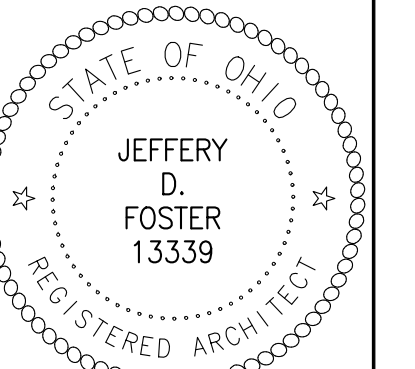


PERMIT & CONSTRUCTION DOCUMENTS FOR: VERCIGLIO RESIDENCE

ADDITION & RENOVATIONS 20712 BEACONSFIELD BLVD. ROCKY RIVER, OH 44116

ISSUE DATE: 01.23.26

PRINTS FULL SCALE
ON 24"x36" SHEET



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

<p>GENERAL NOTES</p> <ol style="list-style-type: none"> ALL REQUIRED BUILDING PERMITS, APPROVALS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL SUBMIT A PAYMENT SCHEDULE WITH THE PROPOSAL INCLUDING AN OUTLINE SCHEDULE OF VALUES AND PAYMENT MILESTONE DATES. A DETAILED SCHEDULE OF WORK SHALL BE SUBMITTED WITH THE PROPOSAL. THIS SHALL INCLUDE START AND FINISH DATES FOR ENTIRE SCOPE OF WORK, MILESTONE DATES FOR OWNER SELECTIONS, REQUIRED DATES OF OWNER SUPPLIED EQUIPMENT AND OTHER SIGNIFICANT MILESTONES. TIME REQUIRED TO FINISH THE SCOPE OF WORK BEYOND THE AGREED UPON FINISH DATE WILL ACCRUE LIQUIDATED DAMAGES, PAYABLE TO THE OWNER, IN THE AMOUNT OF \$100.00 PER DAY FOR EACH CALANDAR DAY BEYOND THE AGREED UPON COMPLETION DATE. ANY REQUESTS FOR ADDITIONAL TIME MUST BE SUBMITTED TO THE OWNER FOR APPROVAL IN WRITING AS SOON AS ANY DELAY MAY BECOME EVIDENT. THIS DOES NOT GUARANTEE THAT THE OWNER WILL GRANT SUCH AN EXTENSION WITHOUT MONETARY IMPACT. ALL EXISTING CONDITIONS MUST BE VERIFIED IN THE FIELD. THIS SHALL INCLUDE BUT IS NOT LIMITED TO THE SIZE OF EXISTING EQUIPMENT, THE SIZE OF THE EXISTING SPACE, LOCATIONS OF EXISTING UTILITIES AND CONDITION OF EXISTING FACILITIES. THE CONTRACTOR SHALL PROVIDE ALL INSURANCE FOR THE PROJECT INCLUDING BUT NOT LIMITED TO BUILDERS RISK, LIABILITY, WORKERS COMPENSATION, AUTOMOBILE AND DAMAGE TO OWNERS PROPERTY. THE CONTRACTOR SHALL LIST THE OWNER AND THE OWNER'S CONSULTANTS AS ADDITIONAL INSUREDS. CONTRACTOR SHALL OBTAIN AND EXECUTE ALL NECESSARY BUILDING PERMITS. 	<p>SUMMARY OF PLUMBING WORK:</p> <ol style="list-style-type: none"> ALL EXISTING PLUMBING RISERS, DRAIN LINES AND VENTS ARE TO REMAIN. ALL PLUMBING WORK IS INSTALLED BY A LICENSED AND CERTIFIED PLUMBER. ALL DETAILS ARE PER THE OHIO PLUMBING CODES. ALL DOMESTIC WATER DISTRIBUTION LINES ARE TO BE RE-USED WHERE POSSIBLE, NEW TO BE PEX IN ALL AREAS AND COPPER IN SELECT AREAS. ROUTING OF ALL NEW LINES FOLLOWS THE EXISTING LINES THAT ARE REPLACED. FIRE STOP THRU FIRE RATED WALLS AS REQUIRED PER ORC. ALL LINES HAVE BEEN PRESSURE TESTED PRIOR TO INSTALLATION OF NEW FIXTURES. PLUMBING FOR NEW KITCHEN TO BE CONNECTED TO THE EXISTING PLUMBING AS REQ'D. CLEAN OUTS AND APPROPRIATE ACCESS TO THESE CLEANOUTS HAVE BEEN ADDED IN ALL AREAS FOR MAINTENANCE ACCESS. VENTING IS INSTALLED IN ALL AREAS PER CODE. 	