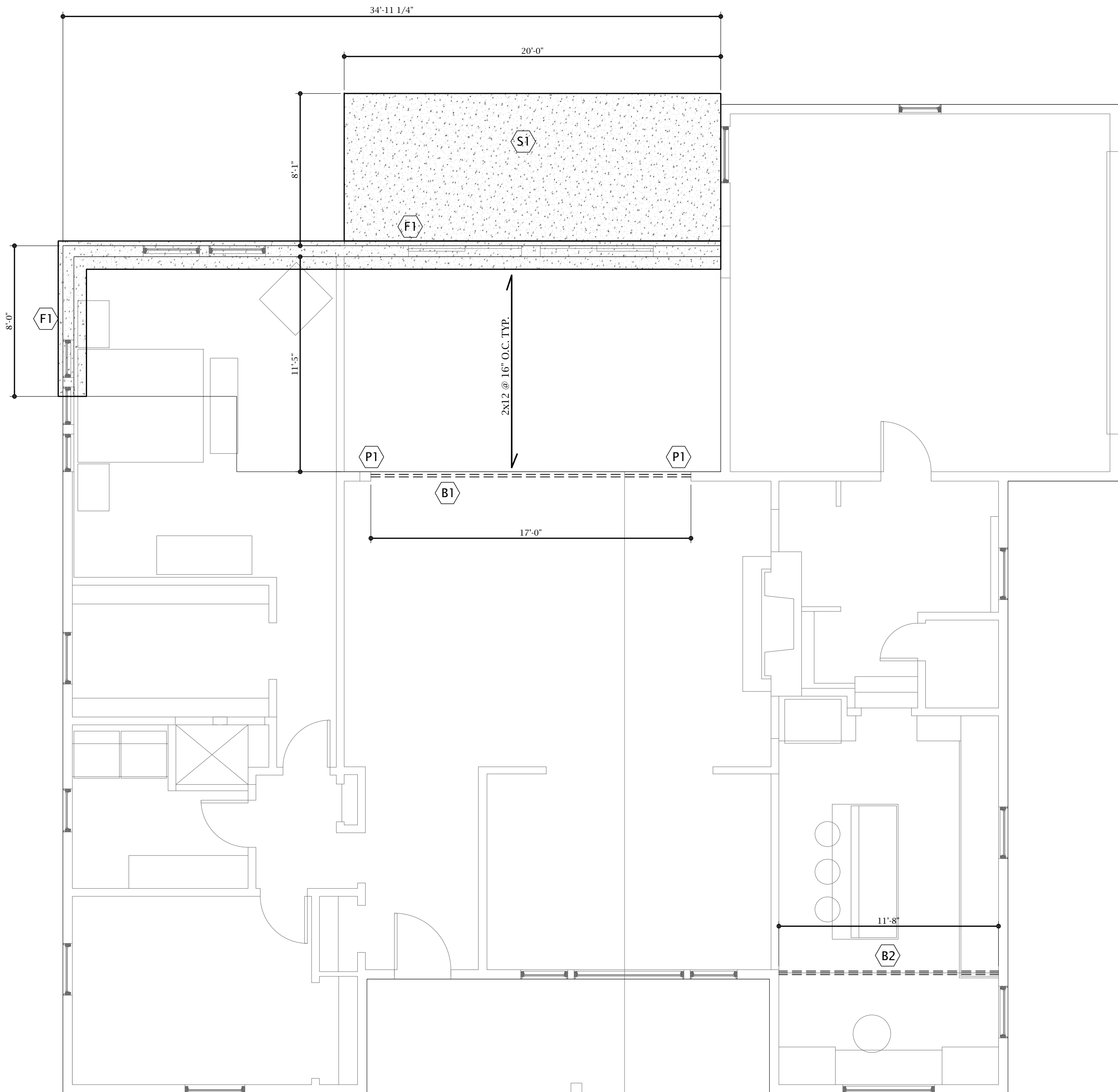
ALL FLOOR TO FLOOR AND CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR.

WALLS ARE TO BE CONSTRUCTED WITH PERPENDICULAR INTERSECTIONS U.N.O.

DOORS ARE TO BE INSTALLED 6" FROM HINGE EDGE TO NEAREST INTERSECTING WALL - TYPICAL U.N.O.

DEMOLITION LEGEND

- 01 REMOVE EXISTING INTERIOR WALL CONSTRUCTION; REPAIR REMAINING WALL FINISHES AS NEEDED
- 02 DEMO EXISTING EXTERIOR WALL-PREP FOR NEW CONSTRUCTION
- 03 REMOVE DOOR & FRAME
- 04 REMOVE EXISTING WINDOW & FRAME
- 05 REMOVE & RELOCATE EXISTING WINDOW-REF. A1.1
- 06 DEMO WALL OPENING FOR RELOCATED WINDOW
- 07 DEMO EXISTING CASEWORK
- 08 REMOVE FLOORING/DEMO EXISTING CONC. SLAB



DAVID J. MAISON
LICENSE #13098
EXP. DATE 12/31/2025

HECKER RESIDENCE
EXISTING HOME REAR ADDITION

18943 STORY ROAD
ROCKY RIVER, OHIO 44116

ZONING: AUGUST 26 2025
PROJECT : HEC0825

D
1.0

DEMOLITION PLAN &
FOUNDATION PLAN

GENERAL ROOF PLAN NOTES

ROOF PENETRATIONS SHALL BE COLORED TO MATCH ROOF, TYP.

ALL ROOFS TO BE SLOPED $\frac{1}{4}$ " PER FT. TOWARDS GUTTERS AT ALL LOCATIONS U.N.O.

ROOF PLANS ARE GRAPHICAL REFERENCES. USE DIMENSIONS OF FLOOR PLAN DRAWINGS TO DETERMINE TRUSS/JOIST LENGTHS

ICE GUARD AT ROOF PERIMETER AND AT ALL VALLEYS AND ROOFING MATERIAL TRANSITIONS TYPICAL

GENERAL ROOF SPECIFICATIONS

EPDM ROOF:
NEW FULLY ADHEARED EPDM ROOFING SYSTEM, INCLUDING ALL EQUIPMENT, WALL CURB AND PARAPET FLASHING AND ALL OTHER ITEMS SHOWN IN THE DRAWINGS.

