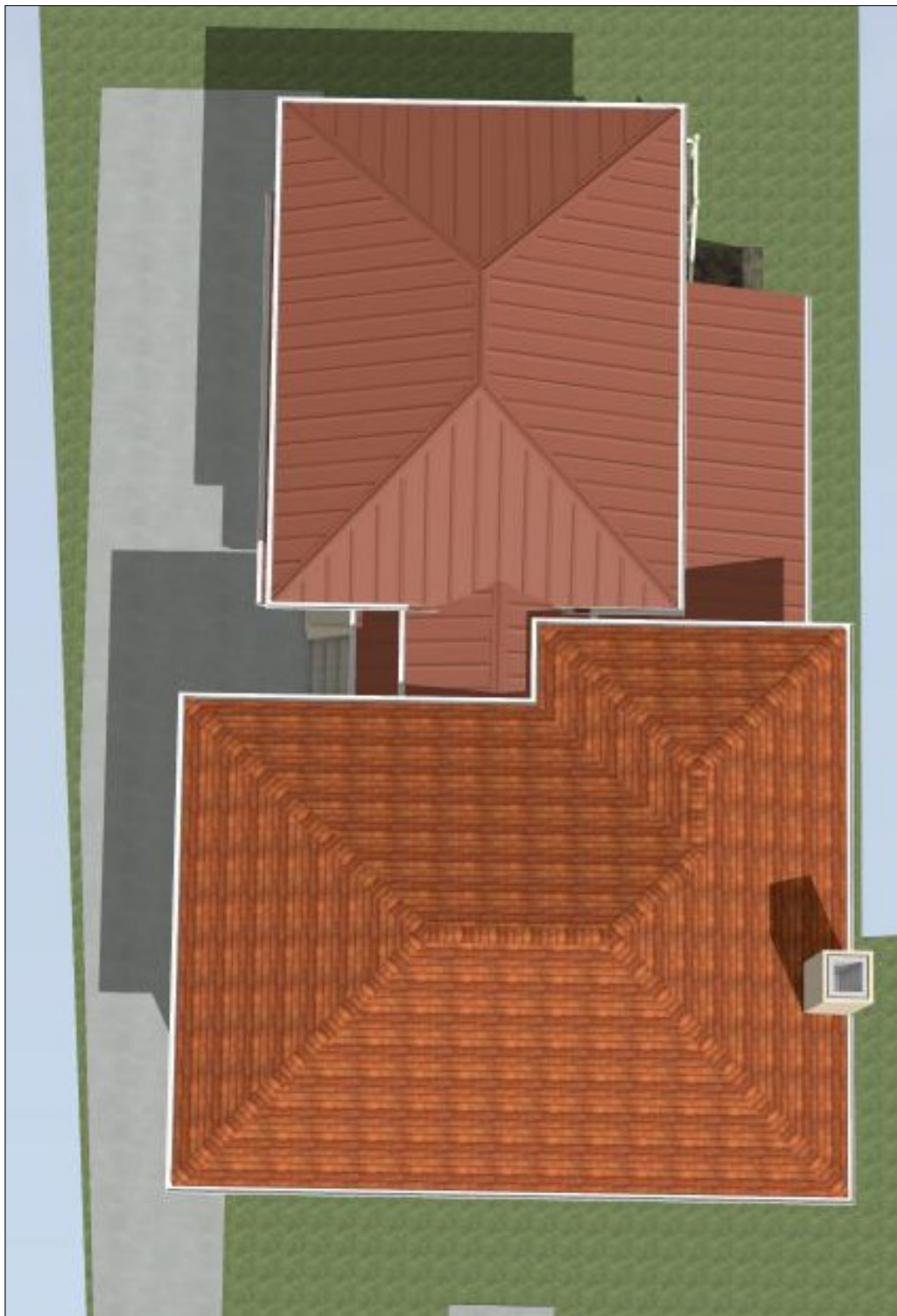


DIETER RESIDENCE



General Notes

- All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
- All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
- All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
- The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
- The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.
- The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
- Hurst Design Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
- Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
- The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

Structural Notes

Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for diaphragm. Inner brim/jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).

All bearing headers shall be minimum double 2 x 10's with 12" material between, glued and nailed, unless indicated otherwise on drawings.

Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Ceiling joists and flat roof joists shall be cross bridged at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanently.

Rafters shall be doubled at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.

All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.

Connections shall be in accordance with the applicable building code as a minimum.

MATERIAL DESIGN STRESSES (Minimum)

Framing Member	Fb(psi)	Fv(psi)	Fc(psi)	E(psi)
SAWN LUMBER				
Wood beams & headers	1000	130	1000	1,400,000
Wood joists	1000	130	1000	1,400,000
Wood studs/misc. framing	875	110	1000	1,400,000
Micro-lam (LVL)	3100	285	2510	2,100,000

See Drawings for special conditions and/or min. structural requirements
Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



BEFORE EXTERIORS

PROPOSED EXTERIORS

PROPOSED INTERIORS

PRESENTATION DRAWINGS
Not to Scale

Common Abbreviations

R/R = Remove & Replace
EX = Existing
TYP = Typical
U.N.G. = Unless noted otherwise

V.I.F. = Verify in field
R.O. = Rough opening
F.F. = Finished floor
L.B.P. = Load bearing point

Design Loads

1. Floor Live Loads:
First Floor: 40 psf
Second Floor: 30 psf
Floor Dead loads: 10 psf

2. Roof Live Loads (snow): 30 psf
Roof/Ceiling Dead loads: 12 psf
Total Roof Loads: 42 psf

Square Footage

First Floor Addition = 120 sq. ft.
Second Floor Addition = 644 sq. ft.
Garage Addition = 546 sq. ft.
Covered Patio Addition = 331 sq. ft.
Lot Coverage = 24%

Project Description

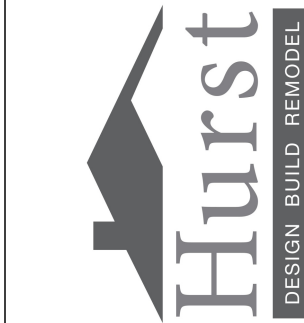
The Project Scope includes the demolition of the existing garage, deck, and breezeway structures. Build a new 2 plus garage with bonus room above. Create a mud room space between the existing home and the new garage. Add an covered patio to the right side of the garage (rear of home). Connection to the bonus room will be from the existing rear door @ the stair landing with a hall with additional storage. The multi-purpose bonus room will have a walk-in closet. Finishes will complement the existing brick veneer & clay roof tiles of the home.

Drawing Index

- A-1 Index, Notes, and Perspectives
- A-2 Arch. & GIS Site Plan, Vicinity Map
- A-3 Ex/Demo Plans
- A-4 Foundation, First, & Second Floor Plans
- A-5 Roof Plan, Enlarged Plan & Interior Elevations, Door & Window Schedules
- A-6 Exterior Elevations & Building Section
- A-7 Building & Wall Sections & Detail
- A-8 Plumbing & Mechanical Plans
- A-9 Electrical Plans

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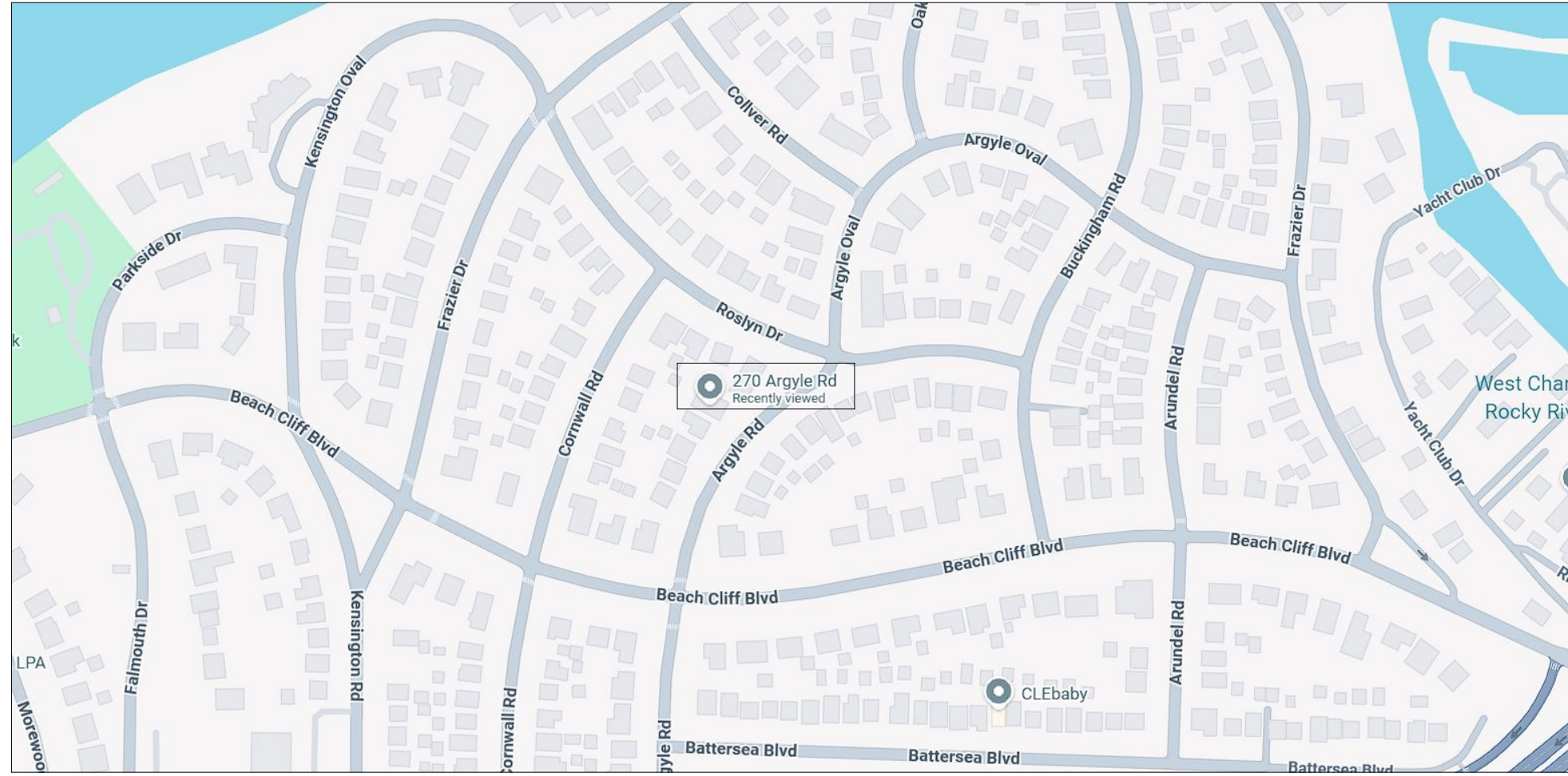
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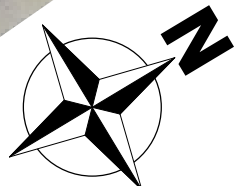
SHEET NO.

