



City of Rocky River  
BUILDING  
DEPARTMENT

21012 Hilliard Boulevard  
Rocky River, OH 44116  
Phone (440) 356-2139

## DESIGN AND CONSTRUCTION BOARD OF REVIEW APPLICATION.

The Design and Construction Board of Review meets on the first and third Mondays of each month at 5:00 P.M. in Council Chambers of City Hall. In case of a holiday is on a Monday meeting day, the regular meeting will be held on the following Tuesday evening. If a meeting has been canceled because of "no agenda," the next meeting will be held at the regularly scheduled time.

ALL FIELDS ARE REQUIRED TO BE FILLED IN. Incomplete applications will delay permit processing.

DATE OF APPLICATION: 10.27.2025

### PROPERTY IDENTIFICATION

BUSINESS NAME OR PROPERTY OWNER'S NAME: Ryan Eyerman

STREET ADDRESS: 19493 Laurel Ave

PHONE NUMBER: \_\_\_\_\_ E-MAIL ADDRESS: Ryan.Eyerman@RaymondJames.com

TYPE OF WORK Addition

SIZE OF WORK 84 SF

VARIANCE NEEDED: ☐ YES ☒ NO

- It is the responsibility of the property owner/contractor to verify the location of the structure and the property lines. The City of Rocky River is not responsible for determining property lines.
- Email a digital copy of the required documents (next page) to [dminek@rockyriverohio.gov](mailto:dminek@rockyriverohio.gov).
- Submit the application and three (3) copies of the required documents (next page) to Dylan Minek at City Hall by 4:30 PM on the Wednesday proceeding the meeting.

---

This application is **NOT** a Building Permit for the type of working being proposed. This application is for the Design and Construction Board of Review's use only. **ALL APPLICANTS MUST FILL OUT A BUILDING DEPARTMENT APPLICATION FOLLOWING APPROVAL FROM THE BOARD.**

## REQUIRED DOCUMENTS:

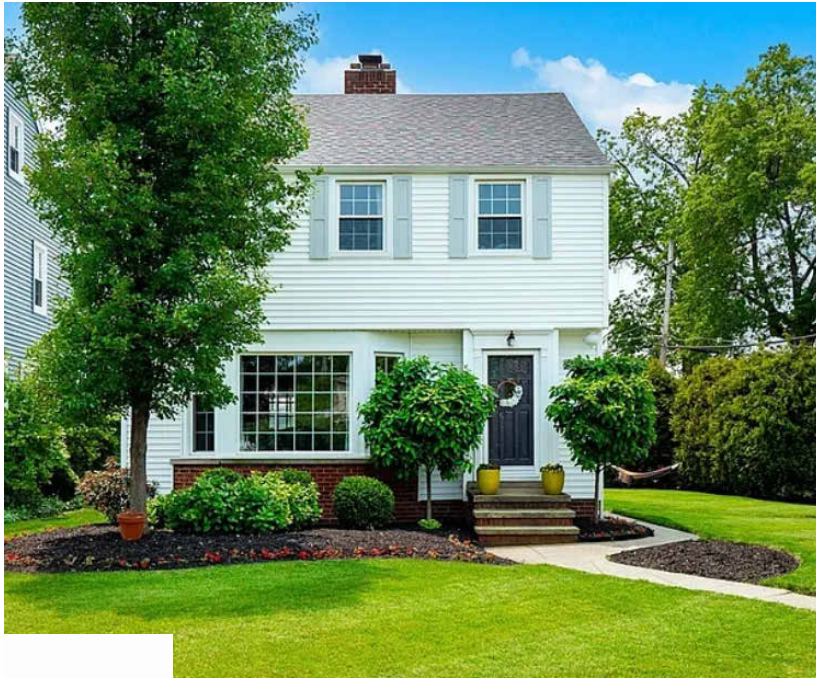
### 1137.23 SUBMISSION REQUIREMENTS FOR REVIEW BY THE DESIGN AND CONSTRUCTION BOARD OF REVIEW.

