

# DIETER RESIDENCE

Job #	Print Date
25287-T2	12/18/2025
Design Info	
Design Phase	D# Date
Contract	# 12.14.25
Designer	trg
Revision	# Date
	# ##.##.##
	# ##.##.##

26185 Center Ridge Road  
Westlake, Ohio 44145  
440-234-5656 Tele, 440-234-5747 Fax  
www.HurstRemodel.com



## General Notes

1. All work under this contract shall be subject to the **RESIDENTIAL CODE OF OHIO** for One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.

2. All sub-contractors shall furnish a certificate of adequate liability and worker's compensation insurance.

3. All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.

4. The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies of conditions, and materials, products, systems, procedures, and construction methods which are found to be incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by the Contract Documents.

5. The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.

6. The Contractor shall obtain and pay for all required permits, fees, charges, shipping charges, fees, taxes and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.

7. Hurst Design Build Remodel shall provide barricades, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public, and workers from hazardous conditions which may arise at the site as a result of the work.

8. Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.

9. The use of these documents is restricted to the original project for which they have been prepared. Reuse or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

## Structural Notes

Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for drywall. Inner trimmer/jack studs at all windows/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).

All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.

Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Gelling joists and flat roof joists shall be cross braced at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanent.

Rafters shall be doubled at both sides of all dormers, skylights and at roof-ridge, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.

All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.

Connections shall be in accordance with the applicable building code as a minimum.

