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07.10.25
07.28.25

REVISED 09.15.25
10.02.25

PERMIT 10.13.25

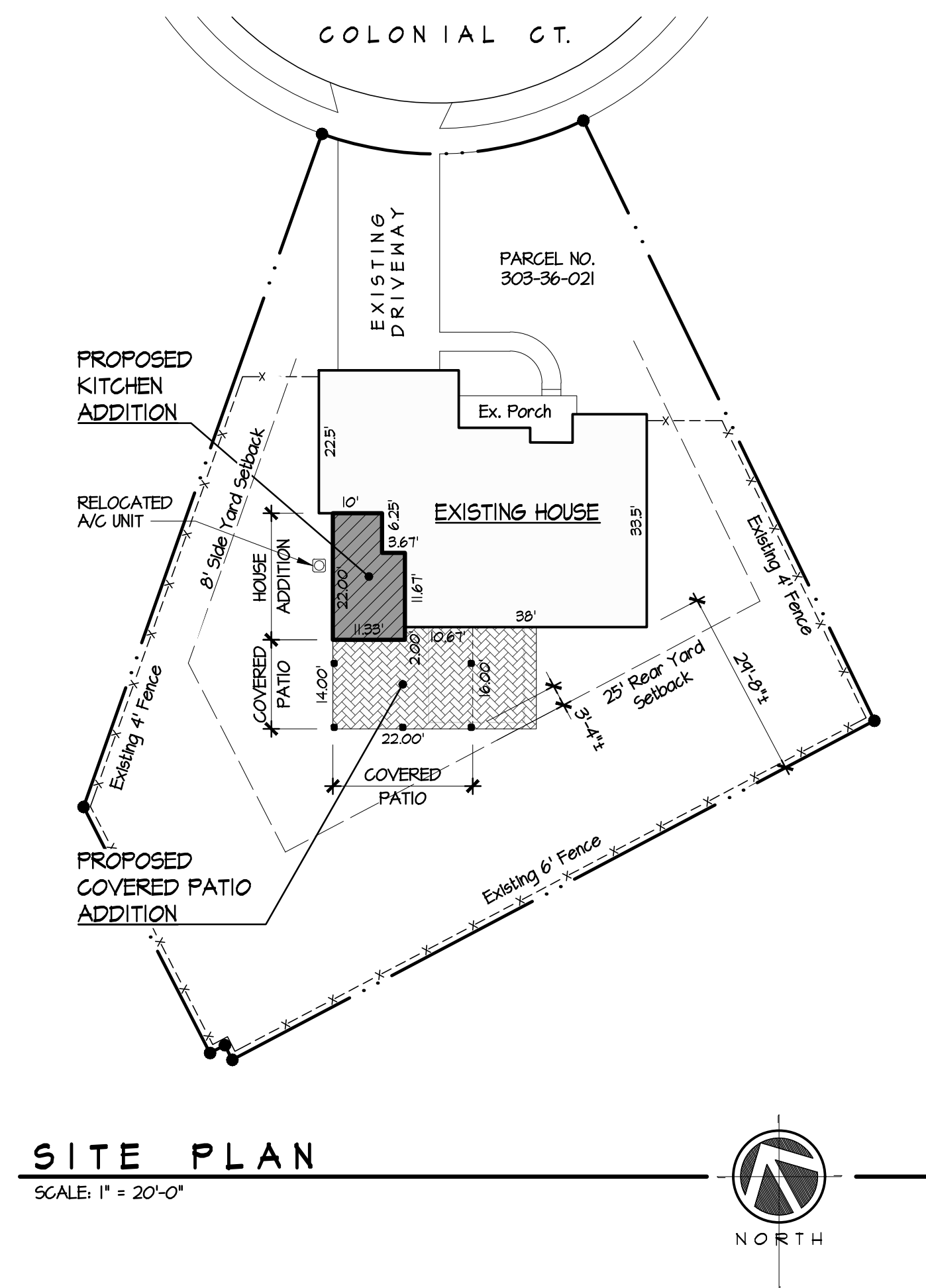
TOWNES RESIDENCE

3919 Colonial Court
Rocky River, Ohio



Brian P. Palumbo, License #14828
Expiration Date: 12/31/2025

PROJECT NO.
25-031

$$SP = 1$$


1. ALL WORK SHALL CONFORM TO THE LATEST UPDATED EDITION OF THE 2019 RESIDENTIAL CODE OF OHIO FOR ONE, TWO, & THREE FAMILY DWELLINGS (RCO) AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL CODES.
2. SITE ZONING: 'R-1' SINGLE FAMILY RESIDENCIAL DISTRICT
3. SITE AREA: 0.25 ACRES
4. GROSS BUILDING AREA:

