



**City of Rocky River
BUILDING
DEPARTMENT**

21012 Hilliard Boulevard
Rocky River, OH 44116
Phone (440) 356-2139

DESIGN AND CONSTRUCTION BOARD OF REVIEW APPLICATION.

The Design and Construction Board of Review meets on the first and third Mondays of each month at 5:00 P.M. in Council Chambers of City Hall. In case of a holiday is on a Monday meeting day, the regular meeting will be held on the following Tuesday evening. If a meeting has been canceled because of "no agenda," the next meeting will be held at the regularly scheduled time.

ALL FIELDS ARE REQUIRED TO BE FILLED IN. Incomplete applications will delay permit processing.

DATE OF APPLICATION: 11-26-2025

PROPERTY IDENTIFICATION

BUSINESS NAME OR PROPERTY OWNER'S NAME: RiverRock Apartments, LLC

STREET ADDRESS: 18997 / 18975 Hilliard Blvd

PHONE NUMBER: 814-528-1339 E-MAIL ADDRESS: a.deerhake.85@gmail.com

TYPE OF WORK new construction car port

SIZE OF WORK 2350 SF

VARIANCE NEEDED: YES NO

- It is the responsibility of the property owner/contractor to verify the location of the structure and the property lines. The City of Rocky River is not responsible for determining property lines.
- Email a digital copy of the required documents (next page) to dminek@rockyriverohio.gov.
- Submit the application and three (3) copies of the required documents (next page) to Dylan Minek at City Hall by 4:30 PM on the Wednesday proceeding the meeting.

This application is **NOT** a Building Permit for the type of working being proposed. This application is for the Design and Construction Board of Review's use only. **ALL APPLICANTS MUST FILL OUT A BUILDING DEPARTMENT APPLICATION FOLLOWING APPROVAL FROM THE BOARD.**

REQUIRED DOCUMENTS:

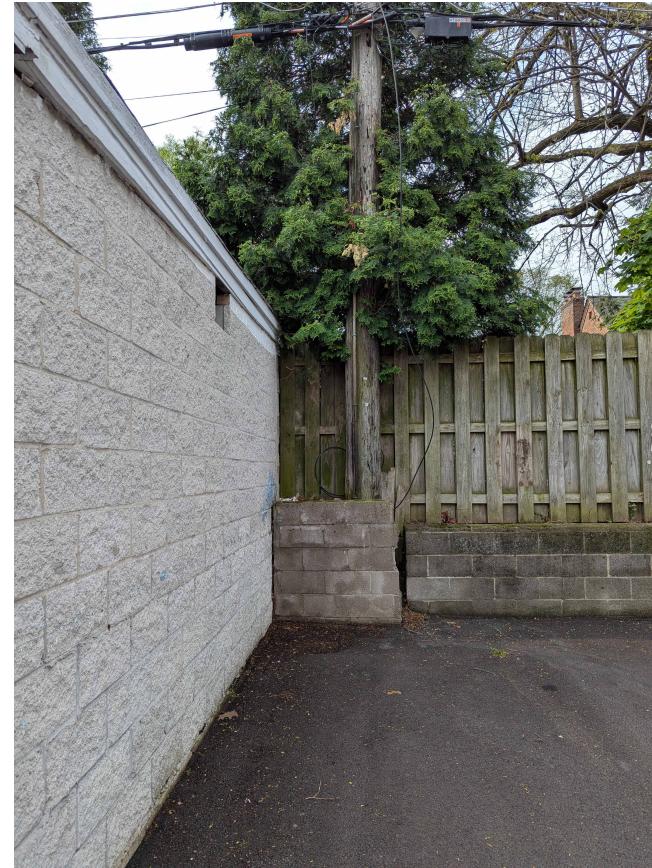
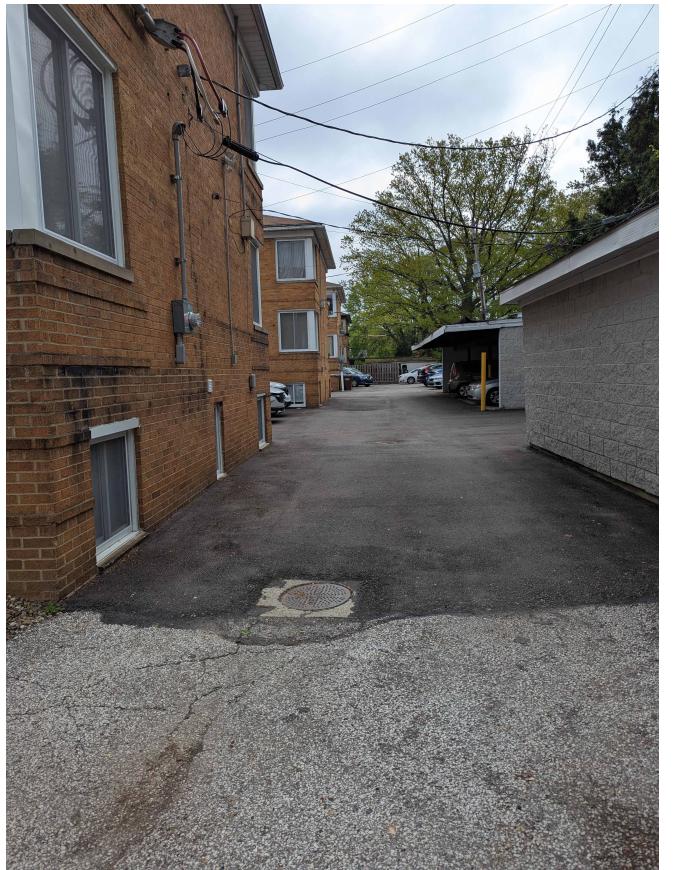
1137.23 SUBMISSION REQUIREMENTS FOR REVIEW BY THE DESIGN AND CONSTRUCTION BOARD OF REVIEW.