**MATERIAL DESIGN STRESSES (Minimum)**

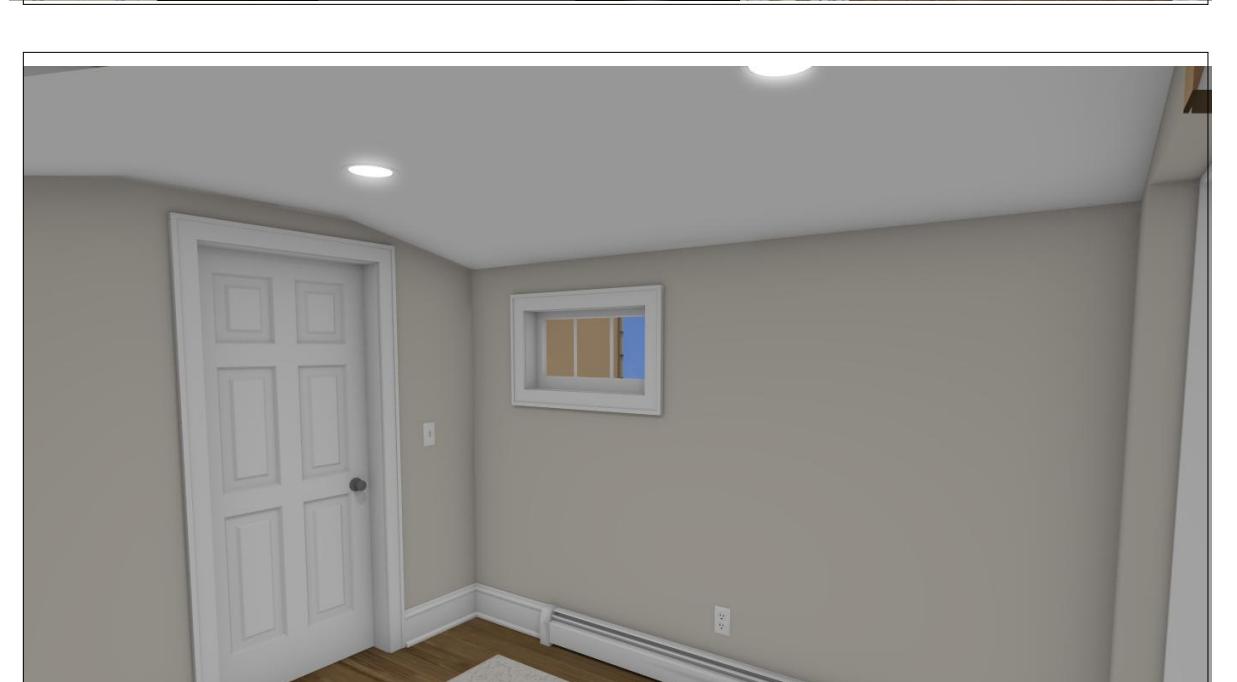
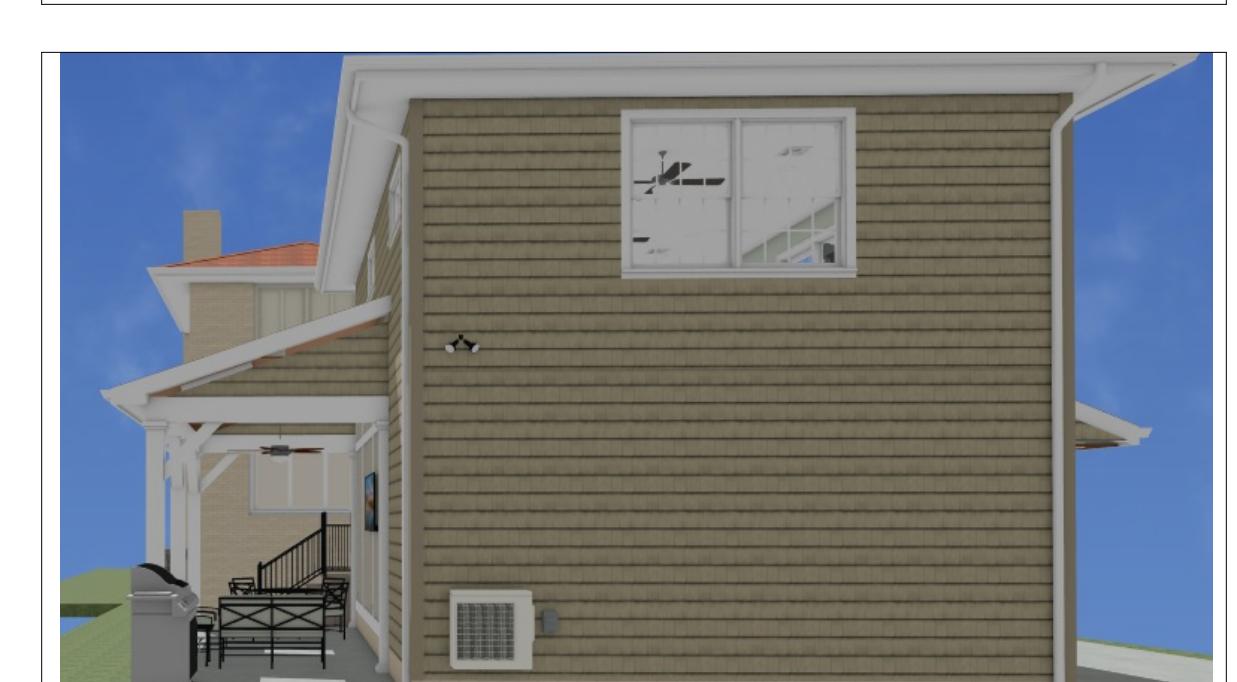
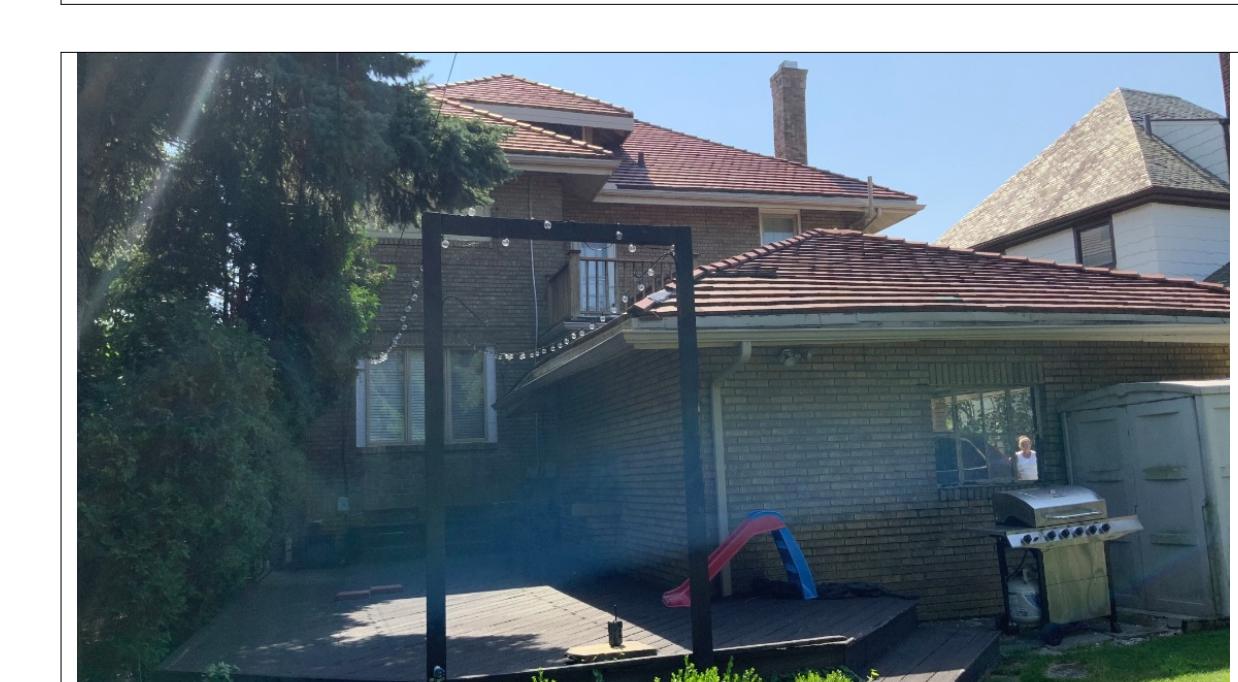
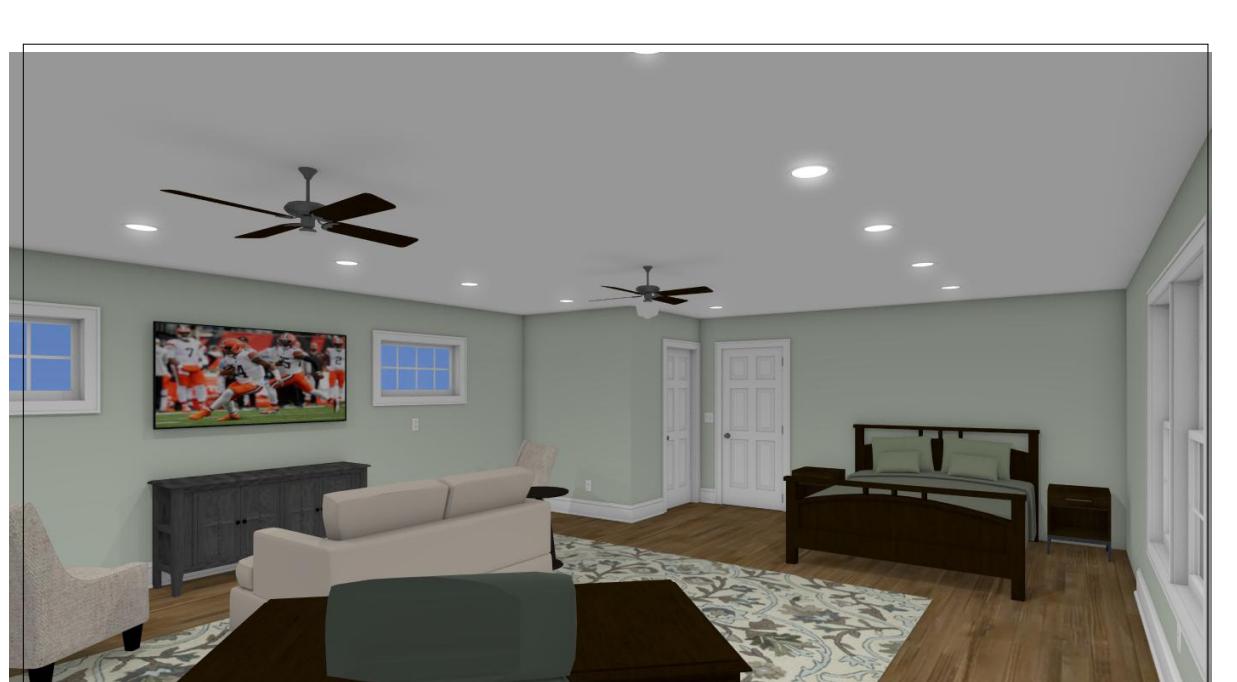
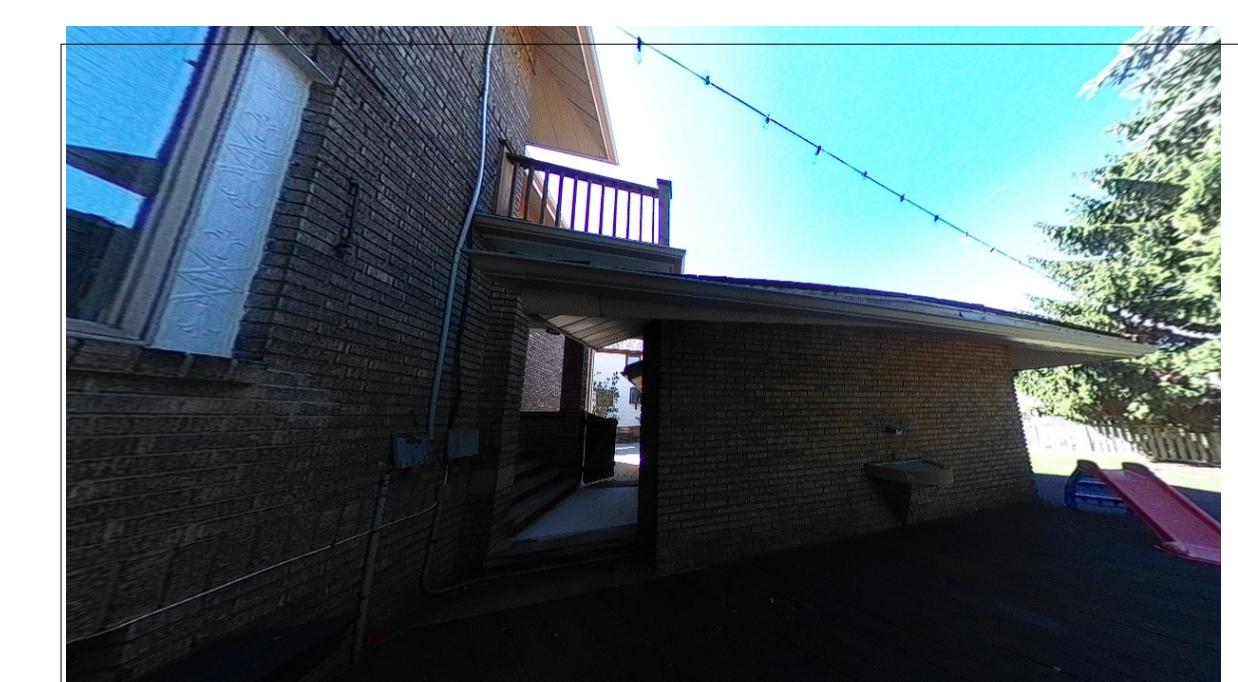
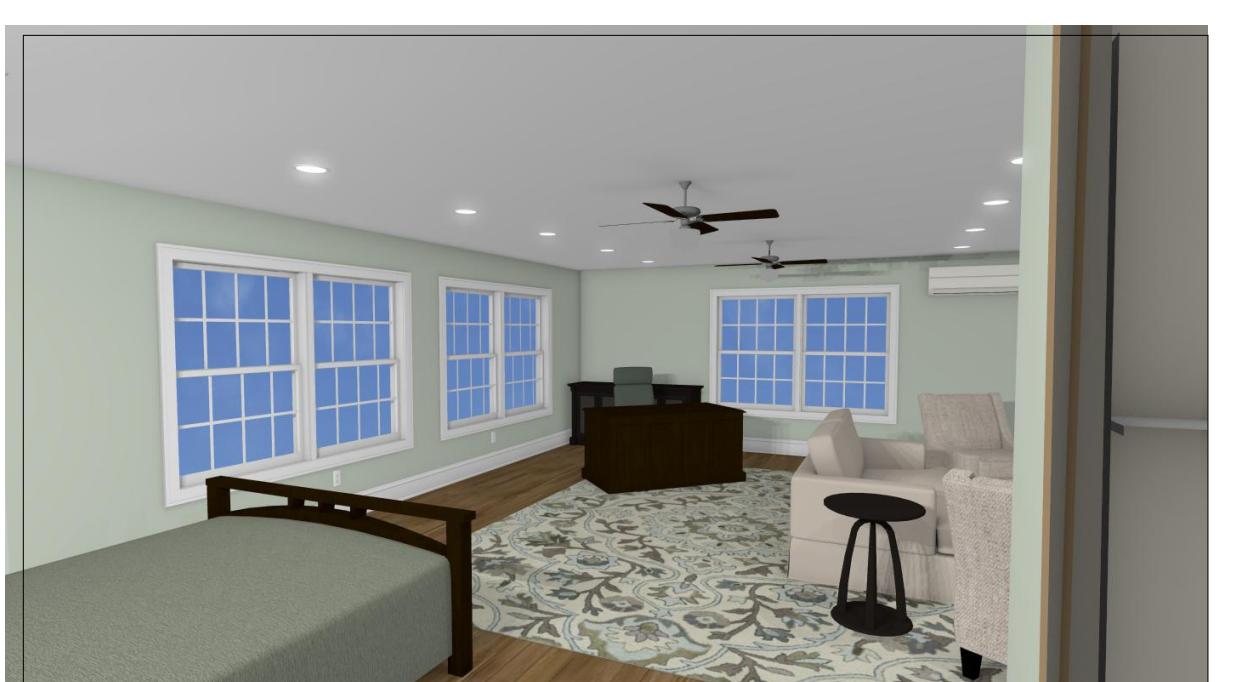
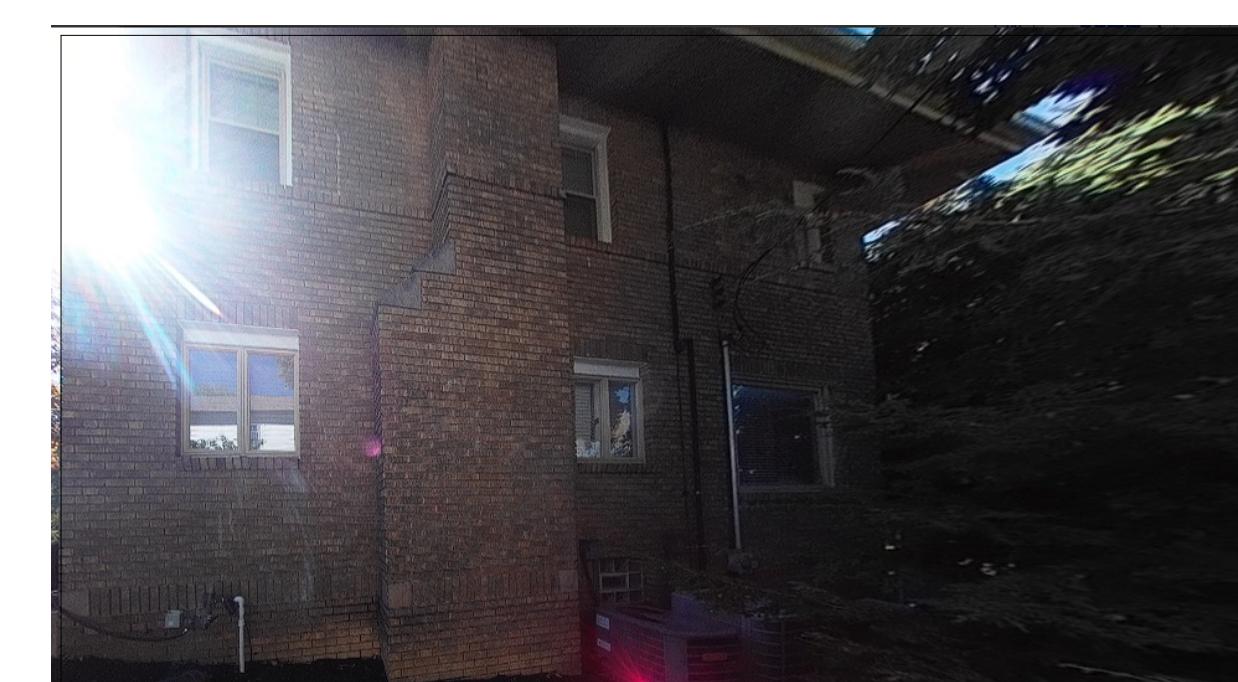
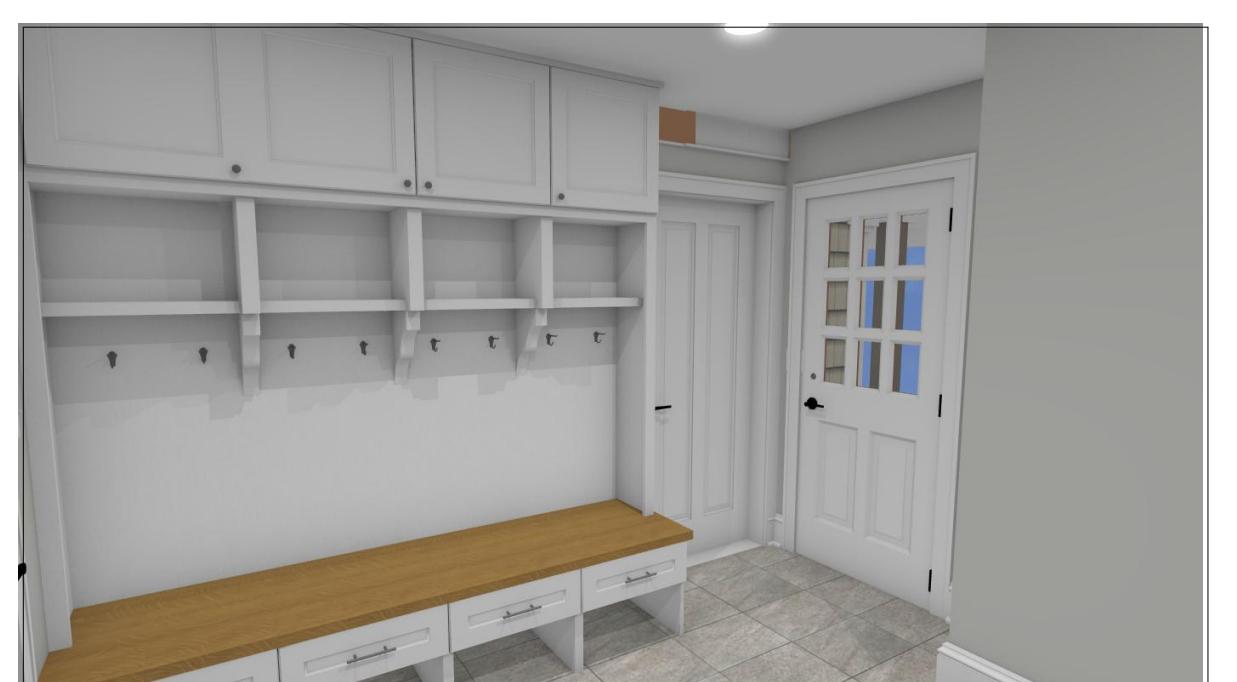
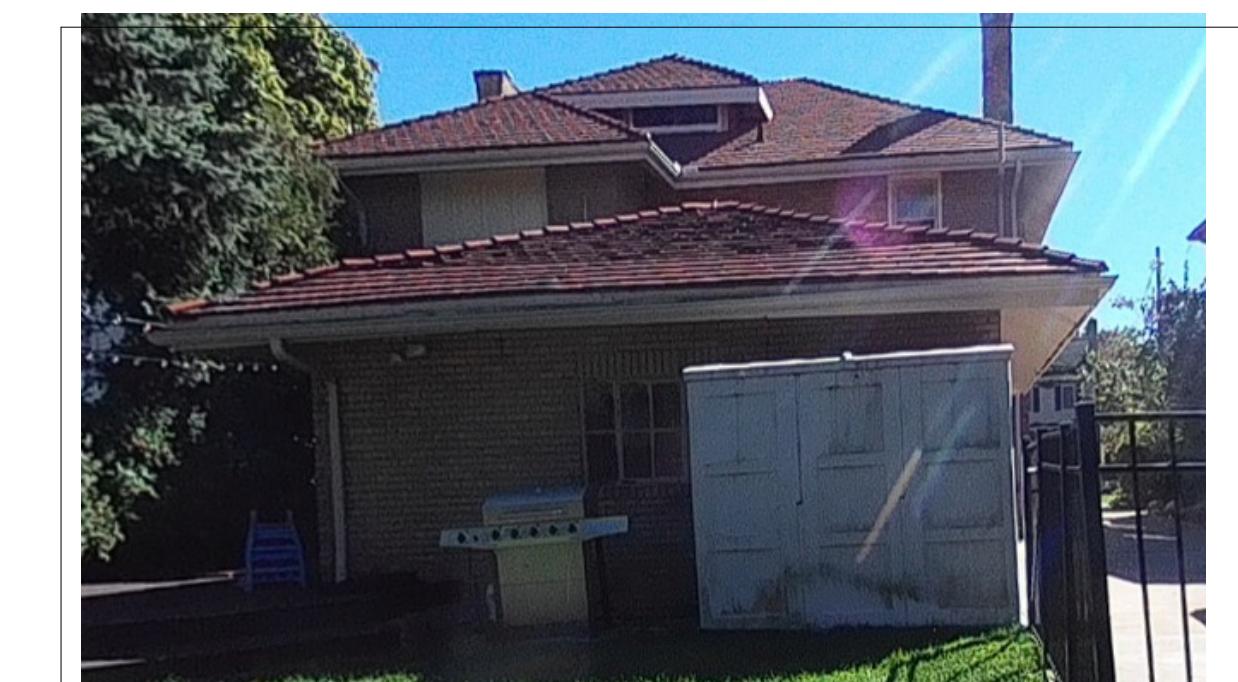
Framing Member	F <sub>b</sub> (psf)	F <sub>v</sub> (psf)	F <sub>d</sub> (psf)	E <sub>i</sub> (psi)
<b>SAWN LUMBER</b>				
Wood beams & headers	1000	130	1000	1,400,000
Wood joists	1000	130	1000	1,400,000
Wood studs/misc. framing	875	110	1000	1,400,000
Microlam (LVL)	3100	285	2510	2,100,000

See Drawings for special conditions and/or min. structural requirements  
Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



BEFORE EXTERIORS

PROPOSED EXTERIORS

PROPOSED INTERIORS

## PRESENTATION DRAWINGS

Not to Scale

## Common Abbreviations

R&R	= Remove & Replace	V.I.F.	= Verify in field
EX	= Existing	R.O.	= Rough opening
TYP	= Typical	F.F.	= Finished floor
U.N.O.	= Unless noted otherwise	L.B.P.	= Load bearing point

## Design Loads

1. Floor Live Loads:	
First Floor:	40 psf
Second Floor:	30 psf
Floor Dead loads:	10 psf
2. Roof Live Loads (snow):	30 psf
Roof/Gdg. Dead loads:	12 psf
Total Roof Loads:	42 psf

## Square Footage

First Floor Addition	= 120 sq. ft.
Second Floor Addition	= 644 sq. ft.
Garage Addition	= 548 sq. ft.
Covered Patio Addition	= 331 sq. ft.
Lot Coverage	= 24%

## Project Description

The Project Scope includes the demolition of the existing garage, deck, and breezeway structures. Build a new 2 plus garage w/ bonus room above. Create a new entrance to the garage and the new garage door. Create a new covered patio to the right side of the garage (or rear). Connection to the bonus room will be from the existing rear door @ the stair landing with a hall with additional storage. The multi-purpose bonus room will have a walk-in closet. Finishes will complement the existing brick veneer & clay roof tiles of the home.