<p>SUMMARY OF ELECTRICAL WORK:</p> <ol style="list-style-type: none"> EXISTING ELECTRICAL TO BE EXTENDED TO ACCOMMODATE NEW CONSTRUCTION AS SHOWN ON THESE DOCUMENTS. THIS INCLUDES A NEW, MODIFIED SERVICE DROP TO ACCOMMODATE THE ADDITION. ALL DISTRIBUTION WIRING AND DEVICES THAT ARE SALVAGABLE ARE TO BE RE-USED. CONDUCTORS TO BE ROUTED THROUGH EXISTING OR NEW CONDUITS AND PATHWAYS. SIZING OF CONDUCTORS TO BE PER NEC REQUIREMENTS AND WITH PROPER GROUNDING. ALL DEVICES ARE TO BE NEW AND IN LOCATIONS AS NOTED. HVAC UNIT AND APPLIANCES ARE TO BE ON DEDICATED CIRCUITS. ALL OUTLETS IN KITCHENS AND BATHROOMS TO HAVE GFCI OUTLETS. LOCATIONS OF ALL LIGHT FIXTURES ARE AS SHOWN. ALL ELECTRICAL WORK IS TO BE PER ORC AND NEC REQUIREMENTS. 	<p>MATERIALS LEGEND</p> <table border="0"> <tr> <td></td> <td>EARTH</td> <td></td> <td>FINISH WOOD</td> </tr> <tr> <td></td> <td>POROUS OR GRANULAR FILL (GRAVEL)</td> <td></td> <td>PLYWOOD (SMALL SCALE)</td> </tr> <tr> <td></td> <td>CONCRETE</td> <td></td> <td>PLYWOOD (LARGE SCALE)</td> </tr> <tr> <td></td> <td>CONCRETE MASONRY UNIT (CMU)</td> <td></td> <td>GYPSUM BOARD OR PLASTER</td> </tr> <tr> <td></td> <td>FACE BRICK</td> <td></td> <td>RIGID INSULATION</td> </tr> <tr> <td></td> <td>ROUGH WOOD, BLOCKING OR SHIM</td> <td></td> <td>BATT INSULATION</td> </tr> <tr> <td></td> <td>CARPET (IN SECTION)</td> <td></td> <td>ACOUSTICAL TILE</td> </tr> <tr> <td></td> <td>GLASS (IN ELEVATION)</td> <td></td> <td>METAL</td> </tr> </table>		EARTH		FINISH WOOD		POROUS OR GRANULAR FILL (GRAVEL)		PLYWOOD (SMALL SCALE)		CONCRETE		PLYWOOD (LARGE SCALE)		CONCRETE MASONRY UNIT (CMU)		GYPSUM BOARD OR PLASTER		FACE BRICK		RIGID INSULATION		ROUGH WOOD, BLOCKING OR SHIM		BATT INSULATION		CARPET (IN SECTION)		ACOUSTICAL TILE		GLASS (IN ELEVATION)		METAL
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<p>GENERAL FRAMING NOTES</p> <ol style="list-style-type: none"> THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LIVE LOAD CONDITIONS FIRST FLOOR - 40 PSF LIVE LOAD ROOF - 20 PSF GROUND SNOW LOAD FRAMING MEMBERS: KD, 19% MOISTURE CONTENT OR LESS BEARING WALLS AT FIRST FLOOR: 2x4 SPF STUD GRADE @ 16" O.C. ROOF RAFTERS, FLOOR JOISTS: 2x SPF NO 1/2 GRADE @ 16" O.C. (SEE PLAN) HEADERS: SEE SCHEDULE UNLESS SPECIFICALLY STATED ON THE DRAWINGS, LVL'S USED FOR SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: MINIMUM PROPERTIES: Fv = 285 PSI Fb = 2600 PSI E = 1,900,000 PSI WHERE BUILT-UP SECTIONS OF DIMENSIONAL LUMBER ARE INDICATED, FASTENING SHALL BE IN ACCORDANCE WITH NDS 15.3.3. MULTI-PLY LVL SECTIONS SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. TOP & BOTTOM PLATES OF STUD WALLS SHALL BE SAME GRADE AS STUDS. BOTTOM PLATE AT SLAB SHALL BE TREATED SOUTHERN YELLOW PINE. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. USE JOIST HANGERS DESIGNED FOR GIVEN MEMBER SIZE TO SUPPORT ALL RAFTERS/ HEADERS FRAMING INTO SIDES OF OTHER MEMBERS. PROVIDE 5/8" BOLTS @ 16" O.C. IN "W" PATTERN FOR FLITCH BEAMS. HANGERS FOR ALL TRUSSES AND LVL BEAMS BY TRUSS MANUFACTURER. DO NOT SUBSTITUTE SPECIFIED MATERIAL FOR STRUCTURAL ELEMENTS WITHOUT THE CONSENT OF A QUALIFIED DESIGN PROFESSIONAL. ALL WALL BRACING TO BE PER RCO SECTION 602.10. JACK STUDS, HEADER SPANS AND ALL OTHER DIMENSIONAL LUMBER REQUIREMENTS SHALL BE PER THE RCO. 		<p>SUMMARY OF HVAC WORK:</p> <ol style="list-style-type: none"> THE EXISTING HVAC SYSTEM IS TO BE MAINTAINED FOR THE FIRST FLOOR AND BE MODIFIED FOR THE PORTIONS OF THE SECOND FLOOR FOR THE BEDROOM AREAS. A NEW SYSTEM IS TO BE ADDED IN THE MECHANICAL ROOM ADJACENT TO THE SECOND FLOOR REC ROOM. THIS IS TO ACCOMMODATE THE ADDITIONAL SQUARE FOOTAGE OF THE SECOND FLOOR. DUCTWORK TO BE CONCEALED IN STUD AND DRYWALL ENCLOSURES. PROVIDE VENTING AS REQ'D. RESIDENCE HAS OPERABLE WINDOWS FOR FRESH AIR REQUIREMENTS PER OBC AND OMC REQUIREMENTS. CONDENSING UNITS ARE TO BE LOCATED ON THE REAR OR SIDE OF THE PROPERTY. INSTALLATION OF ALL HVAC EQUIPMENT AND RELATED DISTRIBUTION IS PER OHIO BUILDING CODES. NEW PROGRAMMABLE THERMOSTATS TO BE PROVIDED FOR ALL NEW AND OR MODIFIED EQUIPMENT. 	<p>DRAWING INDEX</p> <table border="0"> <tr> <td>A001</td> <td>TITLE SHEET, DRAWING INDEX, GENERAL NOTES</td> </tr> <tr> <td>A010</td> <td>SITE PLAN</td> </tr> <tr> <td>D101</td> <td>FIRST FLOOR DEMOLITION PLAN</td> </tr> <tr> <td>D102</td> <td>SECOND FLOOR DEMOLITION PLAN</td> </tr> <tr> <td>A100</td> <td>FOUNDATION PLAN</td> </tr> <tr> <td>A101</td> <td>FIRST FLOOR PLAN</td> </tr> <tr> <td>A102</td> <td>SECOND FLOOR PLAN</td> </tr> <tr> <td>A103</td> <td>ROOF PLAN & SPECIFICATIONS</td> </tr> <tr> <td>A200</td> <td>EXTERIOR ELEVATIONS & BUILDING SECTION</td> </tr> <tr> <td>A201</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A401</td> <td>FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN</td> </tr> <tr> <td>A402</td> <td>SECOND FLOOR REFLECTED CEILING & ELECTRICAL PLAN</td> </tr> <tr> <td>A600</td> <td>DETAIL SECTIONS</td> </tr> <tr> <td>A601</td> <td>DETAIL SECTIONS</td> </tr> <tr> <td>A900</td> <td>FINISH SCHEDULE, DOOR & WINDOW TYPES, TRIM PROFILES</td> </tr> </table>	A001	TITLE SHEET, DRAWING INDEX, GENERAL NOTES	A010	SITE PLAN	D101	FIRST FLOOR DEMOLITION PLAN	D102	SECOND FLOOR DEMOLITION PLAN	A100	FOUNDATION PLAN	A101	FIRST FLOOR PLAN	A102	SECOND FLOOR PLAN	A103	ROOF PLAN & SPECIFICATIONS	A200	EXTERIOR ELEVATIONS & BUILDING SECTION	A201	EXTERIOR ELEVATIONS	A401	FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN	A402	SECOND FLOOR REFLECTED CEILING & ELECTRICAL PLAN	A600	DETAIL SECTIONS	A601	DETAIL SECTIONS	A900	FINISH SCHEDULE, DOOR & WINDOW TYPES, TRIM PROFILES		
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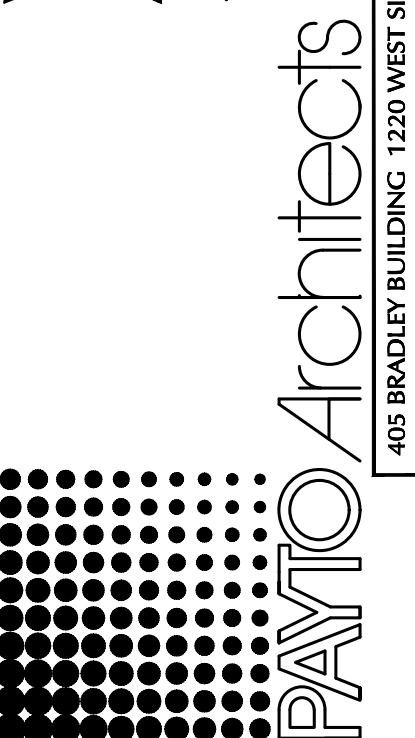


