



City of Rocky River
BUILDING
DEPARTMENT

21012 Hilliard Boulevard
Rocky River, OH 44116
Phone (440) 356-2139

DESIGN AND CONSTRUCTION BOARD OF REVIEW APPLICATION.

The Design and Construction Board of Review meets on the first and third Mondays of each month at 5:00 P.M. in Council Chambers of City Hall. In case of a holiday is on a Monday meeting day, the regular meeting will be held on the following Tuesday evening. If a meeting has been canceled because of "no agenda," the next meeting will be held at the regularly scheduled time.

ALL FIELDS ARE REQUIRED TO BE FILLED IN. Incomplete applications will delay permit processing.

DATE OF APPLICATION: 11-26-2025

PROPERTY IDENTIFICATION

BUSINESS NAME OR PROPERTY OWNER'S NAME: RiverRock Apartments, LLC

STREET ADDRESS: 18997 / 18975 Hilliard Blvd

PHONE NUMBER: 814-528-1339 E-MAIL ADDRESS: a.deerhake.85@gmail.com

TYPE OF WORK new construction car port

SIZE OF WORK 2350 SF

VARIANCE NEEDED: ☒ YES ☐ NO

- It is the responsibility of the property owner/contractor to verify the location of the structure and the property lines. The City of Rocky River is not responsible for determining property lines.
- Email a digital copy of the required documents (next page) to dminek@rockyriverohio.gov.
- Submit the application and three (3) copies of the required documents (next page) to Dylan Minek at City Hall by 4:30 PM on the Wednesday proceeding the meeting.

This application is **NOT** a Building Permit for the type of working being proposed. This application is for the Design and Construction Board of Review's use only. **ALL APPLICANTS MUST FILL OUT A BUILDING DEPARTMENT APPLICATION FOLLOWING APPROVAL FROM THE BOARD.**

REQUIRED DOCUMENTS:

1137.23 SUBMISSION REQUIREMENTS FOR REVIEW BY THE DESIGN AND CONSTRUCTION BOARD OF REVIEW.

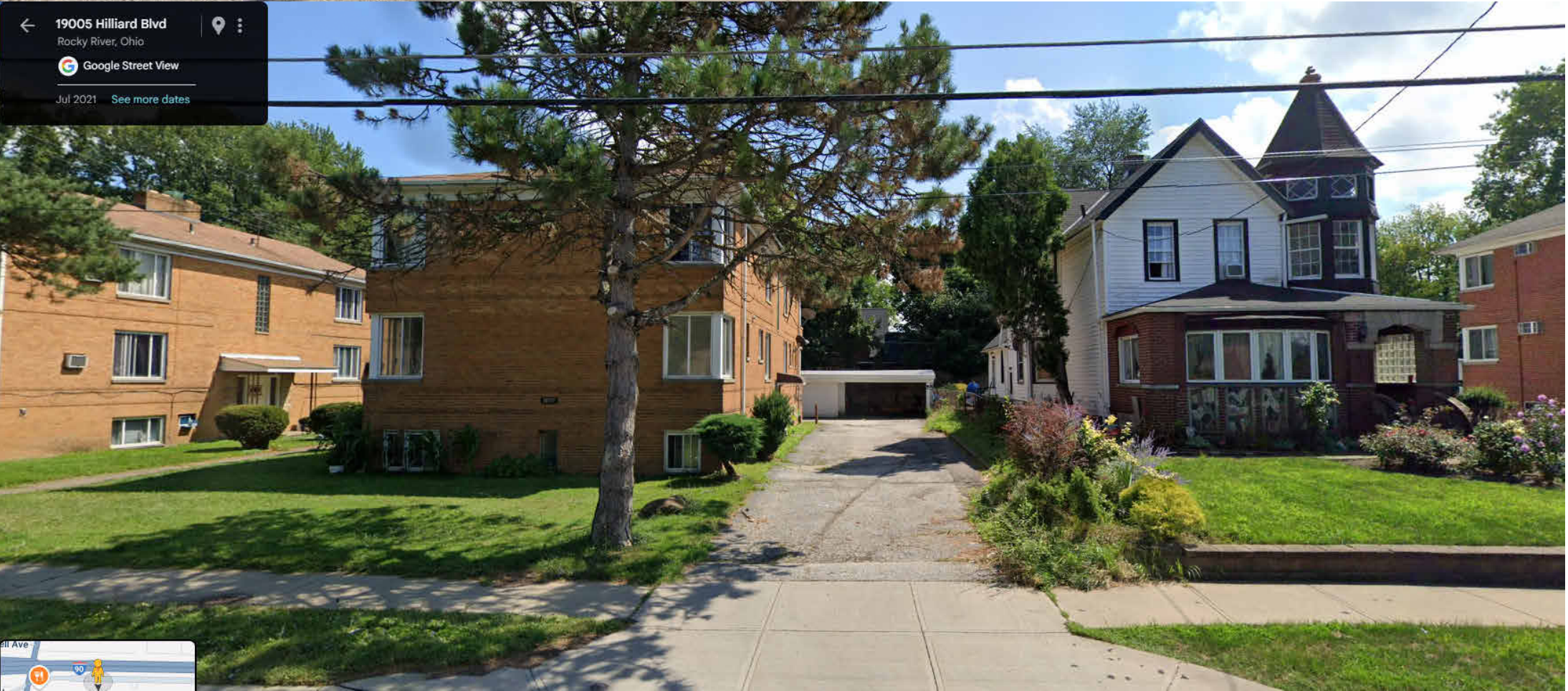
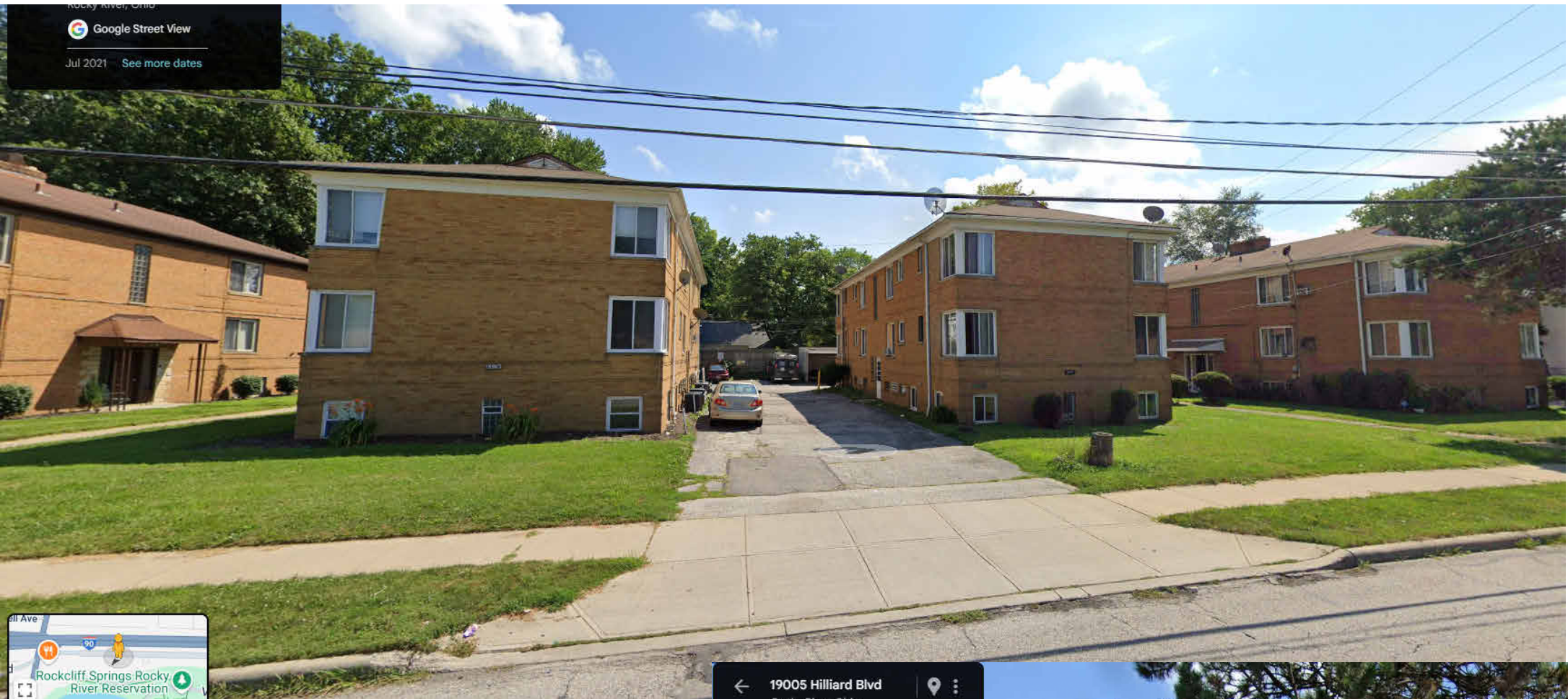
An application for review by the Design and Construction Board of Review, upon the forms provided, shall be accompanied by the following requirements:

- (a) Site Plan: Drawn to scale, showing the lot size, building dimensions, front setback, side and rear setback dimensions, yard dimensions, walks and driveways, accessory structures, downspouts, drains and storm water disposal system. Show existing and proposed grade elevations if topography of lot is irregular or application is for a previously undeveloped lot. Locate patios, air conditioning condensers, swimming pools, retaining walls, fences, porches and other site improvements. Minimum scale: 1 inch equals 20 feet;
- (b) Floor Plan: Drawn to scale, showing walls, windows, doors, and floor elevations. Minimum scale: 1/4 inch equals 1 foot;
- (c) Foundation or Basement Plan: Drawn to scale, showing walls, windows, vents, doors, and floor elevations;
- (d) Exterior Elevations: Elevations showing each side of the proposed building or addition, drawn to scale, showing downspout connections, chimney height, steps, platforms, etc. Minimum scale: 1/4 inch equals 1 foot;
- (e) Heating Plan: Drawn to scale, showing the exterior location of all mechanical equipment or solar equipment. Air conditioning condensing unit must be shown on the site plan;
- (f) Photographs. Photographs of the subject property and adjacent properties; and,
- (g) Sample Building Materials. Color samples of roofing, siding and/or other exterior materials.

In addition to the above:

- Isometric Plumbing Diagram: (where applicable) Showing the piping, drainage, and venting systems with the size of each component indicated.
- Section Through Exterior Wall: Drawn to scale, of the proposed building, showing the construction from the bottom of the footing up through the roof rafters and roofing. Each component of the section shall be identified and sizes indicated. Minimum scale: 1/2 inch equals 1 foot.





RiverRock Apartments, LLC
Carport and Retaining Walls
18997 / 18975 Hilliard Blvd
Rocky River, Ohio 44116