EXISTING GROUND FLOOR LIVING AREA =	1,125 SQ. FT.
PROPOSED NEW KITCHEN AREA =	197 SQ. FT.
TOTAL GROUND FLOOR LIVING AREA =	1,322 SQ. FT.
PROPOSED NEW COVERED PATIO =	324 SQ. FT.
EXISTING FRONT COVERED PORCH AREA =	107 SQ. FT.
EXISTING ATTACHED GARAGE =	478 SQ. FT.
5. ROOF DESIGN LOADS:

25 PSF LIVE LOAD (SNOW)
+ 15 PSF DEAD LOAD
= 40 PSF TOTAL LOAD
6. ALL MECHANICAL AND PLUMBING WORK SHALL CONFORM TO THE 2024 OHIO MECHANICAL CODE (OMC) AND OHIO PLUMBING CODE (OPC) AND ANY OTHER APPLICABLE CODES AND ORDINANCES.
7. ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70-23 (2023) NATIONAL ELECTRIC CODE (NEC) REQUIREMENTS.
9. PROVIDE SAFETY GLAZING IN ALL WINDOWS & DOORS IN HAZARDOUS LOCATIONS PER RCO 308.4.
10. PROVIDE FIREBLOCKING IN CONCEALED SPACES & AROUND PENETRATIONS AT CEILING & FLOOR LEVEL PER RCO 302.II.
11. WINDOWS TO BE GLAD WOOD W/ INSULATED LOW-E GLASS TO MATCH EXISTING. U-FACTOR TO BE 0.30 OR BETTER. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS W/ MANUFACTURER. UNIT SIZES ARE AS INDICATED ON ELEVATIONS;
TYPE/WIDTH/HEIGHT(INCHES). TYPE 'C' = CASEMENT, 'P' = PICTURE.
12. "TYPICAL" MEANS THE CONDITION INDICATED IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
13. DIMENSIONS ON PLANS ARE TO/FROM EXTERIOR FACE OF SHEATHING, FACE OF STUD OR FOUNDATION WALL, & CENTERLINE OF STEEL OR OPENING.
14. TYPICAL EXTERIOR WALLS ARE 2x4 WITH 1/2" O.S.B. SHEATHING (4" TOTAL THICKNESS). ALL INTERIOR WALLS ARE 2x4 (3-1/2") OR 2x6 (5-1/2") WHERE NOTED.
15. DIMENSIONS MARKED AS "x" MAY VARY AS MUCH AS 1/2".
16. ALL ELEVATIONS IN REFERENCE TO GROUND LEVEL FINISH FLOOR ELEVATION (+0'-0").

DRAWING INDEX

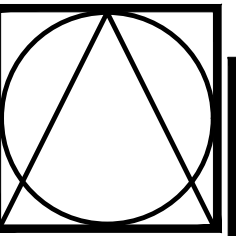
SP-1 SITE PLAN, GENERAL NOTES, &
DRAWING INDEX