## Drawing Index

- A-1 Index, Notes, and Perspectives
- A-2 Arch. & GIS Site Plan, Vicinity Map
- A-3 Ex/Demo Plans
- A-4 Foundation, First, & Second Floor Plans
- A-5 Roof Plan, Enlarged Plan & Interior Elevations, Door & Window Schedules
- A-6 Exterior Elevations & Building Section
- A-7 Building & Wall Sections & Detail
- A-8 Plumbing & Mechanical Plans
- A-9 Electrical Plans

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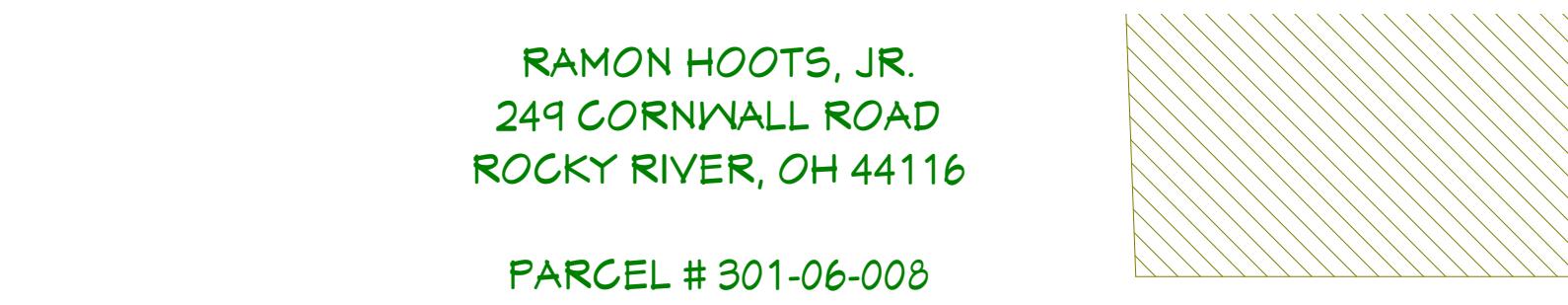
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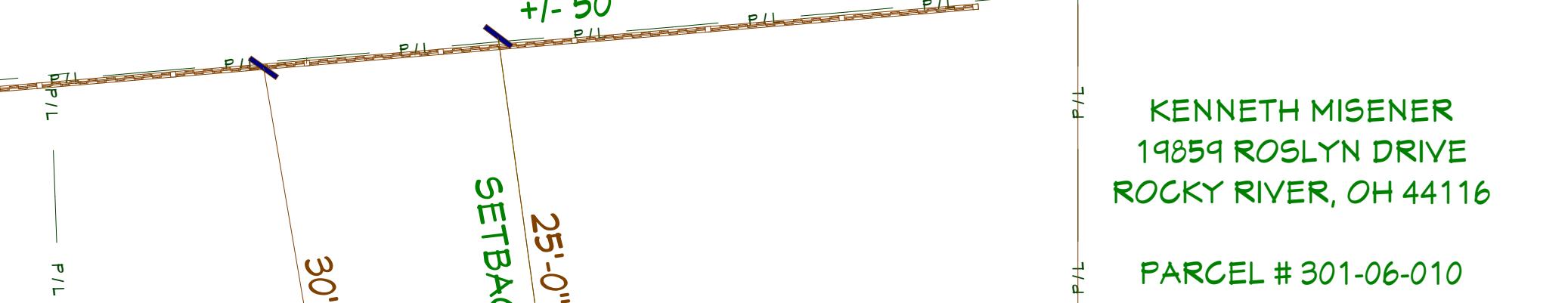
RAMON HOOTS, JR.  
249 CORNWALL ROAD  
ROCKY RIVER, OH 44116

PARCEL # 301-06-008



KENNETH MISENER  
19859 ROSLYN DRIVE  
ROCKY RIVER, OH 44116

PARCEL # 301-06-010



JOHN PETZ  
19835 ROSLYN DRIVE  
ROCKY RIVER, OH 44116

PARCEL # 301-06-011

PROPOSED MINI-SPLIT  
A/C CONDENSER

NEW CONC.  
APRON

18'-8"

EXISTING  
CONC. DRIVEWAY

17'-2"

SETBACK

6'-3"

EXISTING  
TWO STORY  
RESIDENCE

PROPOSED  
ADDITION

NEW FRAMED  
STEPS

EXISTING  
PATIO

EXISTING  
CONC. SIDEWALK

35'-0"

SETBACK

30'-0"

EXISTING  
CONC. DRIVEWAY

18'-0"

SETBACK

12'-0"

EXISTING  
PATIO

16'-4"

PROPOSED  
OPEN  
CONC. PATIO

18'-0"

SETBACK

16'-4"

PROPOSED  
COVERED  
PATIO

18'-0"

SETBACK

16'-4"

PROPOSED  
MINI-SPLIT  
A/C CONDENSER

18'-0"

SETBACK

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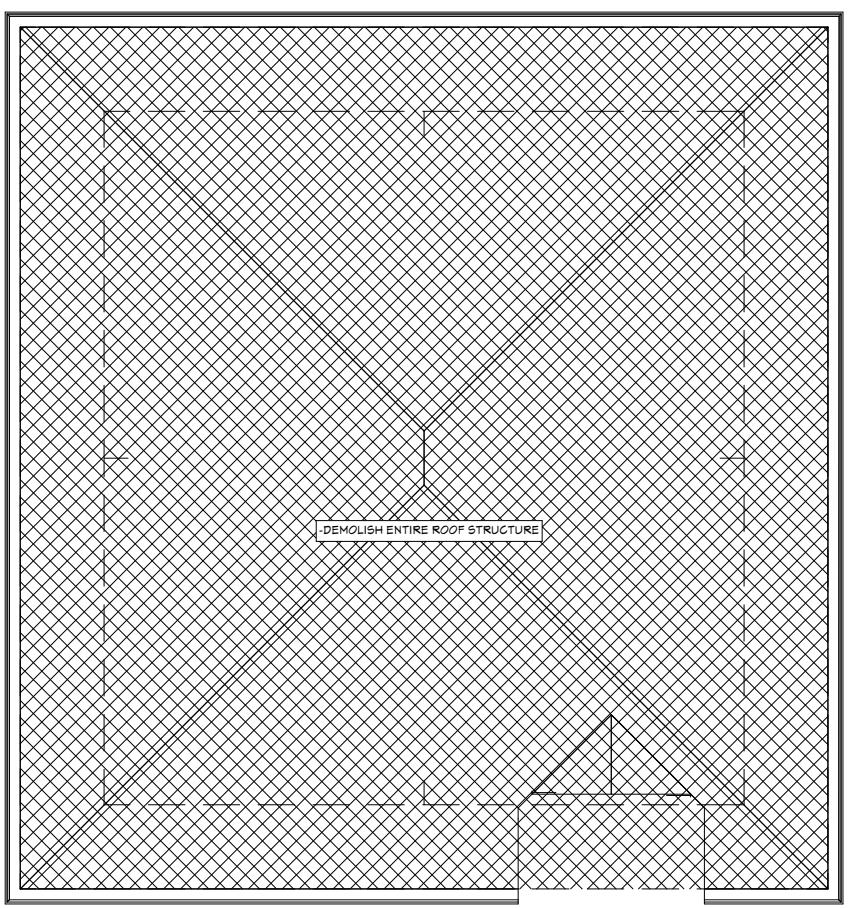
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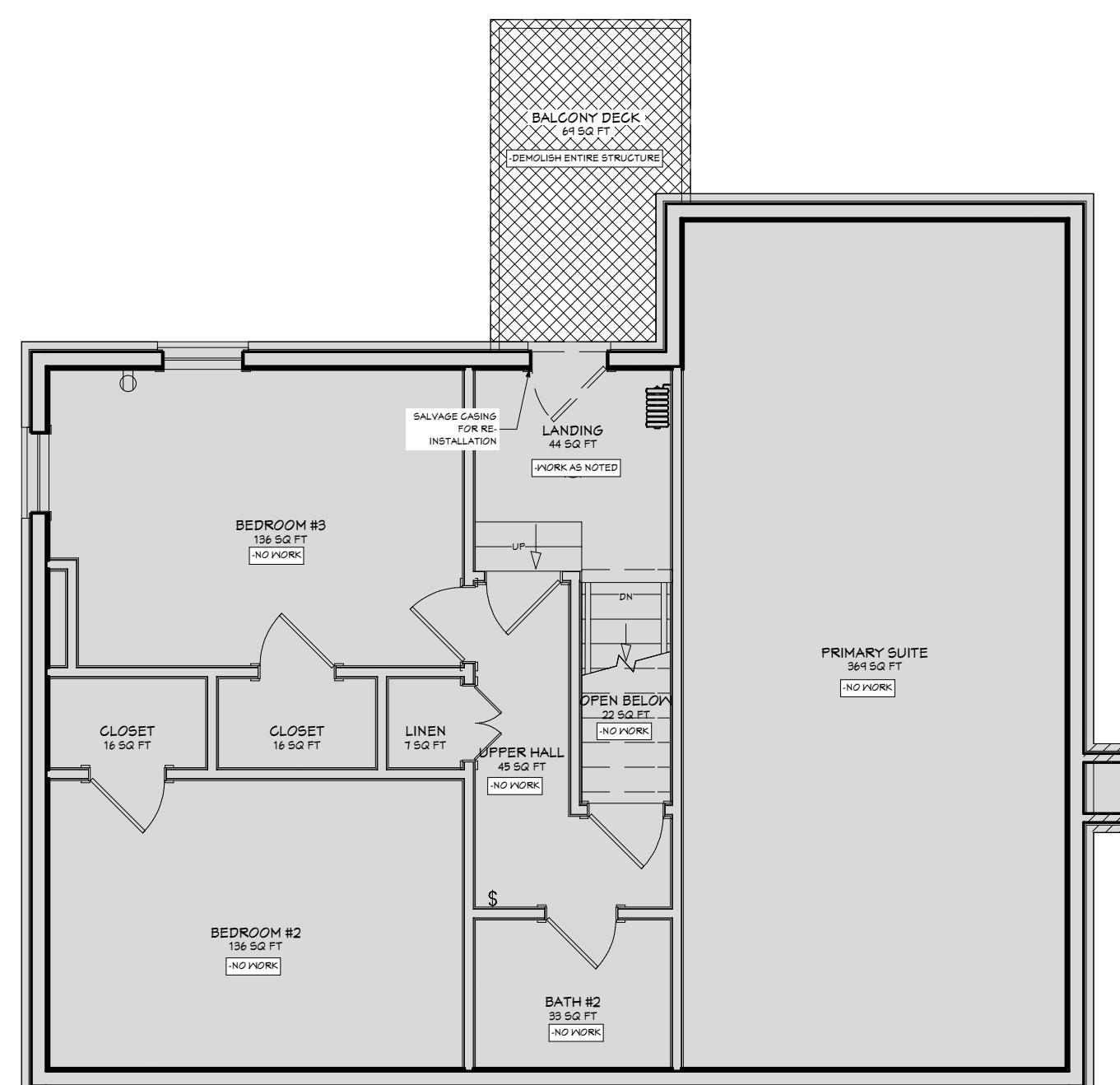
SHEET NO

**A-3**



## EX/DEMO ROOF PLAN

3/16" = 1'-0"