A-1

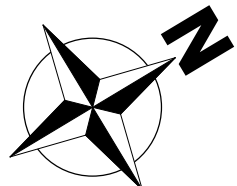
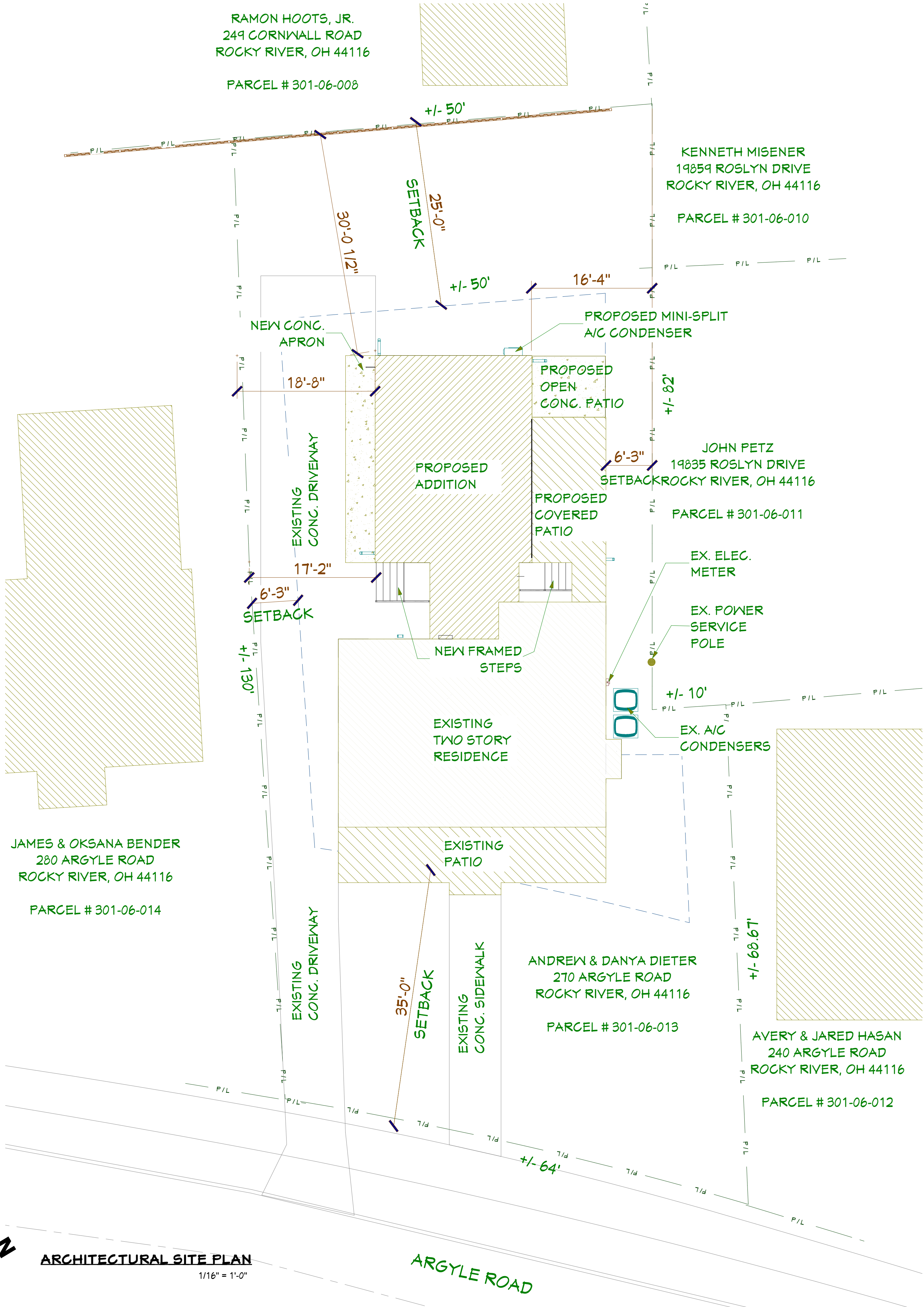
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Date:	Date:



VICINITY MAP
NOT TO SCALE



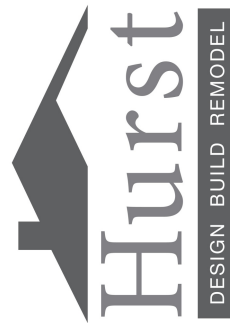
GIS SITE PLAN
NOT TO SCALE



ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

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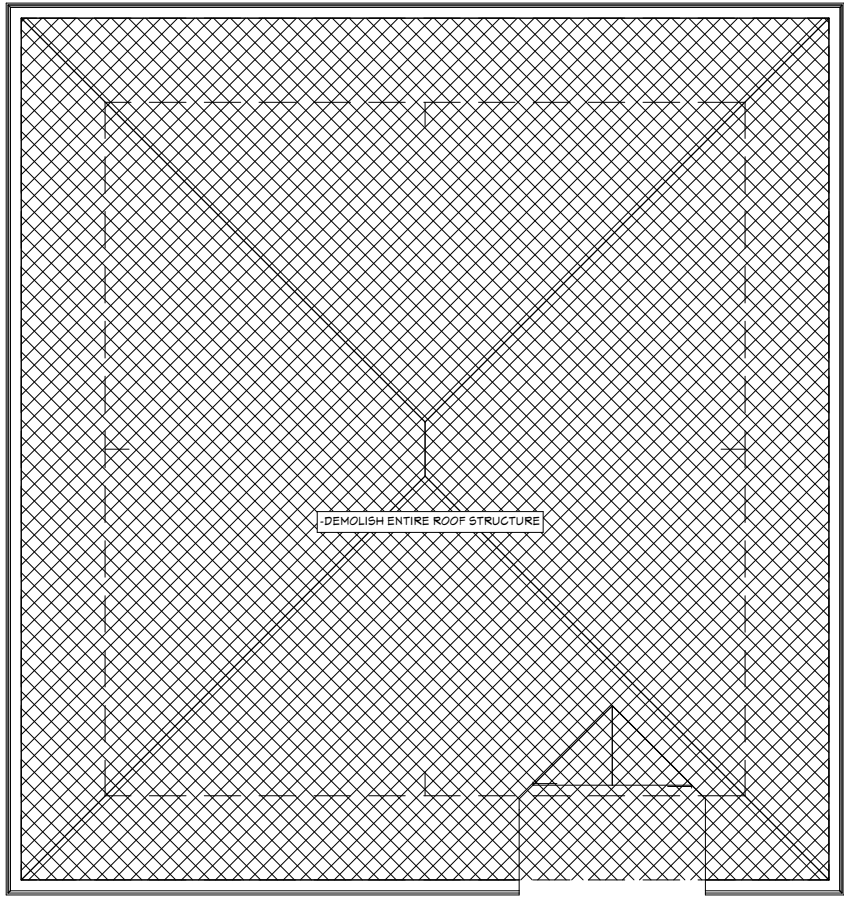


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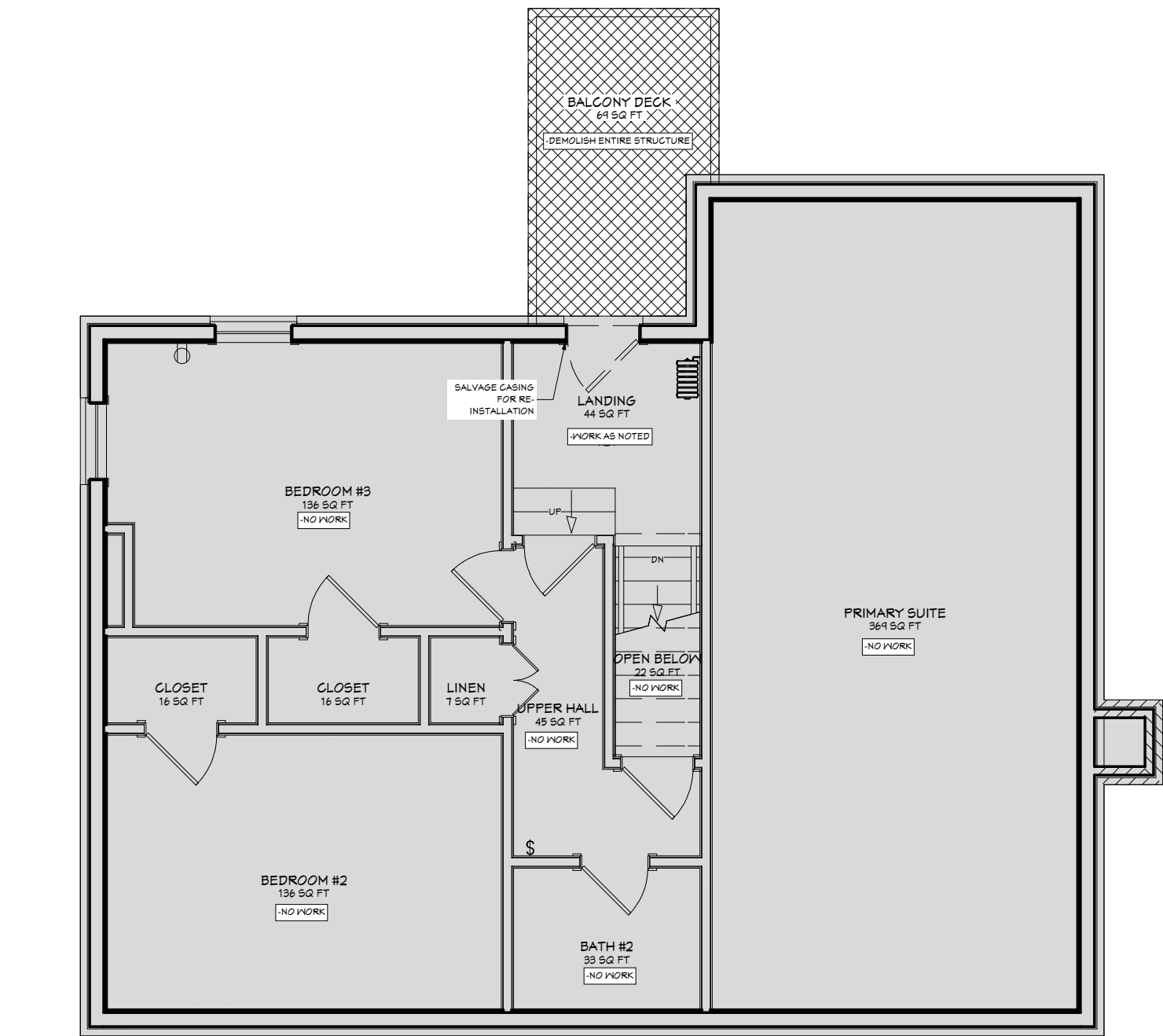
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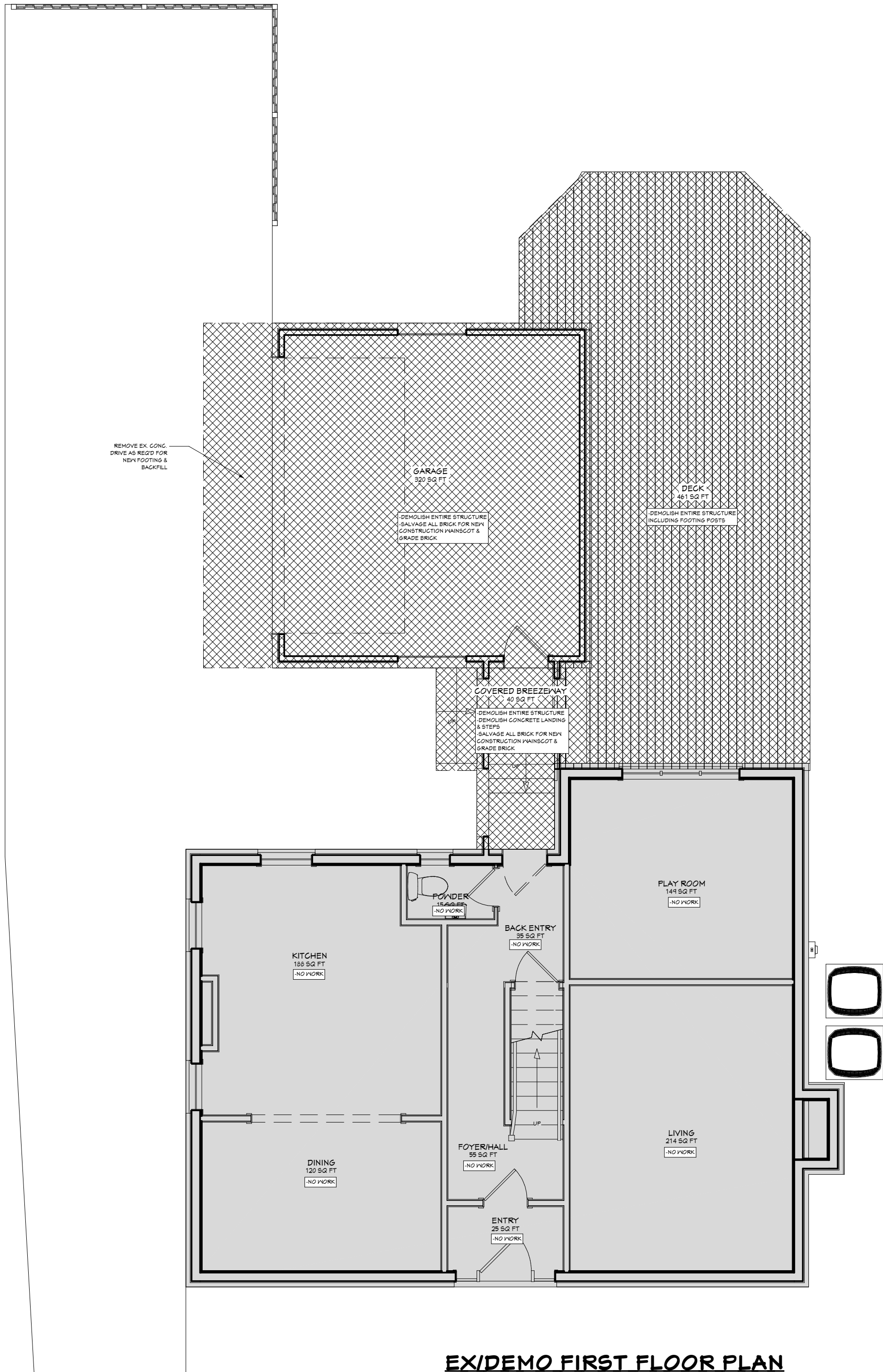
A-2