A-1 FLOOR PLAN, FOUNDATION PLAN,
FRAMING NOTES, & FOUNDATION
NOTES

A-2 PARTIAL SOUTH, WEST, & EAST ELEVATIONS

A-3 FRAMING SECTIONS & WALL SECTIONS

E-1 ELECTRICAL PLAN & SYMBOL LEGEND



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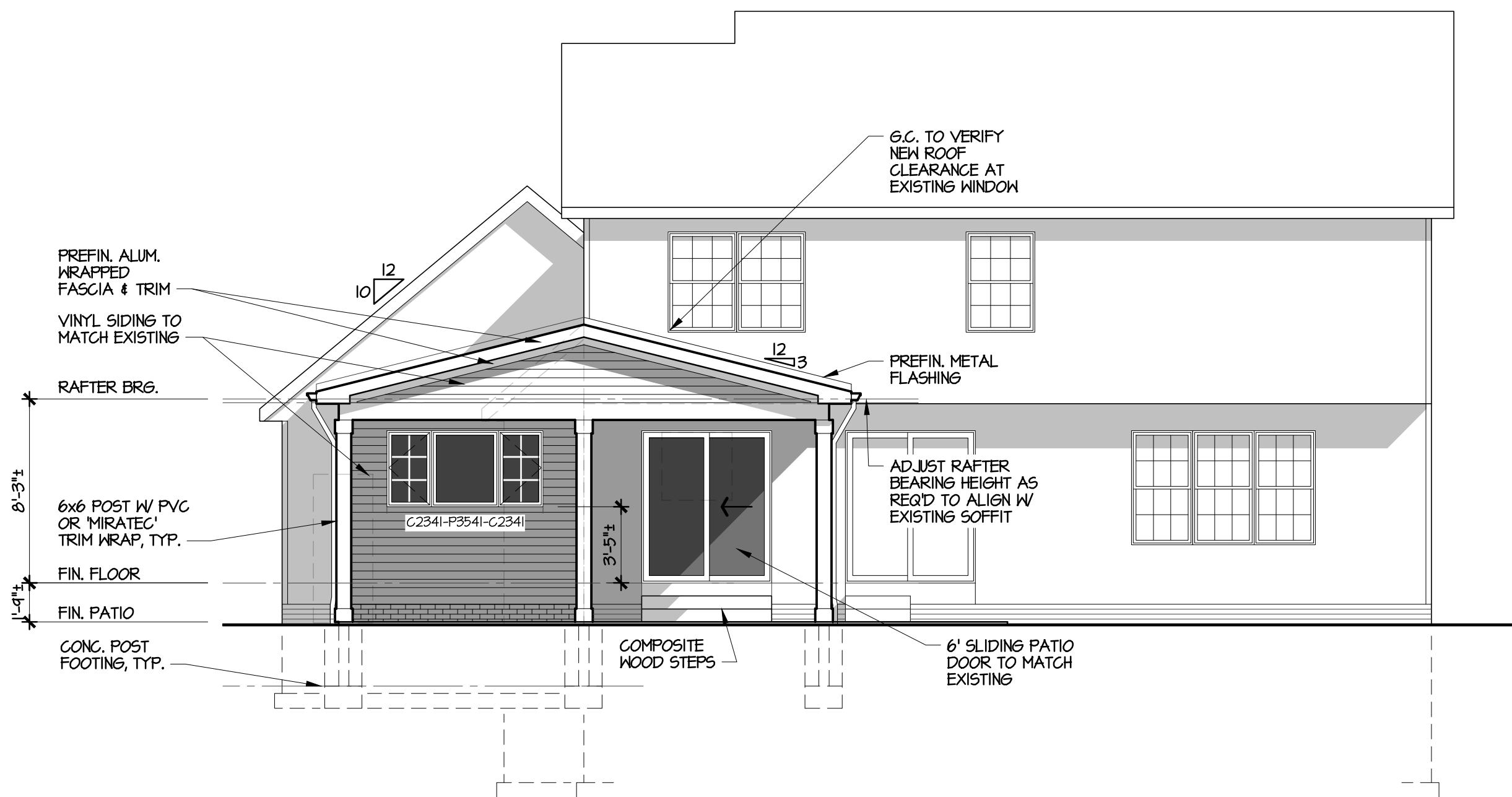
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Kitchen and Covered Patio Addition
TOWNE RESIDENCE
3919 Colonial Court
Rocky River, Ohio



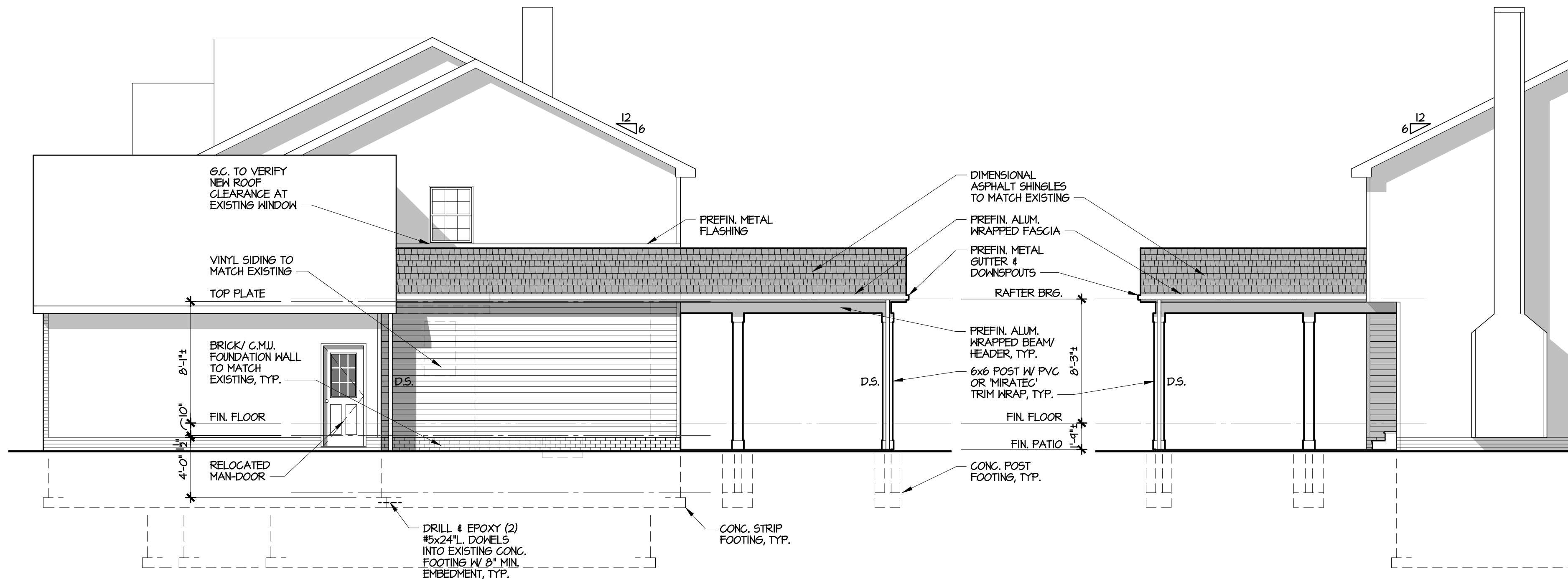
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A-2