## EX/DEMO SECOND FLOOR PLAN

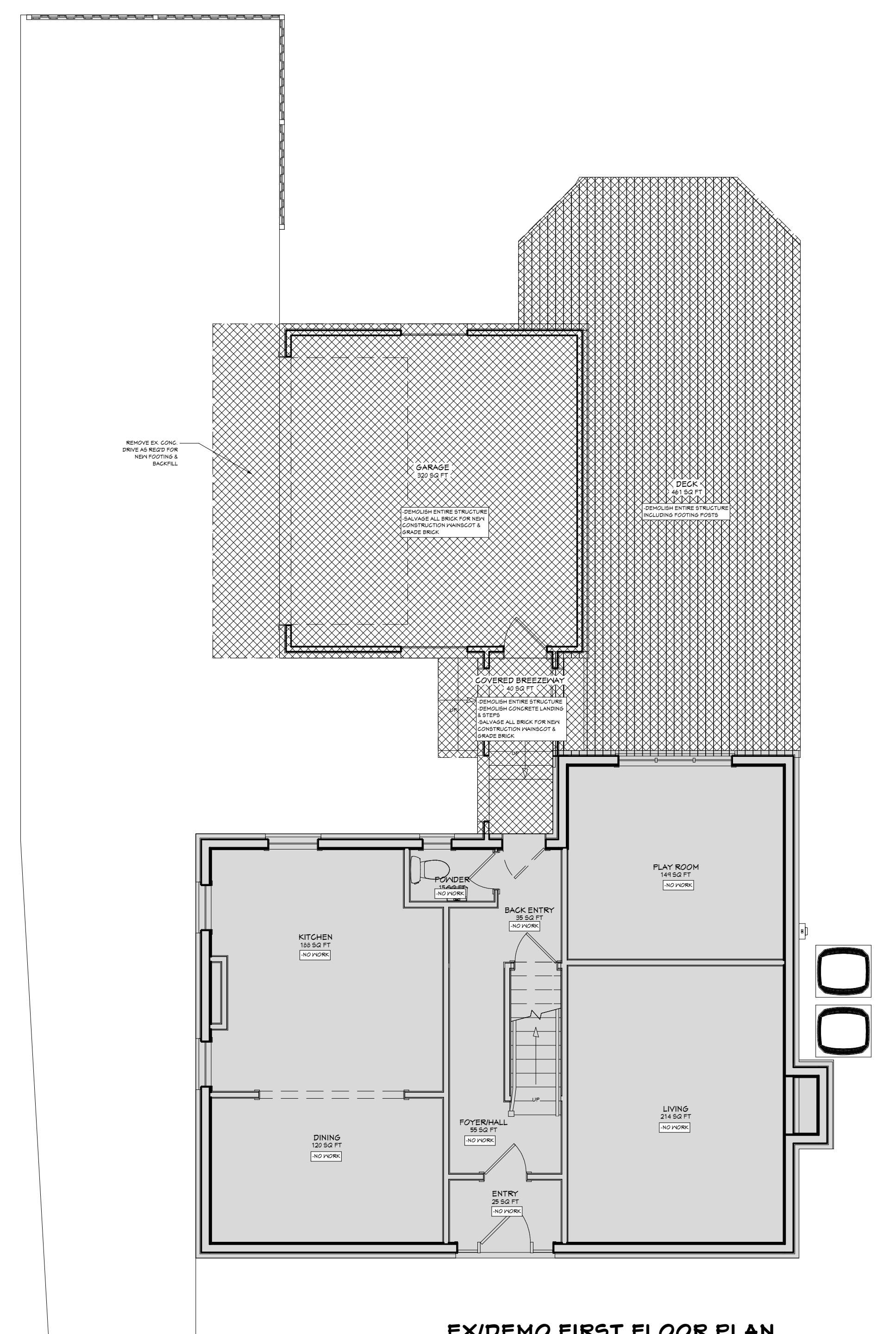
$$3/16" = 1'-0"$$

## WALL LEGEND

— — — —	Object to be demolished
	Wall to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2x4 interior wall
	New 2x4 exterior wall
	Existing foundation wall w/ brick to remain
	New CMU foundation w/ brick veneer
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New handrail

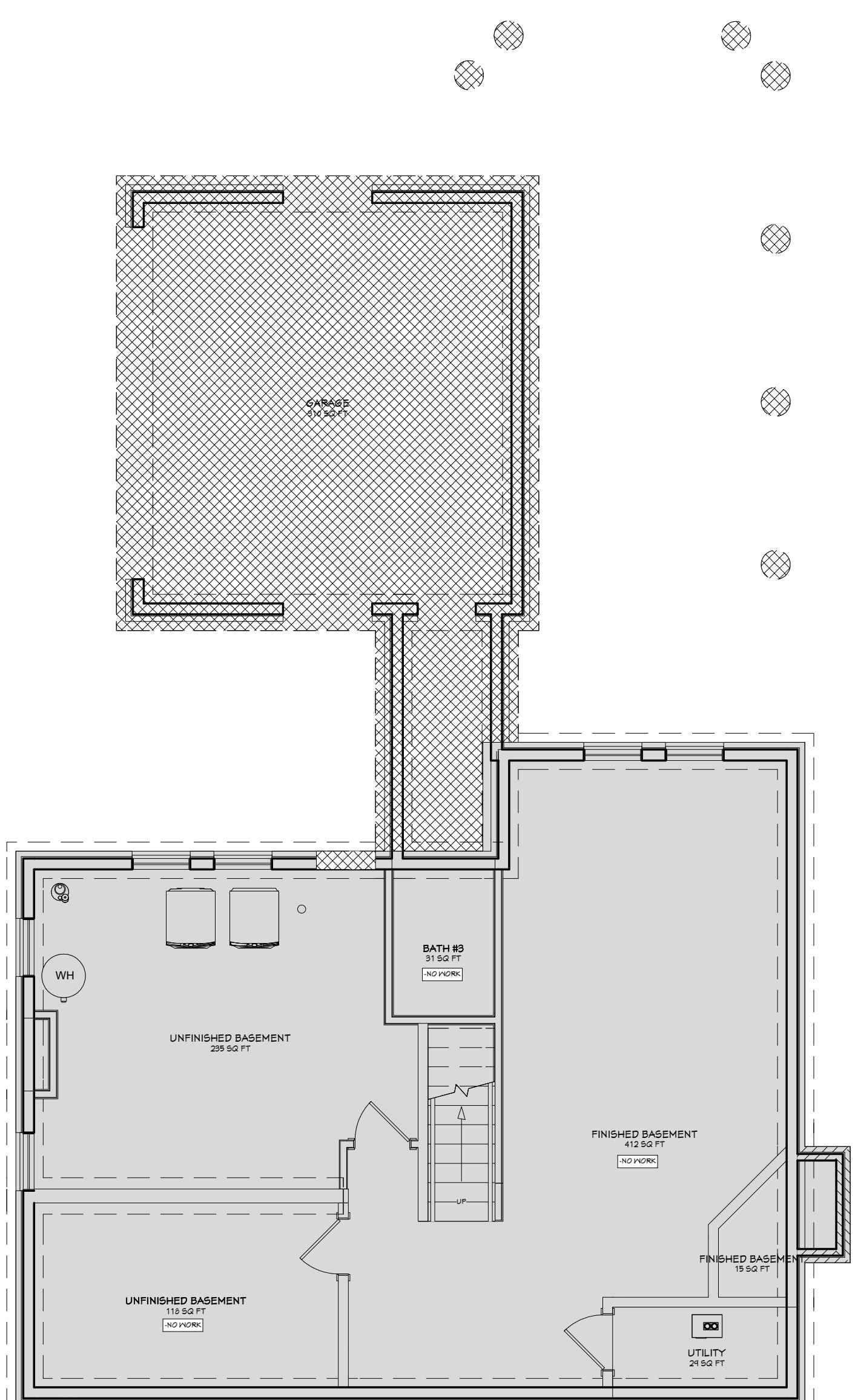
## General Notes: Demolition

- Contractor to perform selective demolition and remove items within a specified area.
  - Contractor to demo existing concrete drive as req'd for new foundation & footings.
  - Contractor to protect all existing exterior finishes, windows, & doors to remain.
  - Carefully hand demo intersecting walls & materials adjacent to materials that are to remain to not damage existing construction.



## EX/DEMO FIRST FLOOR PLAN

$$3/16" = 1'-0"$$



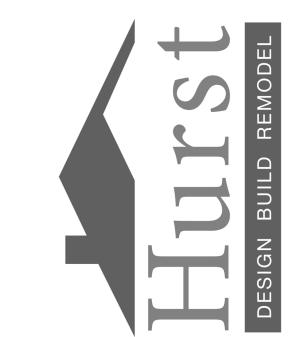
## EX/DEMO FOUNDATION/BASMENT PLAN

$$16'' = 1'-0''$$

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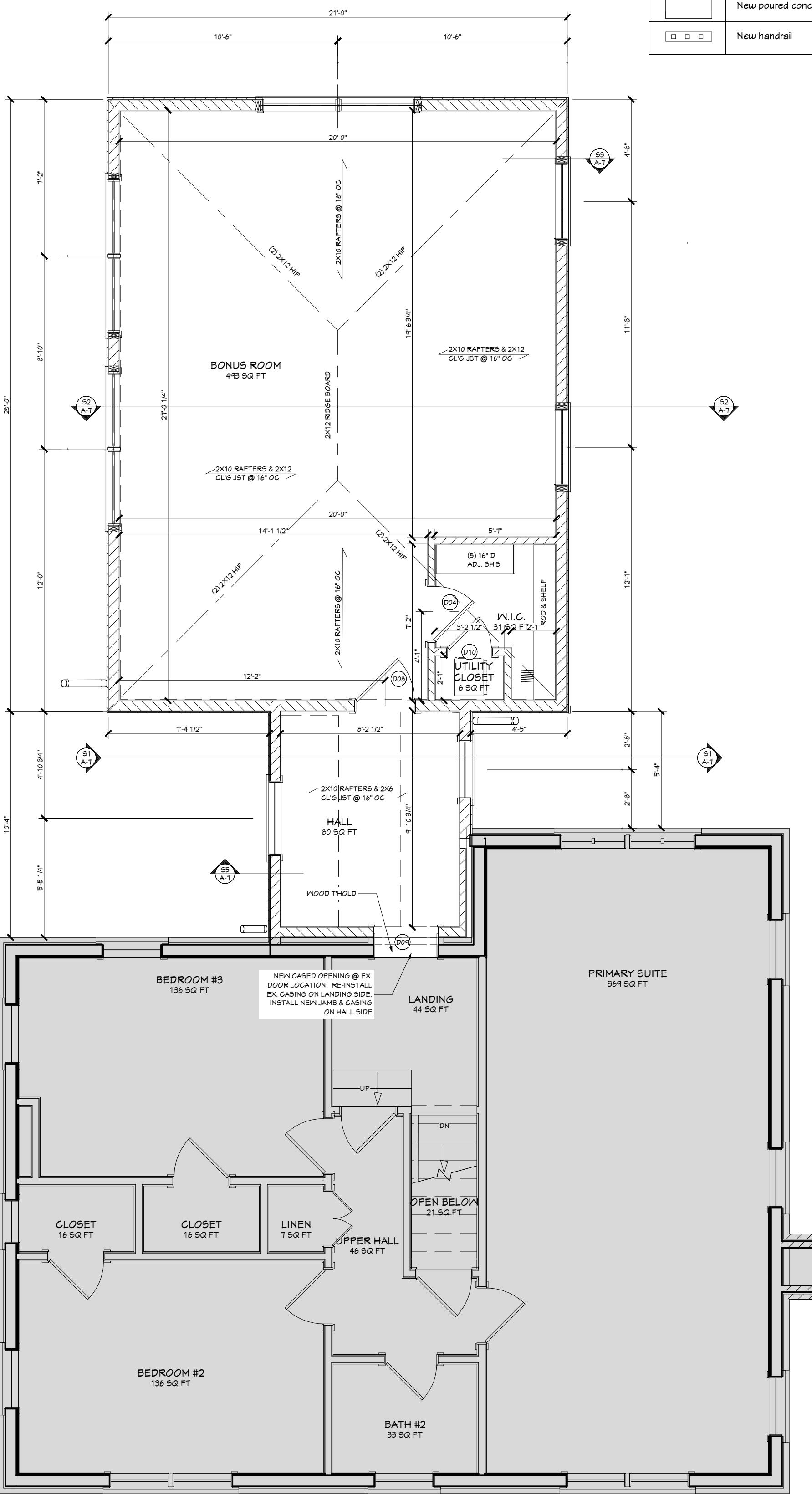
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SHEET NO.