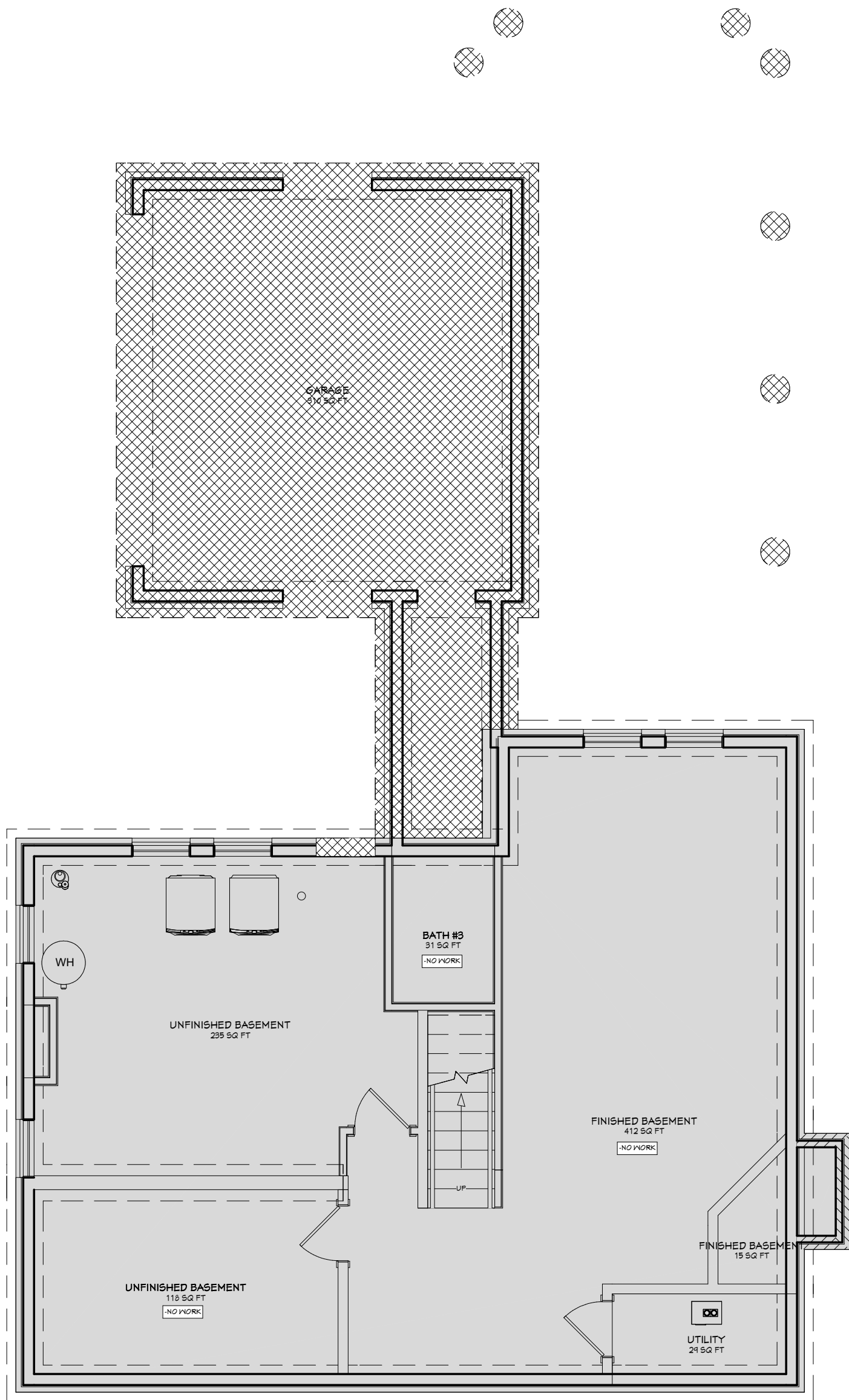
EX/DEMO ROOF PLAN
3/16" = 1'-0"



EX/DEMO SECOND FLOOR PLAN
3/16" = 1'-0"



EX/DEMO FIRST FLOOR PLAN
3/16" = 1'-0"



EX/DEMO FOUNDATION/BASMENT PLAN
3/16" = 1'-0"

WALL LEGEND	
---	Object to be demolished
XXXX	Wall to be demolished
---	Existing interior wall to remain
---	Existing exterior wall to remain
///	New 2x4 interior wall
///	New 2x4 exterior wall
---	Existing foundation wall w/ brick to remain
---	New CMU foundation w/ brick veneer
---	Existing poured concrete foundation wall
---	New poured concrete foundation wall
□ □ □	New handrail

General Notes: Demolition		
1. Contractor to perform selective demolition and remove items within a specified area.		
2. Contractor to demo existing concrete drive as req'd for new foundation & footings.		
3. Contractor to protect all existing exterior finishes, windows, & doors to remain.		
4. Carefully hand demo intersecting walls & materials adjacent to materials that are to remain to not damage existing construction.		

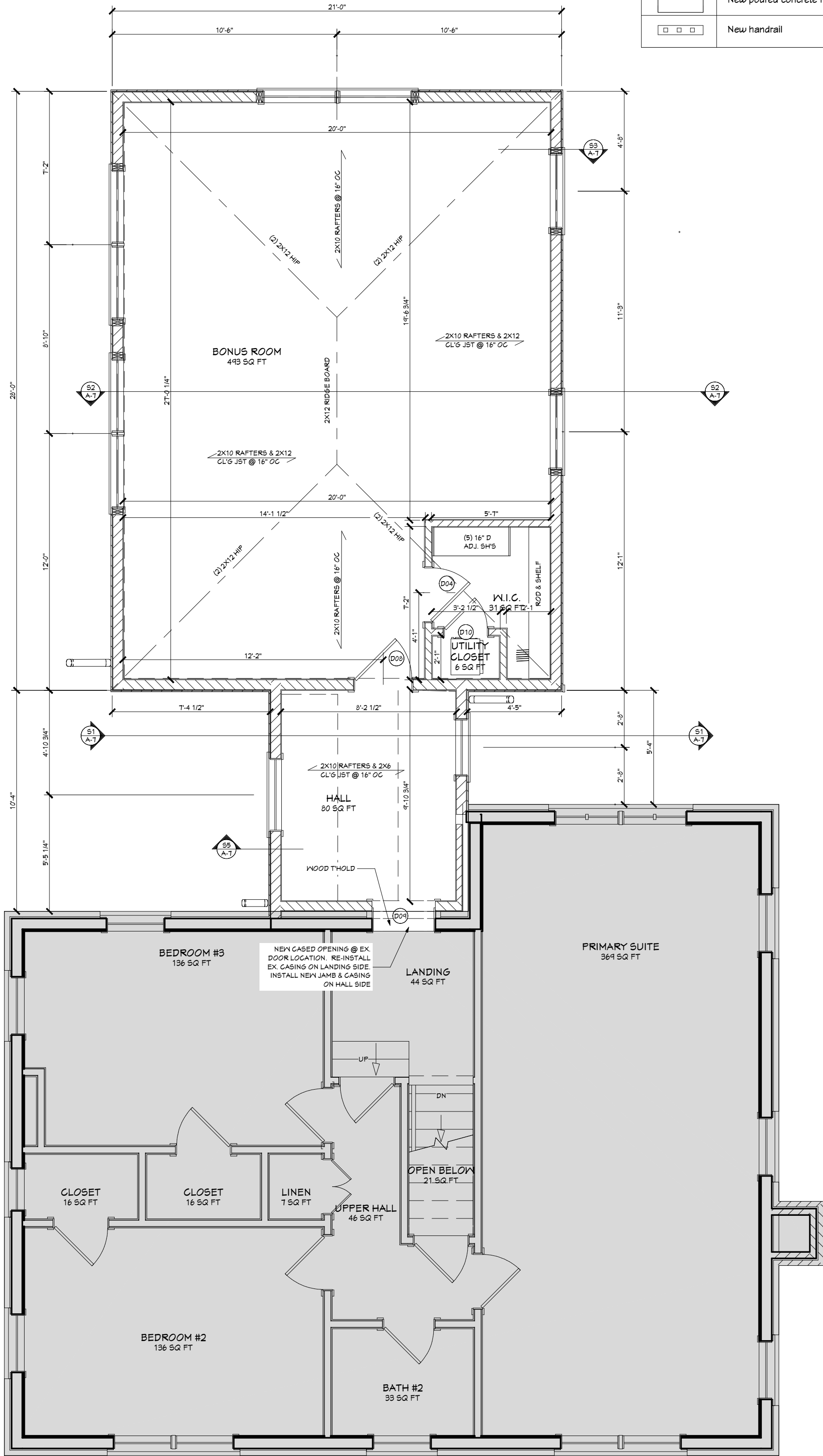
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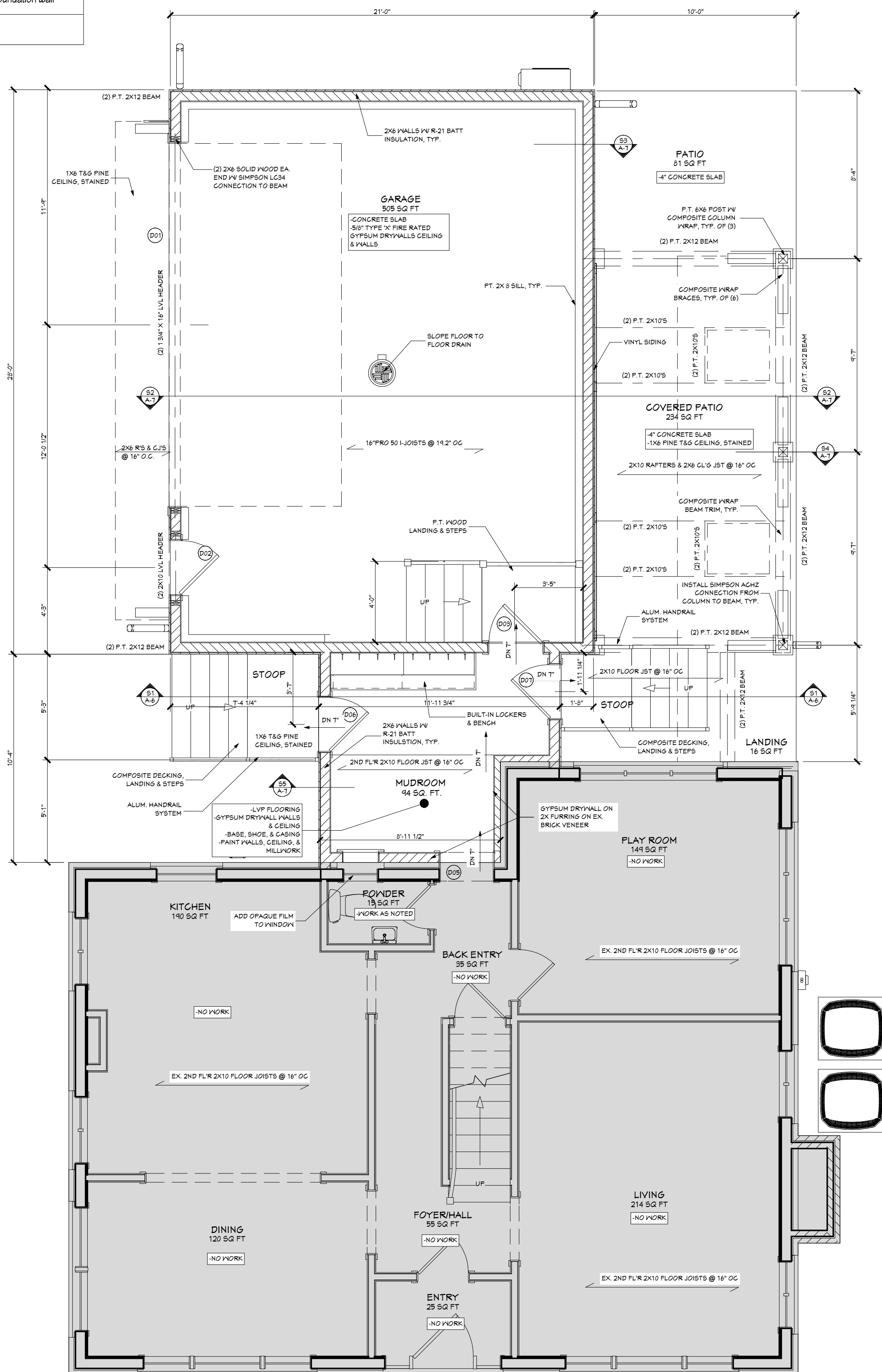
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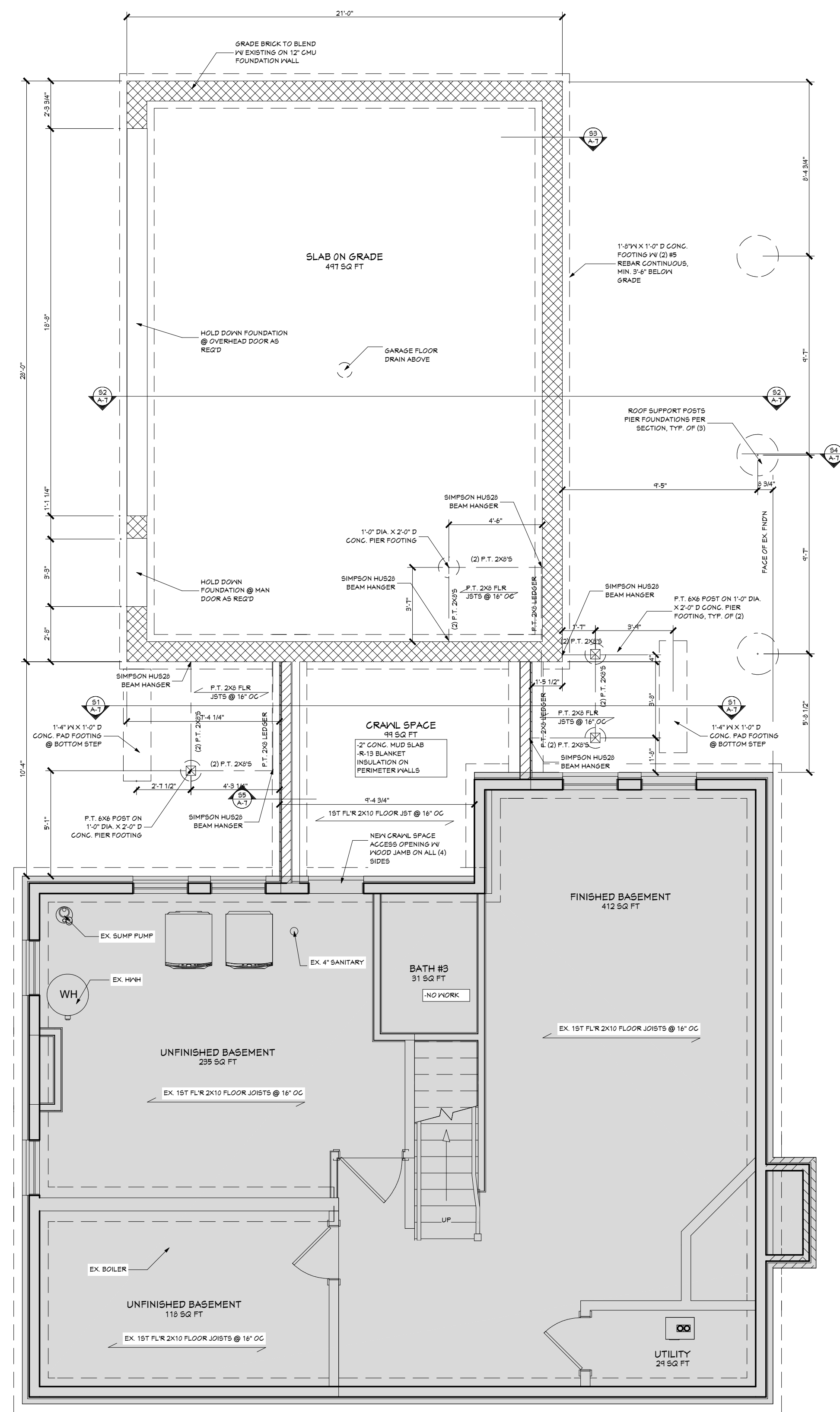
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SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