THE MINIMUM MANUFACTURES WARRANTY SHALL BE 15 YEARS AND THE MINIMUM INSULATION R-VALUE SHALL BE 38

ROOF PLAN KEYED NOTES

- 01 NEW SHINGLE ROOF; OWENS CORNING; DURATION; COLOR: BLACK SABLE
- 02 RUBBER ICE GUARD
- 03 PRE-FINISHED ALUM. GUTTER & DOWNSPOUT (TIE NEW DOWNSPOUTS INTO EXISTING STORMWATER LINE)
- 04 NEW EPDM ROOFING - INSTALL PER MANUFACTURER SPECIFICATIONS
- 05 MTL. FLASHING CONT. @ ASPHALT SHINGLE TO EPDM ROOF TRANSITION-REF. A4.1/02 - EXTEND EPDM UNDER ASPHALT SHINGLE ROOF 2'-0" MIN. AT MATERIAL TRANSITION AND HOLD SHINGLES UP 4"
- 06 RIDGE VENT; CONTINUOUS
- 07 RE-BUILD & ENLARGE EXISTING ROOF CRICKET

ROOF PERFORMANCE SPECS

PROVIDE SHOP DRAWINGS DETAILING AN INSTALLED EPDM OR TPO ROOFING SYSTEM THAT MEETS THE FOLLOWING PERFORMANCE SPECIFICATIONS:

- 1. 25 YEAR REPLACEMENT WARRANTY
- 2. NO VALUE LIMIT

ALL FINAL DETAILING WILL BE AS PER MANUFACTURERS SPECIFICATIONS & SATISFY ALL WARRANTY REQUIREMENTS.

R-VALUE = R-38 BATT INSULATION MINIMUM

DIMENSION NOTES

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH A PLUS/MINUS (+/-) TOLERANCE.

"ALIGN" MEANS ALIGNMENT OF SIMILAR COMPONENTS OF CONSTRUCTION (I.E. WALLS, JAMBS, ETC.) WHICH ARE ADJACENT OR IN LINE WITH EACH OTHER ACROSS VOIDS.

DIMENSIONS ARE INDICATED AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWING:

COLUMNS - FROM CENTERLINE TO CENTERLINE
METAL STUD PARTITIONS - FROM FACE OF FINISH TO FACE OF FINISH

CONCRETE - FROM FACE OF CONCRETE TO FACE OF CONCRETE
MASONRY - FROM FACE OF MASONRY TO FACE OF MASONRY
EXTERIOR WALL - FROM EXT. FACE OF WALL TO INTERIOR FACE OF FINISH
INTERIOR ELEVATION - FROM FINISHED FLOOR TO FINISHED CEILING

ALL FLOOR TO FLOOR AND CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR.

WALLS ARE TO BE CONSTRUCTED WITH PERPENDICULAR INTERSECTIONS U.N.O.

DOORS ARE TO BE INSTALLED 6" FROM HINGE EDGE TO NEAREST INTERSECTING WALL - TYPICAL U.N.O.

PLAN KEYED NOTES

- A NEW ANDERSEN "400 SERIES" WINDOWS- REFER TO ELEVATIONS & SHEET A4.1 FOR FOR SPECIFICATIONS
- B ANDERSEN 400 SERIES FRENCHWOOD GLIDING PATIO DOORS (REF. DOOR SCHEDULE)
- C 4" CONCRETE SLAB ON GRADE PATIO; REFER TO D1.0
- D WASHER/DRYER W/ CUSTOM COUNTERTOP & UPPER CABINETS ABOVE
- E NEW TILE SHOWER/BENCH
- F HANGING ROD & 1 1/2" D CLOSET SHELVING ABOVE
- G OWNER APPROVED KITCHEN APPLIANCES
- H NEW KITCHEN COUNTERTOPS & CUSTOM CABINETRY
- I KITCHEN ISLAND W/ SEATING
- J CASEWORK/CABINETRY/SHELVING
- K MAINTAIN EXISTING HEADER & DINING ROOM CROWN MOLDING

WALL LEGEND

- 01 EXISTING WALL TO REMAIN
- 1B INFILL WALL (MATCH EXISTING IMMEDIATE ADJACENT WALL CONSTRUCTION)
2X6 WD STUD WALL @ 16" O.C. W/ $\frac{3}{8}$ " ZIP WALL SHEATHING
SYS. $\frac{1}{2}$ " CLOSED CELL FOAM, R-20 BATT INSULATION & SHINGLE SIDING, FINISHED TO MATCH EXISTING.
- 03 INTERIOR WALL: NEW 2x4 WD. STUD WALL @ 16" O.C. W/ $\frac{3}{8}$ " GWB EACH SIDE