A-4

WALL LEGEND	
---	Object to be demolished
☒☒☒☒	Wall to be demolished
■■■■■■	Existing interior wall to remain
■■■■■■	Existing exterior wall to remain
■■■■■■	New 2x4 interior wall
■■■■■■	New 2x4 exterior wall
■■■■■■	Existing foundation wall w/ brick to remain
■■■■■■	New CMU foundation w/ brick veneer
■■■■■■	Existing poured concrete foundation wall
■■■■■■	New poured concrete foundation wall
□□□□	New handrail



**General Notes:Framing**

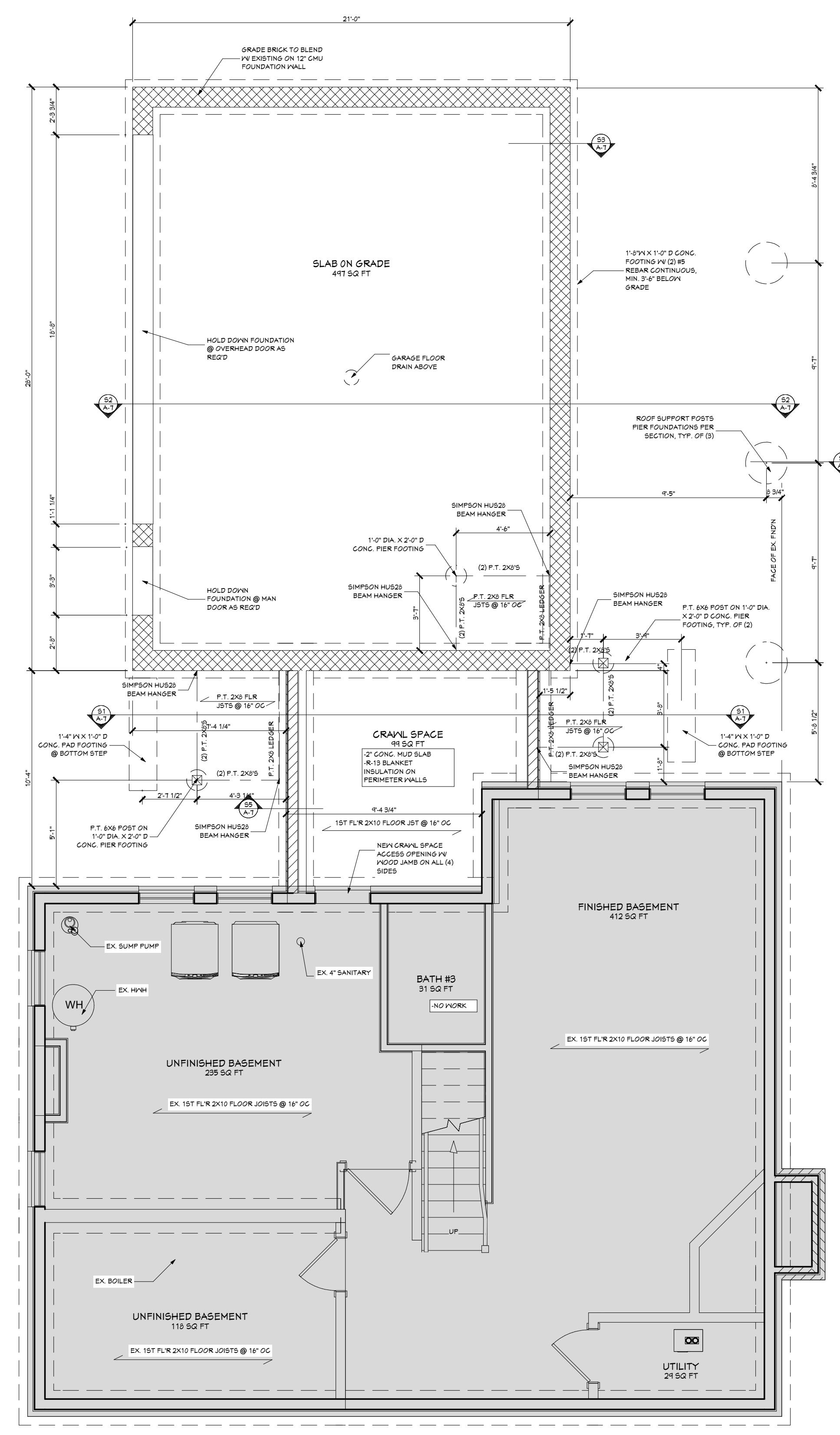
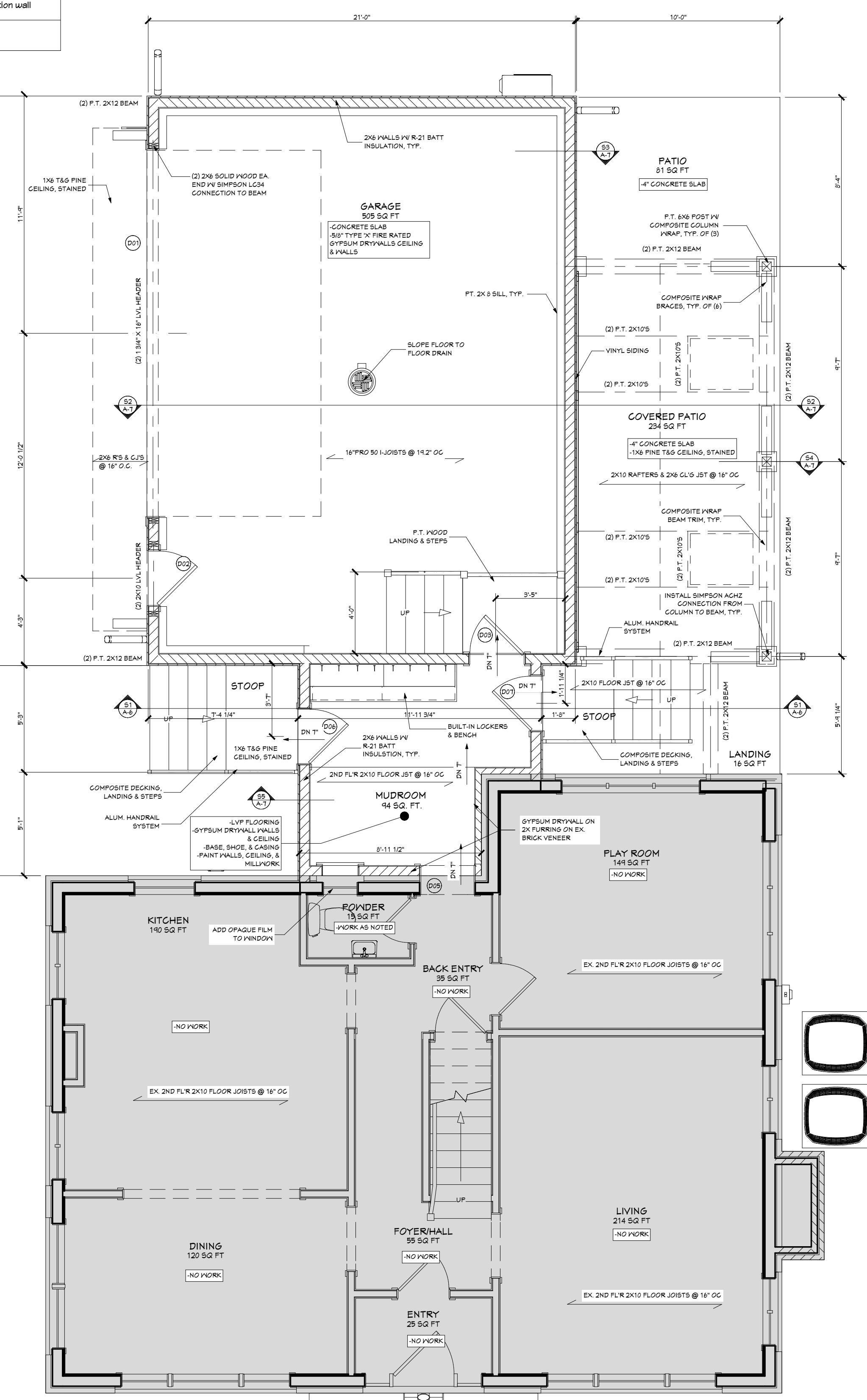
1. All lumber will be sized and installed according to the design, code requirements, and best practices.
2. Perform framing alterations as outlined on the plans.
3. Utilize appropriate fasteners and metal connectors.
4. All new exterior walls shall be 2x6 stud @ 16" on center.

**General Notes:Concrete Foundation**

1. Center all footings on walls, piers, or columns above unless noted otherwise (UNO).
2. All footings shall rest on undisturbed virgin soil with minimum soil bearing allowable of 2500 psf.
3. Provide (2) steel rebar, continuous through wall footers.
4. Provide (2) steel rebar @ top, middle, and bottom of pier and column footers.
5. Thicken slab to 12" thick within a 1'-0" radius of load-bearing walls and interior or exterior column footings.
6. Footers are to be extended down to the existing footer depth at tie in points.

**General Notes:Foundation**

1. The foundation will be constructed of concrete masonry units (CMU).
2. Install steel reinforcement and solid cores to accommodate structural and load points.
3. The foundation will be parged and damp proofed with a foundation coating from footer grade.
4. Install R-5 polystyrene panels to the exterior of the new foundation wall.



WINDOW SCHEDULE								
LOCATION	NUMBER	QTY	WINDOW TYPE	R/O SIZE	JAMB DEPTH	EXT. FINISH	INT. FINISH	HARDWARE FINISH
HALL	W01	1	DOUBLE HUNG	42"X36"	3/4" X 4 9/16"	WHITE	WHITE	4X2 / 4X2
HALL	W02	1	SINGLE AWNING	33"X19"	3/4" X 4 9/16"	WHITE	WHITE	3X1
BONUS ROOM	W03	3	MULLED UNIT	84 1/2"X60"	3/4" X 4 9/16"	WHITE	WHITE	4X4/4X4 GRILLES FOR EACH WINDOW
BONUS ROOM	W04	2	SINGLE AWNING	43"X25"	3/4" X 4 9/16"	WHITE	WHITE	4X2
COVERED PATIO	W05	2	FIXED SKYLIGHT	30 1/16" X 37 7/8"	COPPER	WHITE	N/A	FIXED DECK MOUNTED W/ FLASHING KIT

DOOR SCHEDULE								
LOCATION	QTY	NUMBER	DOOR TYPE	EXTERIOR FINISH	TYPE	SIZE	HANDING	JAMB DEPTH
GARAGE	1	D01	GARAGE	WHITE	GARAGE	18080 IN	3/4" X 4 9/16"	WHITE
GARAGE	1	D02	HINGED	BLACK	HINGED	2868 R EX	3/4" X 4 5/8"	PRIMED
GARAGE/BACK ENTRY	1	D03	HINGED	BLACK	HINGED	2868 R EX	OUT	3/4" X 6 5/8"
W.I.C./BONUS ROOM	1	D04	HINGED	PRIMED	HINGED	2868 R IN	3/4" X 4 9/16"	PRIMED
BACK ENTRY/UNSPECIFIED	1	D05	DOORWAY		DOORWAY	2768	NONE	3/4" X 4 5/8"
BACK ENTRY	1	D06	HINGED	PRIMED	HINGED	2868 R IN	3/4" X 6 5/8"	PRIMED
BACK ENTRY/COVERED PATIO	1	D07	HINGED	PRIMED	HINGED	2868 L IN	IN	3/4" X 6 5/8"
BONUS ROOM/HALL	1	D08	HINGED	PRIMED	HINGED	2868 L IN	IN	3/4" X 4 5/8"
LANDING/UNSPECIFIED	1	D09	DOORWAY		DOORWAY	21068 EX	NONE	3/4" X 4 9/16"

**CABINET HARDWARE APPROVED** DATE: 00.00.0000  
NOTE: Do not install cabinet hardware if the hardware approval date is not present.

**CABINET HARDWARE POSITION KEY**

SCALE: 1/2" = 1'-0"

**ENLARGED W.I.C. PLAN** 1/2" = 1'-0"

**ENLARGED MUDROOM PLAN** 1/2" = 1'-0"

**CABINET HARDWARE SCHEDULE**

KEY # / ITEM	IMAGE	MFR / STYLE
1 HOOKS		Americo/H37003
QTY: 8		FINISH: Champagne Bronze
2 KNOB		Americo/BP36864
QTY: 4		FINISH: Champagne Bronze
3 PULL		Top Knob/M2155
QTY: 4		FINISH: Honey Bronze

**W.I.C. ELEVATION** 1/2" = 1'-0"

**W.I.C. ELEVATION** 1/2" = 1'-0"

**W.I.C. DETAILS** 1 1/2" = 1'-0"

**General Notes: Roofing**

- Ice & Water to be installed on eaves, valleys, chimneys, and protrusions through the roof.
- Ice & Water on the main house eaves to achieve 24" coverage inside the warm wall of the conditioned space.
- Asphalt impregnated roofing felt to be installed. Overlap a min. of 2" horizontally. Lay parallel with the eaves.
- Necessary flashing and metal caps for aprons, rakes, drip edges, and side wall flashing are to be installed.
- Install flashing boots at all roof exhaust ventilation.
- Install architectural roof shingle system. Include starter shingle and matching ridge caps.