FOUNDATION/BASEMENT PLAN
1/4" = 1'-0"

WALL LEGEND	
---	Object to be demolished
XXXX	Wall to be demolished
---	Existing interior wall to remain
---	Existing exterior wall to remain
---	New 2x4 interior wall
---	New 2x4 exterior wall
---	Existing exterior wall w/ brick to remain
---	New CMU foundation w/ brick veneer
---	Existing poured concrete foundation wall
---	New poured concrete foundation wall
---	New handrail

General Notes:Framing

- All lumber will be sized and installed according to the design, code requirements, and best practices.
- Perform framing alterations as outlined on the plans.
- Utilize appropriate fasteners and metal connectors.
- All new exterior walls shall be 2x6 studs @ 16" on center.

General Notes:Concrete Foundation

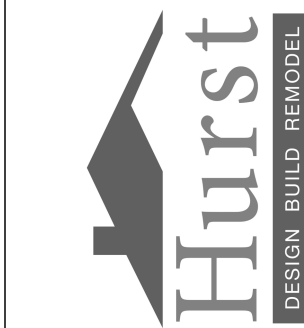
- Center all footings on walls, piers, or columns above unless noted otherwise (UNO).
- All footings shall rest on undisturbed virgin soil with minimum soil bearing allowable of 2500 pcf.
- Provide (2) steel rebar, continuous through wall footers.
- Provide (2) steel rebar @ top, middle, and bottom of pier and column footers.
- Thicken slab to 12" thick within a 1'-0" radius of load-bearing walls and interior or exterior column footings.
- Footers are to be extended down to the existing footer depth at tie in points.

General Notes:Foundation

- The foundation will be constructed of concrete masonry units (CMU).
- Install steel reinforcement and solid cores to accommodate structural and load points.
- The foundation will be parged and damp proofed with a foundation coating from footer to grade.
- Install R-5 polystyrene panels to the exterior of the new foundation wall.

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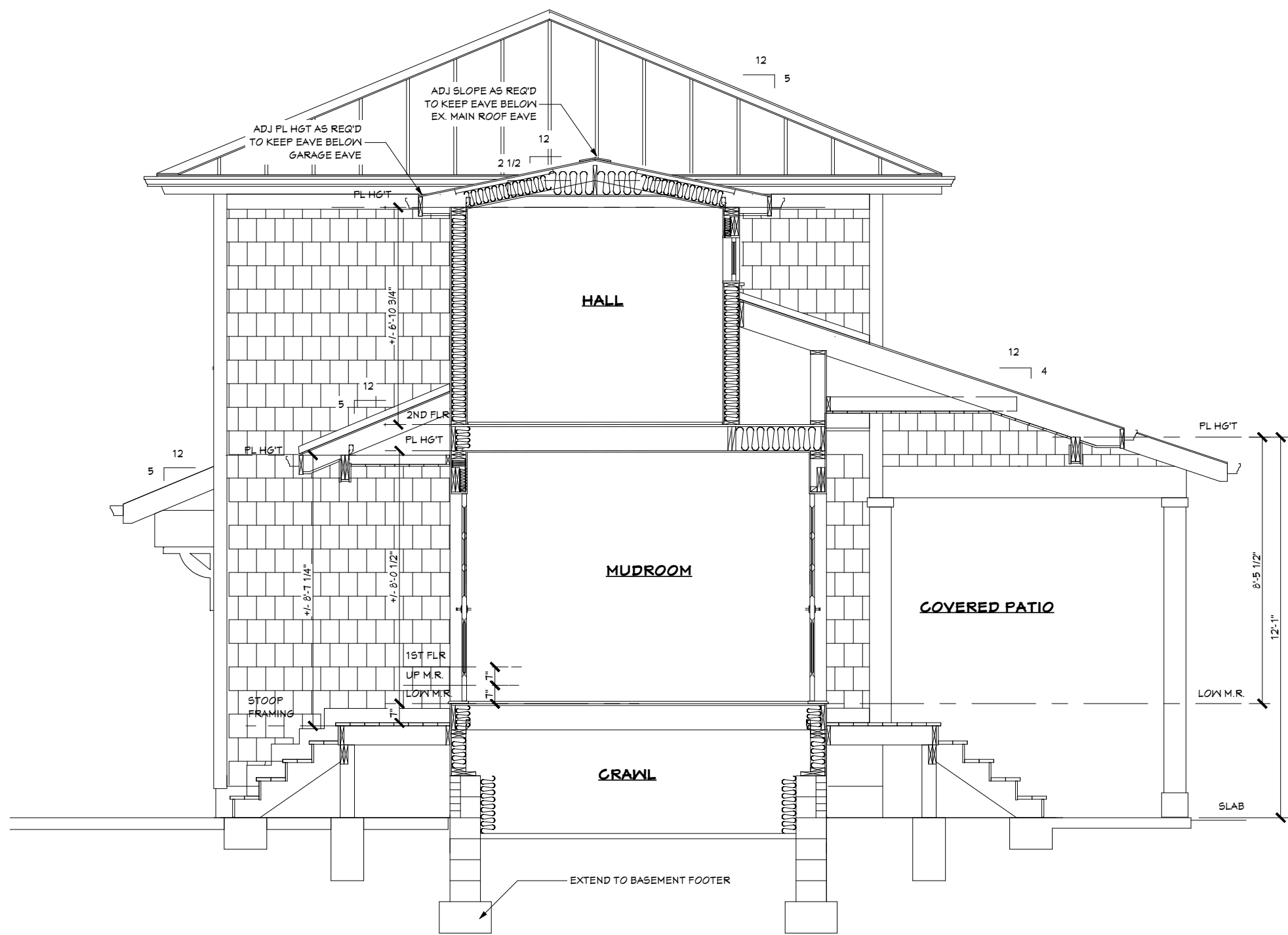


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SHEET NO.

A-4



EE4

LEFT ELEVATION
1/4" = 1'-0"

S1

BUILDING SECTION
1/4" = 1'-0"

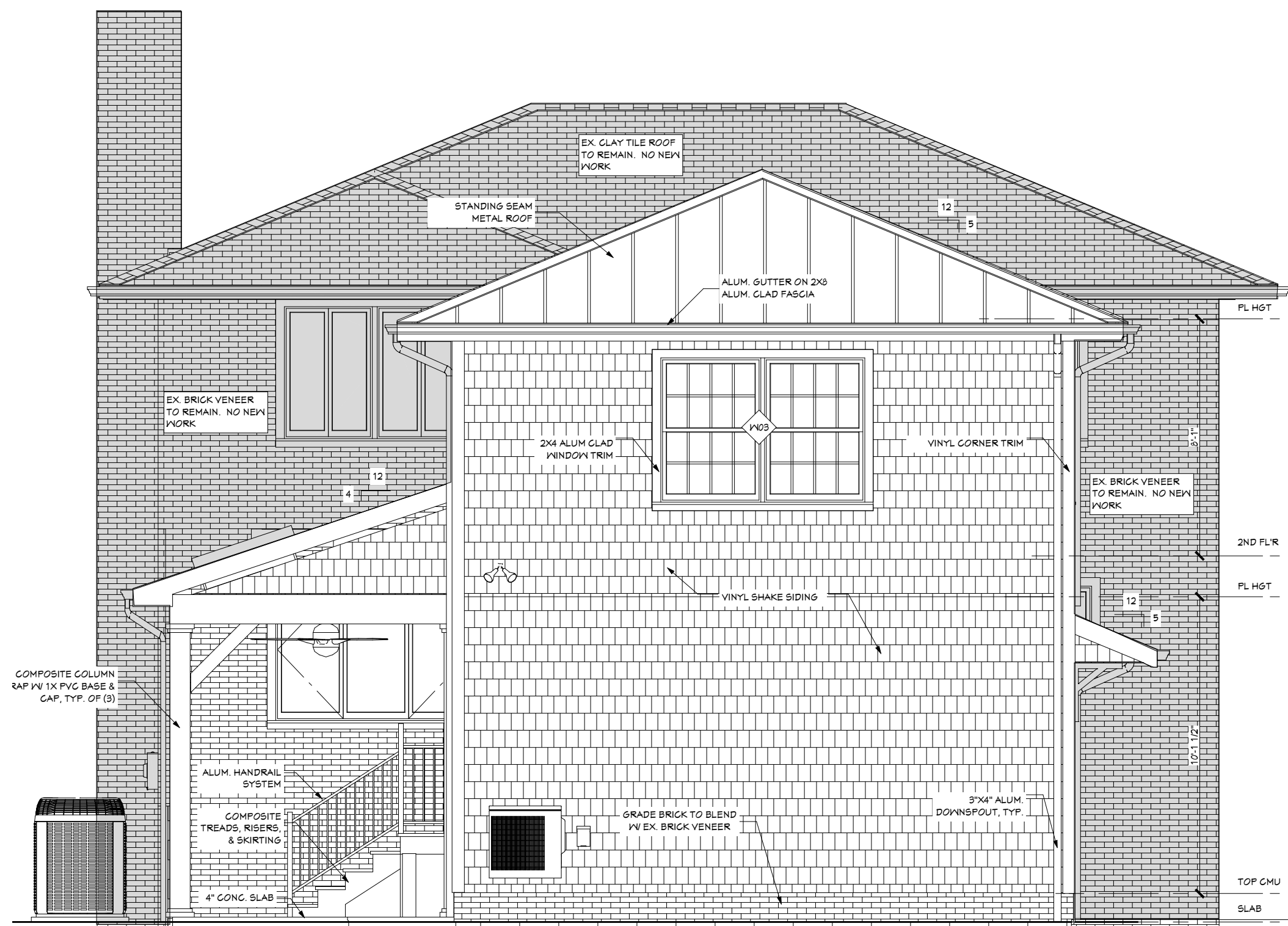
General Notes: Siding

1. House V-trap barrier under new siding material to be installed. Tape and seal joints.
2. Install complete siding system with flashing and best practices to protect the exterior envelope from weather.
3. Install all channels and trim required for a complete installation.