DOOR SCHEDULE

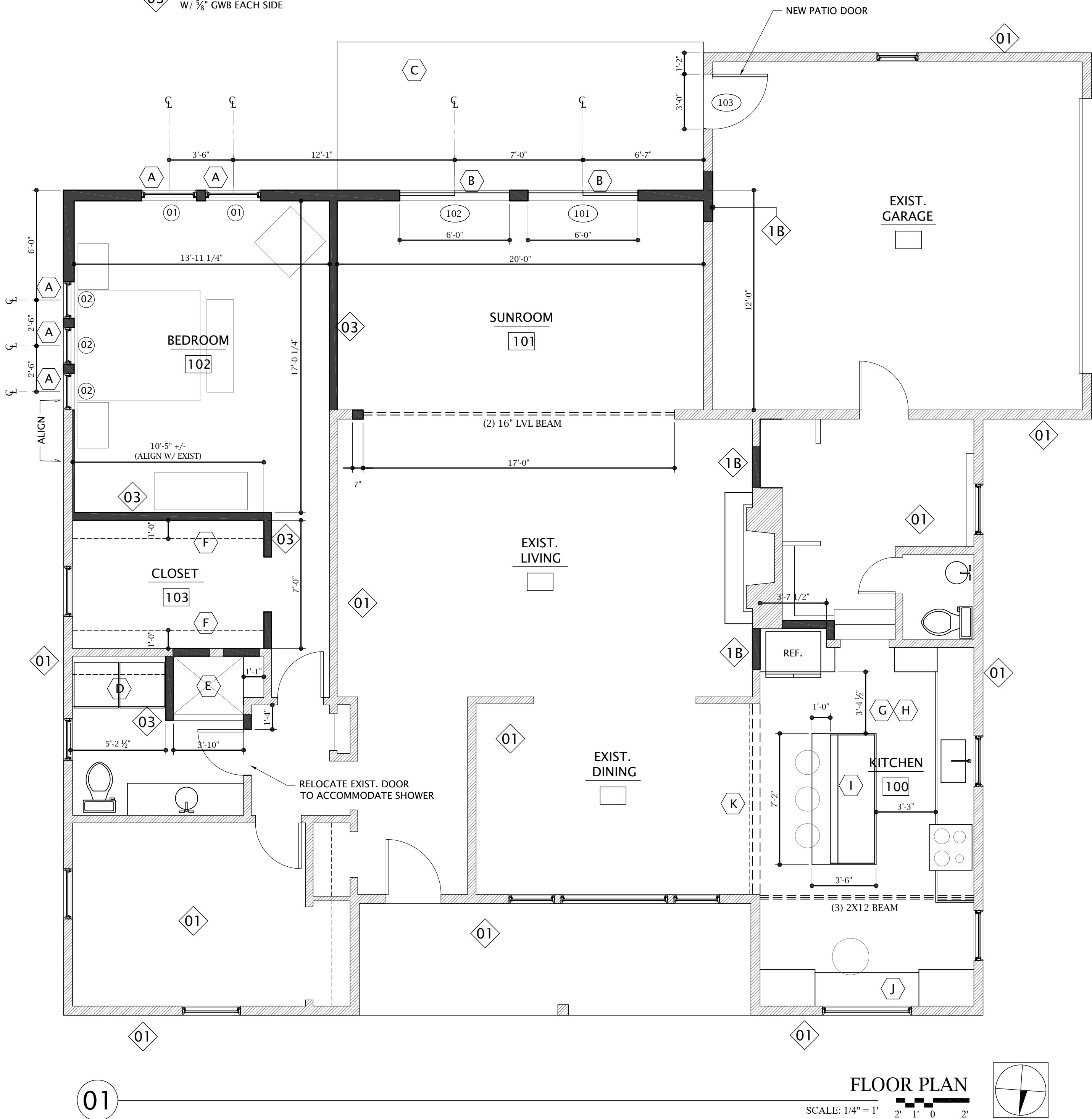
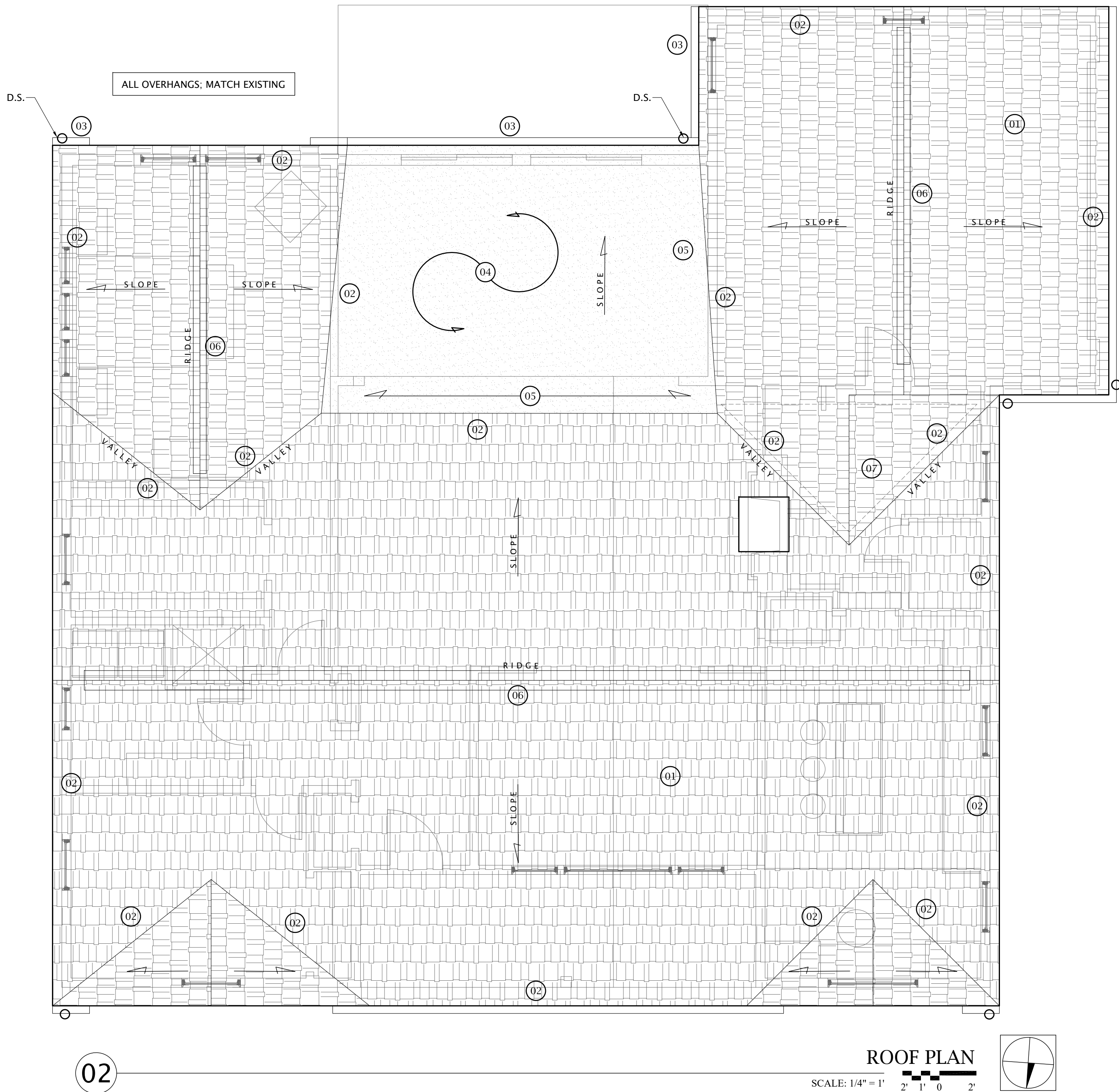
DOOR	ROOM	SIZE	MATERIAL	GLASS	NOTES
EXTERIOR DOORS					
101	PATIO	6'-0"x6'-8"		TEMP	ANDERSEN 400 SERIES: FRENCHWOOD GLIDING PATIO DOORS
102	PATIO	6'-0"x6'-8"		TEMP	
102	PATIO	3'-0"x6'-8"	HM		