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STRUCTURAL ENGINEER:
OREVEC DESIGN BUILD
9329 RAVENNA RD. SUITE E
TWINSBURG, OH 44087
(330) 552-8211

**ISSUED FOR PERMITS & CONSTRUCTION:
JANUARY 23, 2026**

VERCIGLIO RESIDENCE
ADDITION & RENOVATION
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



TITLE SHEET, DRAWING
INDEX, GENERAL
NOTES

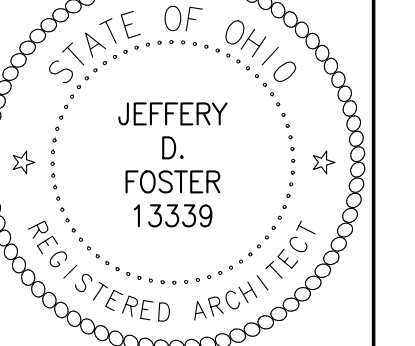
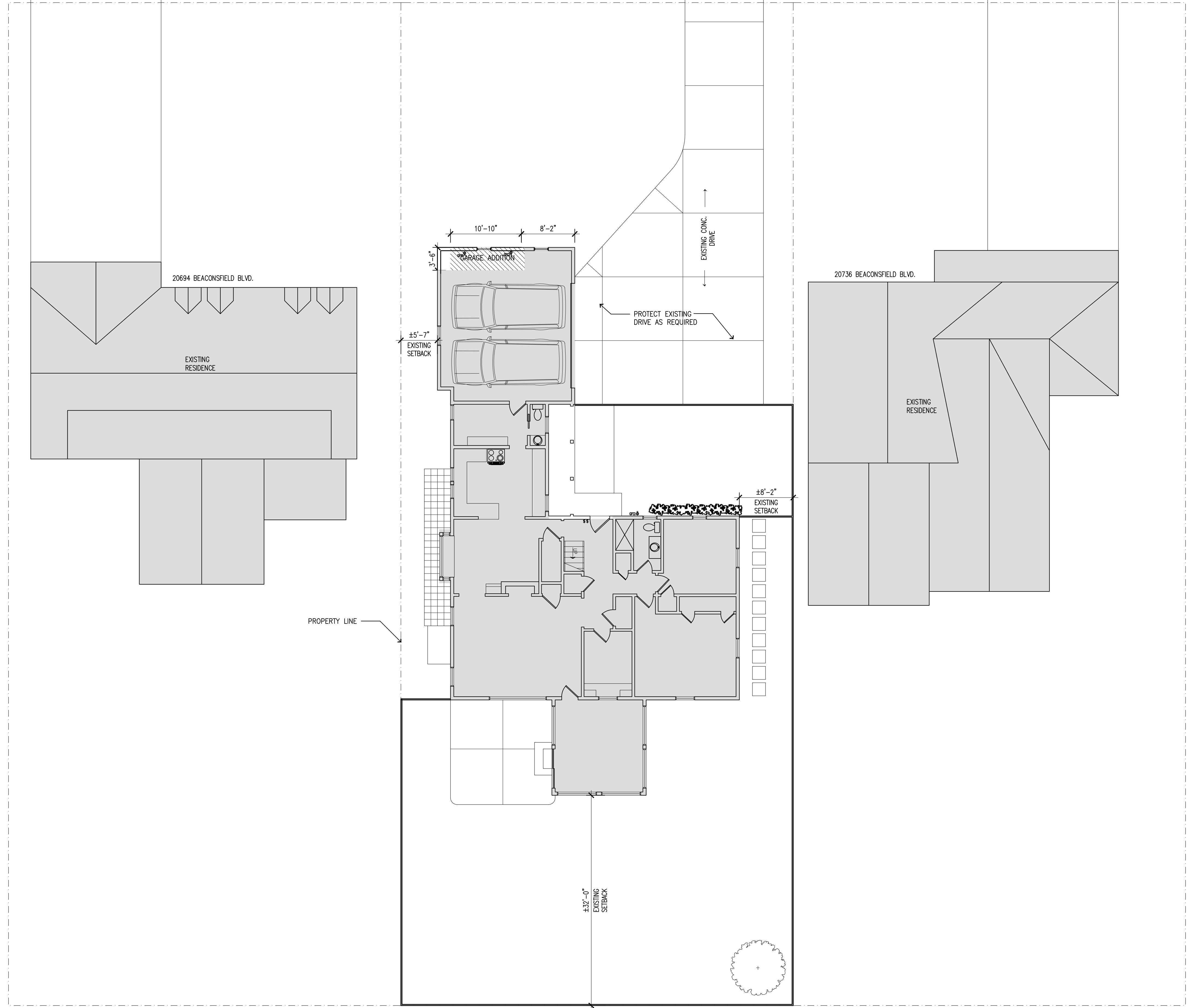
PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