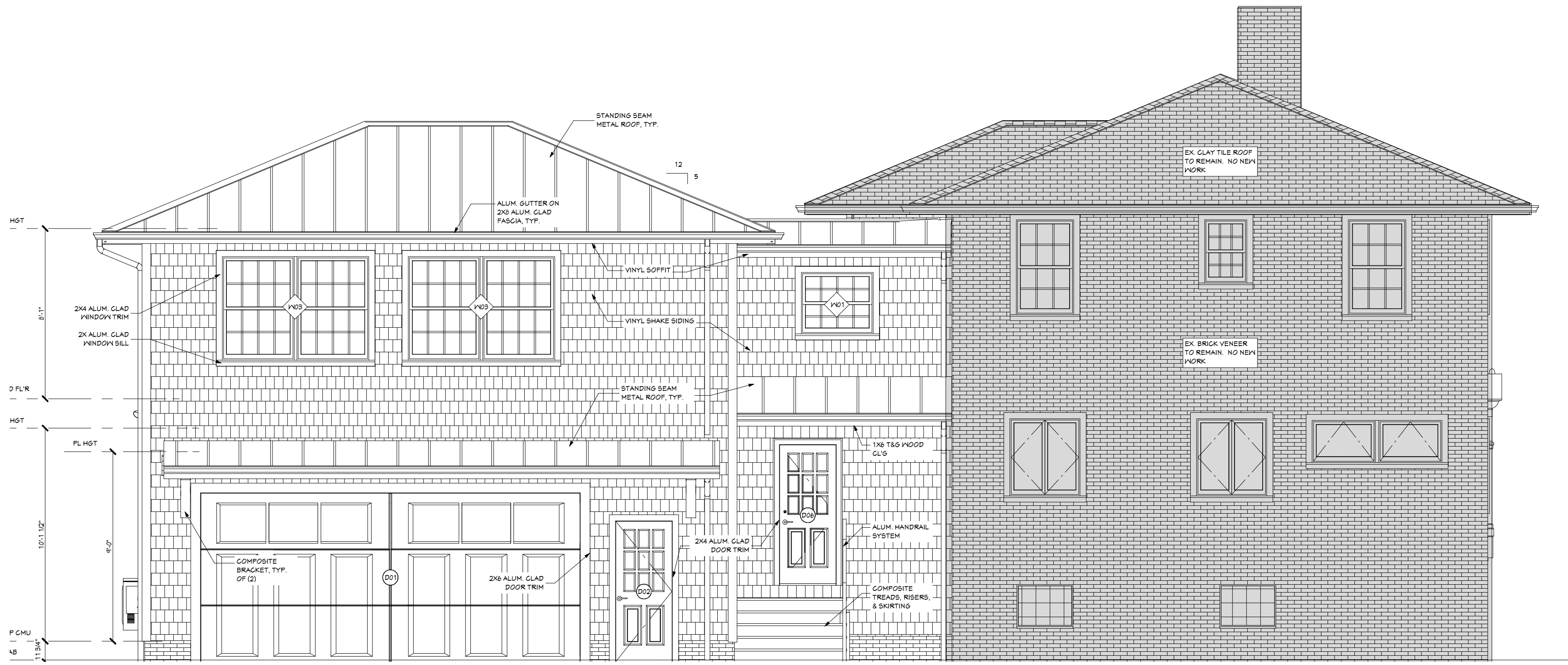
EE3

RIGHT ELEVATION
1/4" = 1'-0"



EE2

REAR ELEVATION
1/4" = 1'-0"

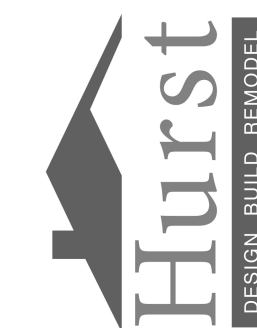


EE1

LEFT ELEVATION
1/4" = 1'-0"