NOT FOR
CONSTRUCTION

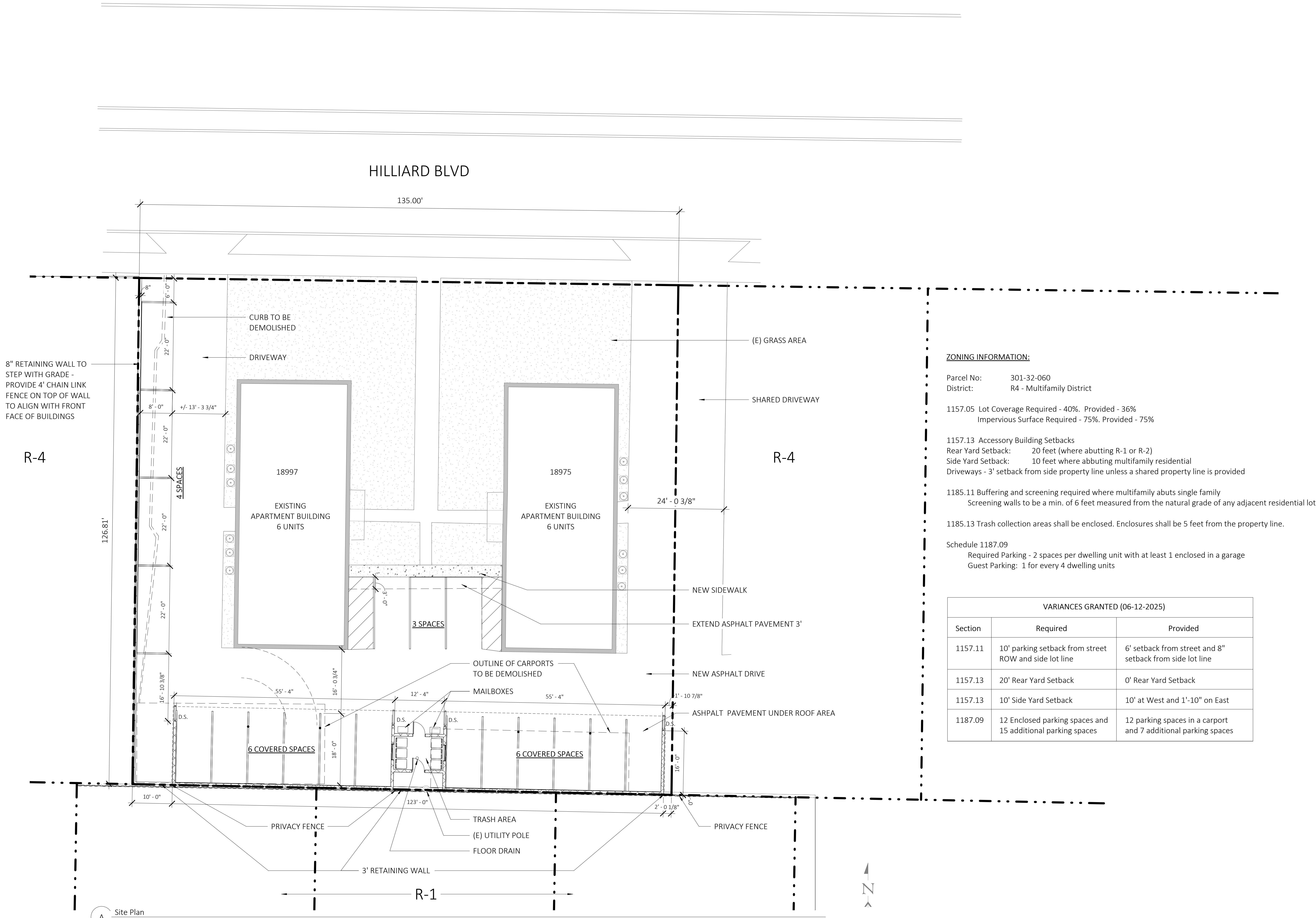
2025-11-26 ARB Resubmittal

Site Plan

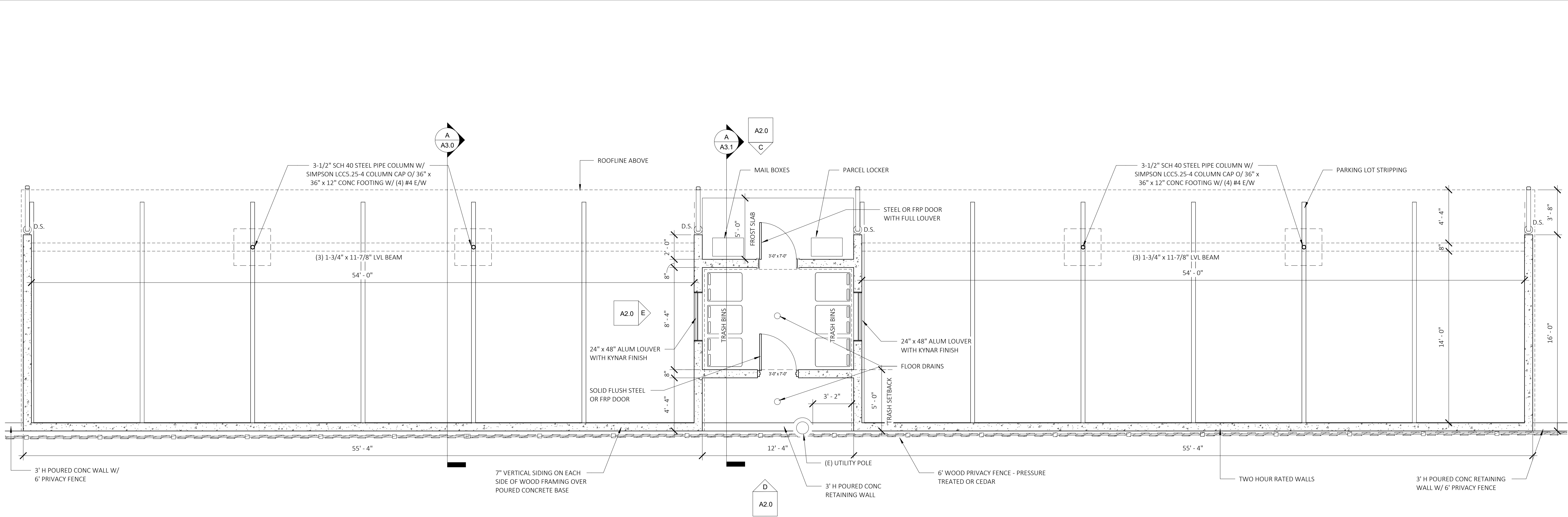
A1.0

Project Number: 2514

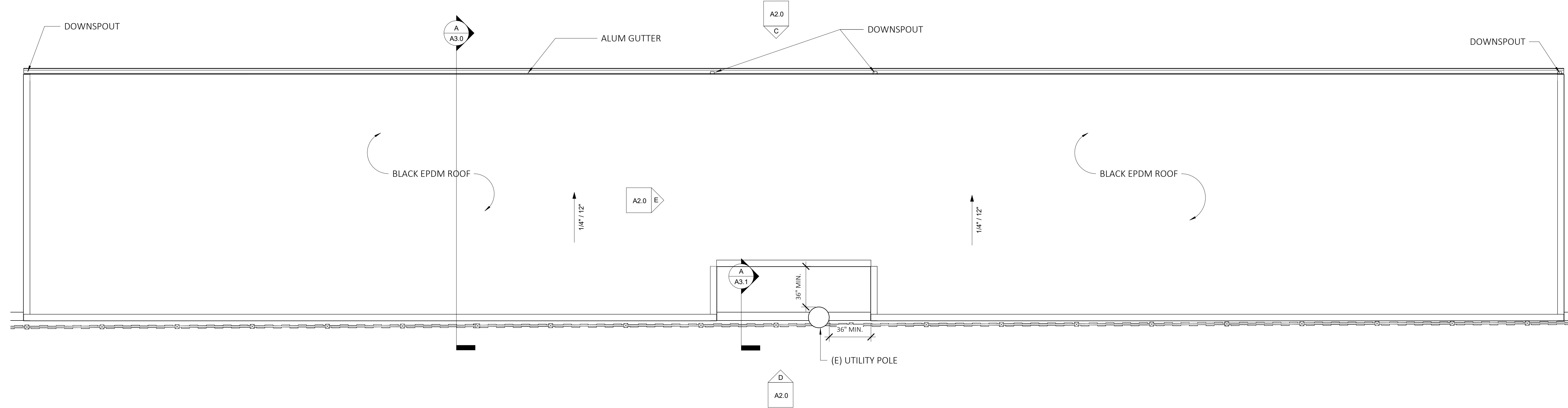
COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC



A Site Plan
3/32" = 1'-0"



A Floor Plan
1/4" = 1'-0"



B Roof Plan
1/4" = 1'-0"



S

Schmitz
Design Co.