PARTIAL
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

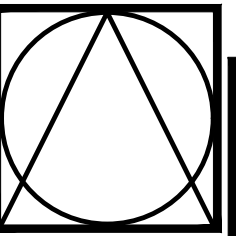


WEST ELEVATION

SCALE: 3/16" = 1'-0"

EAST ELEVATION

SCALE: 3/16" = 1'-0"



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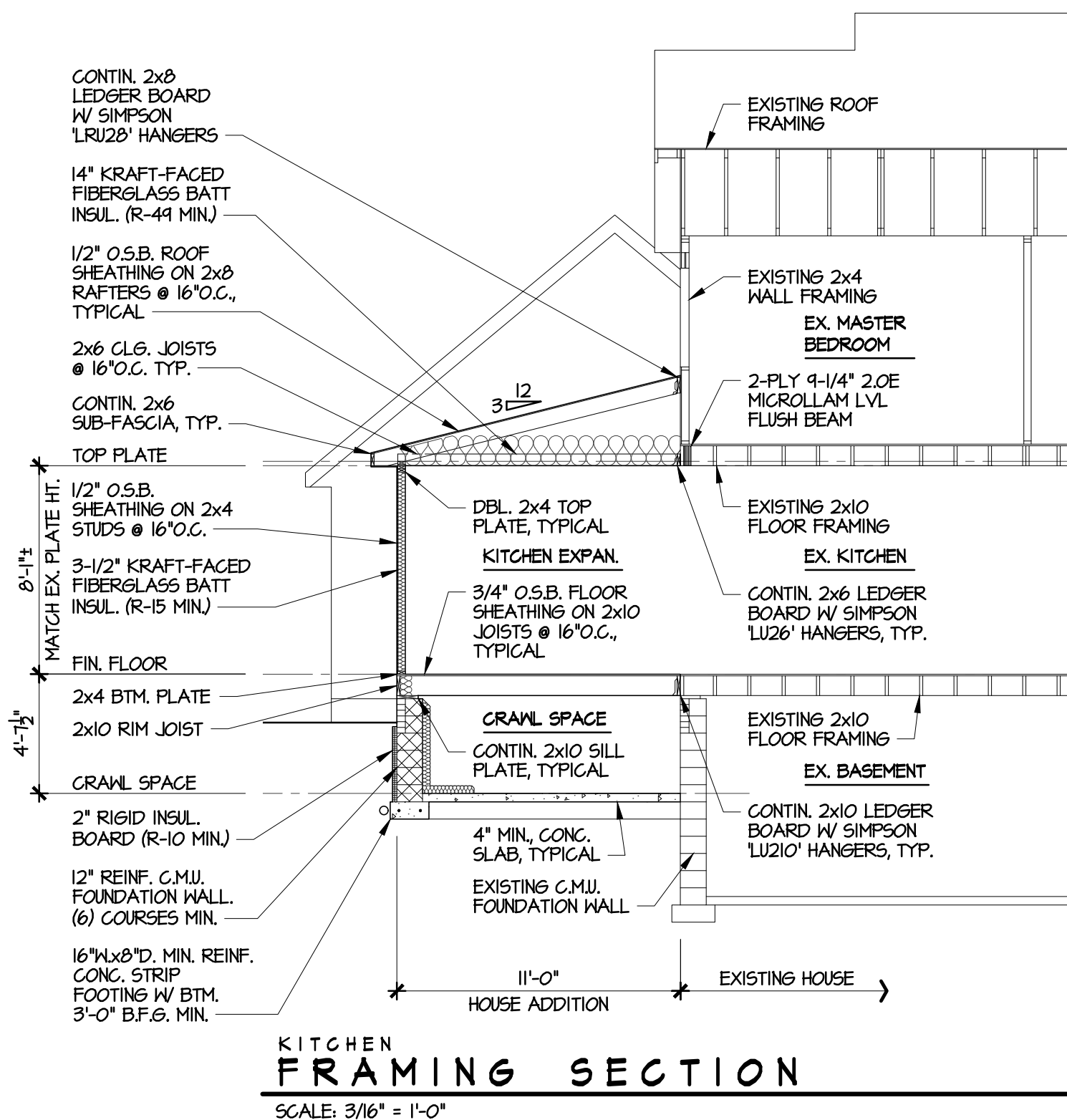