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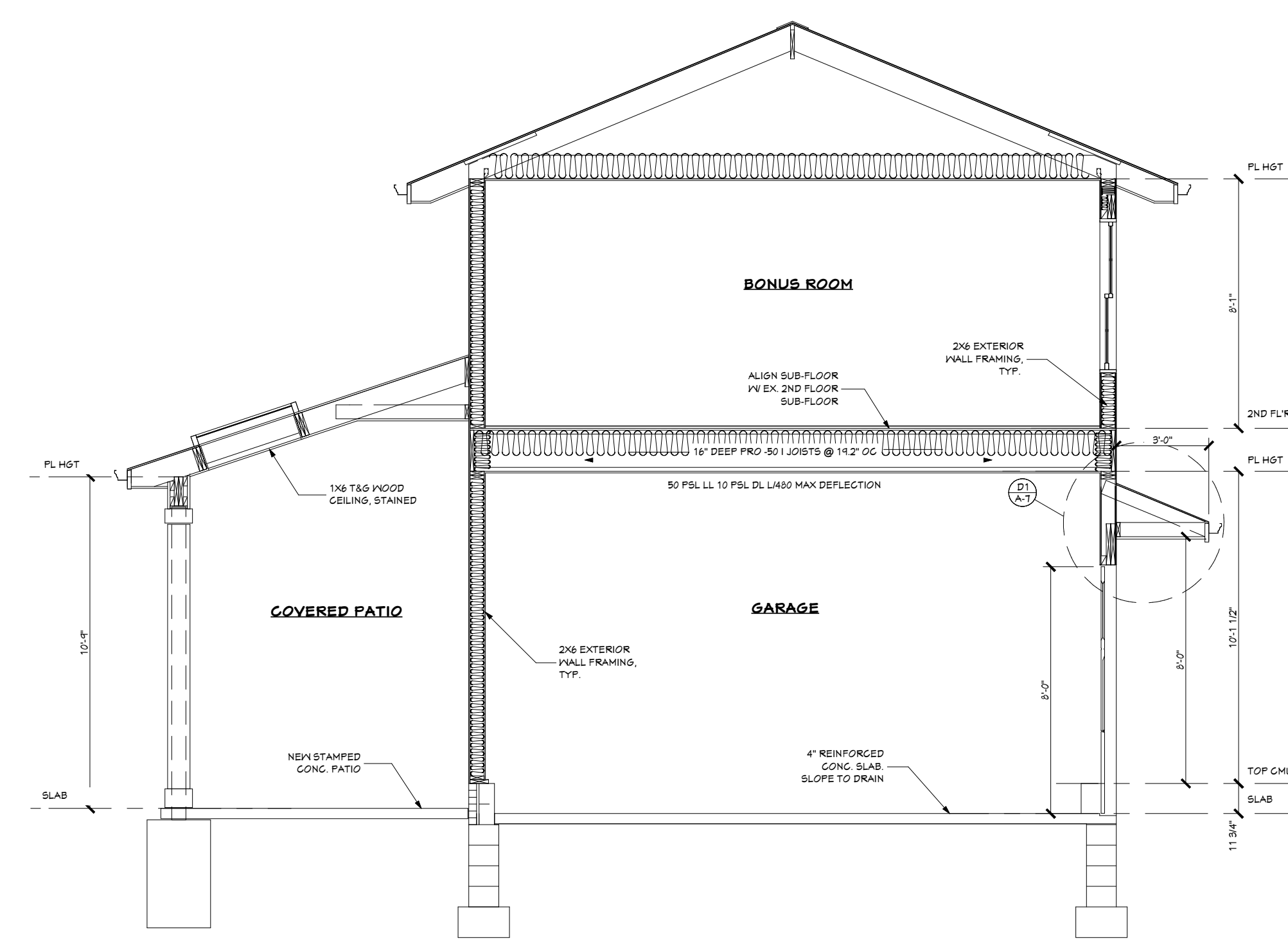
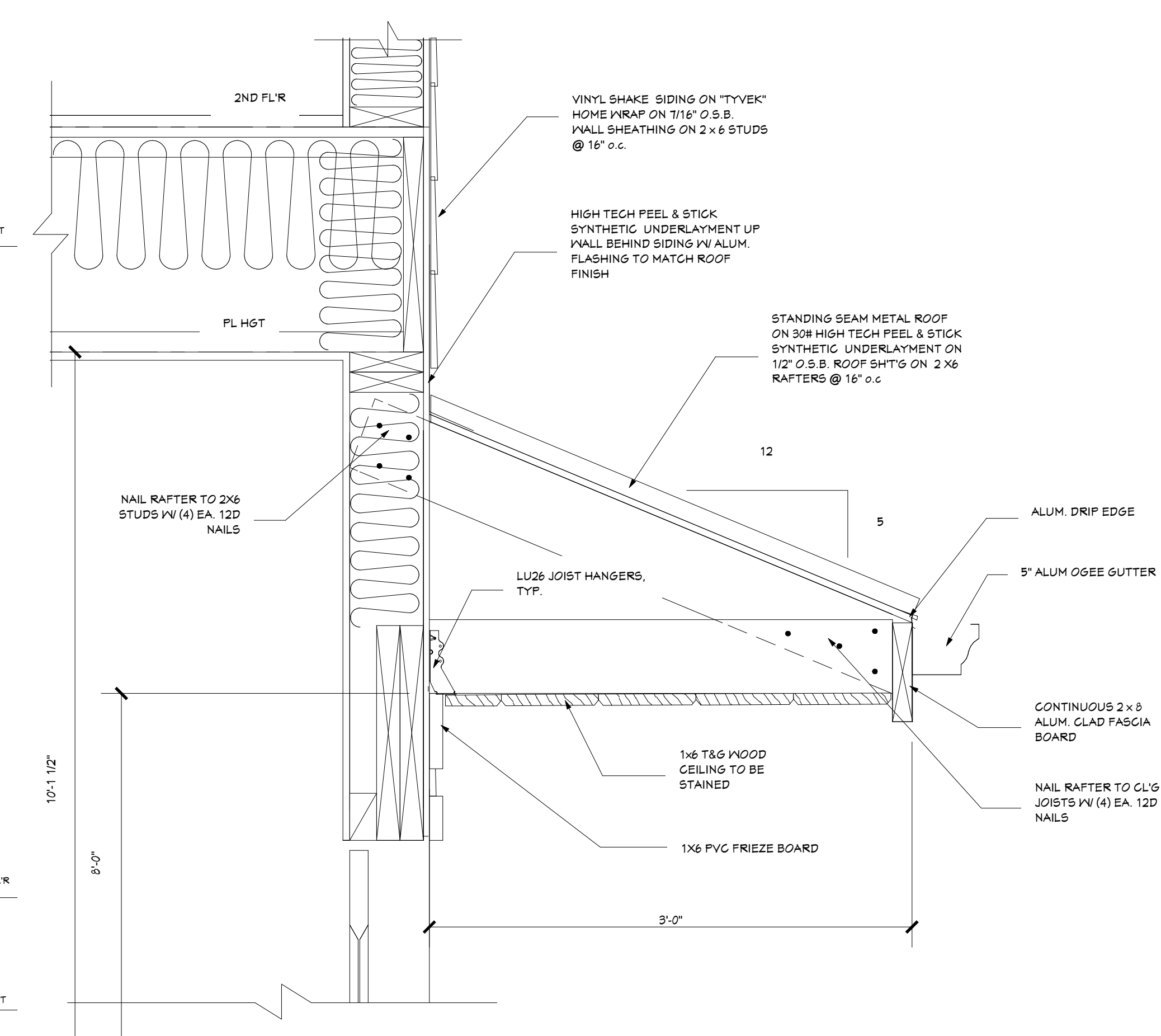
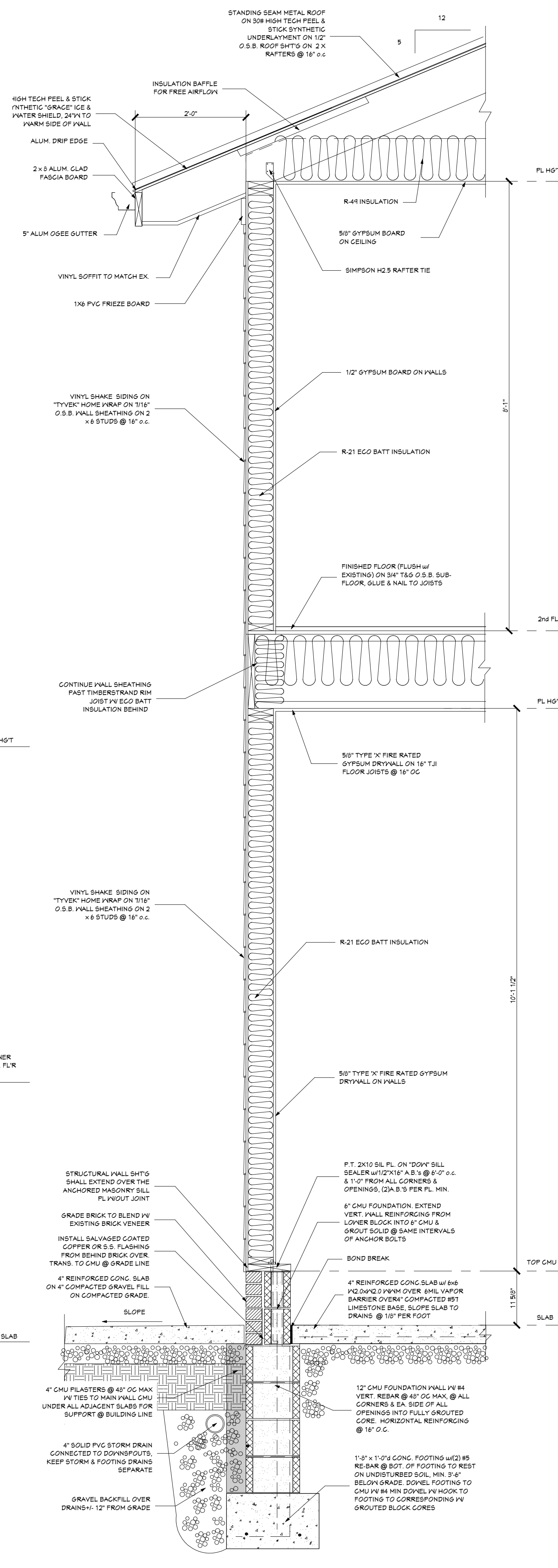
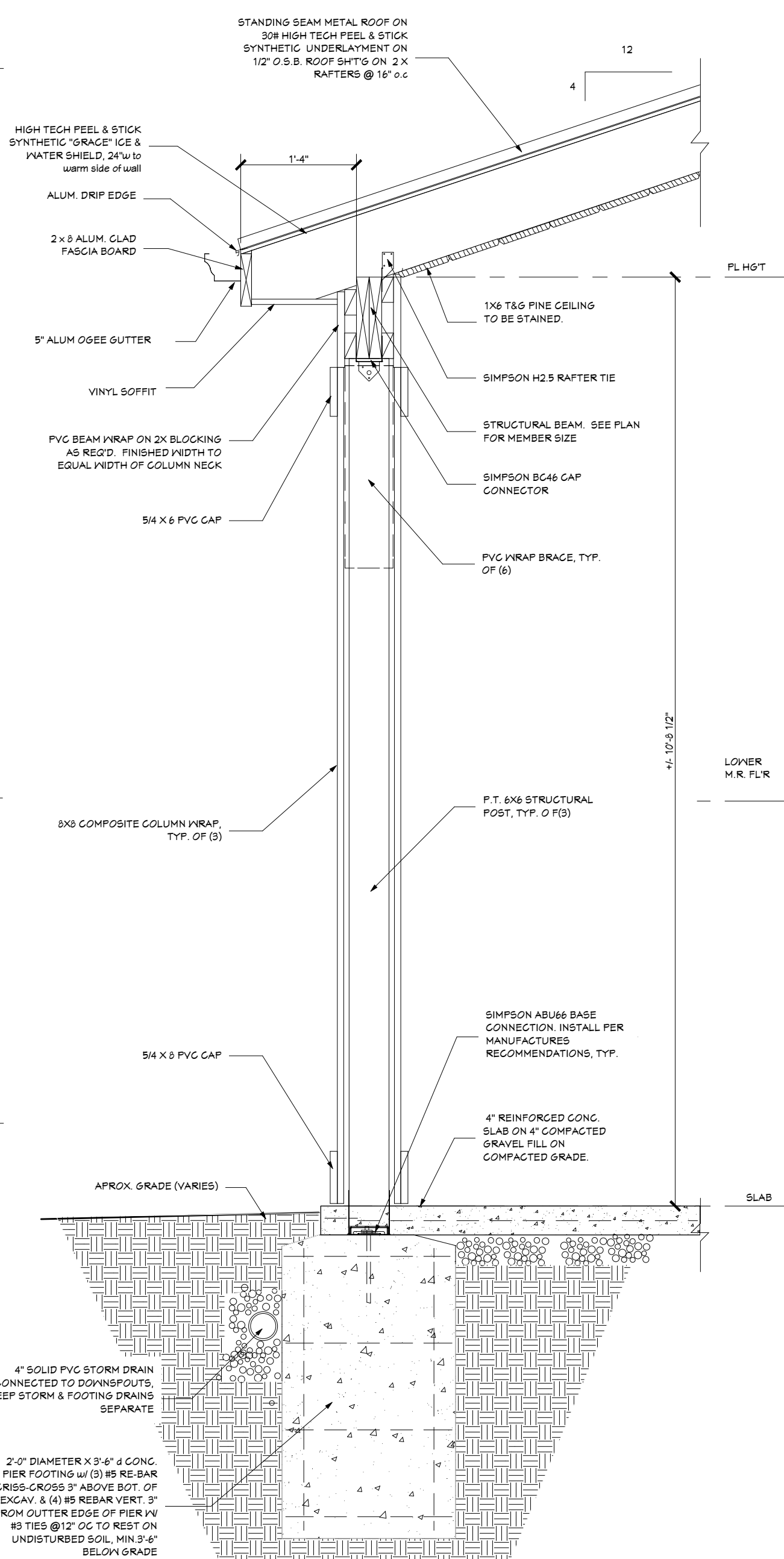
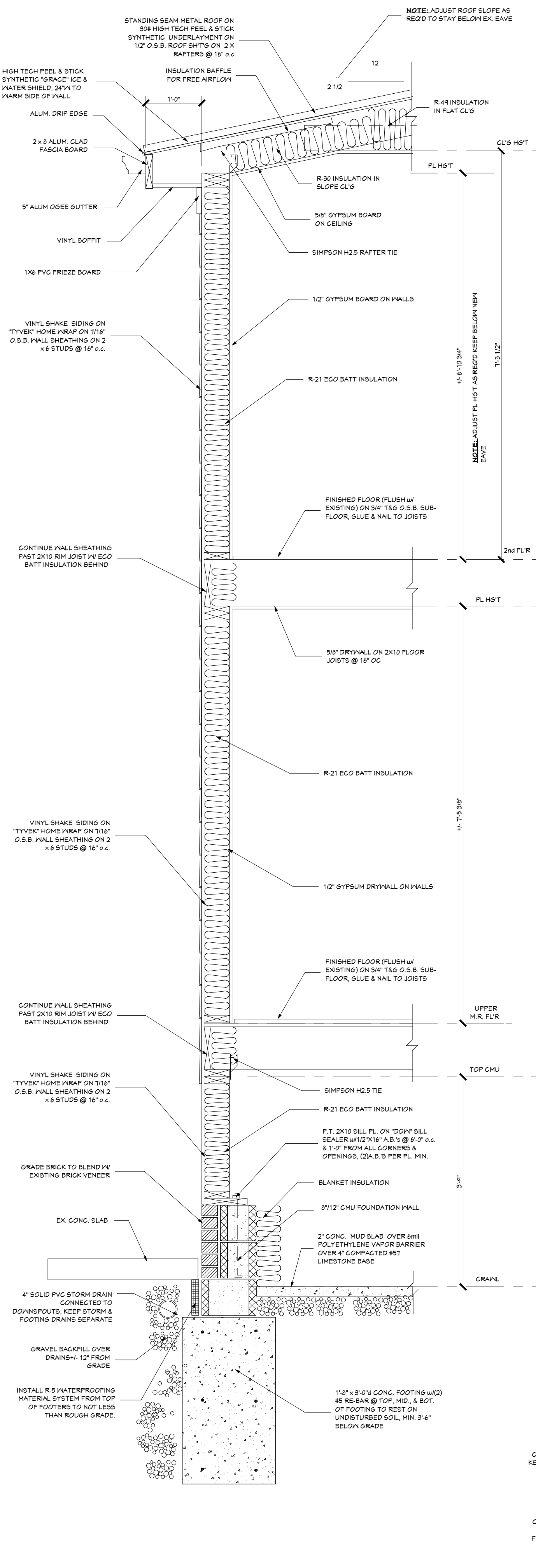
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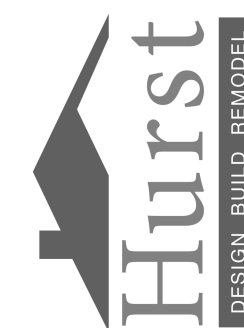
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A-6