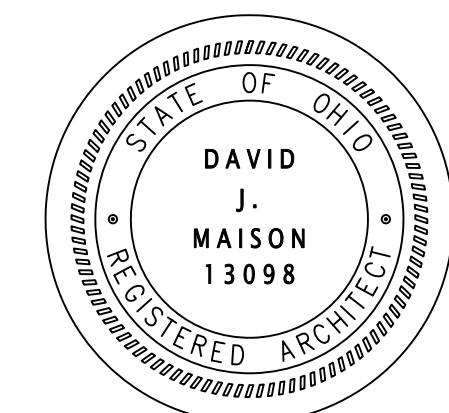
DOOR & WINDOW LEGEND

- 000 DOOR TAGS
 - WINDOW TAGS
- *REFER ABOVE FOR DOOR SCHEDULE & A4.1 FOR WINDOW ELEVATIONS & SPECS.

PLAN GENERAL NOTES

- 1. ARC FAULT PROTECTION IS REQUIRED AT ALL WET LOCATIONS, TYP.
- 2. SMOKE ALARMS TO BE PROVIDED PER CODE.
- 3. PROVIDE CARBON MONOXIDE DETECTORS TO BE PROVIDED, PER CODE





DAVID J. MAISON
LICENSE #13098
EXP. DATE 12/31/2025

HECKER RESIDENCE
EXISTING HOME REAR ADDITION
18943 STORY ROAD
ROCKY RIVER, OHIO 44116

ZONING: AUGUST 26 2025
PROJECT: HEC0825

ELEVATION KEYED NOTES

- A

NEW SHINGLE ROOF: OWENS CORNING;
DURATION; COLOR: BLACK SABLE
- B

NEW LAP SIDING; MATCH EXISTING
- C

NOT USED
- D

ANDERSEN "400 SERIES" WINDOWS; REFER TO
A4.1 FOR WINDOW TYPE & DIMENSIONS
- E

NEW 4" CONCRETE PAD
- F

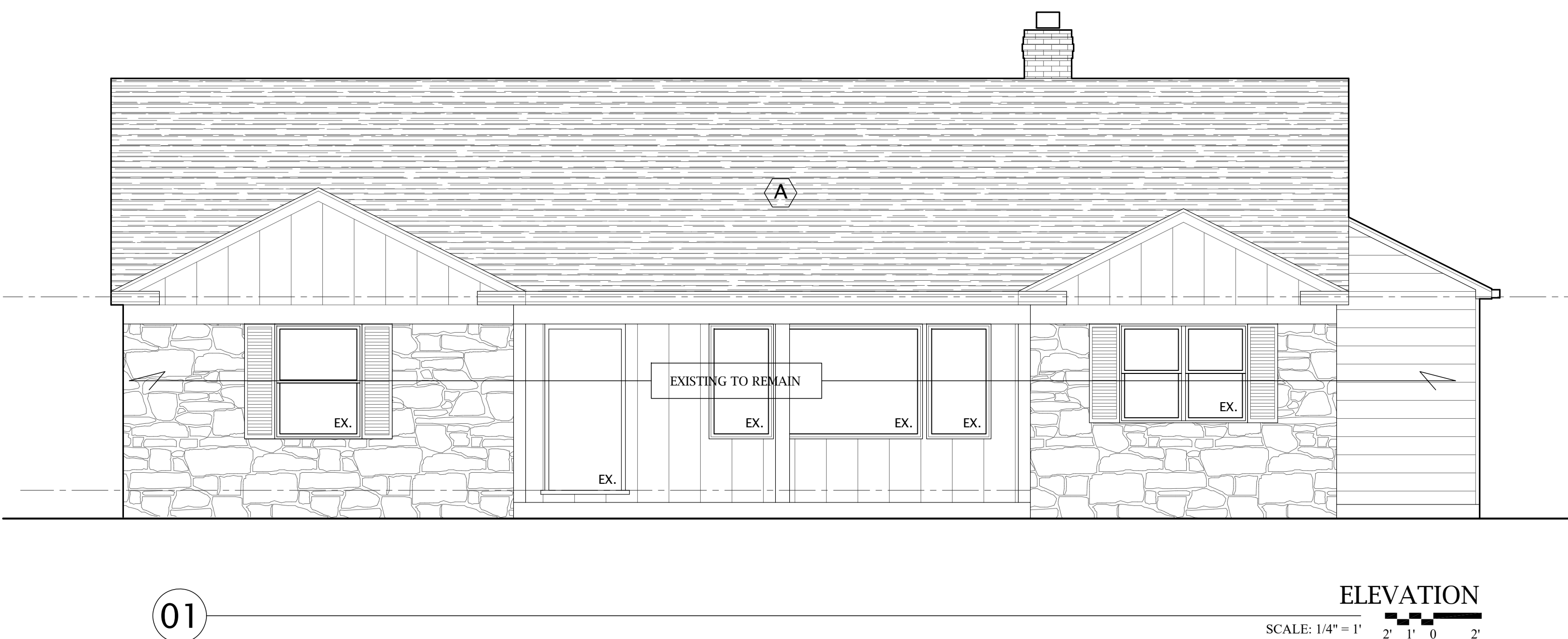
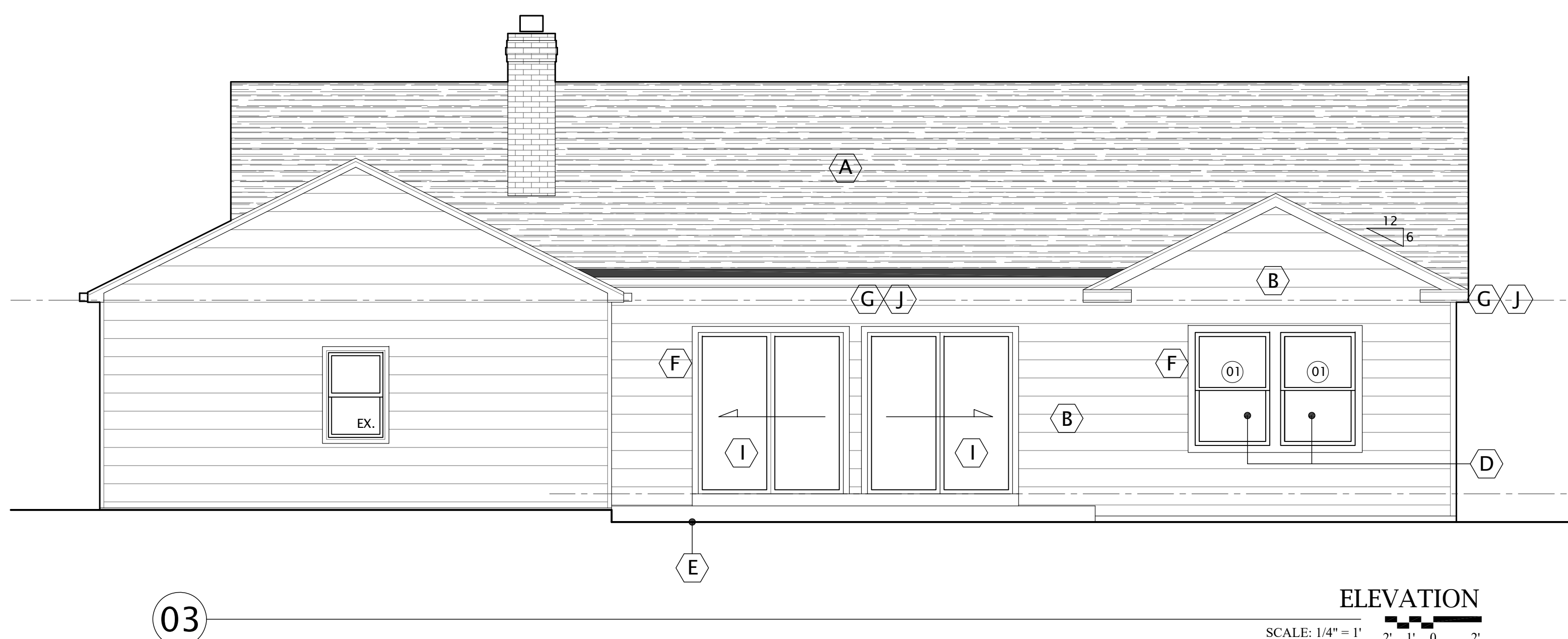
AZEK (OR EQUAL) TRIM - PT. TRIM
- G