Architect:
Schmitz Design Co. LLC
Contact: Christina Schmitz
440-463-7592
christina@schmitzdesignco.com
www.schmitzdesignco.com

S

SYNERGY
ENGINEERING SERVICES

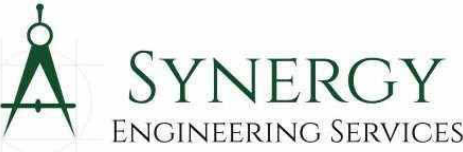
Structural Engineer:
Synergy Engineering Services
Contact: Doug Perkins
330-617-5280
DJPerkins@Syn-Eng.com
www.Syn-Eng.com

RiverRock Apartments, LLC
Carport and Retaining Walls
18997 / 18975 Hilliard Blvd
Rocky River, Ohio 44116

NOT FOR
CONSTRUCTION



Architect:
Schmitz Design Co. LLC
Contact: Christina Schmitz
440-463-7592
christina@schmitzdesignco.com
www.schmitzdesignco.com



Structural Engineer:
Synergy Engineering Services
Contact: Doug Perkins
330-617-5280
DJPerkins@Syn-Eng.com
www.Syn-Eng.com

RiverRock Apartments, LLC
Carport and Retaining Walls
18997 / 18975 Hilliard Blvd
Rocky River, Ohio 44116