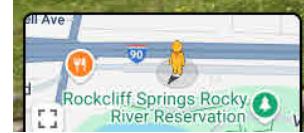
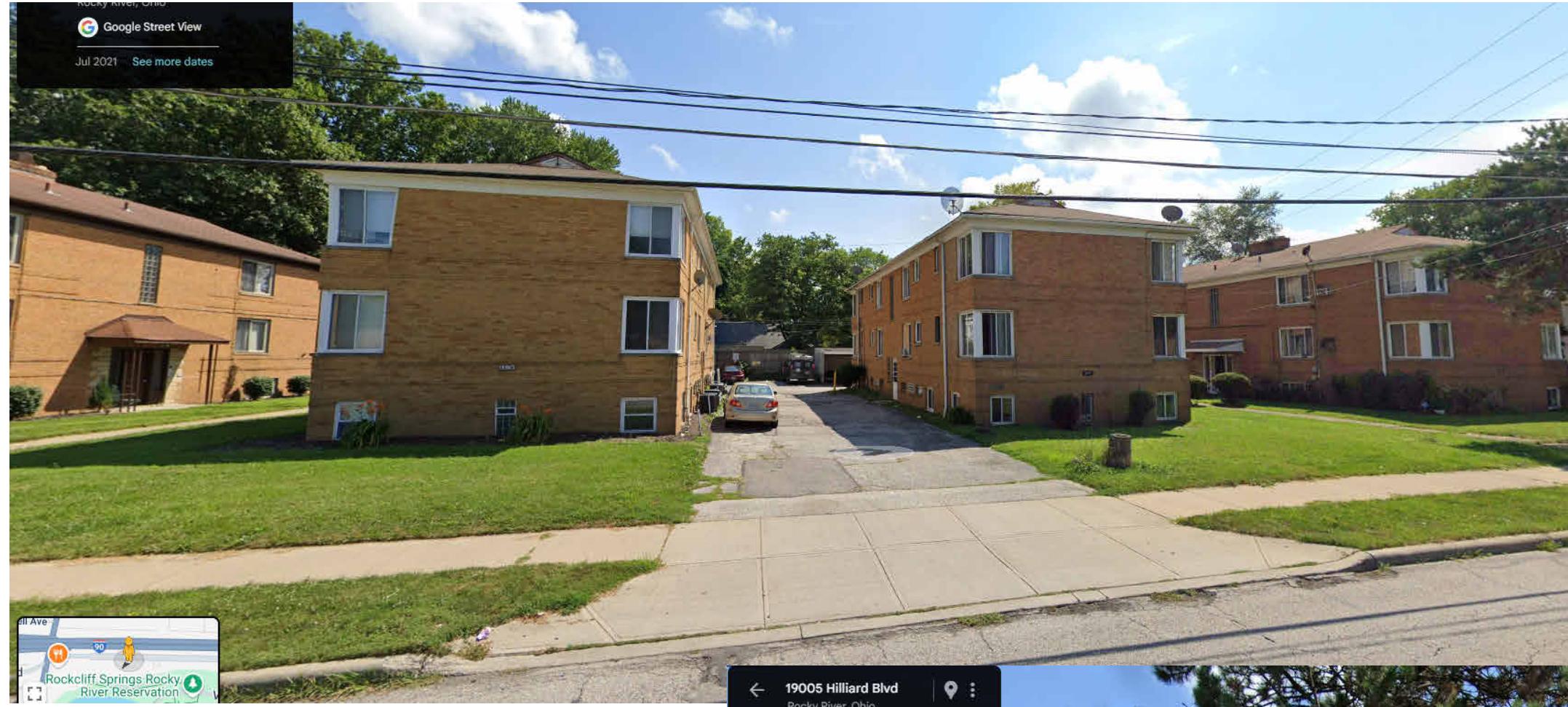
An application for review by the Design and Construction Board of Review, upon the forms provided, shall be accompanied by the following requirements:

- (a) Site Plan: Drawn to scale, showing the lot size, building dimensions, front setback, side and rear setback dimensions, yard dimensions, walks and driveways, accessory structures, downspouts, drains and storm water disposal system. Show existing and proposed grade elevations if topography of lot is irregular or application is for a previously undeveloped lot. Locate patios, air conditioning condensers, swimming pools, retaining walls, fences, porches and other site improvements. Minimum scale: 1 inch equals 20 feet;
- (b) Floor Plan: Drawn to scale, showing walls, windows, doors, and floor elevations. Minimum scale: 1/4 inch equals 1 foot;
- (c) Foundation or Basement Plan: Drawn to scale, showing walls, windows, vents, doors, and floor elevations;
- (d) Exterior Elevations: Elevations showing each side of the proposed building or addition, drawn to scale, showing downspout connections, chimney height, steps, platforms, etc. Minimum scale: 1/4 inch equals 1 foot;
- (e) Heating Plan: Drawn to scale, showing the exterior location of all mechanical equipment or solar equipment. Air conditioning condensing unit must be shown on the site plan;
- (f) Photographs: Photographs of the subject property and adjacent properties; and,
- (g) Sample Building Materials: Color samples of roofing, siding and/or other exterior materials.