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Design Info		
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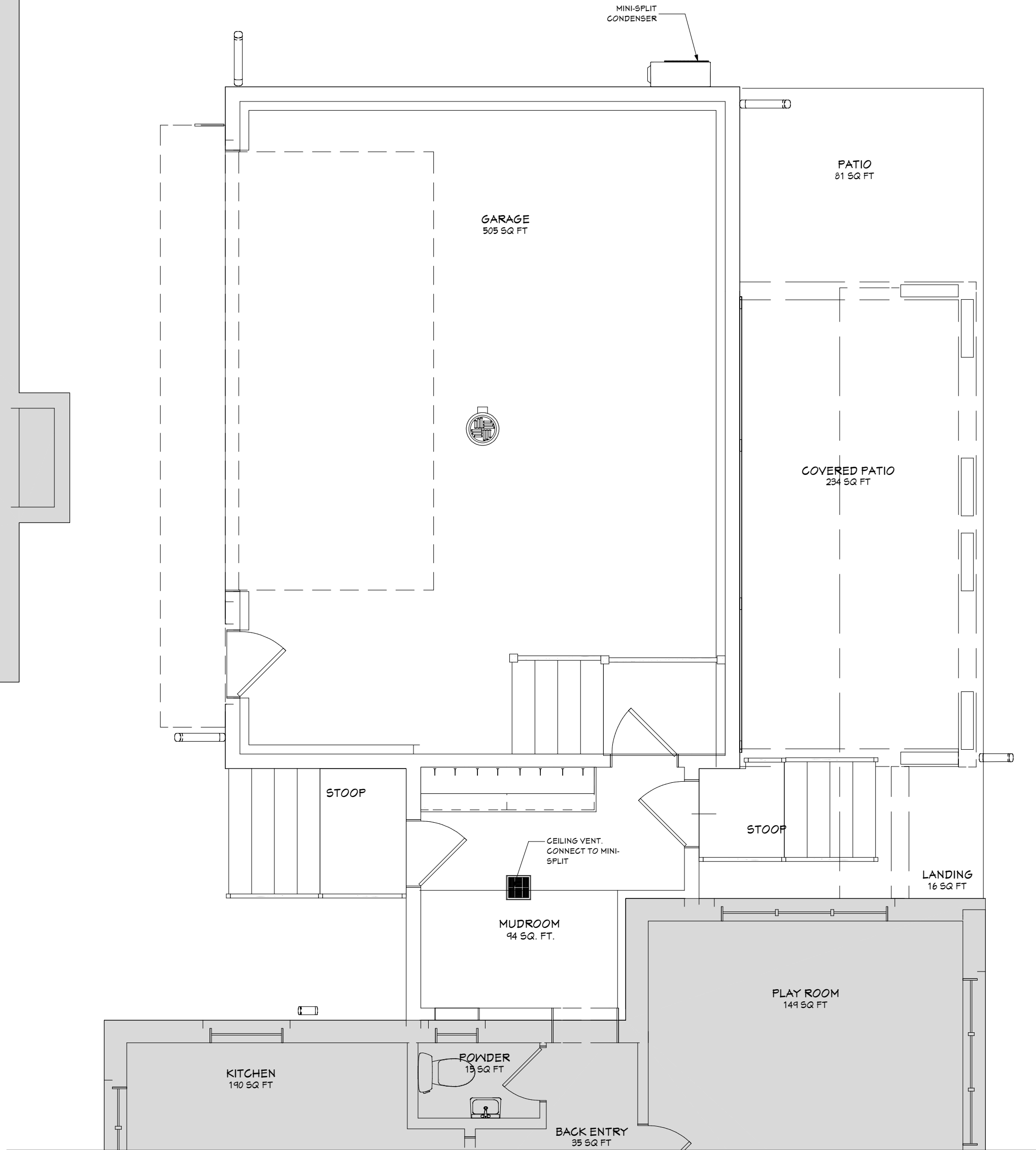
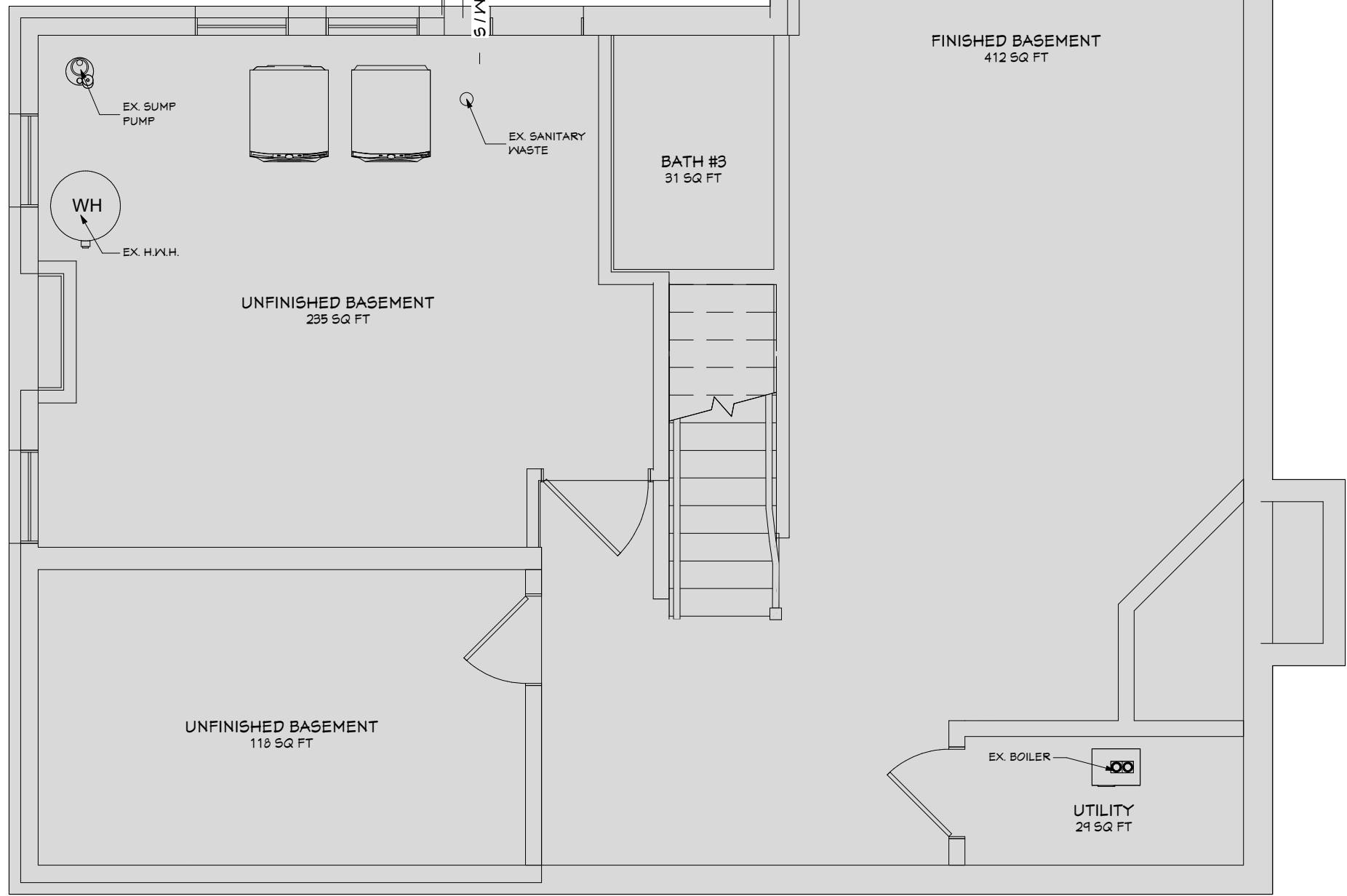
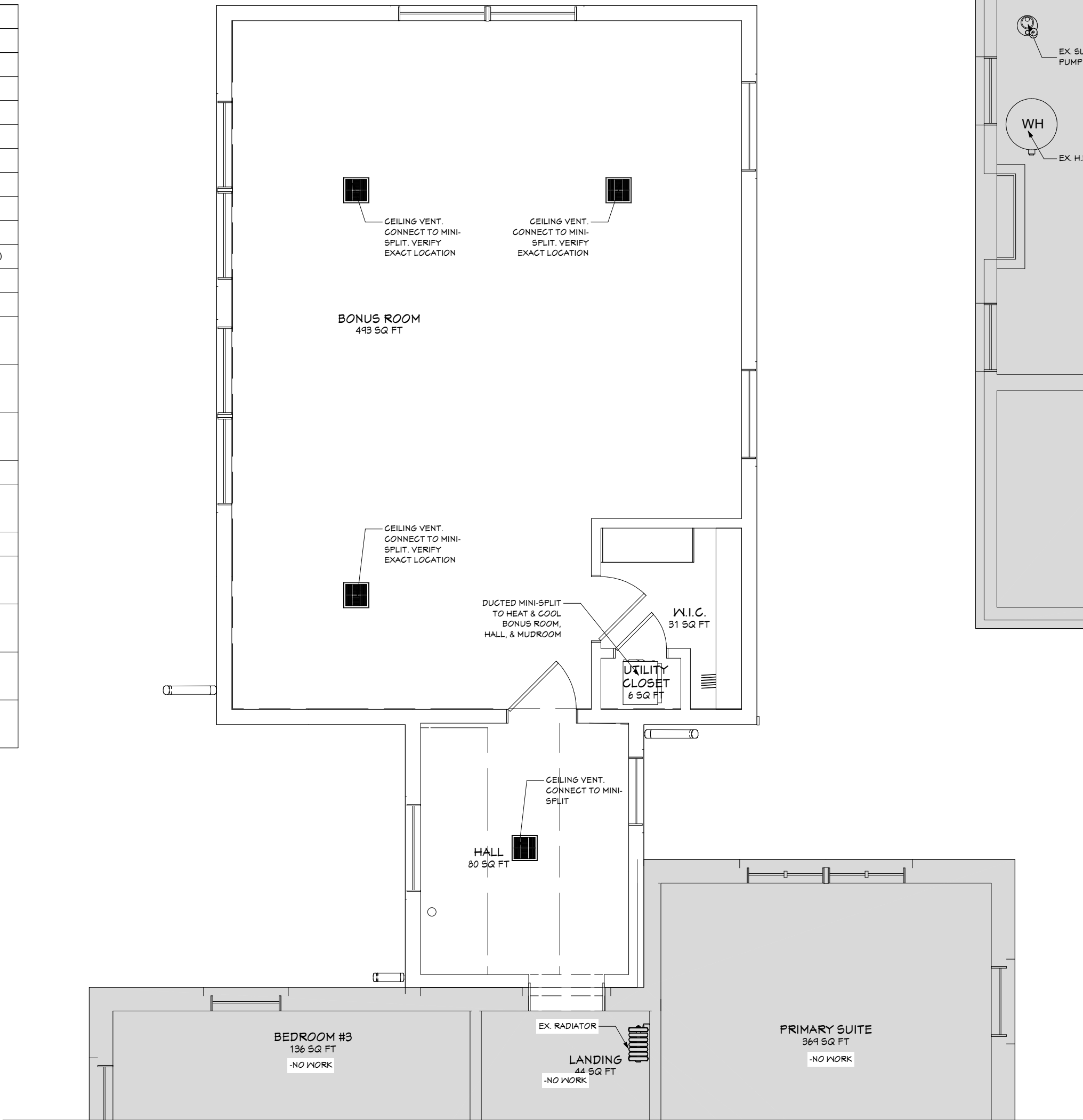
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SHEET NO.

A-7

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	Floor Supply Air Register
	Toekick Supply Air Register
	Wall Supply Air Register
	Baseboard Supply Air Register
	Floor Return Air Register
	Wall Return Air Register
	Ceiling Return Air Register
	Exterior Exhaust Vent (Wall)
	Exterior Exhaust Vent Rectangular (Wall)
	Exterior Exhaust Vent Louvered (Wall)
	Mini Split (Wall Mounted)
	Furnace w/ AC Coil
	Furnace (Heat only)
	Geothermal Heat Pump
	Baseboard Radiator
	Radiator
	Wall Heater
	AC Compressor Unit
	Mini Split AC Compressor Unit
	Hot Water Heater
	Tankless Hot Water Heater



General Notes:Ventilation

1. Install ventilation duct system to accommodate the project appliances and ventilation needs.
2. All duct locations and termination points will be determined and located at the installer's discretion to best accommodate the needs of the project.

General Notes:Mechanical

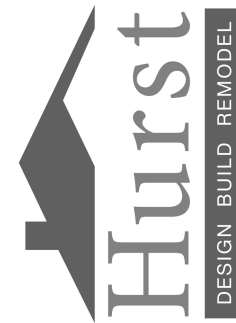
1. Install new ductwork to accommodate the addition/alteration.
2. Tie the new ductwork into the new/existing furnace duct system.

General Notes:Plumbing

1. Plumbing shall be a fully operational system of hot and cold water. Provide and install all piping, soil, vents, drains, sewage removal and water supply systems to connect with appropriate water and sewage systems. All permits and inspections are to be obtained by the plumbing trade contractor as required by local building codes and the Uniform Plumbing Code.
2. Drainage system shall be Schedule 40 PVC pipe. All connections shall have PVC cement or appropriate joint compound and assembled tight for no leakage. Tie new or altered lines into the existing drainage system.
3. Install new Copper or PEX supply lines for each new fixture and tie into the existing lines. The type of water supply lines used will be determined by the plumber at time of install. The supply lines will be 1/2" or 3/4" in diameter depending on fixture requirements.
4. Install PVC traps, shut off valves and escutcheons at each fixture.