An application for review by the Design and Construction Board of Review, upon the forms provided, shall be accompanied by the following requirements:

- (a) Site Plan: Drawn to scale, showing the lot size, building dimensions, front setback, side and rear setback dimensions, yard dimensions, walks and driveways, accessory structures, downspouts, drains and storm water disposal system. Show existing and proposed grade elevations if topography of lot is irregular or application is for a previously undeveloped lot. Locate patios, air conditioning condensers, swimming pools, retaining walls, fences, porches and other site improvements. Minimum scale: 1 inch equals 20 feet;
- (b) Floor Plan: Drawn to scale, showing walls, windows, doors, and floor elevations. Minimum scale: 1/4 inch equals 1 foot;
- (c) Foundation or Basement Plan: Drawn to scale, showing walls, windows, vents, doors, and floor elevations;
- (d) Exterior Elevations: Elevations showing each side of the proposed building or addition, drawn to scale, showing downspout connections, chimney height, steps, platforms, etc. Minimum scale: 1/4 inch equals 1 foot;
- (e) Heating Plan: Drawn to scale, showing the exterior location of all mechanical equipment or solar equipment. Air conditioning condensing unit must be shown on the site plan;
- (f) Photographs. Photographs of the subject property and adjacent properties; and,
- (g) Sample Building Materials. Color samples of roofing, siding and/or other exterior materials.

In addition to the above:

- Isometric Plumbing Diagram: (where applicable) Showing the piping, drainage, and venting systems with the size of each component indicated.
- Section Through Exterior Wall: Drawn to scale, of the proposed building, showing the construction from the bottom of the footing up through the roof rafters and roofing. Each component of the section shall be identified and sizes indicated. Minimum scale: 1/2 inch equals 1 foot.

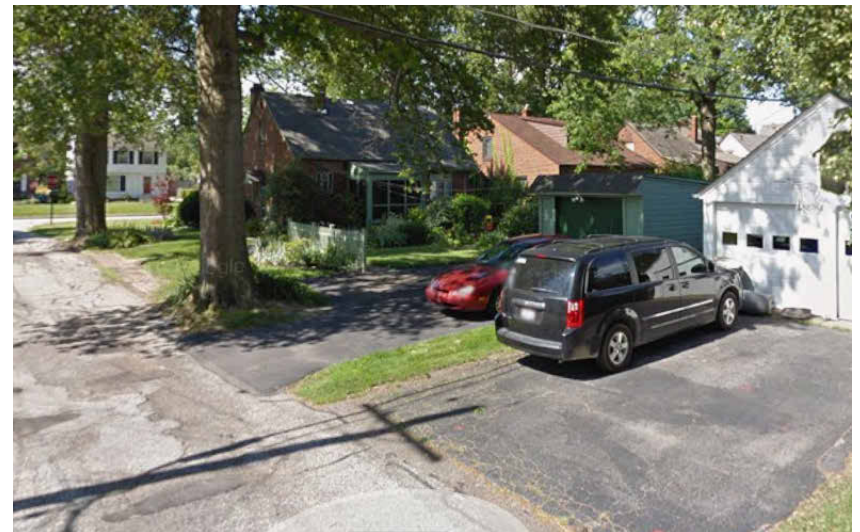
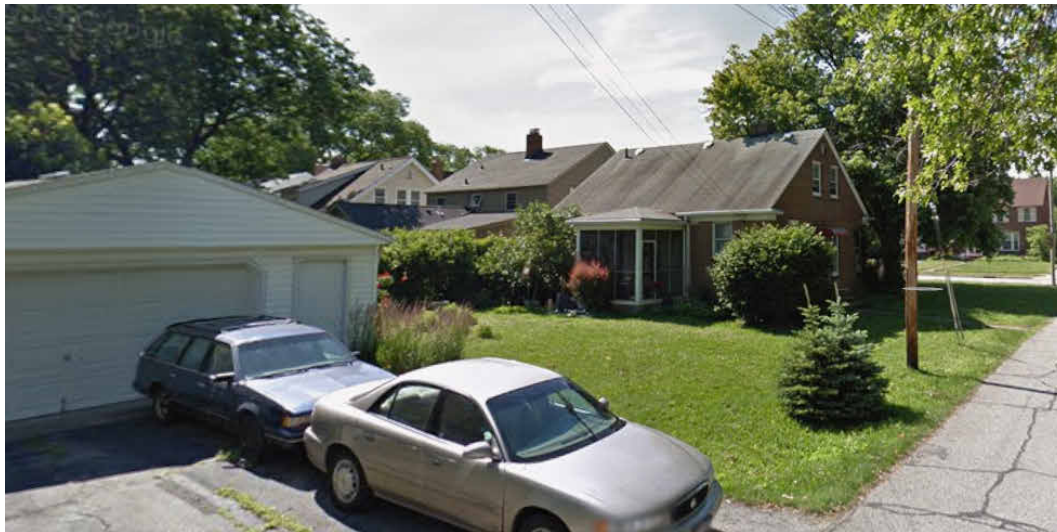