In addition to the above:

- Isometric Plumbing Diagram: (where applicable) Showing the piping, drainage, and venting systems with the size of each component indicated.
- Section Through Exterior Wall: Drawn to scale, of the proposed building, showing the construction from the bottom of the footing up through the roof rafters and roofing. Each component of the section shall be identified and sizes indicated. Minimum scale: 1/2 inch equals 1 foot.



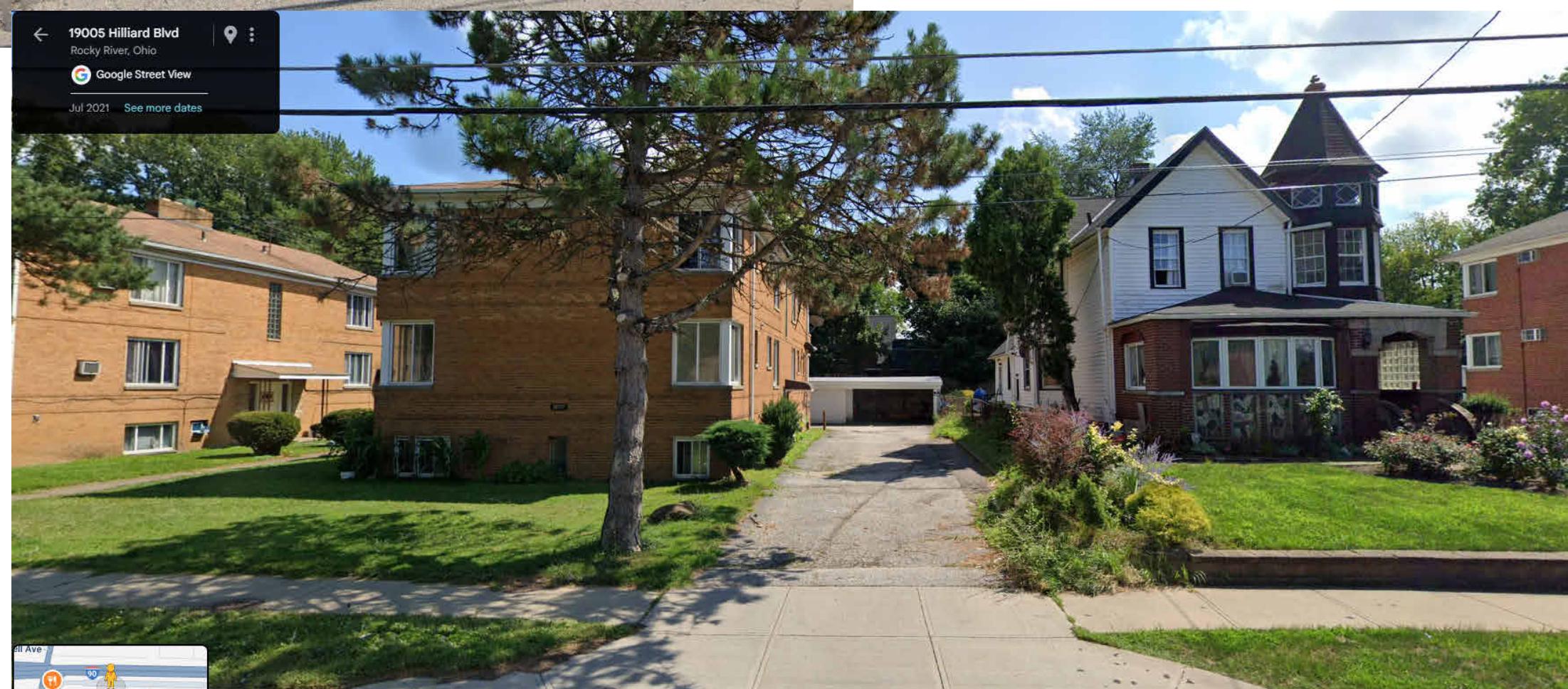


19005 Hilliard Blvd

Rocky River, Ohio

Google Street View

Jul 2021 See more dates



Existing Photos

Bold Properties LLC
Carport and Driveway

Carport and Retaining Walls

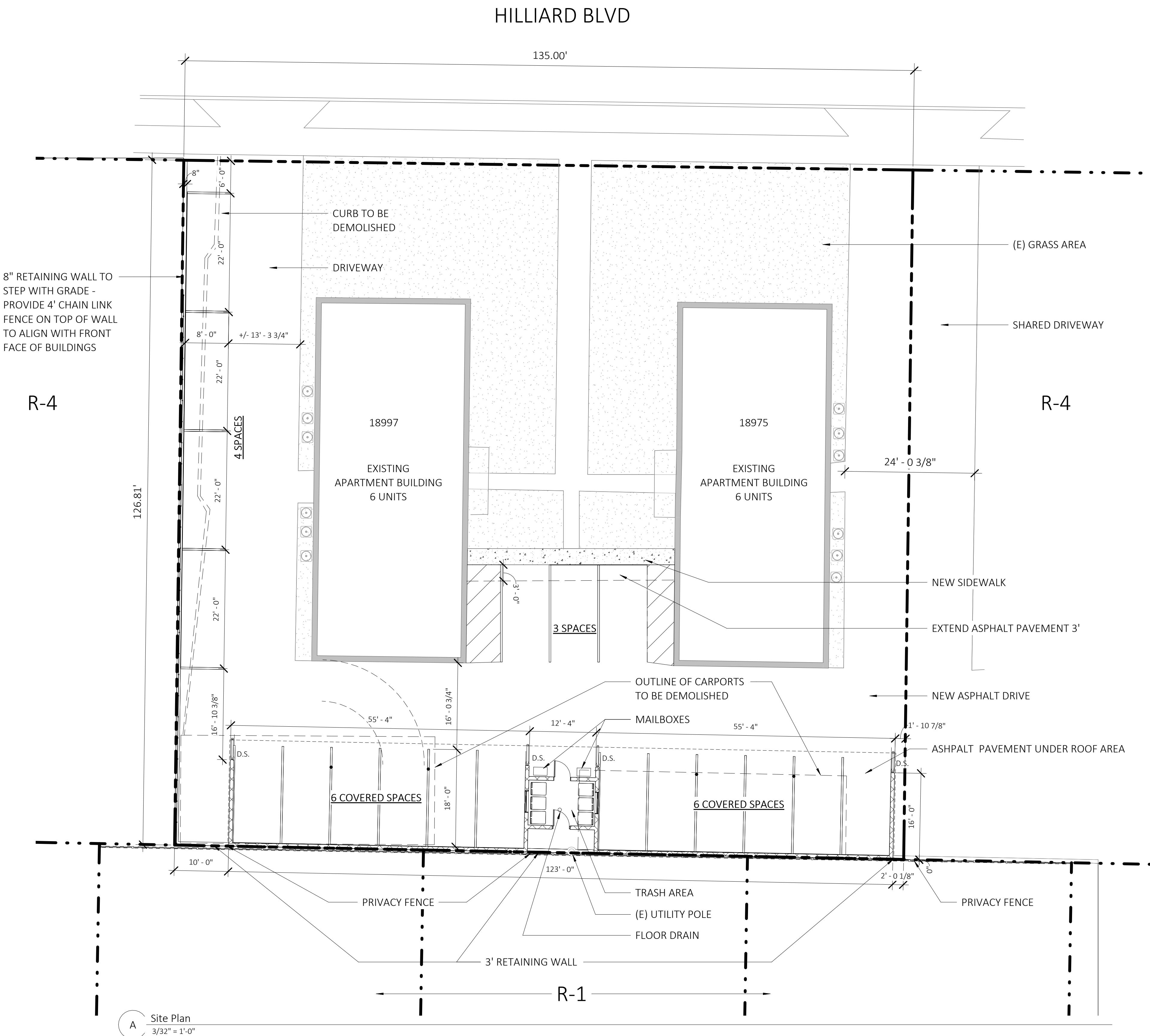
18997 / 18975 Hilliard Blvd
Rocky River, Ohio 44116

RiverRock Apartments, LLC