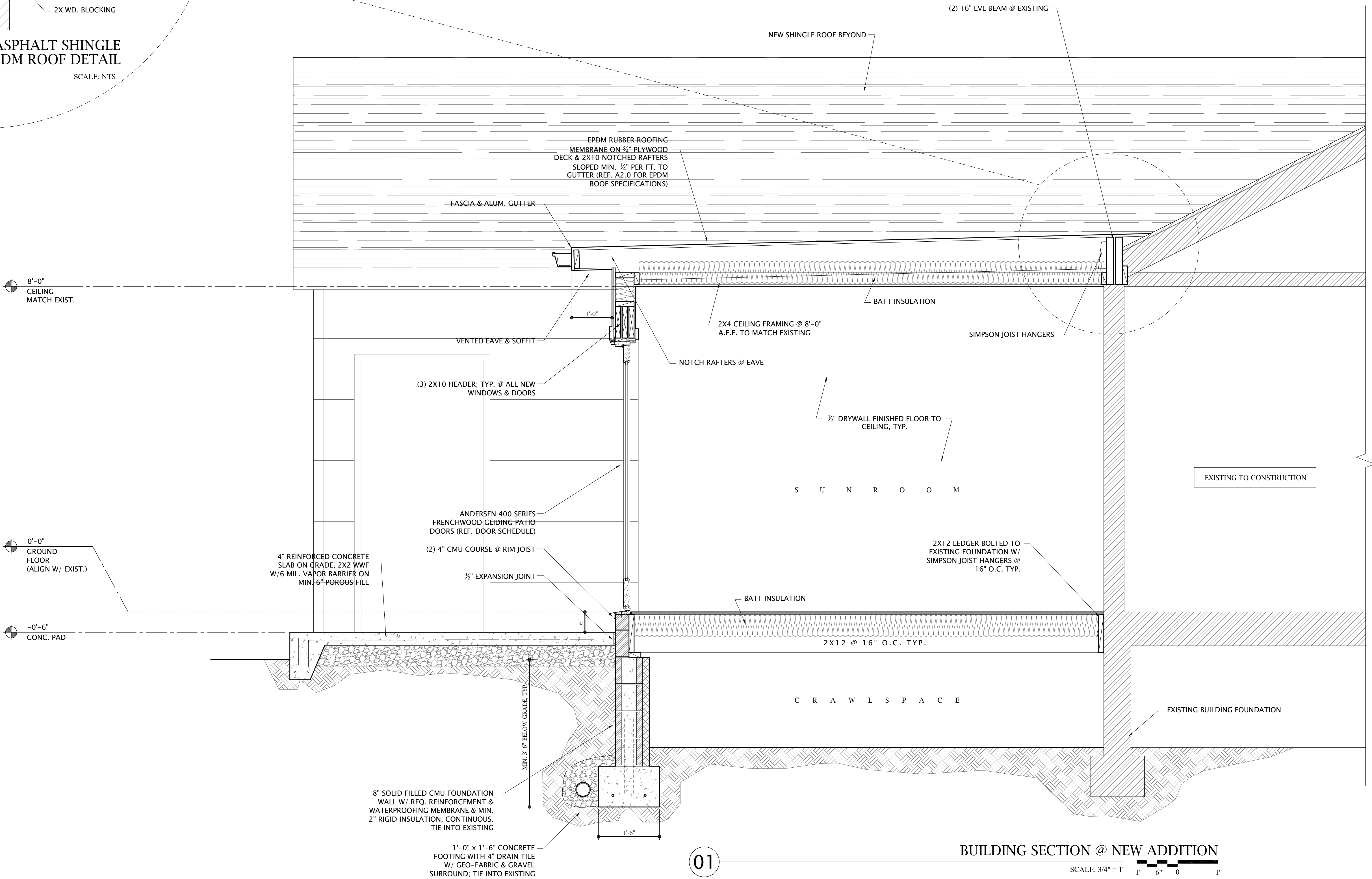
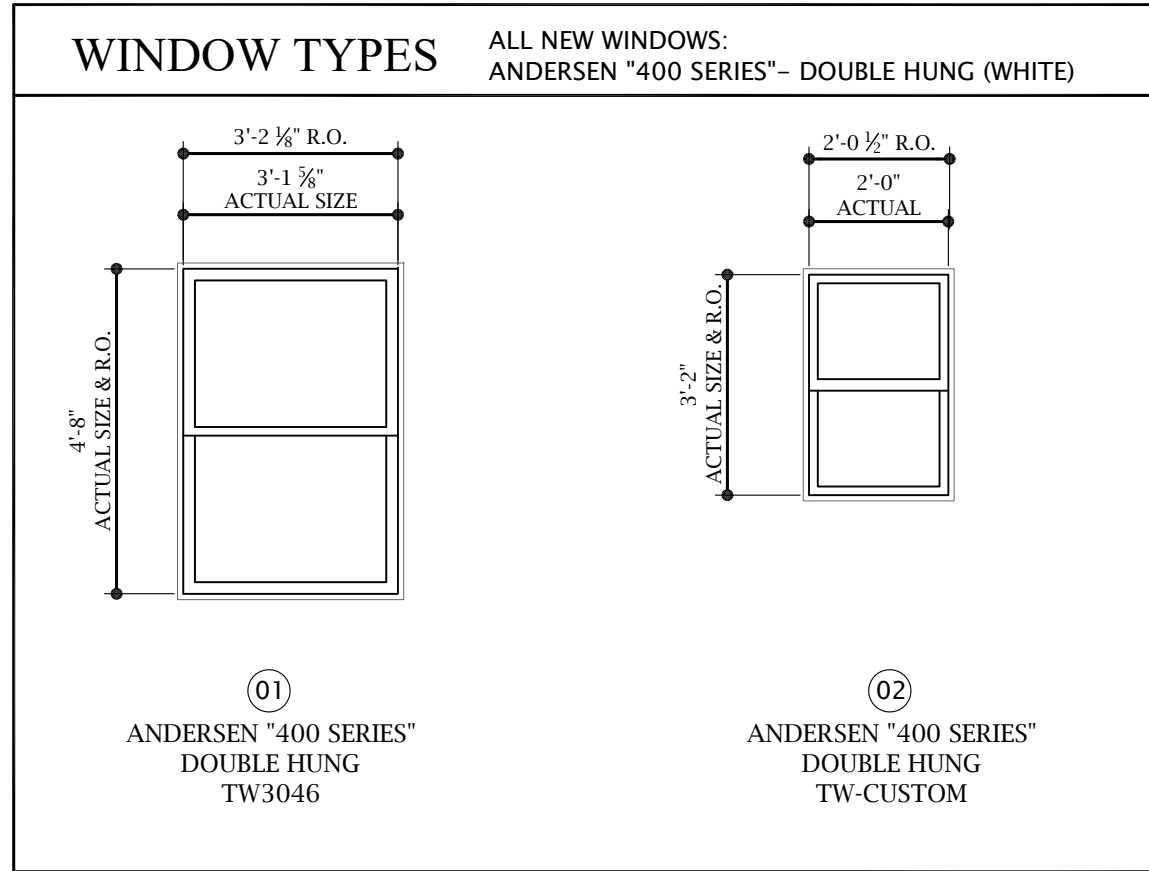