Existing Photos  
 Ryan Eyerman  
 Second Floor Addition

Scale:  
 Date:

2025.10.27





## Context Photos

Ryan Eyerman  
Second Floor Addition

## Mortgage Location Survey

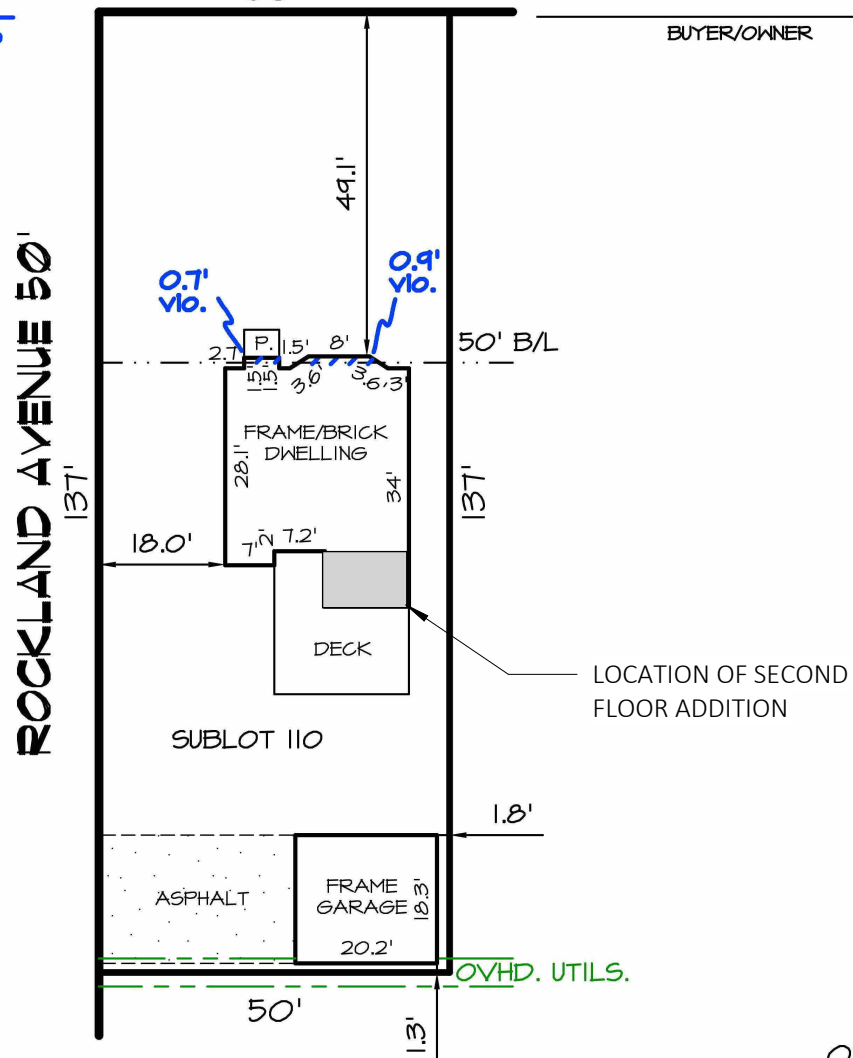
**VIOLATION:**  
SUBJECT'S DWELLING VIOLATES  
BUILDING SETBACK AS SHOWN.

LAUREL AVENUE 50'

I/WE HAVE RECEIVED A COPY OF THIS  
SURVEY AND FIND THE CONDITIONS  
ACCEPTABLE TO ME/US.