**NOT FOR
CONSTRUCTION**

Site Plan

A1.0



ZONING INFORMATION:

Parcel No: 301-32-060
District: R4 - Multifamily District

1157.05 Lot Coverage Required - 40%. Provided - 36%
Impervious Surface Required - 75%. Provided - 75%

1157.13 Accessory Building Setbacks
Rear Yard Setback: 20 feet (where abutting R-1 or R-2)
Side Yard Setback: 10 feet where abutting multifamily residential
Driveways - 3' setback from side property line unless a shared property line is provided

1185.11 Buffering and screening required where multifamily abuts single family
Screening walls to be a min. of 6 feet measured from the natural grade of any adjacent residential lot

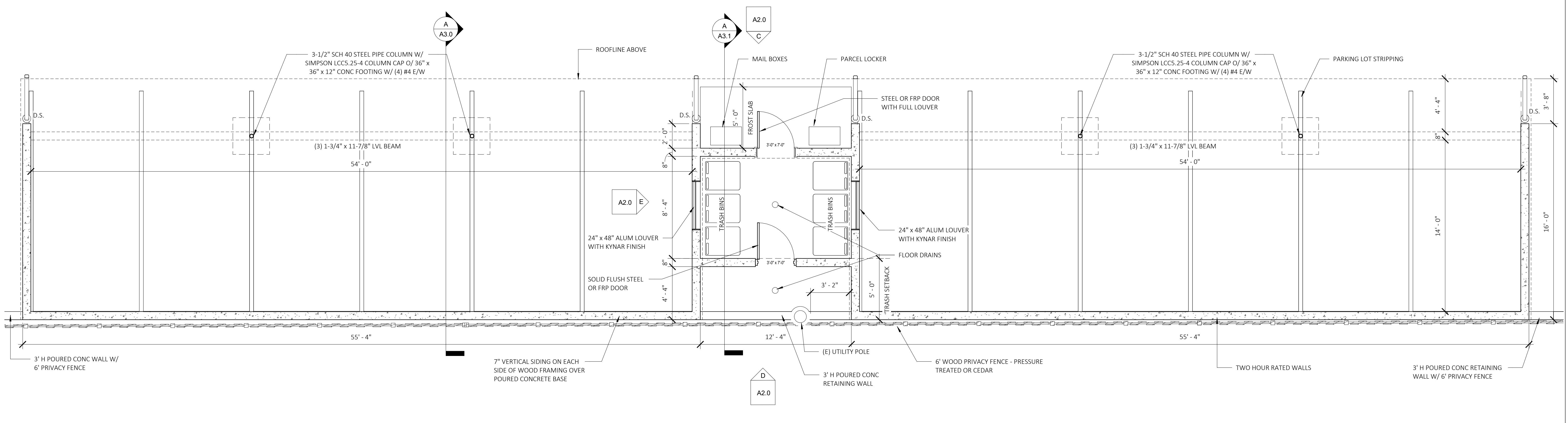
1185.13 Trash collection areas shall be enclosed. Enclosures shall be 5 feet from the property line.