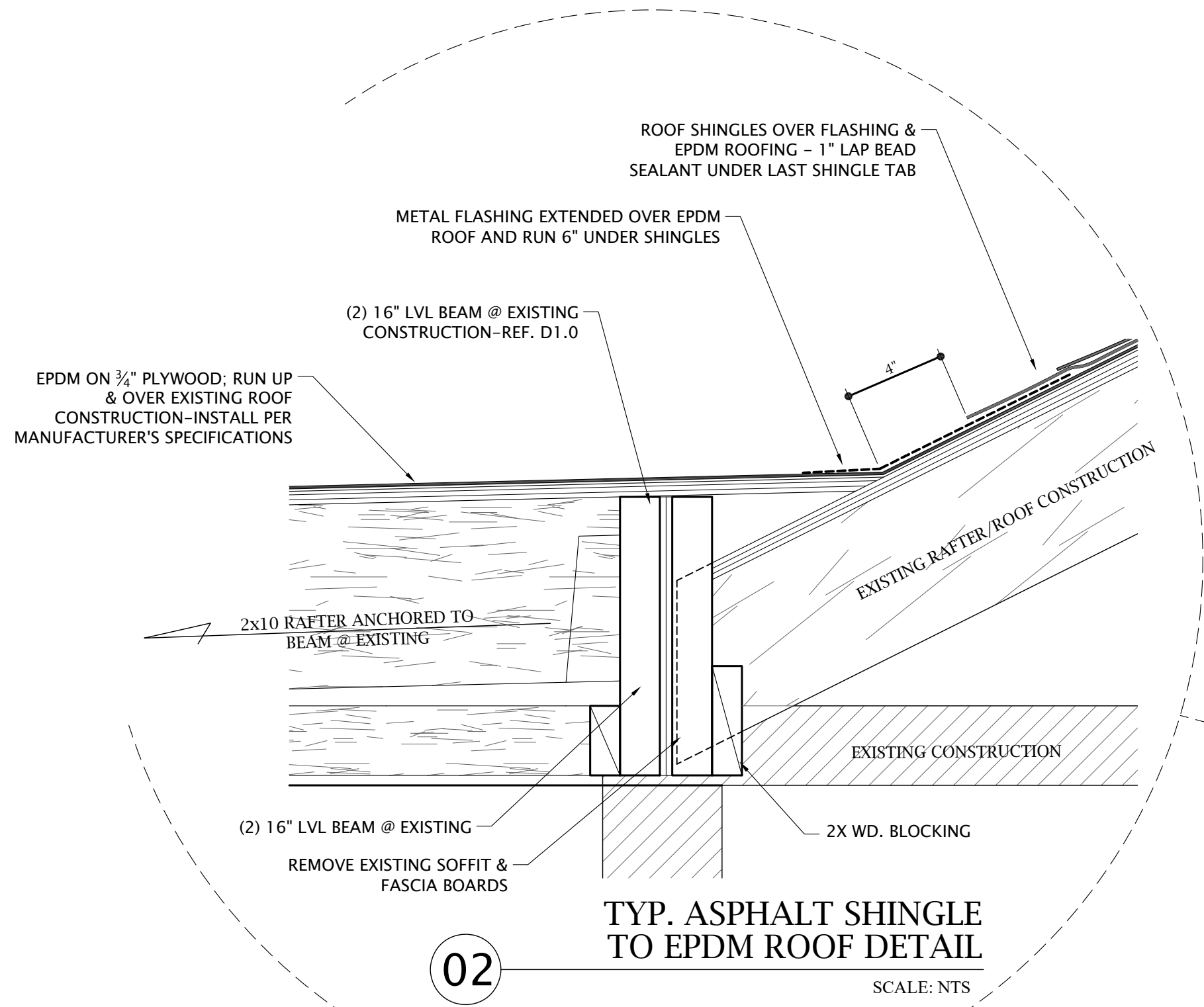
VENTED SOFFIT @ EAVE
- H