NOT FOR
CONSTRUCTION

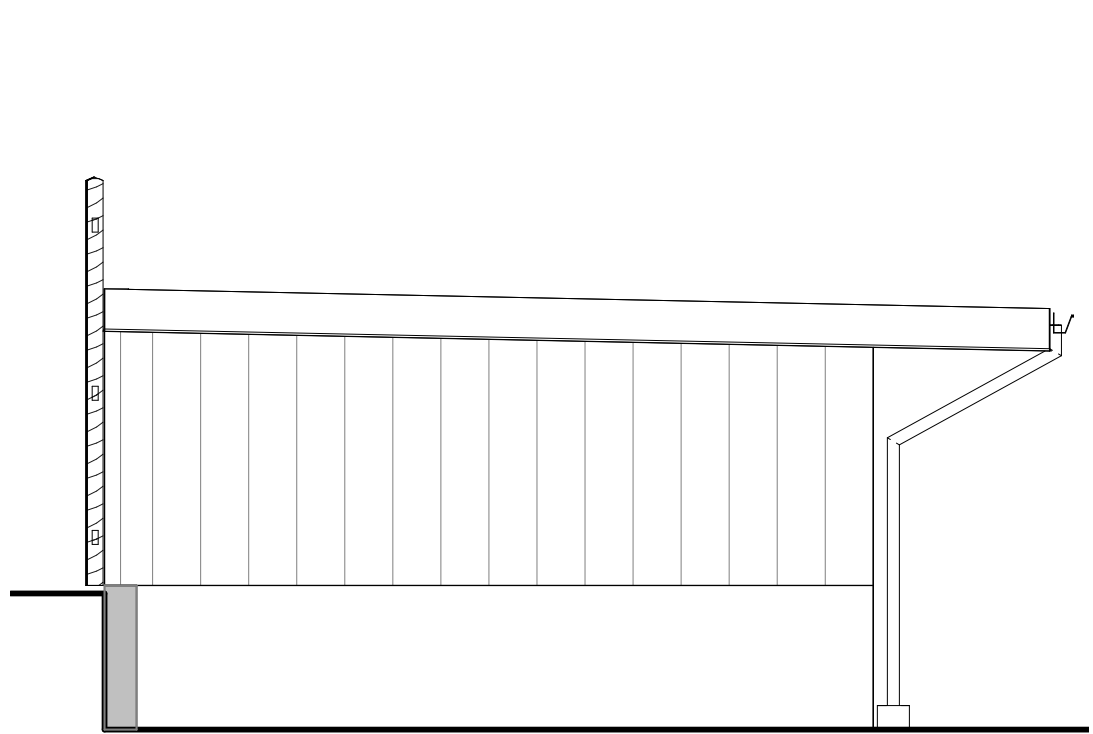
2025-11-26 ARB Resubmittal

Exterior
Elevations

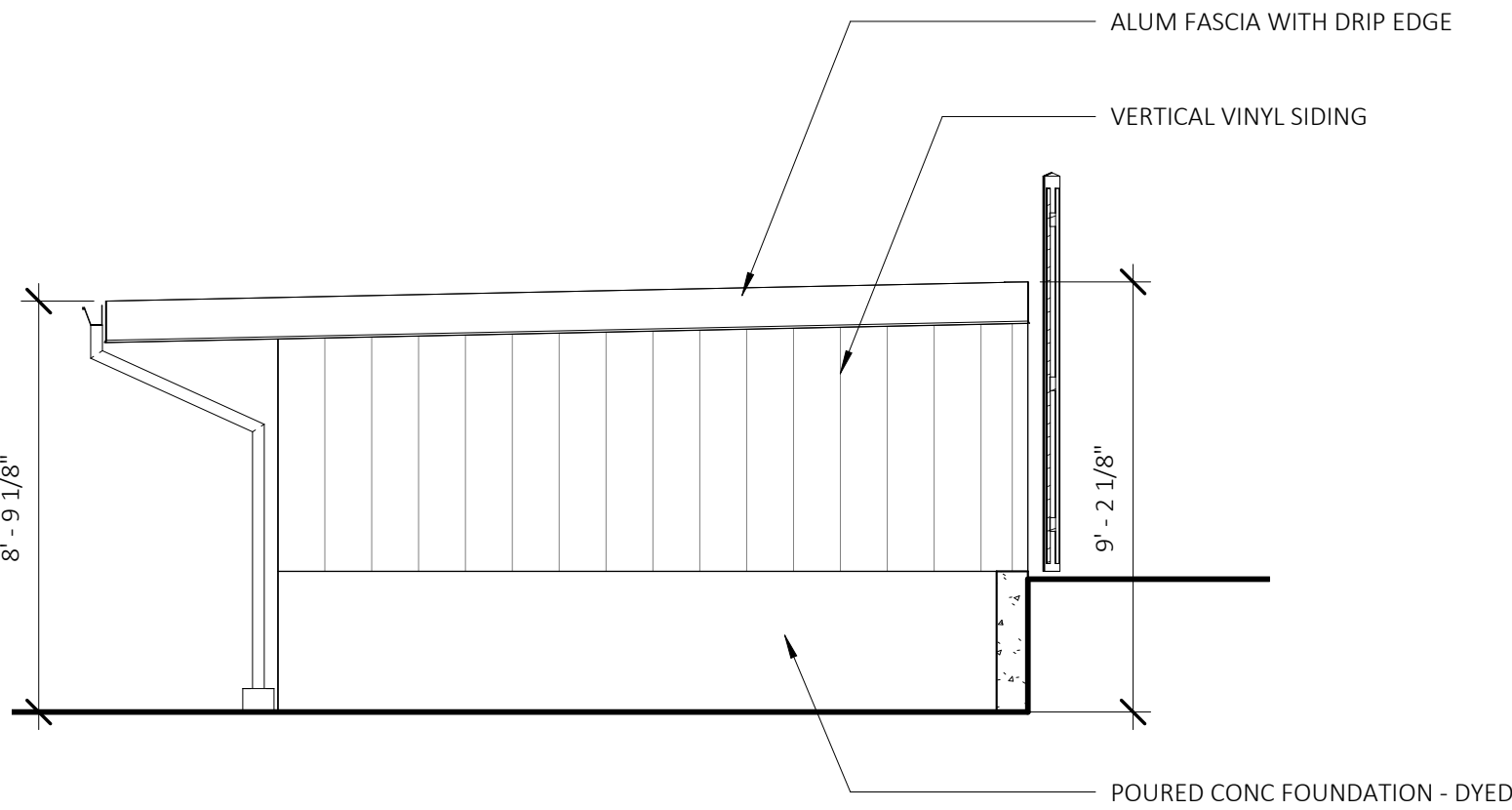
A2.0

Project Number: 2514

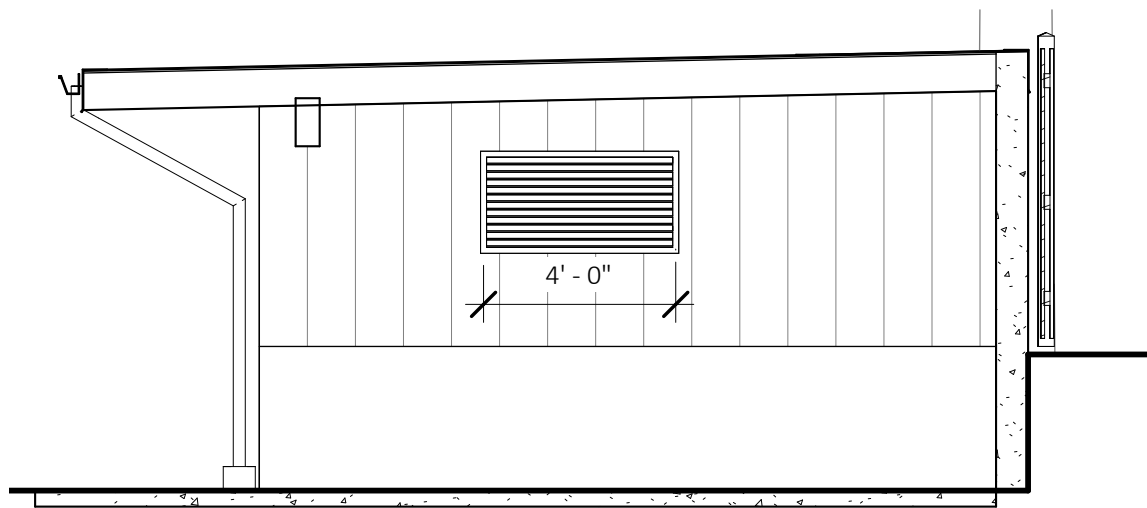
COPYRIGHT © 2022 SCHMITZ DESIGN CO. LLC



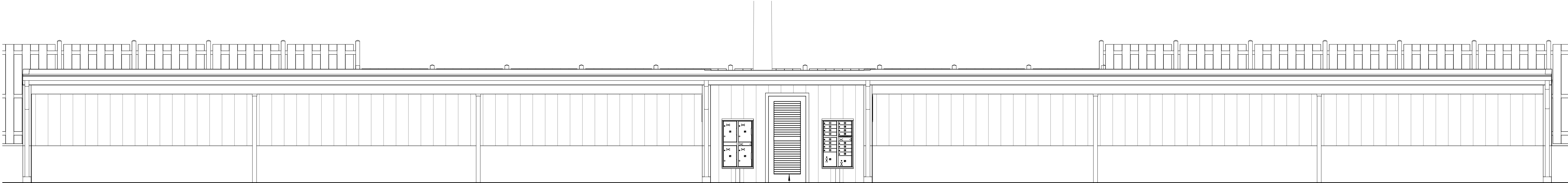
A East Elevation
1/4" = 1'-0"



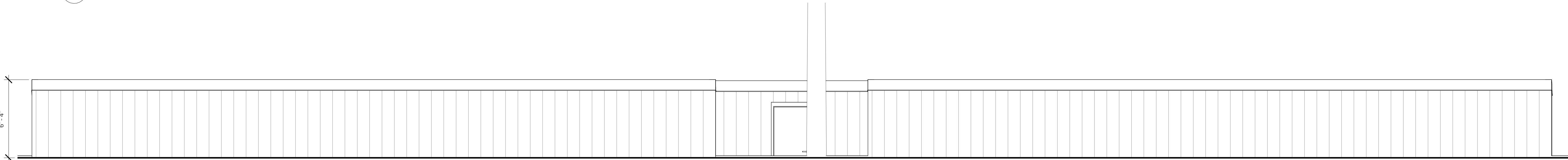
B West Elevation
1/4" = 1'-0"