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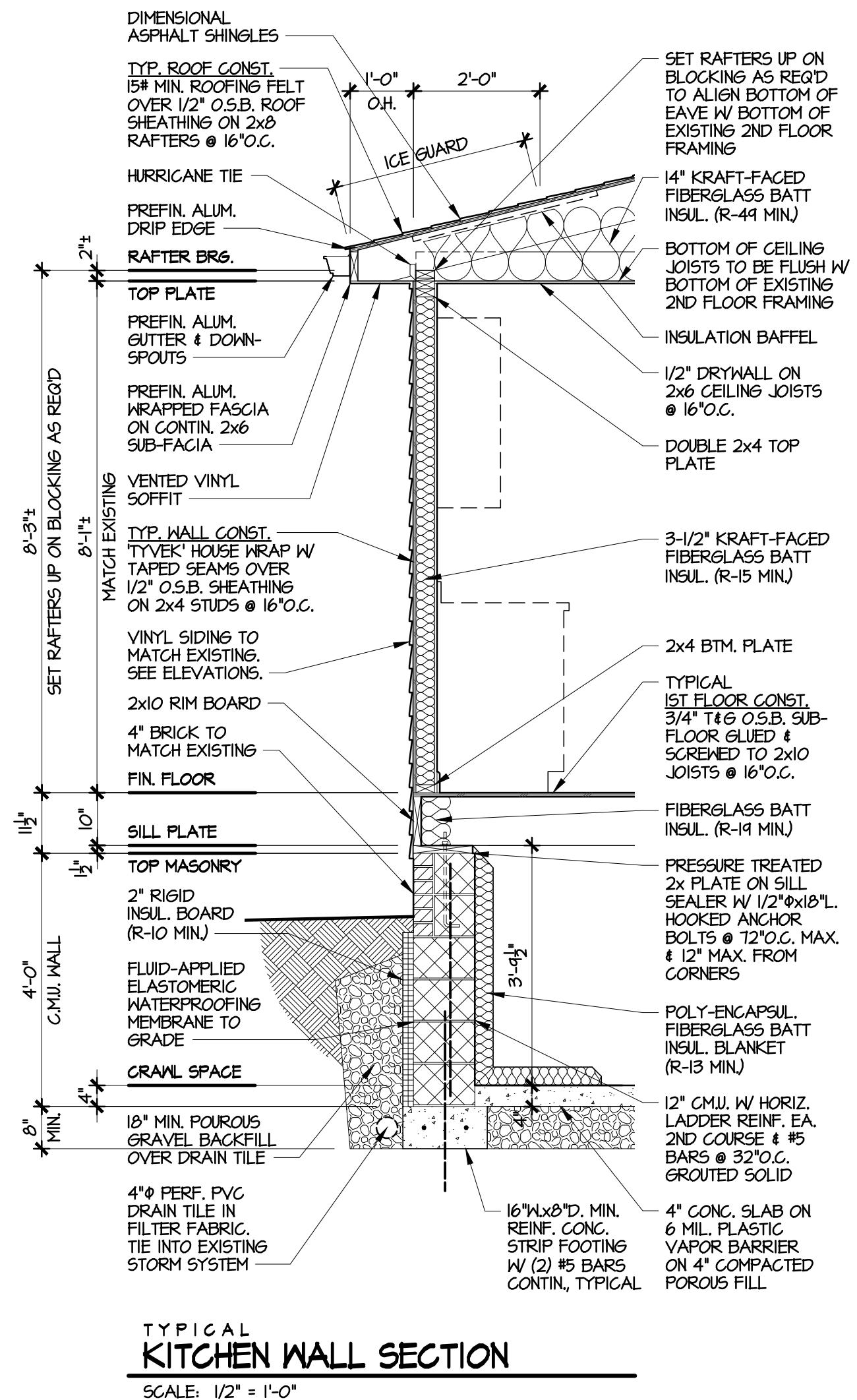
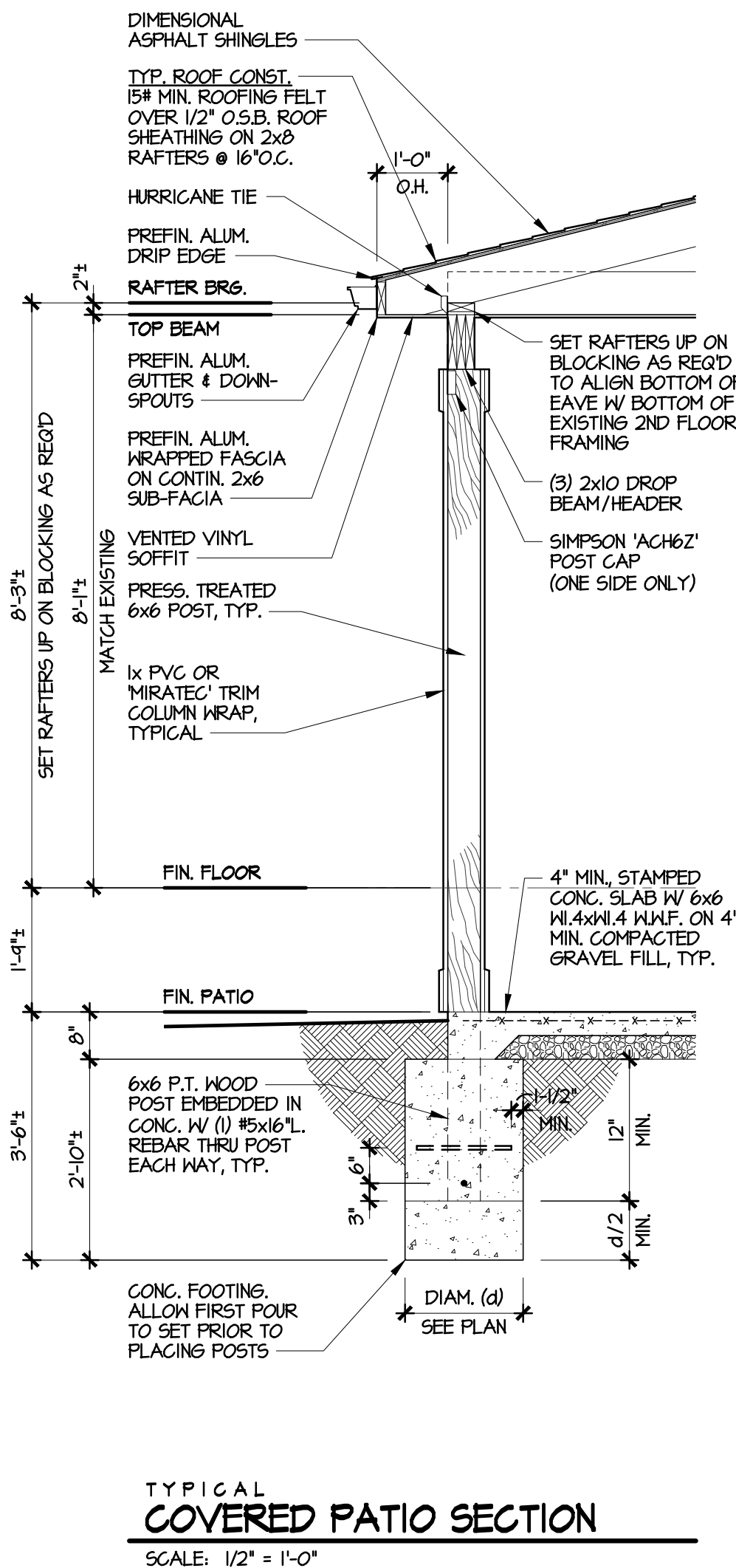
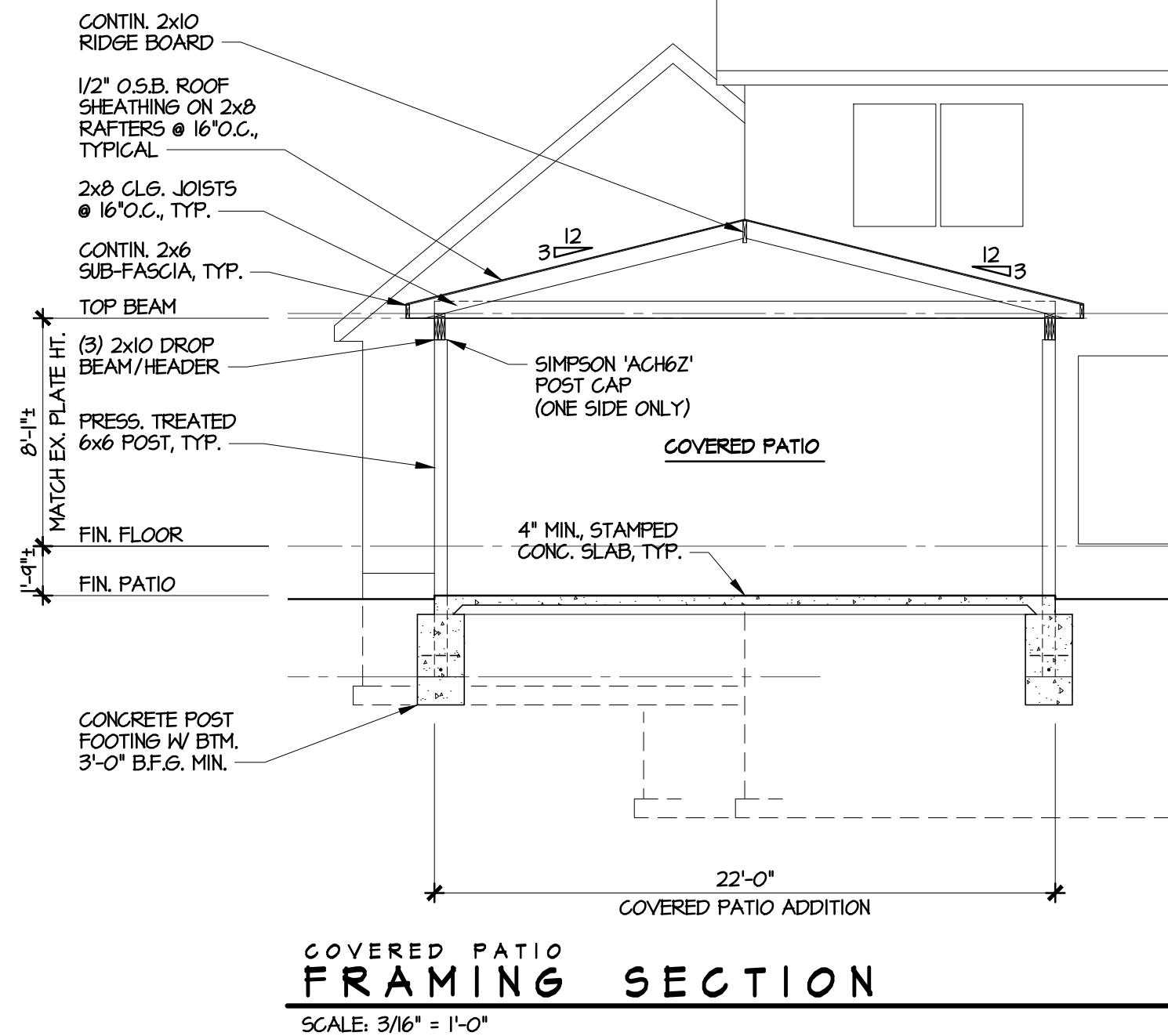