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**Hurst**  
DESIGN BUILD REMODEL

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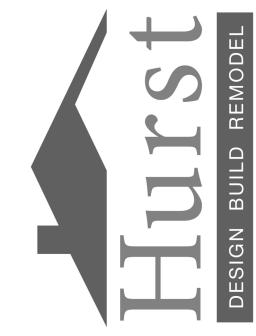
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**ROOF PLAN** 1/4" = 1'-0"

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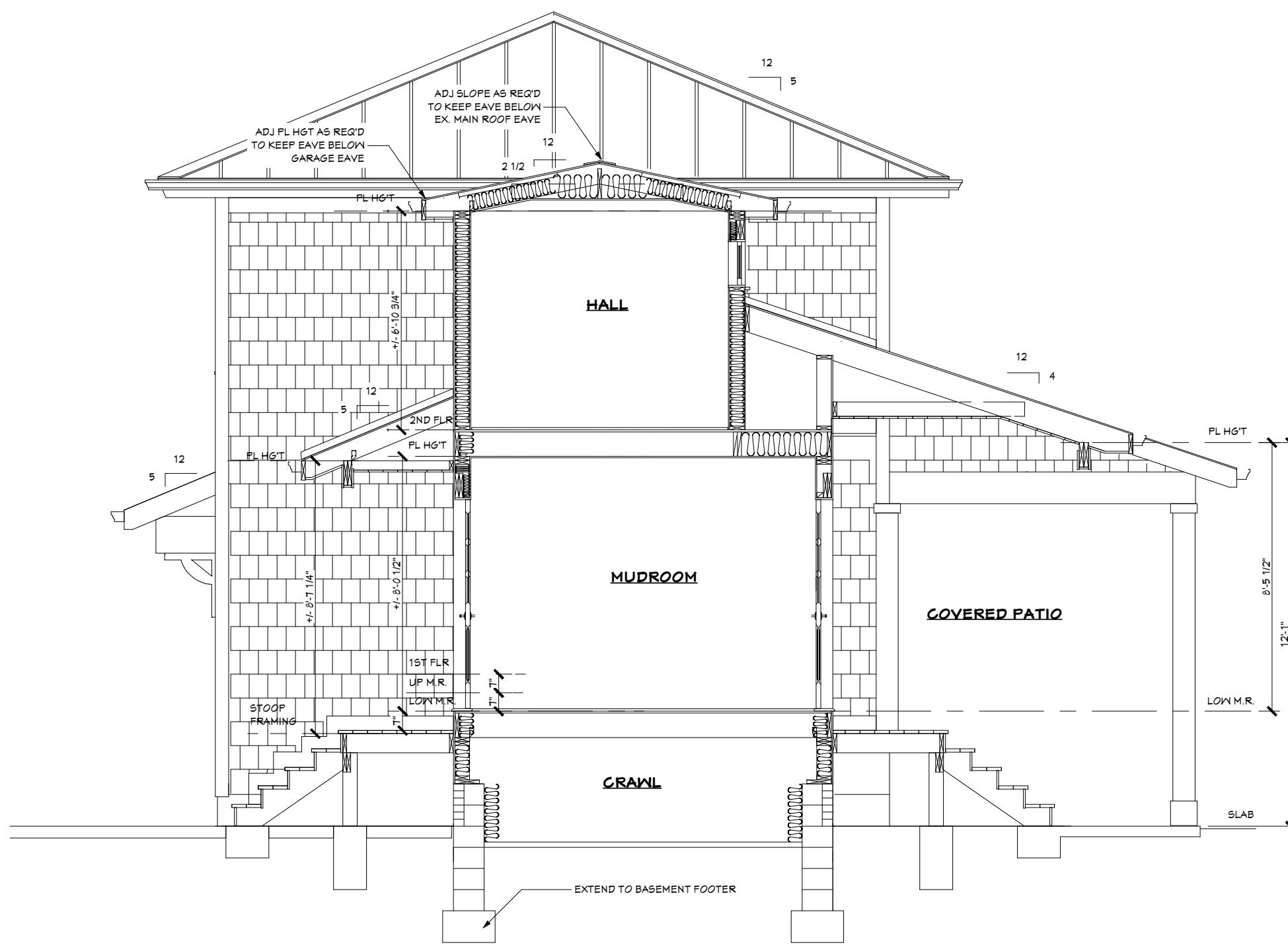


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EE4 LEFT ELEVATION 1/4" = 1'-0"

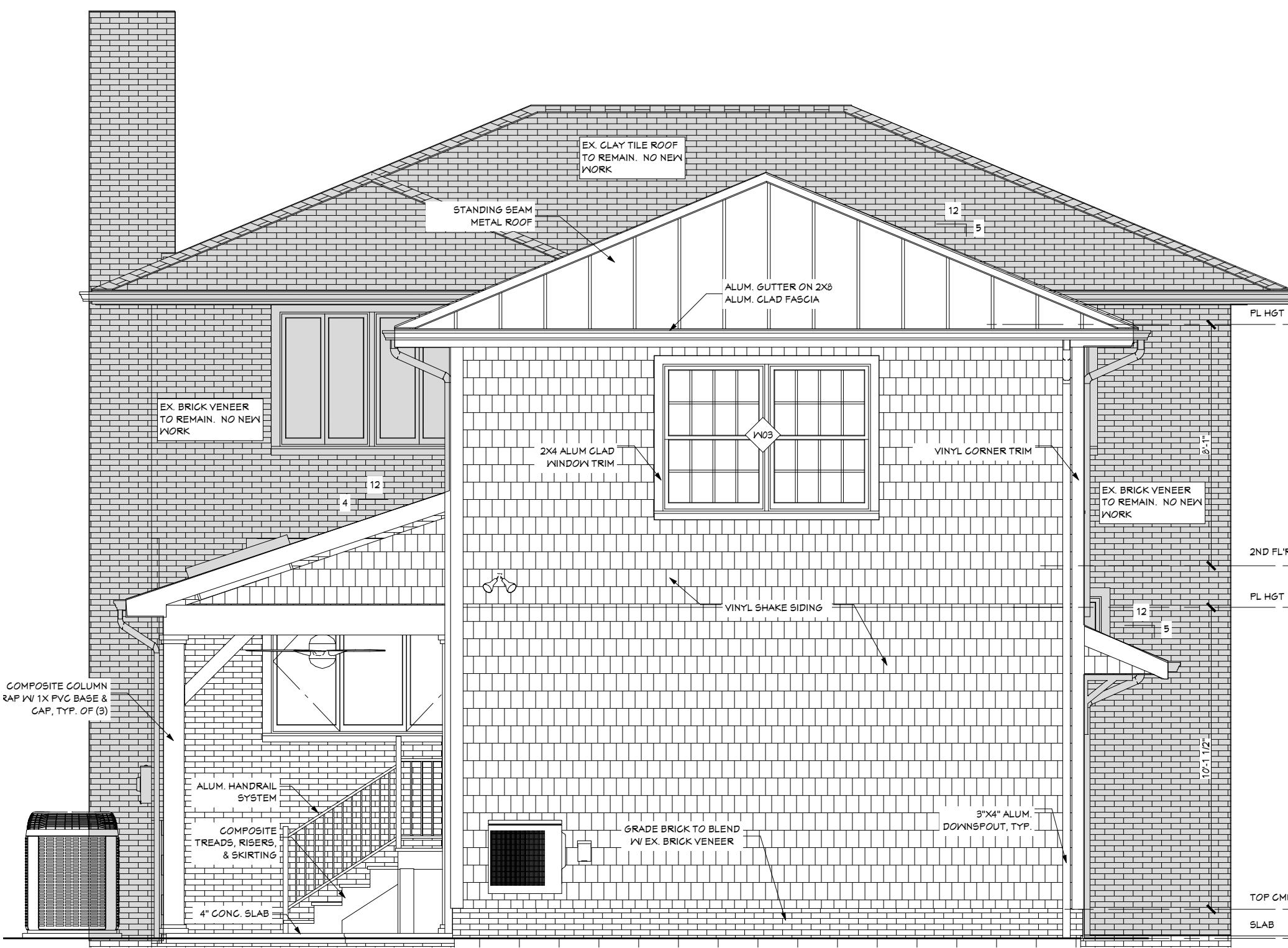
S1 BUILDING SECTION 1/4" = 1'-0"



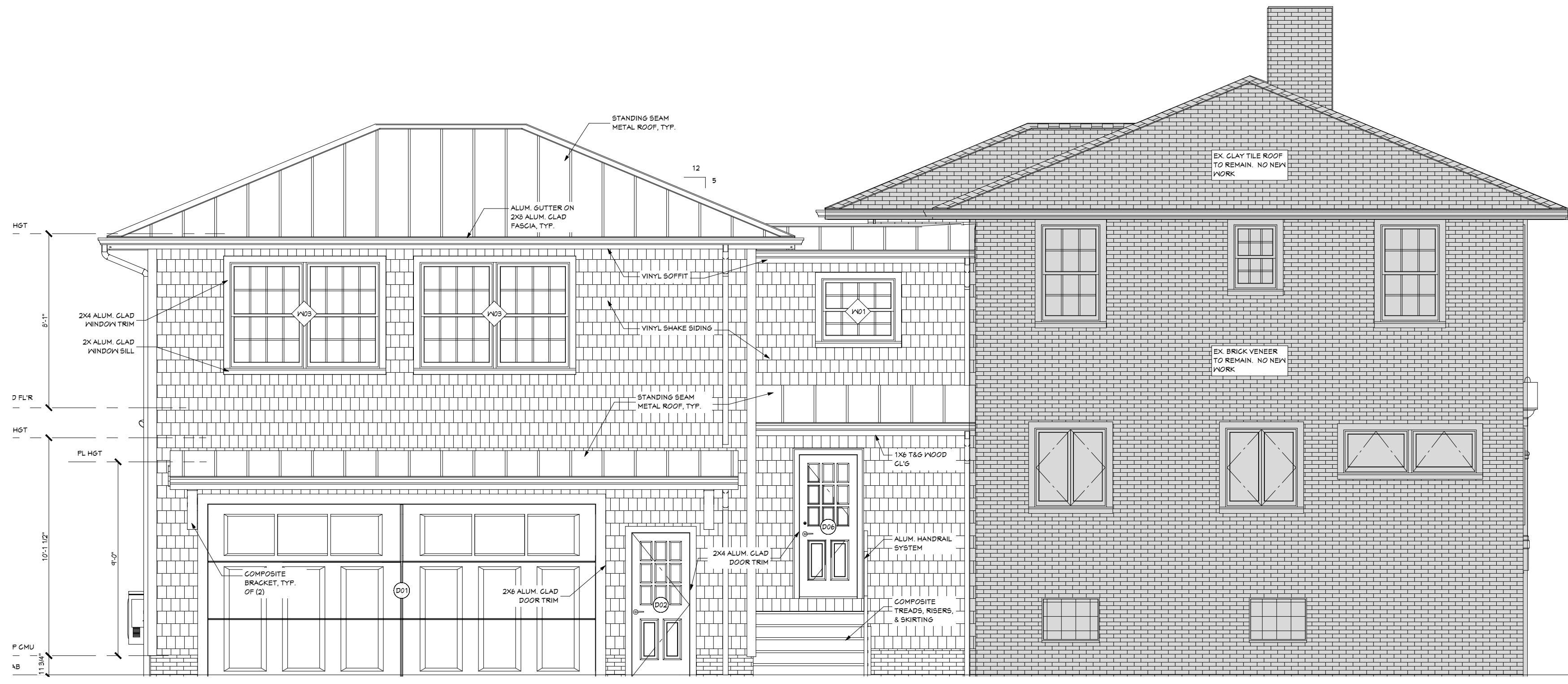
EE3 RIGHT ELEVATION 1/4" = 1'-0"

**General Notes:Siding**

1. House Wrap barrier under new siding material to be installed. Tape and seal joints.
2. Install complete siding system with flashing and best practices to protect the exterior envelope from weather.
3. Install all channels and trim required for a complete installation.



EE2 REAR ELEVATION 1/4" = 1'-0"



EE1 LEFT ELEVATION 1/4" = 1'-0"