Schedule 1187.09
Required Parking - 2 spaces per dwelling unit with at least 1 enclosed in a garage
Guest Parking: 1 for every 4 dwelling units

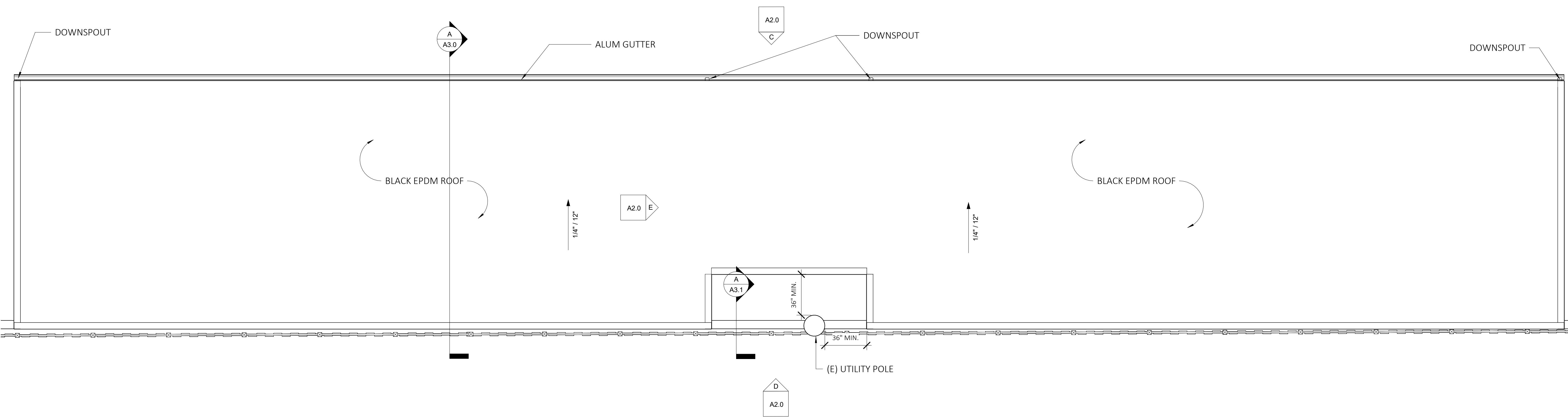
VARIANCES GRANTED (06-12-2025)

Section	Required	Provided
1157.11	10' parking setback from street ROW and side lot line	6' setback from street and 8" setback from side lot line
1157.13	20' Rear Yard Setback	0' Rear Yard Setback
1157.13	10' Side Yard Setback	10' at West and 1'-10" on East
1187.09	12 Enclosed parking spaces and 15 additional parking spaces	12 parking spaces in a carport and 7 additional parking spaces

2025-11-26 ARB Resubmittal



A Floor Plan
1/4" = 1'-0"



B Roof Plan
1/4" = 1'-0"

Carport and Retaining Walls

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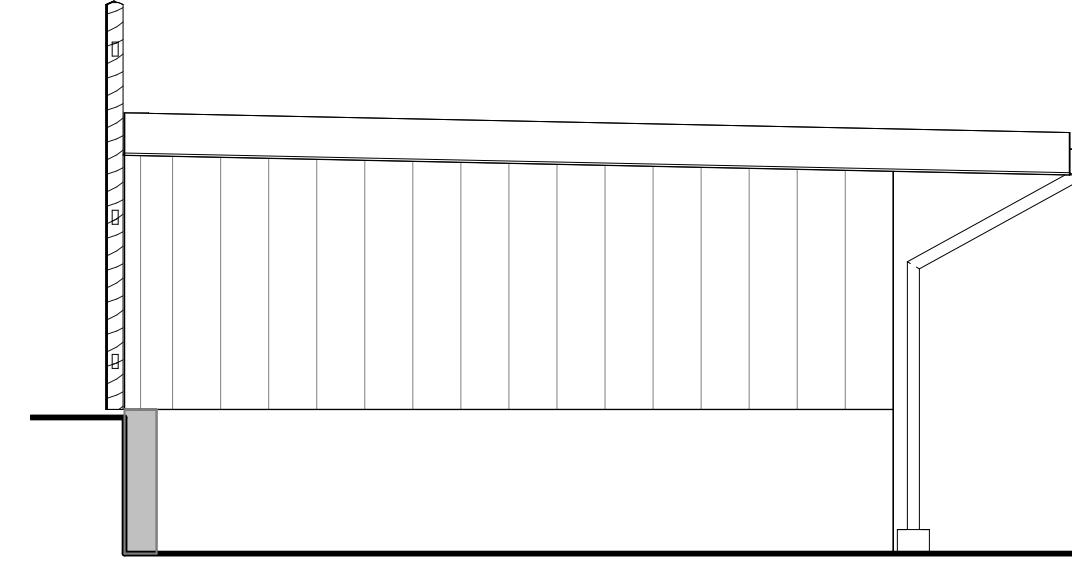
RiverRock Apartments, LLC