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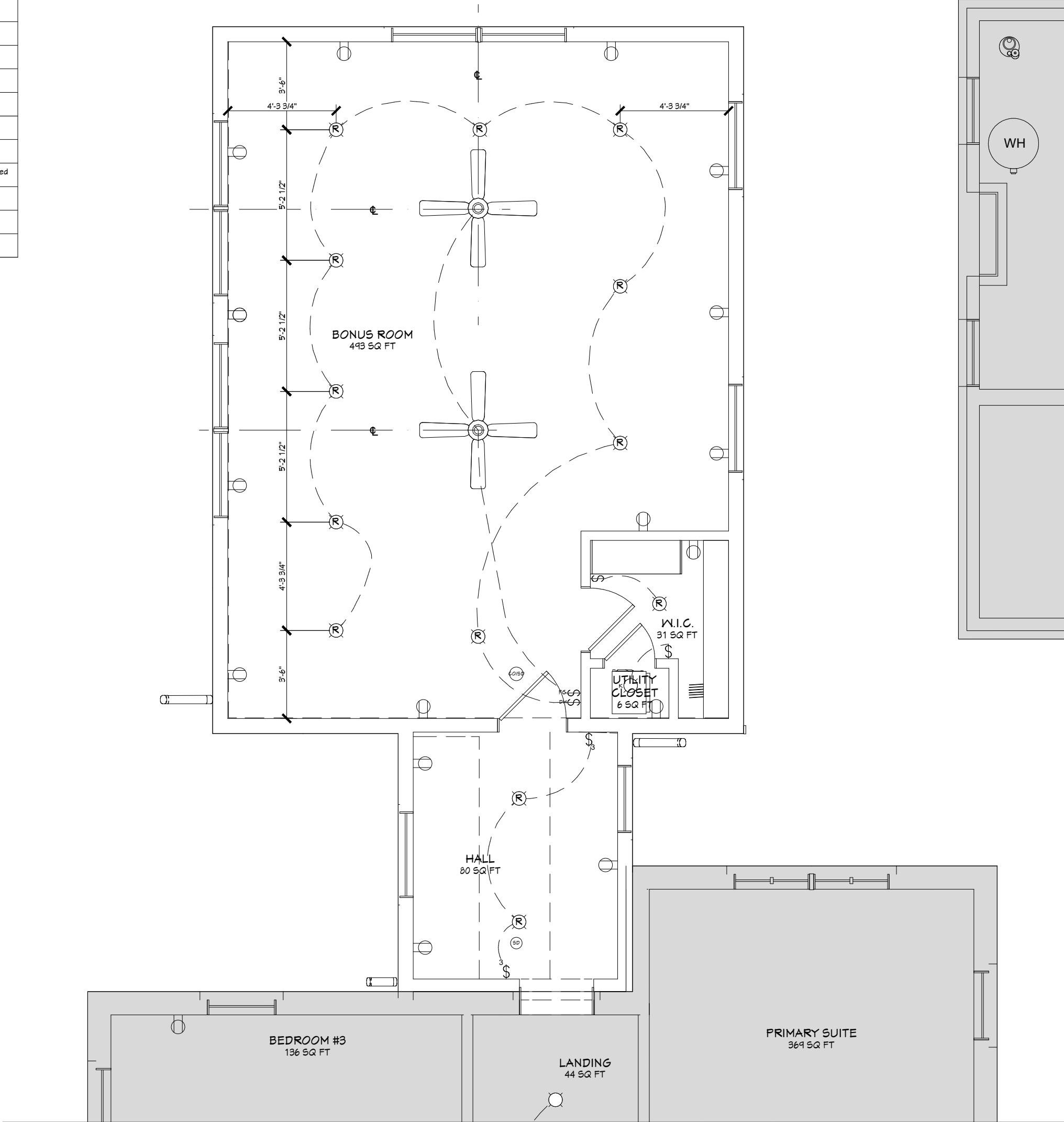
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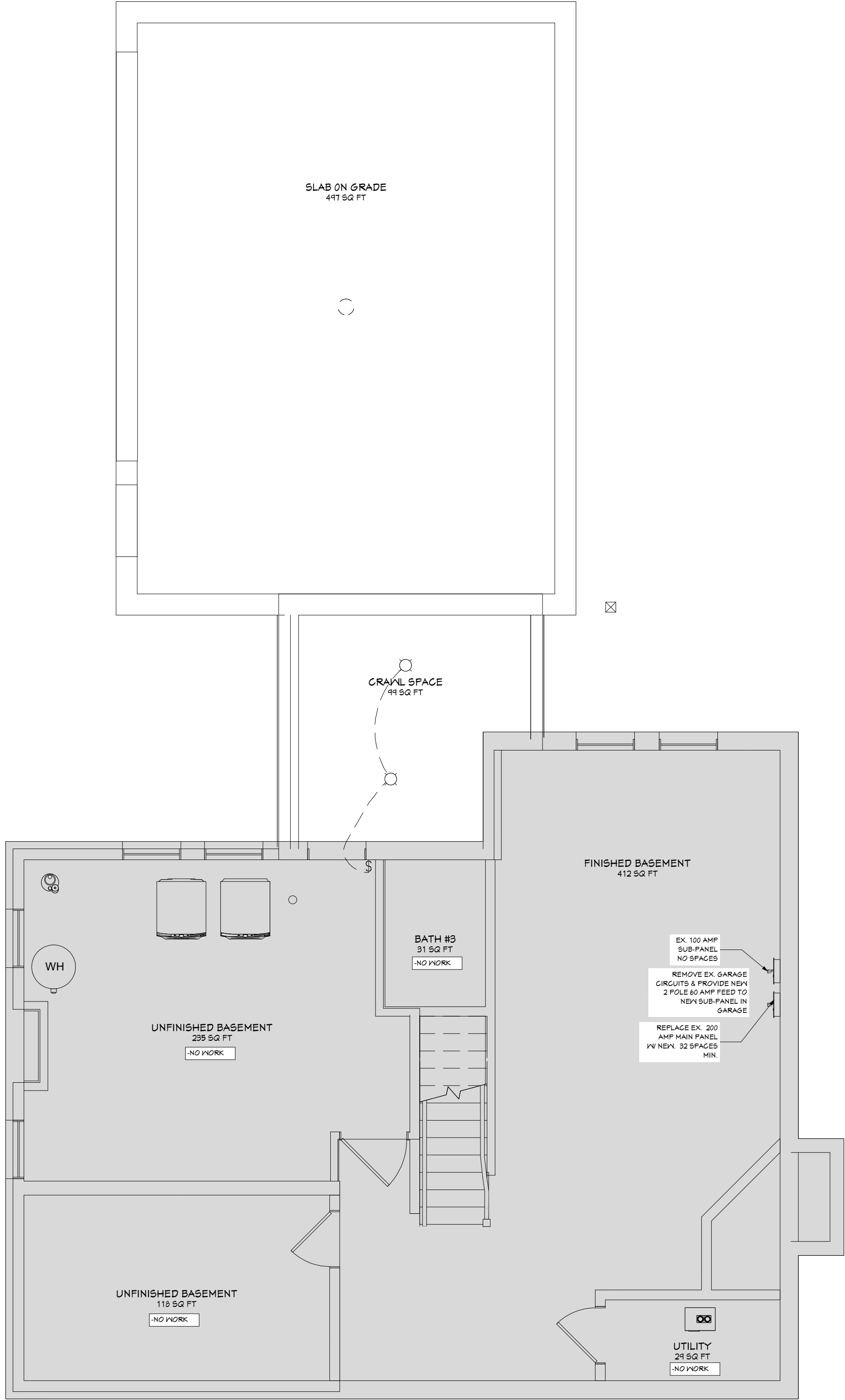
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A-8

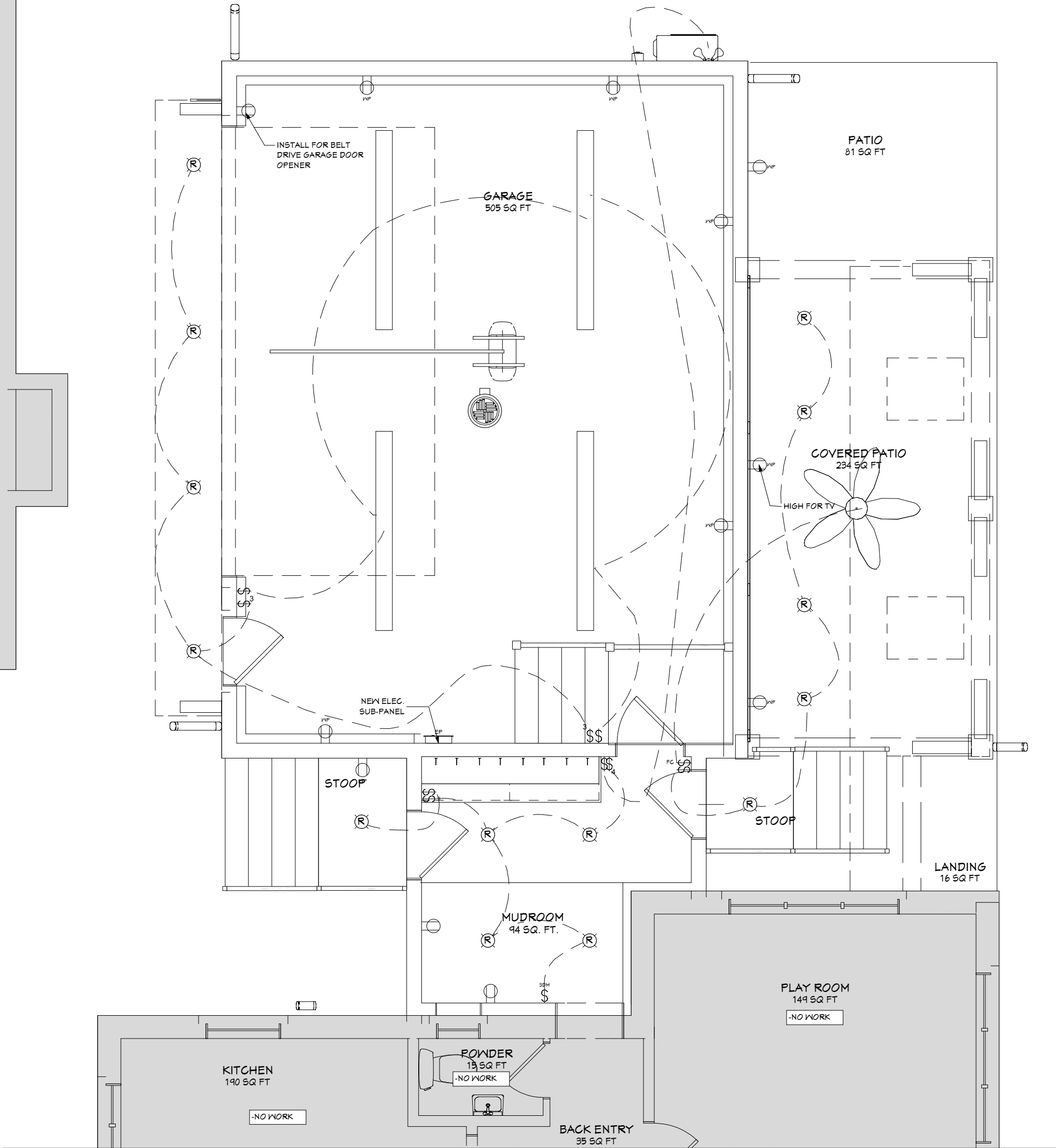
ELECTRICAL - DATA - LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan/Light
	Ceiling Mounted Light Fixtures: Chandelier, Owner provided
	Ceiling Mounted Light Fixtures: Pendant, Owner provided
	Ceiling Mounted Light Fixtures: Surface, Owner provided
	Wall Mounted Light Fixtures: Vanity/Lightcove, flush mounted, Owner provided
	Ventilation Fan, Fan/Light, Fan/Light/Heat: Ceiling Mounted
	Recessed Light Fixtures: 6" round or square
	Recessed Light Fixtures: 6" w/ Moisture Lens
	Recessed Light Fixtures: 4"
	Recessed Light Fixtures: 4" w/ Moisture Lens
	Cabinet Light Fixtures: In-cabinet
	Cabinet Light Fixtures: Under cabinet
	Fluorescent Light Fixtures
	Ceiling Mounted Light Exterior Fixtures: Surface, Owner provided
	Wall Mounted Light Fixtures: Exterior Lantern, flush mounted, Owner provided
	110V Receptacles: Duplex
	110V Receptacles: Split Wired Circuit
	110V Receptacles: GFCI
	110V Receptacles: Island, GFCI
	110V Receptacles: Refrigerator/Freezer: Dedicated Circuit
	110V Receptacles: Dishwasher, Dedicated Circuit
	110V Receptacles: Microwave, Dedicated Circuit
	110V Receptacles: Hood Vent, Dedicated Circuit
	110V Receptacles: Garbage Disposal, Dedicated Circuit
	220V Receptacles: Electric Range, Dedicated Circuit
	110V Receptacles: Cooktop, Dedicated Circuit
	220V Receptacles: Oven, Dedicated Circuit
	110V Receptacles: Washer, Dedicated Circuit
	220V Receptacles: Dryer, Dedicated Circuit
	110V Receptacles: Duplex, Ceiling mounted
	110V Receptacles: Duplex, Floor mounted
	110V Receptacles: Junction Box
	110V Receptacles: Blank/Dead Face
	110V Receptacles: Weather Proof
	Switches: Single Pole
	Switches: 3-Way
	Switches: 4-Way
	Switches: Dimmer
	Switches: Garbage Disposal, Air Switch
	Switches: Under Counter/Fan Cabinet
	Switches: Fan Dimmer
	Switches: Weather Proof
	Wall Jacks: TV/Cable
	Network Jack
	Electrical Breaker Panel
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Thermostat
	Door Chime/Door Bell
	Low Voltage Transformer



SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



BASEMENT ELECTRICAL PLAN
1/4" = 1'-0"



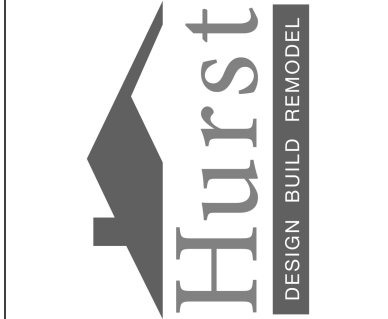
FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

General Notes:Electrical

1. All new electrical work specified will comply with all applicable building codes, local, and National Electric Codes (NEC), utility requirements, and building restrictions.
2. All new smoke detectors will be hard-wired and interconnected to a dedicated circuit with battery back-up.

Job #	Print Date	
25287-T2	12/18/2025	
Design Info		
Design Phase	D#	Date
Contract	#	12.19.25
Designer	trg	
Revision	#	Date
	#	##.##.##
	#	##.##.##

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SHEET NO.

A-9