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**Hurst** 440  
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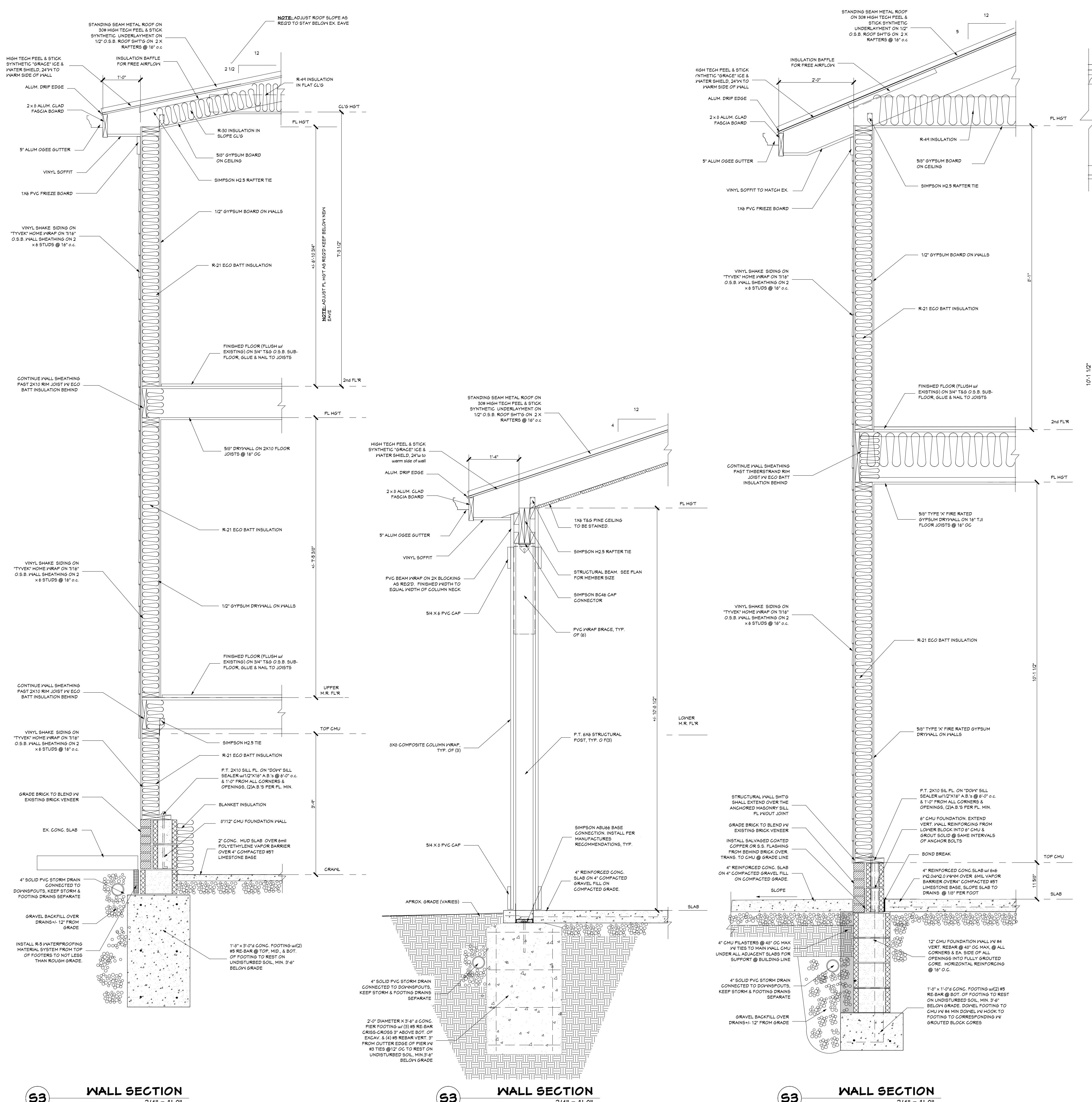
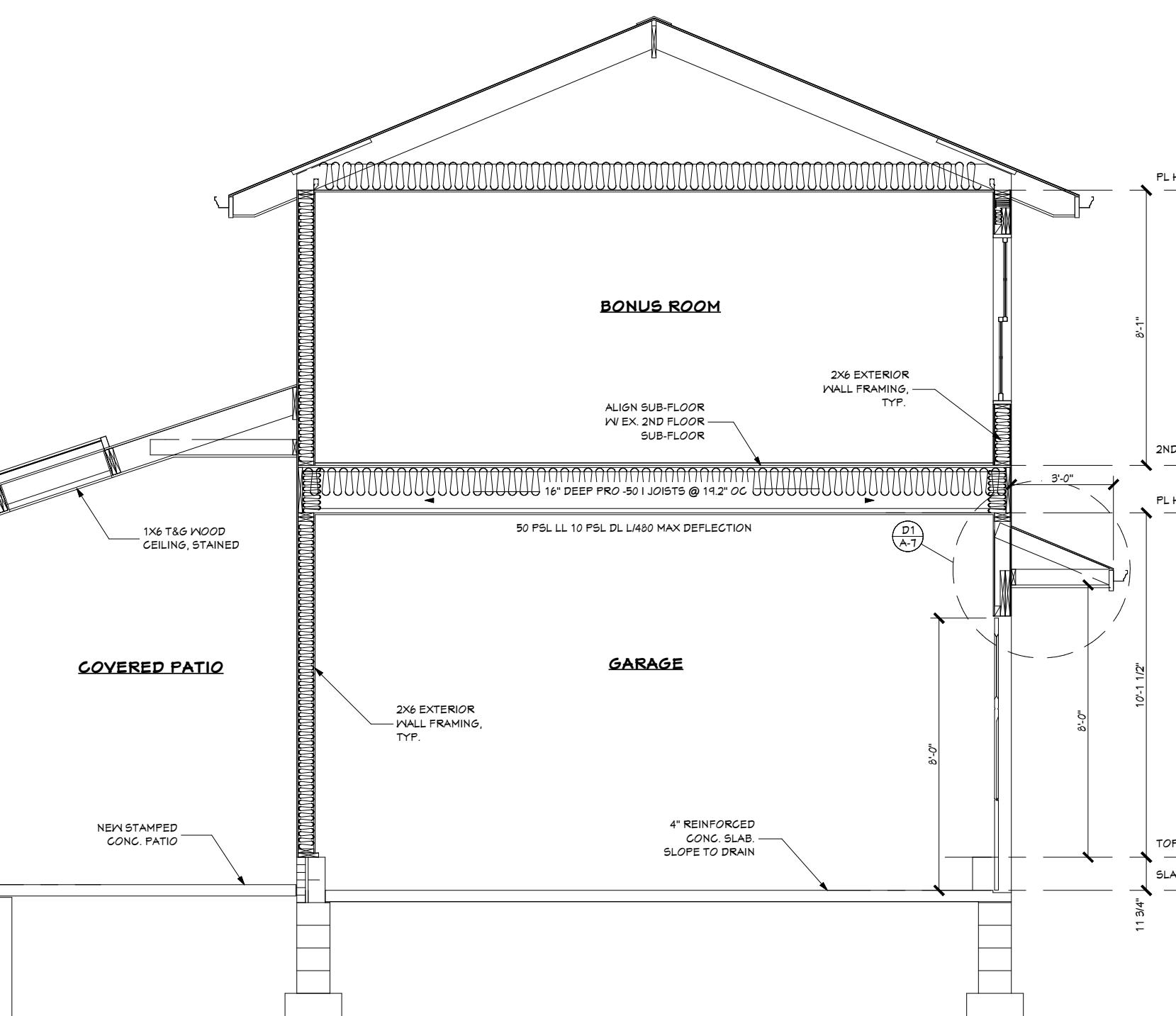
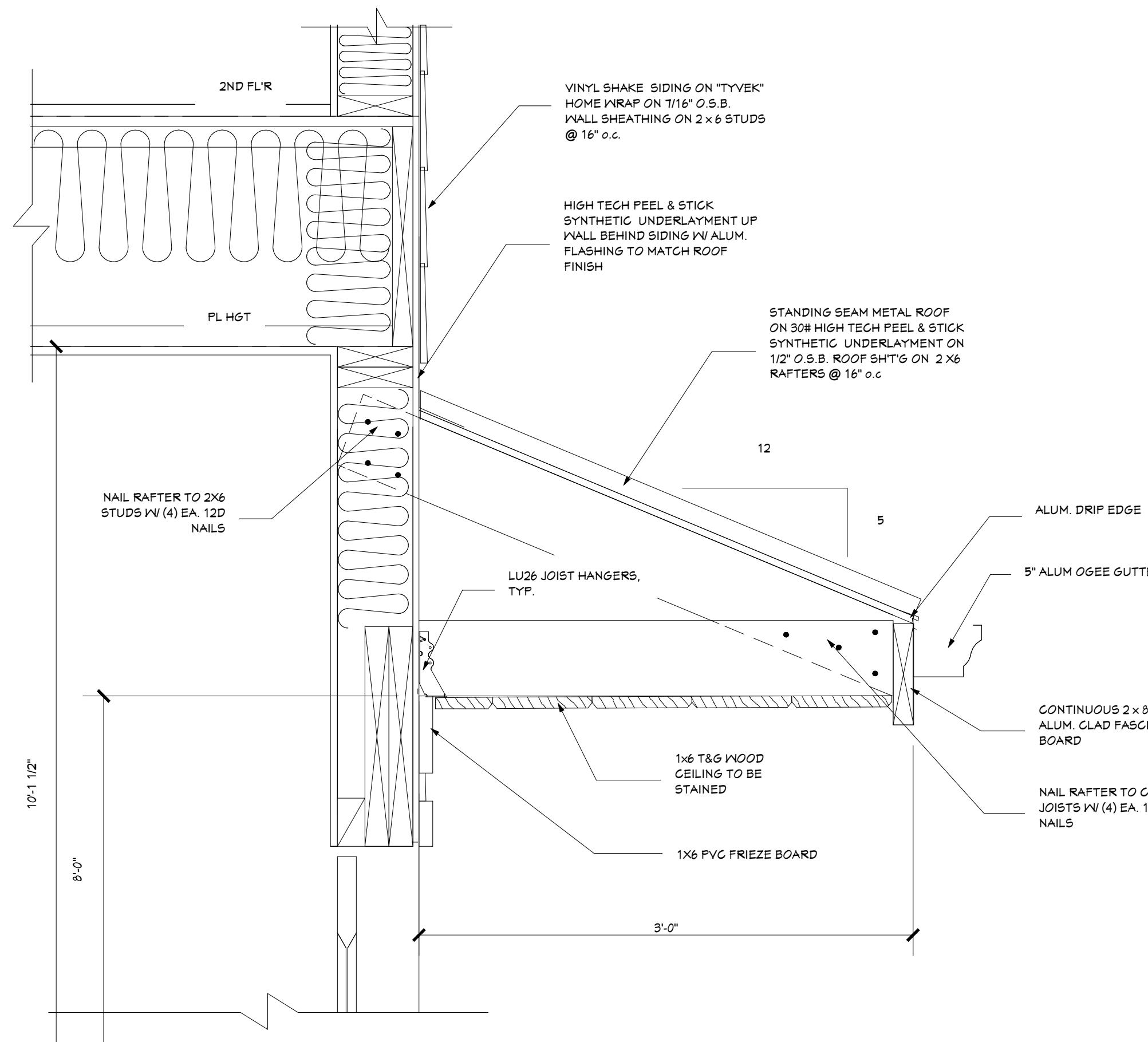
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**A-7**



# WALL SECTION

## WALL SECTION

## WALL SECTION

# **BUILDING SECTION**

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# DIETER RESIDENCE

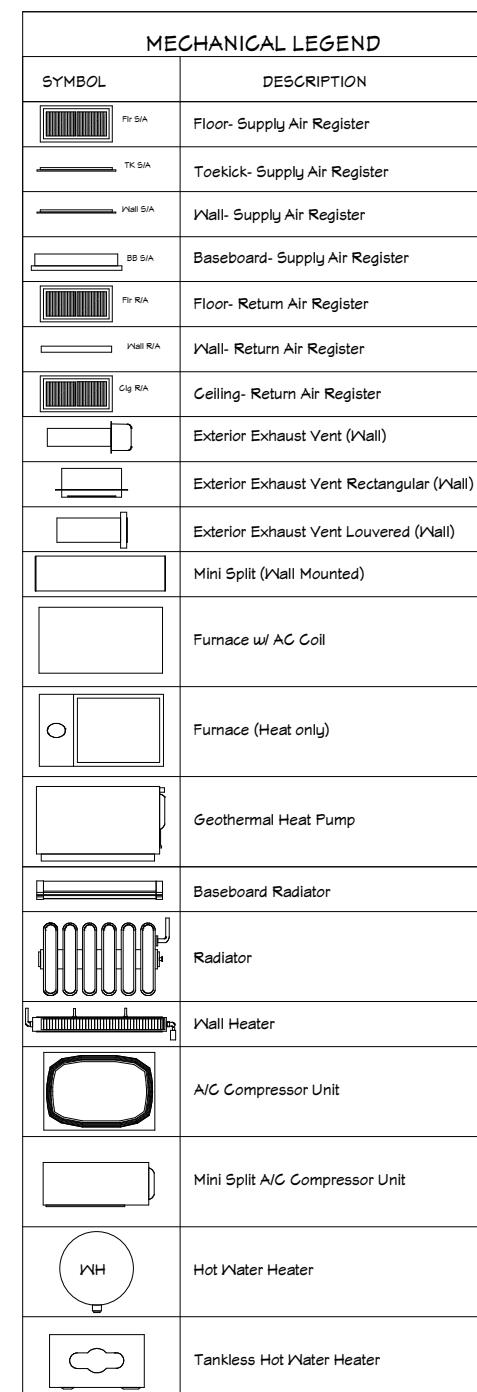
Andrew and Danya Dieter  
270 Argyle Road  
Rocky River, OH 44116

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Design-Bu  
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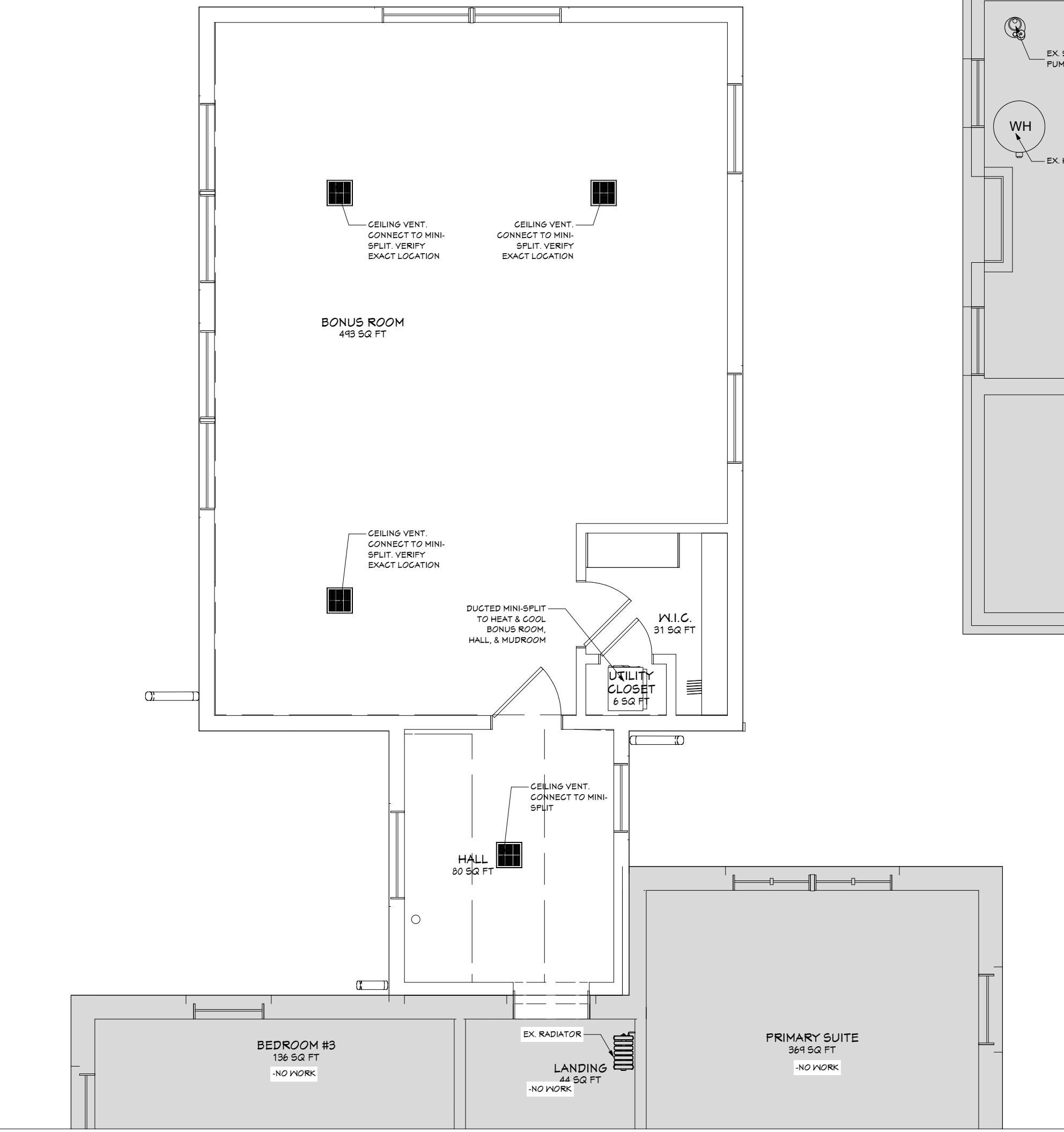
**A-8**