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A-3



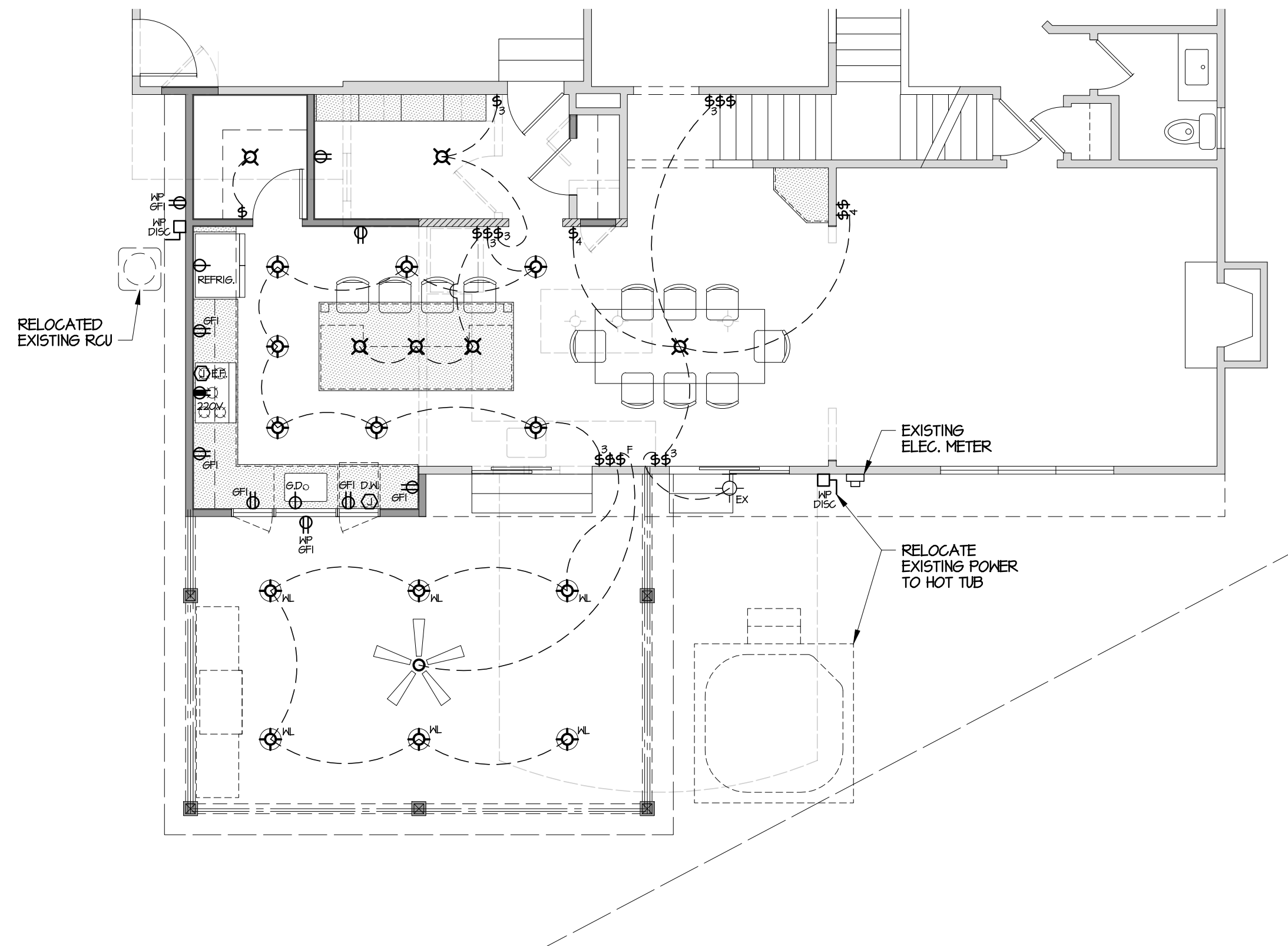
FRAMING NOTE:
SET NEW RAFTERS UP ON BLOCKING AS REQUIRED TO ALIGN BOTTOM OF NEW EAVES W/ EXISTING 2ND FLOOR FRAMING.
BOTTOM OF NEW CEILING JOISTS TO BE FLUSH W/ BOTTOM OF EXISTING 2ND FLOOR FRAMING.