EXISTING ELECTRICAL SERVICE ENTRANCE
- I

ANDERSEN 400 SERIES FRENCHWOOD GLIDING
PATIO DOORS-REF. DOOR SCHEDULE
- J

ALUMINUM GUTTER - TIE DOWNSPOUTS
INTO EXIST. STORM WATER LINE
- WINDOW TYPE - REFER TO A4.1

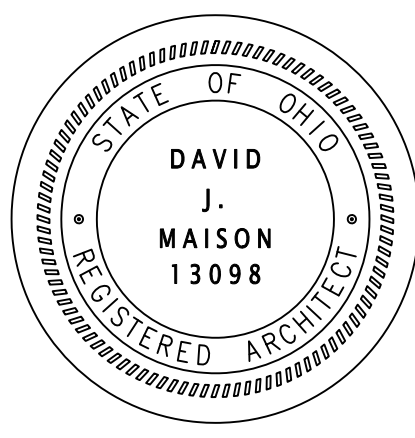




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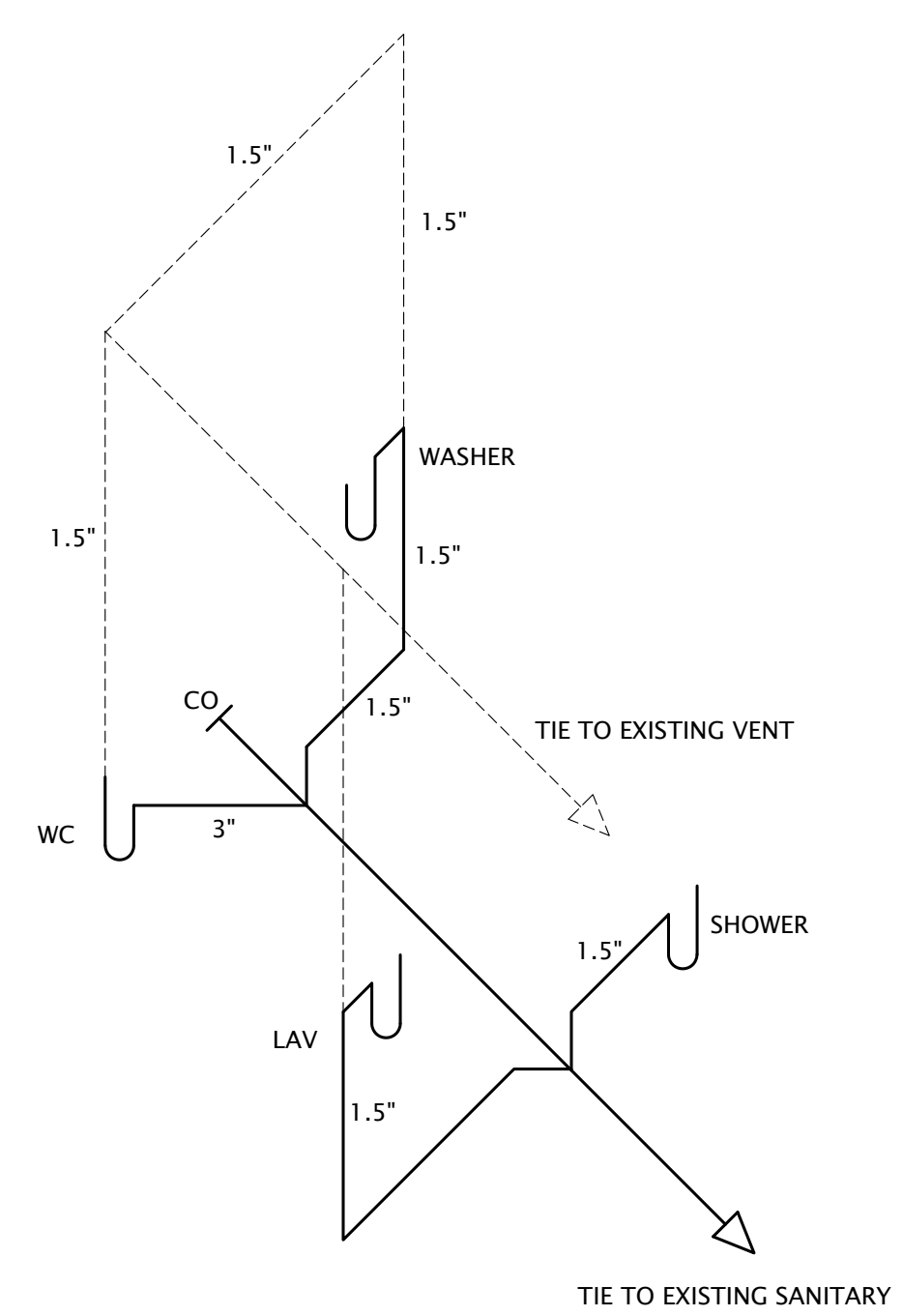
U
1.1
UTILITY PLAN