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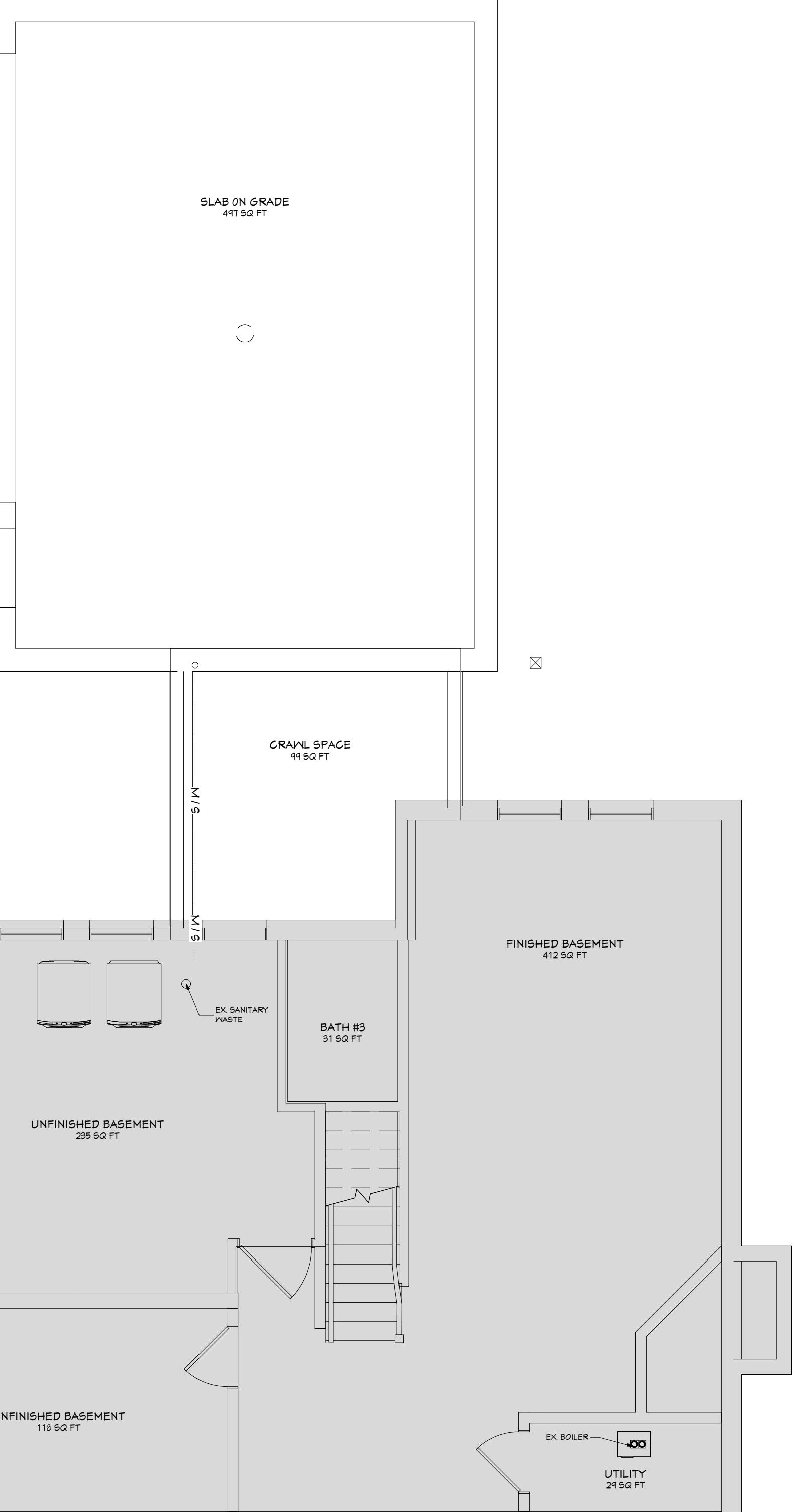
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**SECOND FLOOR MECHANICAL PLAN**  
1/4" = 1'-0"



## BASEMENT MECHANICAL PLAN



## General Notes: Ventilation

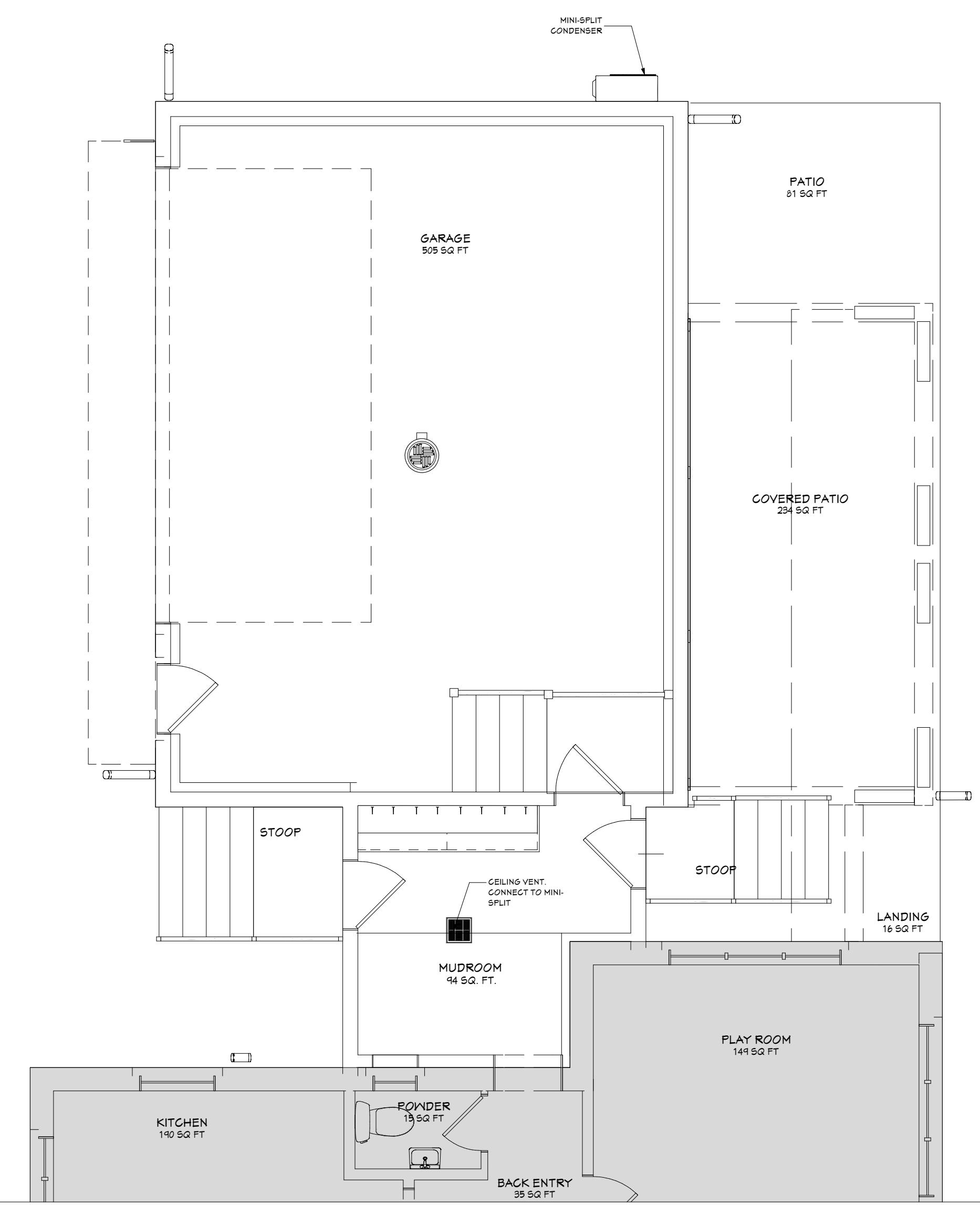
1. Install ventilation duct system to accommodate the project appliances and ventilation needs.
  2. All duct locations and termination points will be determined and located at the installer's discretion to best accommodate the needs of the project.

## General Notes: Mechanical

- Install new ductwork to accommodate the addition/alteration.
  - Tie the new ductwork into the new/existing furnace duct system.

## General Notes:Plumbing

- 1 Plumbing shall be a fully operational system of hot and cold water. Provide and install all piping, soil, vents, drains, sewage removal and water supply systems to connect with appropriate water and sewage systems. All permits and inspections are to be obtained by the plumbing trade contractor as required by local building codes and the Uniform Plumbing Code.
  - 2 Drainage system shall be Schedule 40 PVC pipe. All connections shall have PVC cement or appropriate joint compound and assembled tight for no leakage. Tie new or altered lines into the existing drainage system.
  - 3 Install new Copper or PEX supply lines for each new fixture and tie into the existing lines. The type of water supply lines used will be determined by the plumber at time of install. The supply lines will be 1/2" or 3/4" in diameter depending on fixture requirements.
  - 4 Install PVC traps, shut off valves and escutcheons at each fixture.



# RST FLOOR MECHANICAL PLAN

1/4" = 1'40" = 1'-0"

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Job #	Print Date
25287-T2	12/18/2025
Design Info	
Design Phase	D# Date
Contract	# 12.14.25
Designer	trg
Revision	# Date
	# ##.##.##
	# ##.##.##

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SHEET NO.  
A-9

General Notes: Electrical		
1. All new electrical work specified will comply with all applicable building codes, local, and National Electrical Codes (NEC), utility requirements, and building restrictions.		
2. All new smoke detectors will be hard-wired and interconnected to a dedicated circuit with battery back-up.		

ELECTRICAL - DATA - LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan Light
	Ceiling Mounted Light Fixtures: Chandelier, Outer provided
	Ceiling Mounted Light Fixtures: Pendant, Outer provided
	Ceiling Mounted Light Fixtures: Surface, Outer provided
	Wall Mounted Light Fixtures: Vanity/lightsource, flush mounted, Outer provided
	Ventilation Fan, Fan/light, Fan/light/heat, Ceiling mounted
	Recessed Light Fixtures: 6" round or square
	Recessed Light Fixtures: 6" w/ moisture lens
	Recessed Light Fixtures: 4"
	Recessed Light Fixtures: 4" w/ moisture lens
	Cabinet Light Fixtures: In-cabinet
	Cabinet Light Fixtures: Under cabinet
	Fluorescent Light Fixtures
	Ceiling Mounted Light Exterior Fixtures: Surface, Outer provided
	Wall Mounted Light Fixtures: Exterior Lantern, Rush mounted, Outer provided
	110V Receptacles: Duplex
	110V Receptacles: Split-wired circuit
	110V Receptacles: GFCI
	110V Receptacles: Island, GFCI
	110V Receptacles: Refrigerator/Freezer Dedicated Circuit
	110V Receptacles: Dishwasher, Dedicated Circuit
	110V Receptacles: Microwave, Dedicated Circuit
	110V Receptacles: Hood Vent, Dedicated Circuit
	110V Receptacles: Garbage Disposal, Dedicated Circuit
	220V Receptacles: Electric Range, Dedicated Circuit
	220V Receptacles: Garbage Disposal, Dedicated Circuit
	220V Receptacles: Oven, Dedicated Circuit
	220V Receptacles: Washer, Dedicated Circuit
	220V Receptacles: Dryer, Dedicated Circuit
	110V Receptacles: Duplex, Ceiling mounted
	110V Receptacles: Duplex, Floor mounted
	110V Receptacles: Junction Box
	110V Receptacles: Blank/Dead Face
	Switches: Single Pole
	Switches: 3-Way
	Switches: 4-Way
	Switches: Dimmer
	Switches: Garbage Disposal, Air Switch
	Switches: Under Counter-in-Cabinet
	Switches: Fan Dimmer
	Switches: Weather Proof
	Wall Jacks: TV/Cable
	Network Jack
	Electrical Breaker Panel
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Thermostat
	Door Chime/Door Bell
	Low Voltage Transformer