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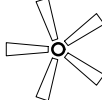
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PARTIAL ELECTRICAL PLAN

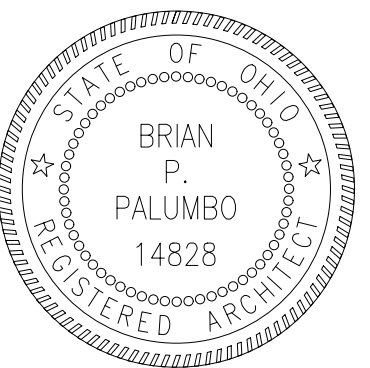
SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOL LEGEND

- | | |
|---|--|
|  | EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN |
|  | CEILING MOUNTED LIGHT FIXTURE. VERIFY DIMMING REQUIREMENTS W/ HOMEOWNER. |
|  | RECESSED 'WAFER' LED DOWNLIGHT. 'WL' = WET-LOCATION VERIFY DIMMING REQUIREMENTS W/ HOMEOWNER. |
|  | OUTDOOR CEILING FAN. VERIFY FAN CONTROLS W/ HOMEOWNER |
|  | WALL MOUNTED SWITCH @ +48" A.F.F. '3' = 3-WAY, '4' = 4-WAY, 'F' = FAN. PROVIDE DIMMER SWITCH WHERE REQUIRED BY HOMEOWNER. |
|  | WALL MOUNTED DUPLEX RECEPTACLE @ +18" A.F.F. UNLESS NOTED OTHERWISE.

NOTE: PROVIDE RECEPTACLES PER NEC 210.52(A) SPACING REQUIREMENTS IN ALL NEW & ALTERED EXISTING SPACES. |
|  | WALL MOUNTED DEDICATED APPLIANCE RECEPTACLE. DEDICATED CIRCUIT TO BE PROVIDED W/ GFCI PROTECTION IN BATHROOMS, KITCHENS, AND LAUNDRY AREAS PER NEC 210.8. |
|  | WALL MOUNTED GROUND FAULT INTERRUPTER RECEPTACLE @ +42 A.F.F. UNLESS NOTED OTHERWISE |
|  | WEATHERPROOF WALL MOUNTED GROUND FAULT INTERRUPTER RECEPTACLE |
|  | WALL MOUNTED 220V APPLIANCE RECEPTACLE. VERIFY POWER REQUIREMENTS, MOUNTING HEIGHT, AND PLUG CONFIGURATION W/ APPLIANCE MANUFACTURER. |
|  | WATERPROOF DISCONNECT |
|  | PROVIDE JUNCTION BOX FOR HARD-WIRED CONNECTION |

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