PLAN KEYED NOTES

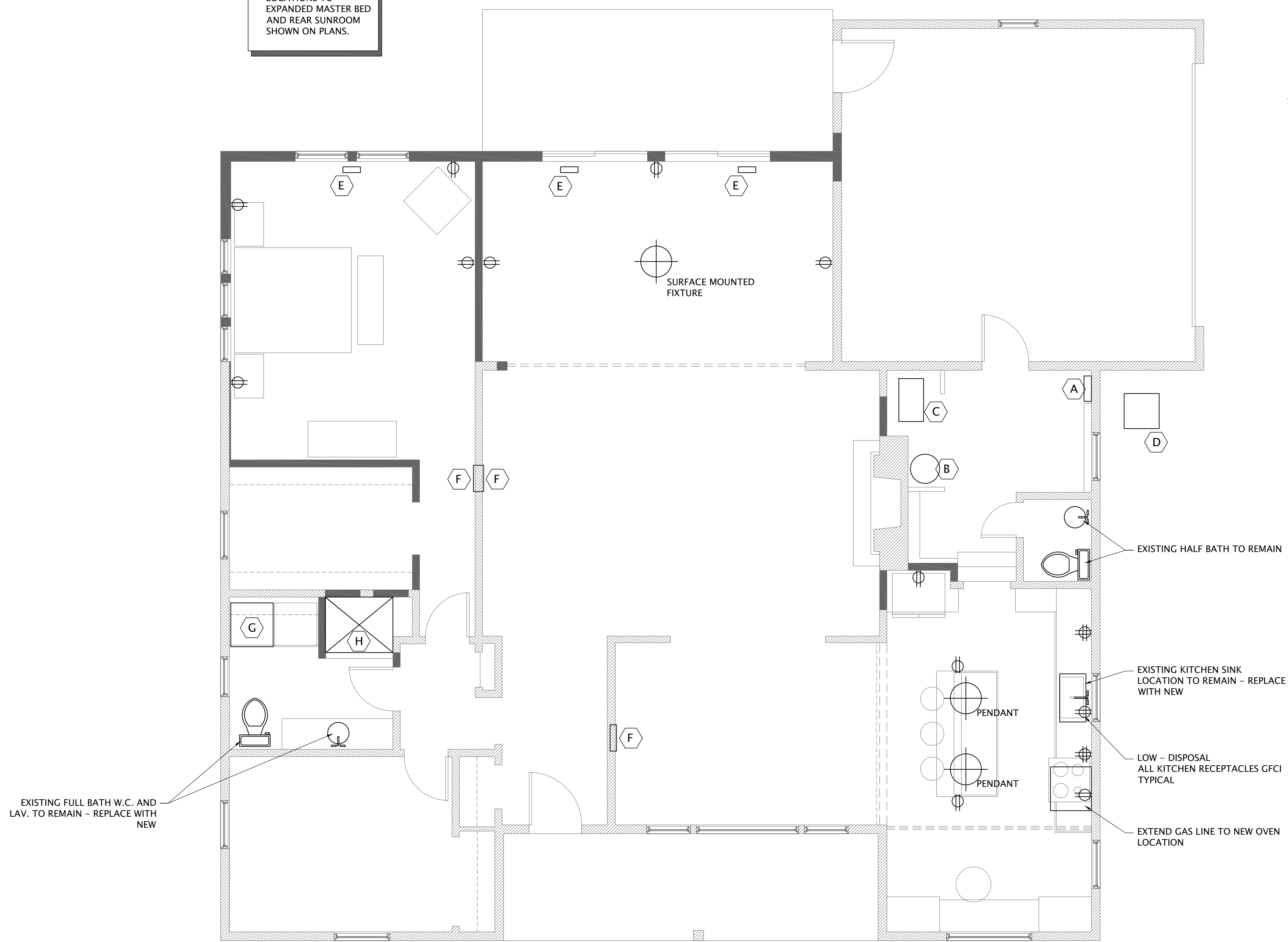
- A EXISTING 100 AMP ELECTRICAL PANEL TO REMAIN
- B EXISTING GAS WATER HEATER TO REMAIN
- C NEW TRAIN 100,000 BTU FURNACE - 96 MODULATING VARIABLE SPEED GAS FURNACE (OR EQUAL)
- D NEW 3 TON COOLING CONDENSER - XV17 TRUCOMFORT (OR EQUAL)
- E NEW AIR SUPPLY FLOOR REGISTER
- F NEW DUCTED RETURN IN CRAWLSPACE
- G RELOCATED WASHER & DRYER - INSTALL NEW HOT & COLD WATER LINES & CONNECT TO EXISTING SANITARY - VENT THRU CRAWLSPACE TO EXISTING EXTERIOR WALL
- H NEW RELOCATED TILE SHOWER - SCHLUTER WATERPROOFING SYSTEM OR EQUAL

HVAC NOTE:
ALL EXISTING ELECTRICAL AND LIGHTING REMAIN. NEW RECEPTACLES AND LIGHTING LOCATIONS SHOWN ON PLANS.

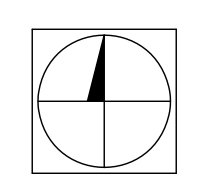
HVAC NOTE:
ALL EXISTING INSULATED ATTIC AIR SUPPLY DUCTWORK TO REMAIN. NEW DUCT LOCATIONS TO EXPANDED MASTER BED AND REAR SUNROOM SHOWN ON PLANS.



02 ISOMETRIC - new work
N.T.S.



01 UTILITY PLAN
SCALE: 1/4" = 1' 2' 1' 0' 2'



18943 Story Road -Hecker Residence - Existing photos & neighbors



Hecker Residence



18939 Story Road - East adjacent



3770 Carol Blvd &18961 Story Road - across Carol Blvd



Hecker Residence Side/Rear Yard



3769 Carol blvd



Hecker Residence rear elevation



Owens Corning - Black Sable Roof



Reference map



Hecker Residence corner Carol Blvd & Story Road