BUYER/OWNER

# IRON



LOCATION OF SECOND FLOOR ADDITION

## OVHD. UTILS.



0' 30'

ML

SCALE: 1"=30'

**Street Address:**  
19493 Laurel Ave, Rocky River, Ohio 44116

**New Owner:**  
Ryan T. Eyerman

**Allotment:** The River Wood Park

Record Info: Volume 83, Page 38

**Client Order No:** 25-1247


**Date:** June 18, 2025

**Present Owner:**  
Nathan C. Moyer and Beth Ann Moyer

**This is to certify to:**

Raymond James Bank and/or Cleveland Home Title Agency LTD that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

  
Joseph P. Wilin Jr. - Reg. Surveyor No. 7638

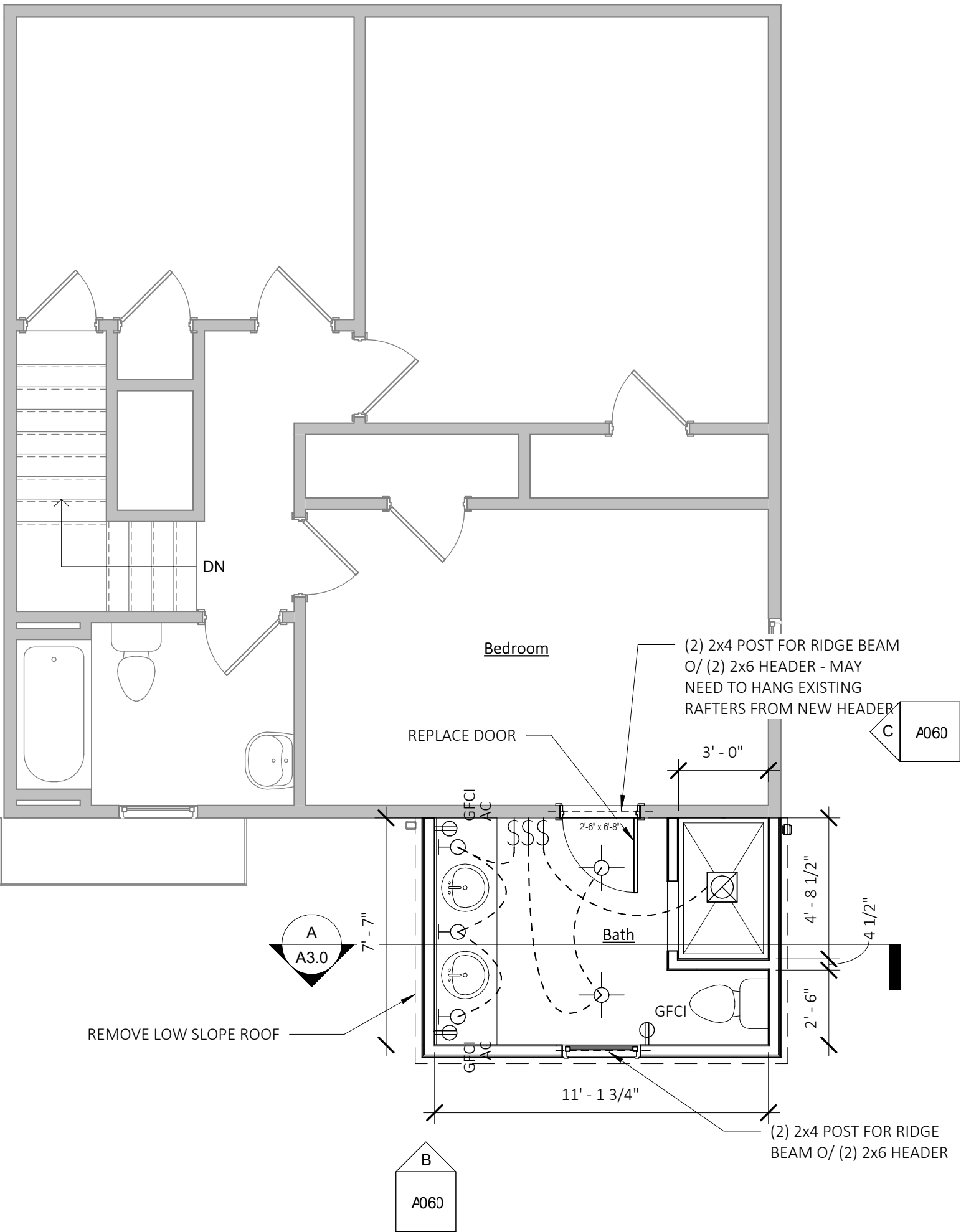
C & A Order No. CL211348

Page 2 of 2

## Site Plan

Ryan Eyerman  
Second Floor Addition



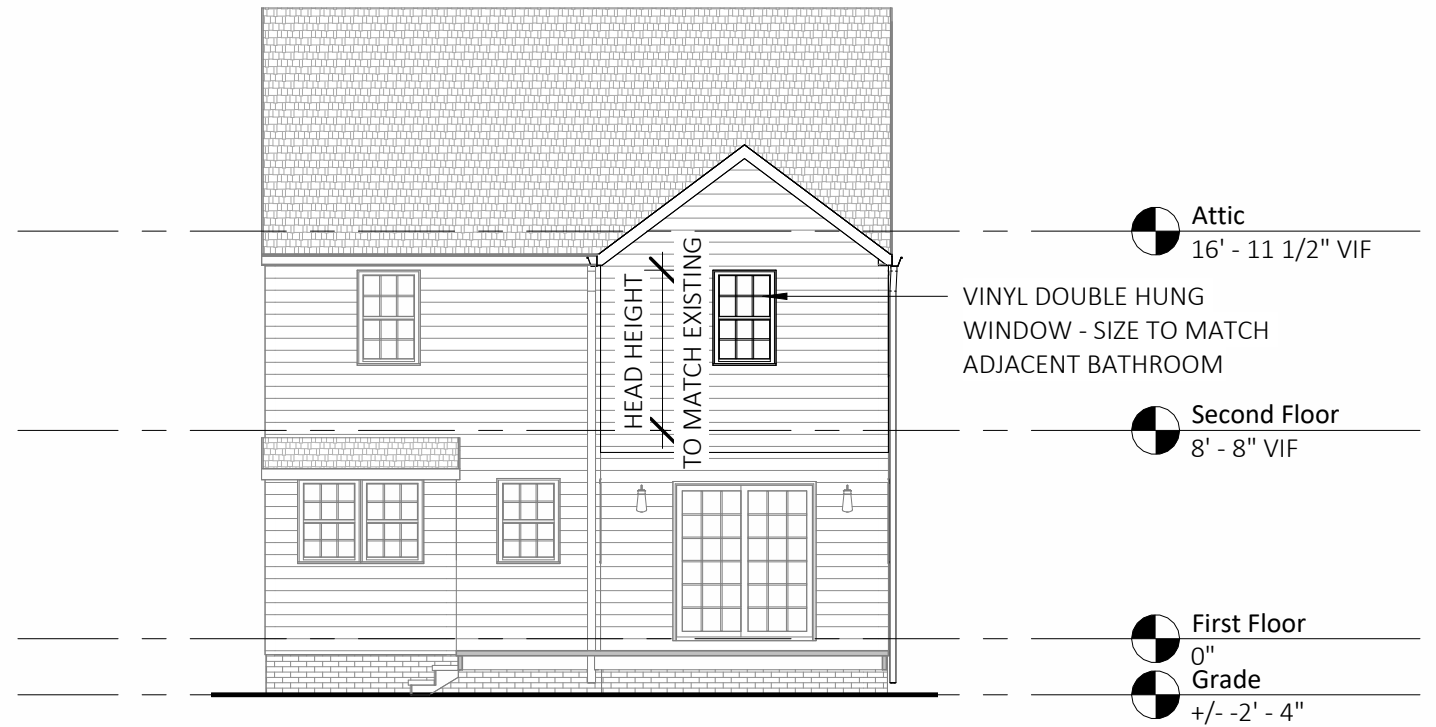








A West Elevation Copy 1  
1/8" = 1'-0"



B South Elevation Copy 1  
1/8" = 1'-0"



C East Elevation Copy 1  
1/8" = 1'-0"



## Exterior Elevations

Ryan Eyerman  
Second Floor Addition