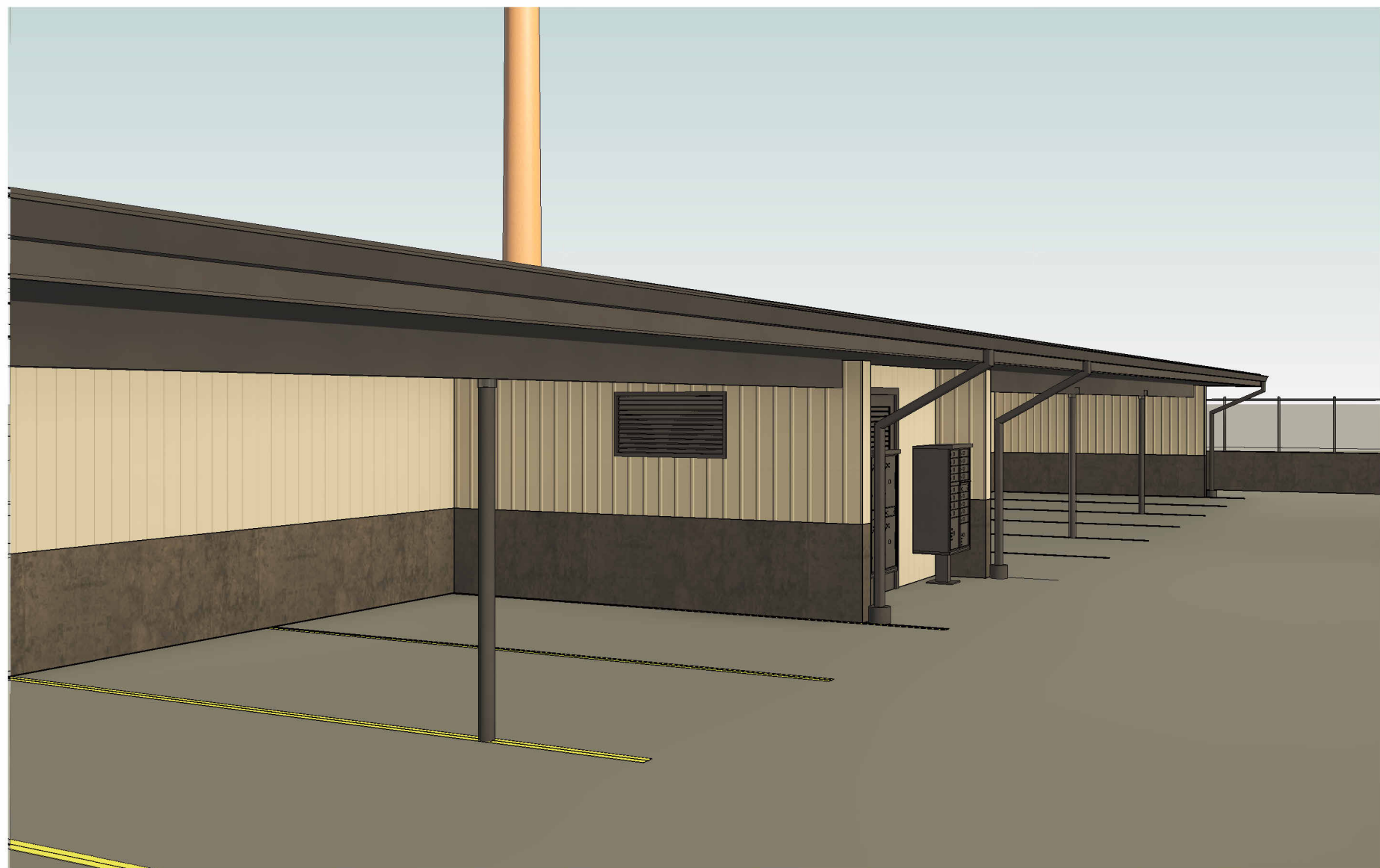
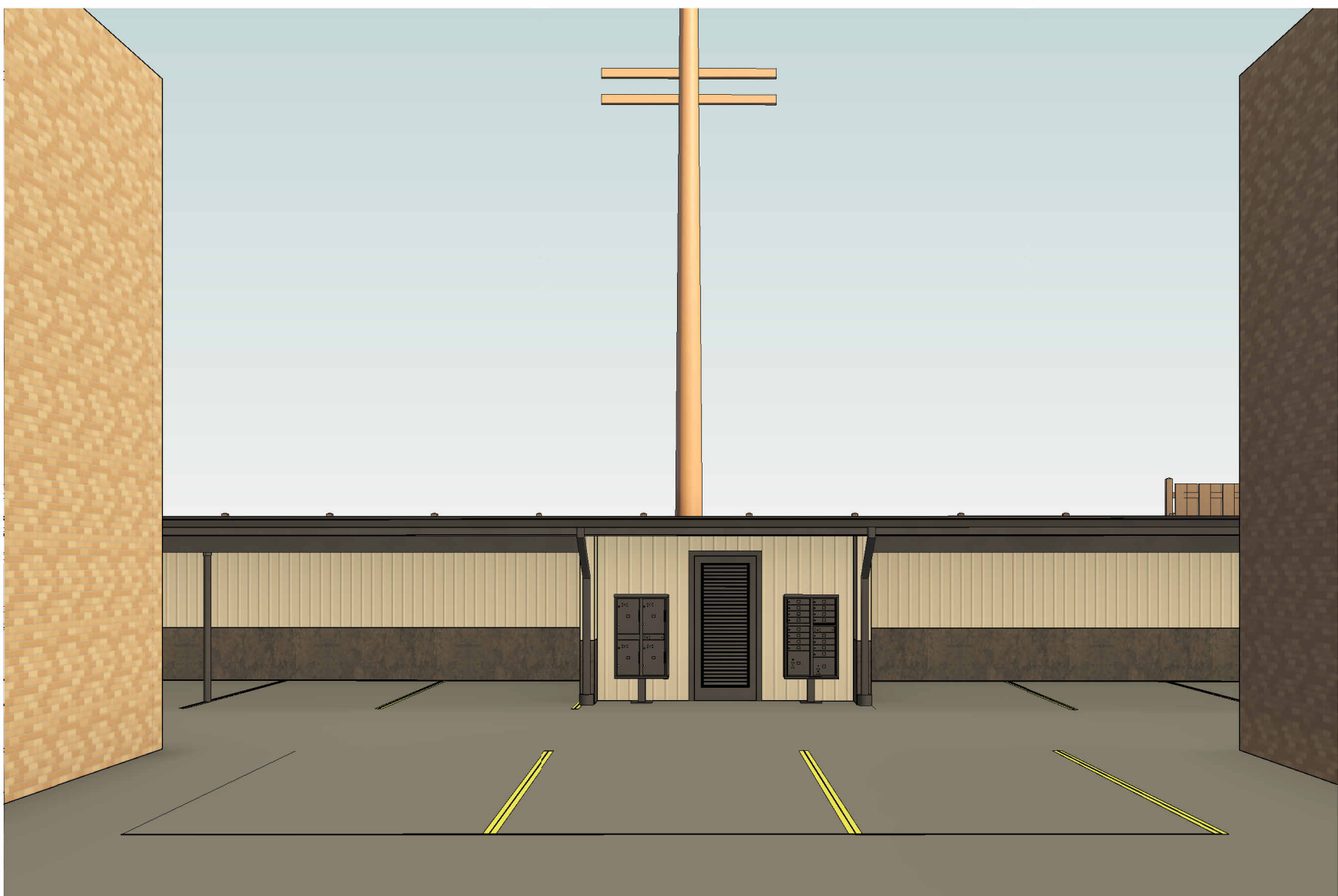
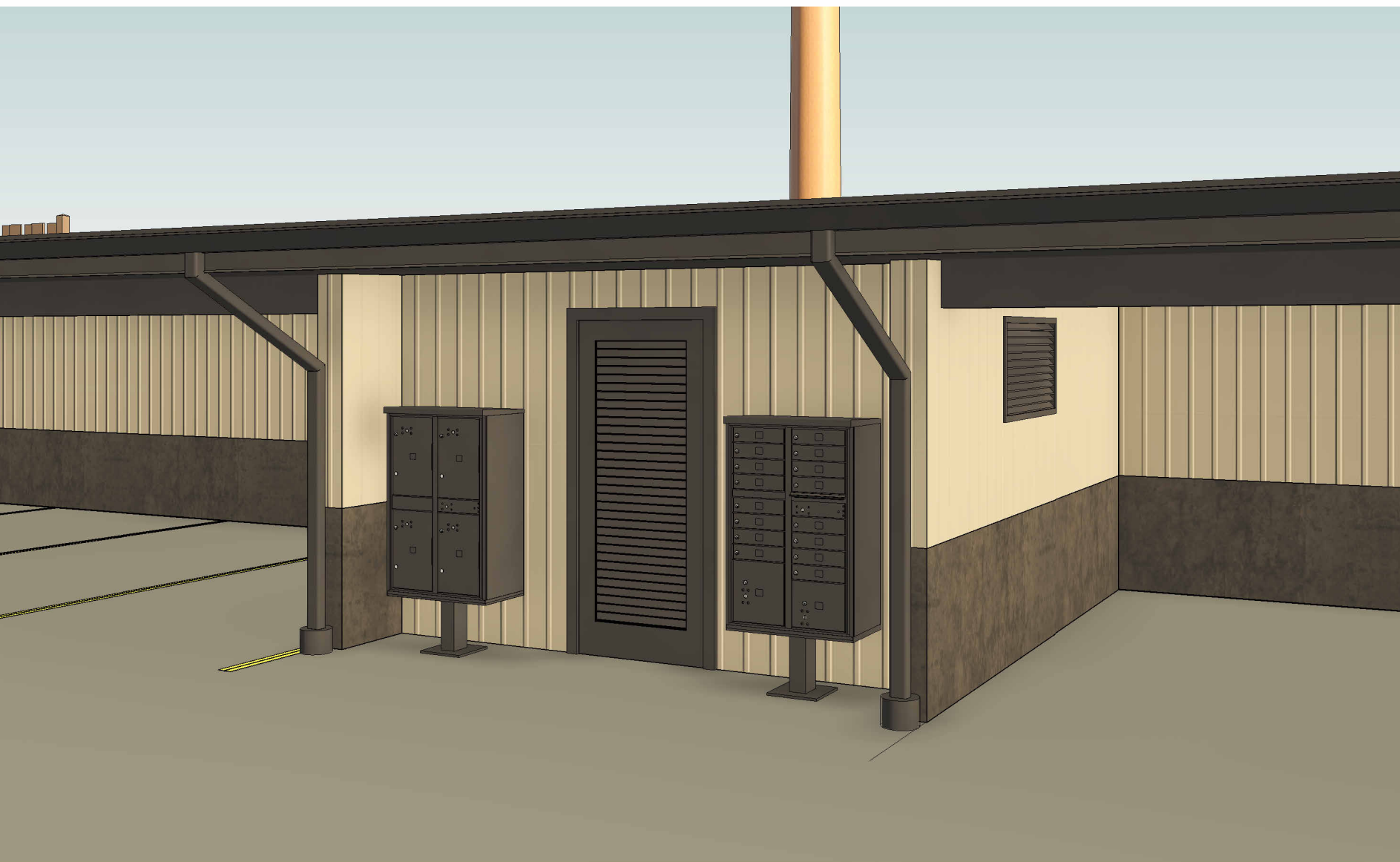
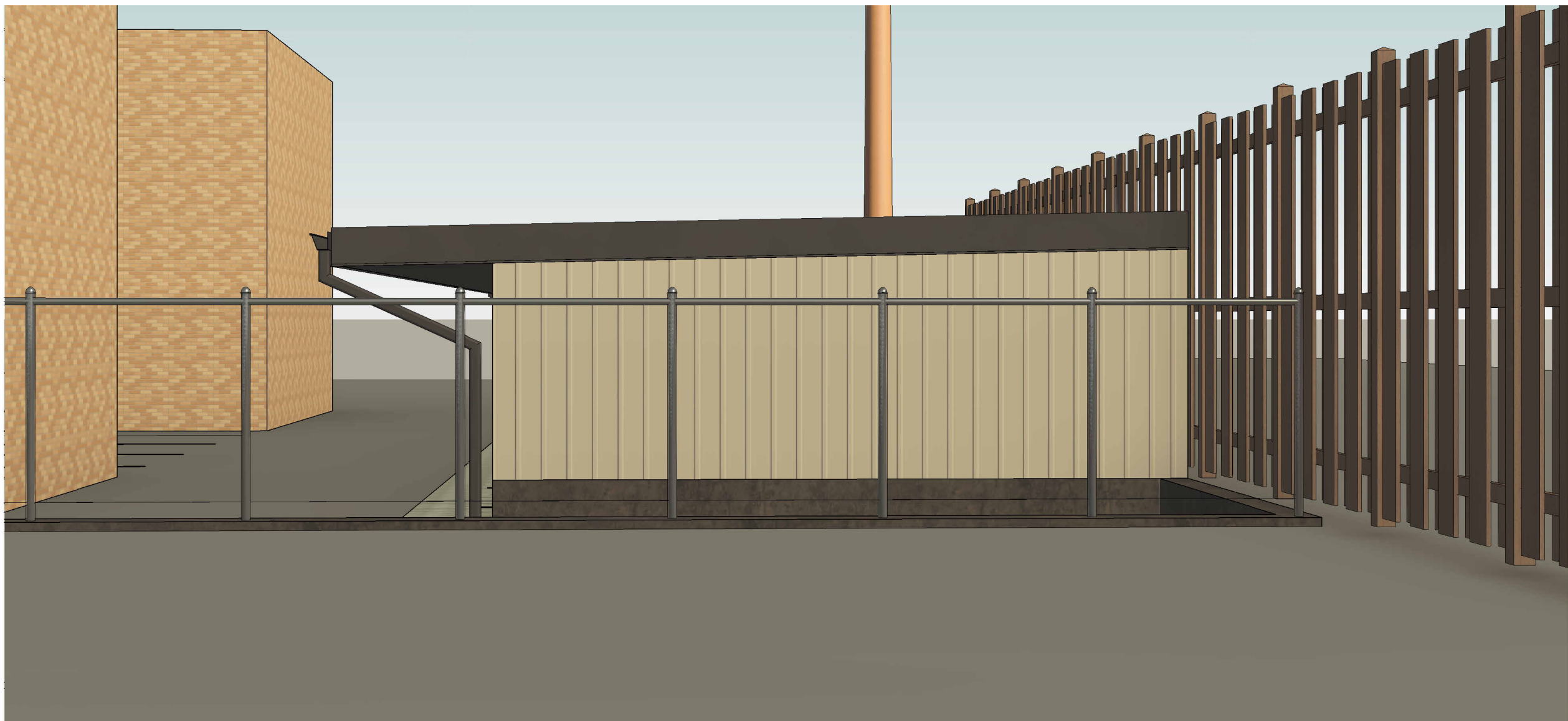
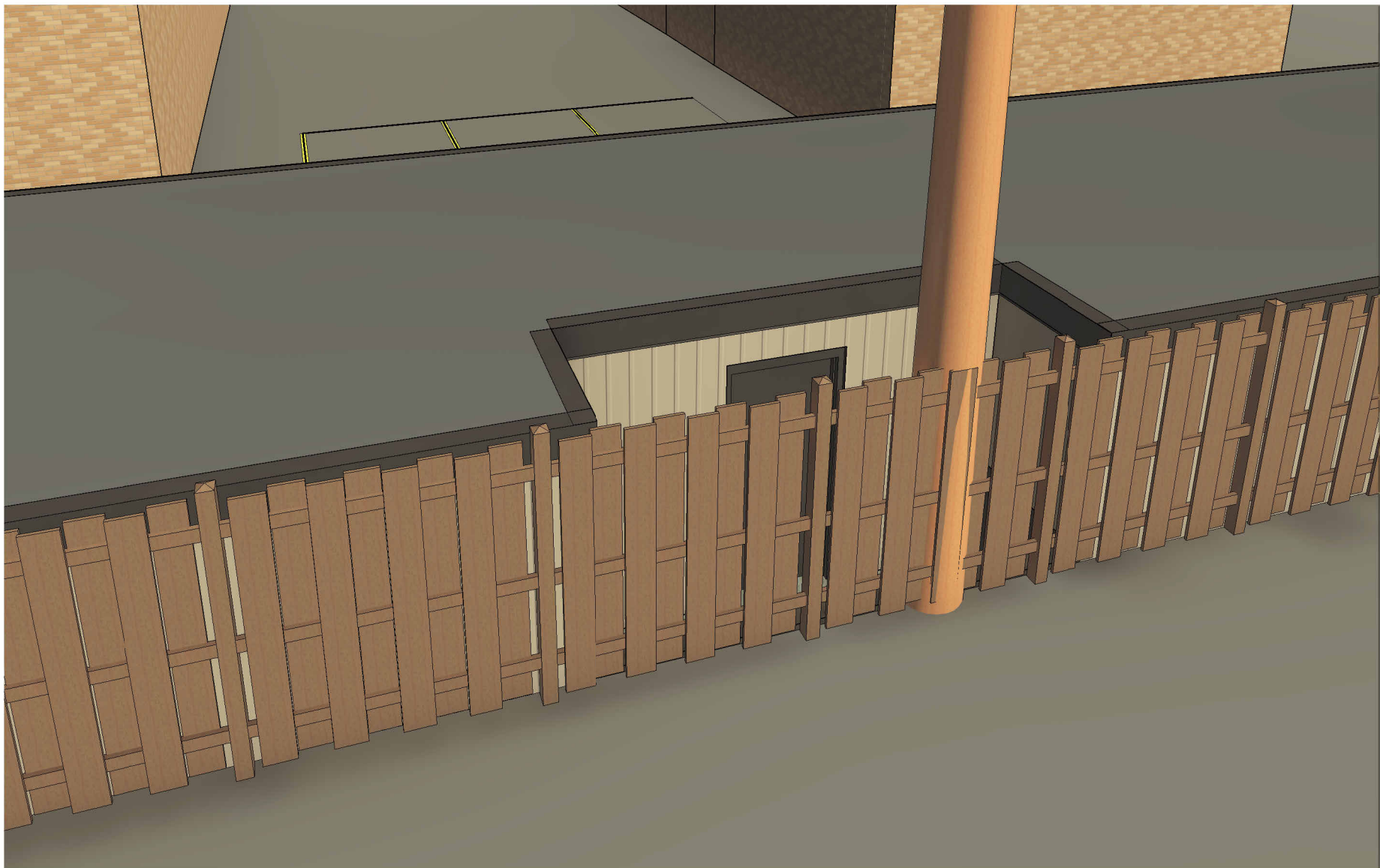
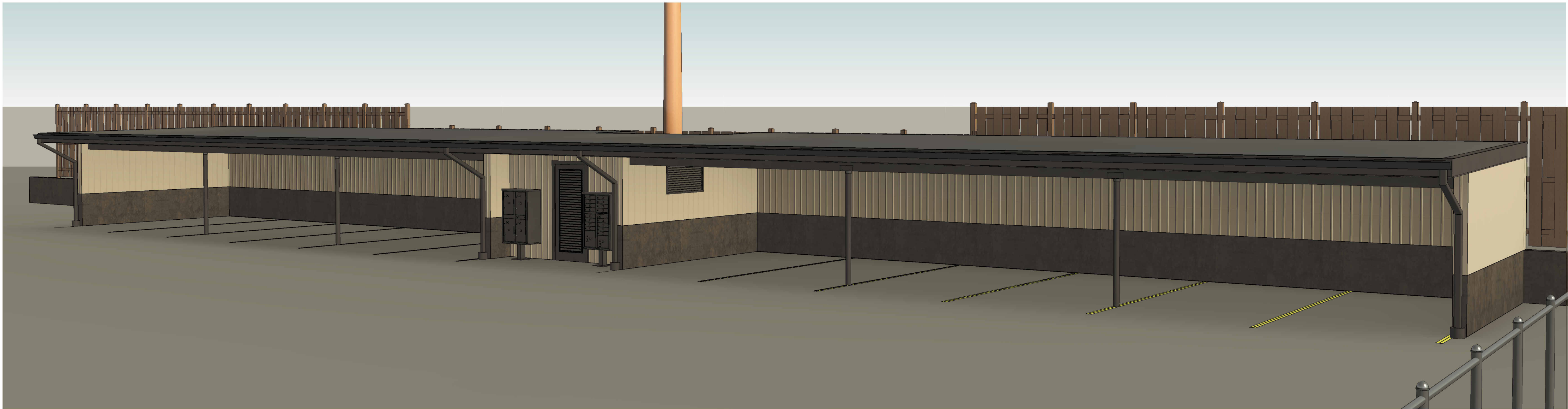
E Interior Elevation at Louver Wall Typical at both sides
1/4" = 1'-0"



C North Elevation
1/4" = 1'-0"



D South Elevation
1/4" = 1'-0"



EXTERIOR MATERIALS

STAINED CONCRETE:
COLOR: TOBACCO



VINYL BOARD AND BATTEN SIDING - 7"
COLOR: SAVANNAH WICKER



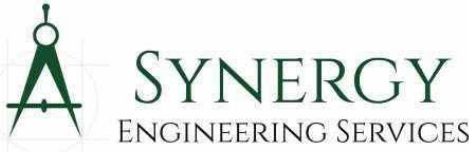
METAL TRIM COLOR - MEDIUM BRONZE



Medium Bronze



Architect:
Schmitz Design Co. LLC
Contact: Christina Schmitz
440-463-7592
christina@schmitzdesignco.com
www.schmitzdesignco.com



Structural Engineer:
Synergy Engineering Services
Contact: Doug Perkins
330-617-5280
DJPerkins@Syn-Eng.com
www.Syn-Eng.com

RiverRock Apartments, LLC
Carport and Retaining Walls
18997 / 18975 Hilliard Blvd
Rocky River, Ohio 44116

NOT FOR
CONSTRUCTION

2025-11-26 ARB Resubmittal

Exterior 3D
Views

A2.1

Project Number: 2514