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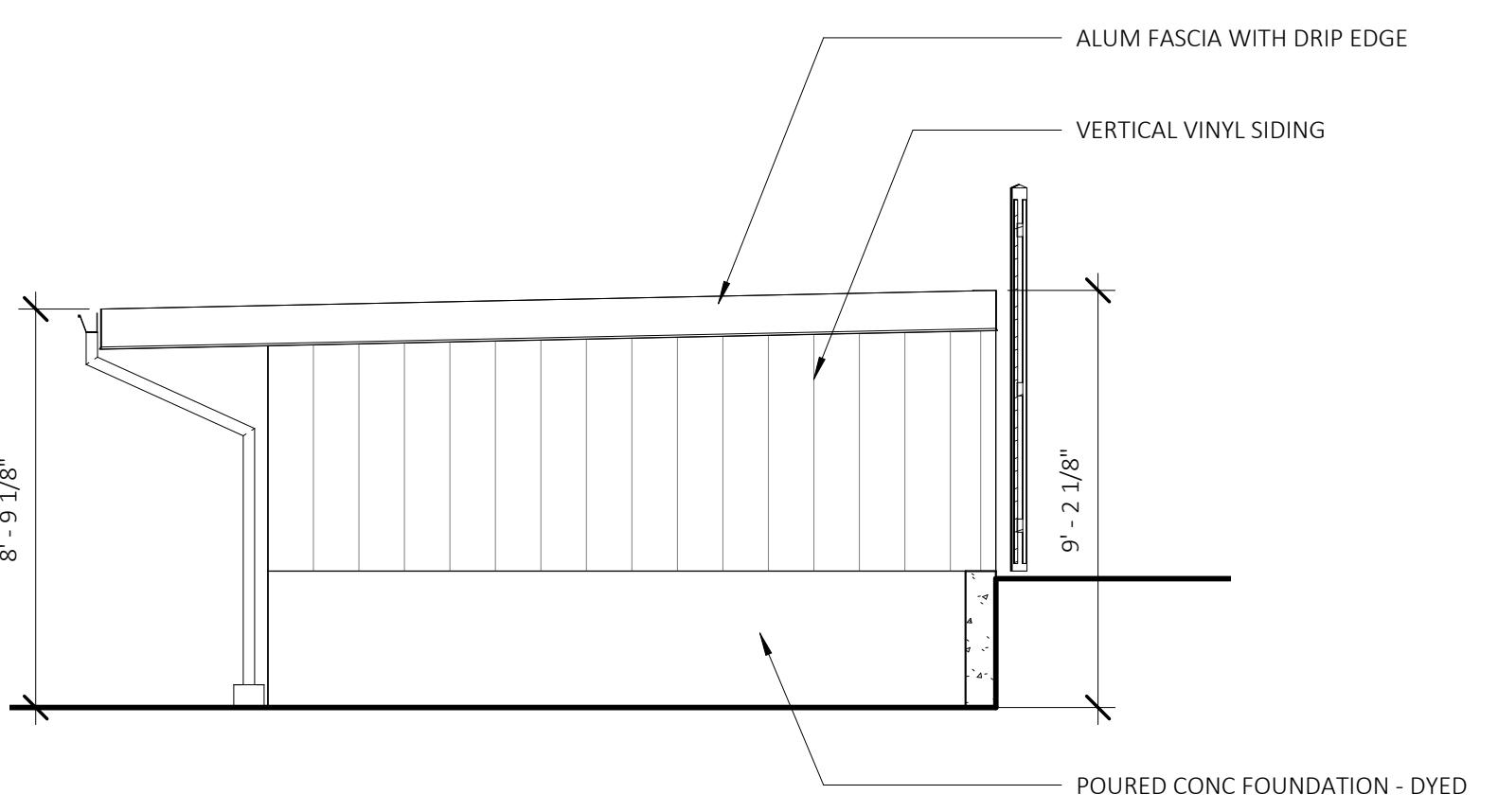
Exterior
Elevations

A2.0

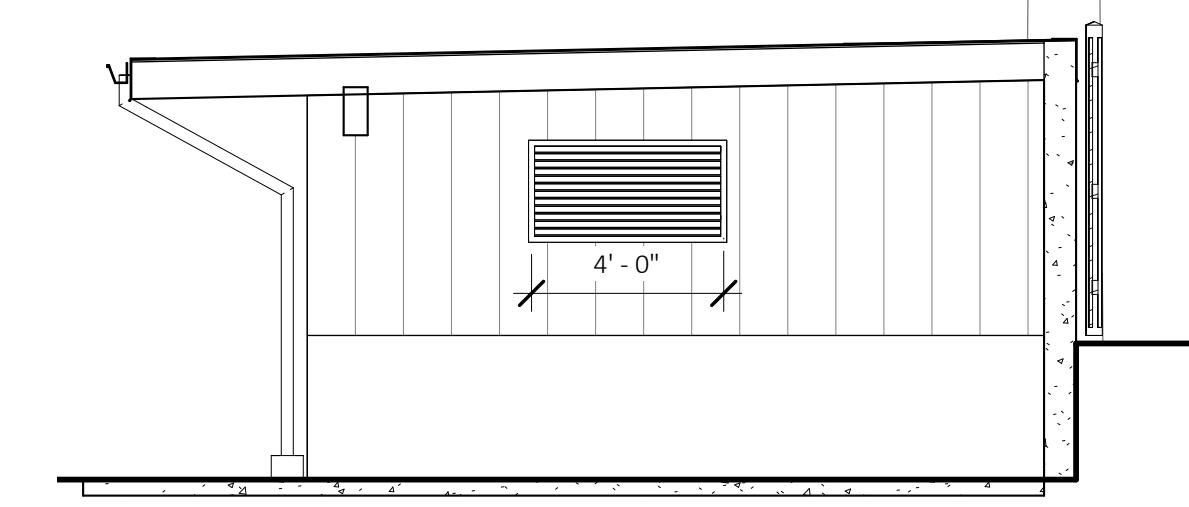
Project Number: 2514



A East Elevation
1/4" = 1'-0"



B West Elevation
1/4" = 1'-0"



E Interior Elevation at Louver Wall Typical at both sides
1/4" = 1'-0"



C North Elevation
1/4" = 1'-0"



D South Elevation
1/4" = 1'-0"

2025-11-26 ARB Resubmittal

Carport and Retaining Walls

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EXTERIOR MATERIALS

STAINED CONCRETE:
COLOR: TOBACCO

Tobacco



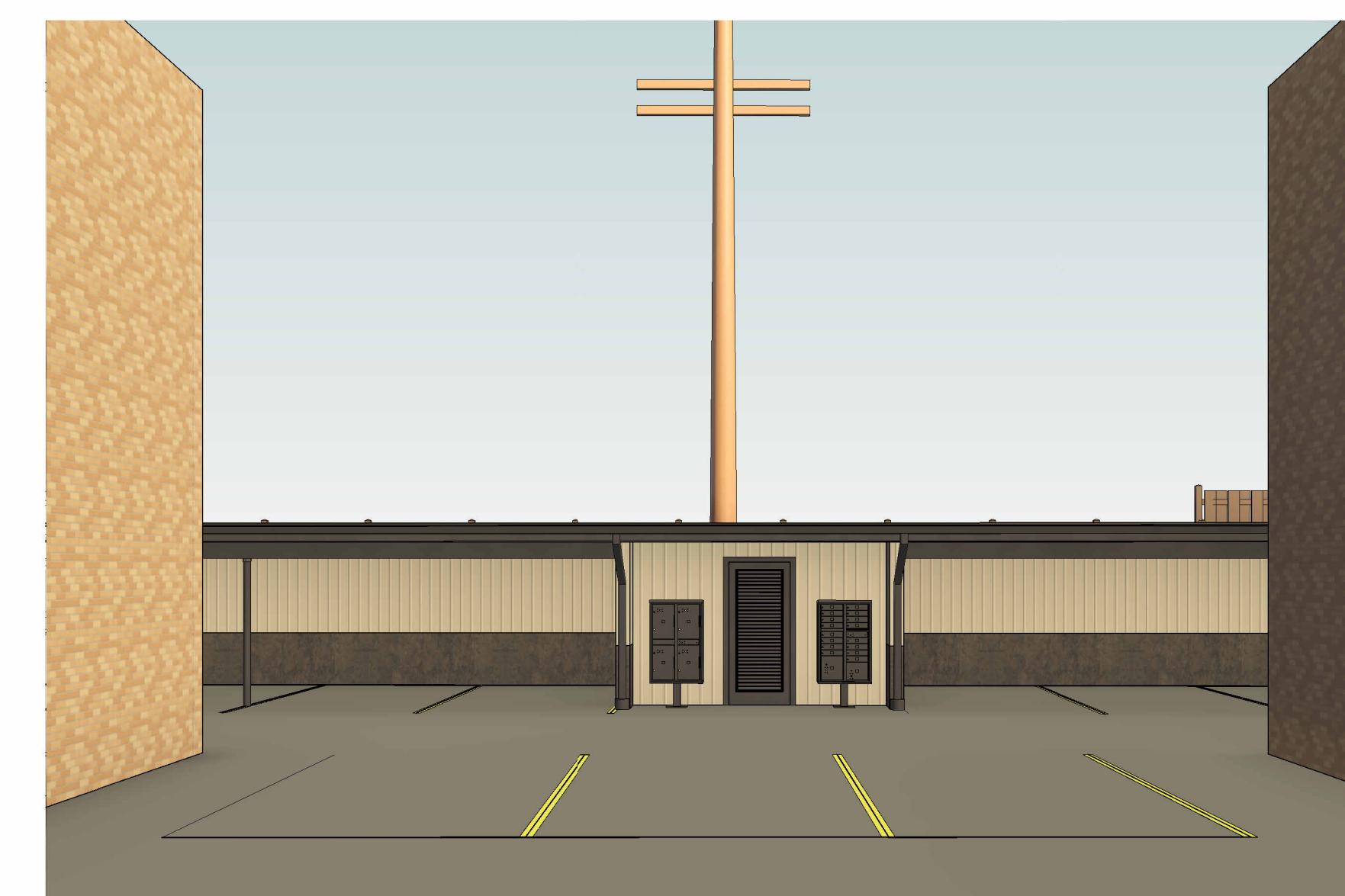
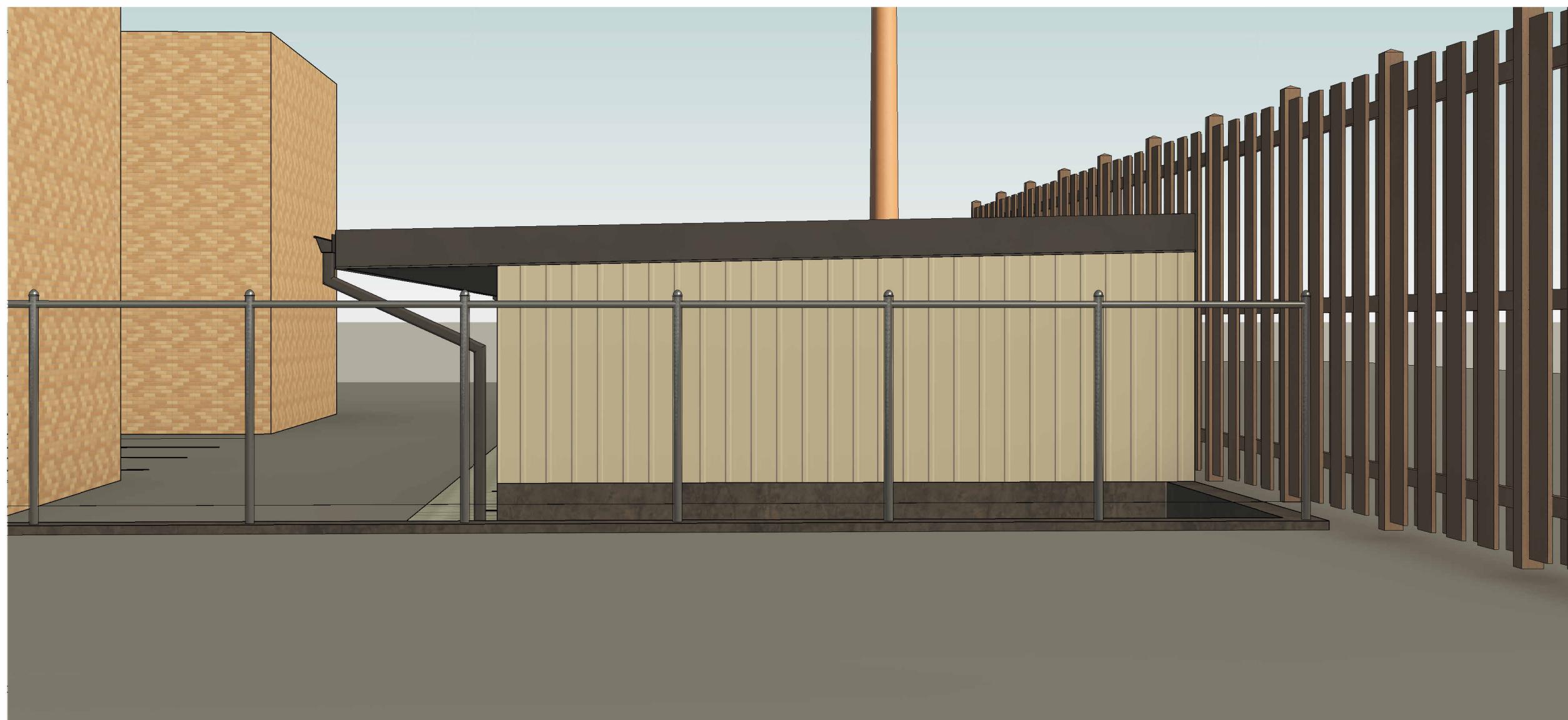
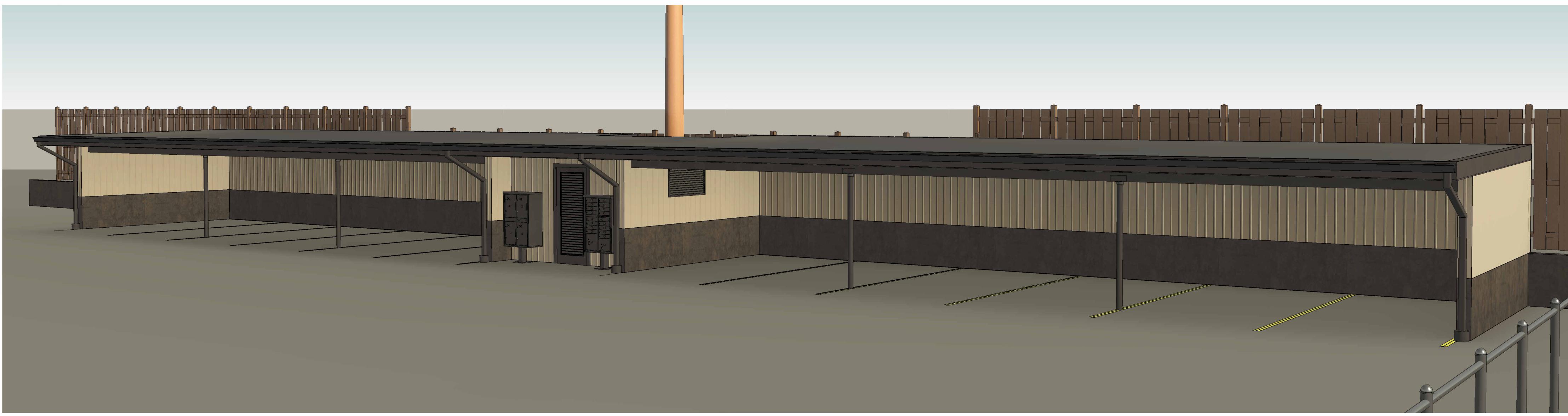
VINYL BOARD AND BATTEN SIDING - 7"
COLOR: SAVANNAH WICKER



METAL TRIM COLOR - MEDIUM BRONZE



Medium Bronze



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CONSTRUCTION

2025-11-26 ARB Resubmittal

Exterior 3D
Views

A2.1