A001

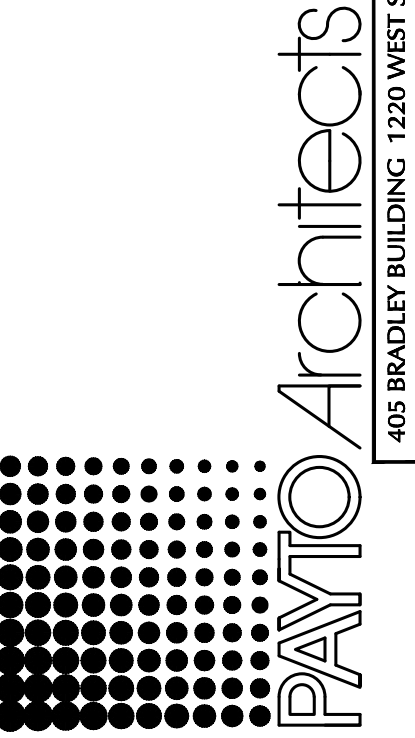
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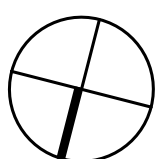
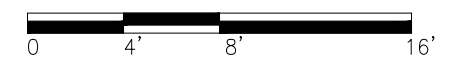
VERCIGLIO RESIDENCE
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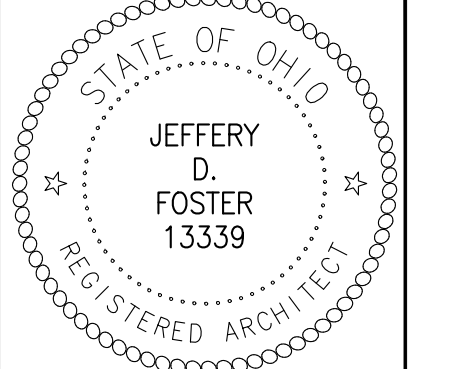
SITE PLAN

A010

1 SITE PLAN
SCALE: 1/8" = 1'-0"

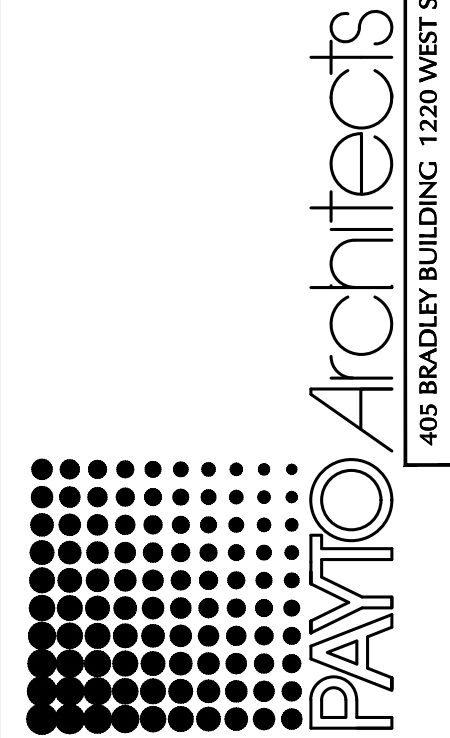


**PRINTS FULL SCALE
ON 24"X36" SHEET**



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



**FIRST FLOOR
DEMOLITION
PLAN**

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

D101

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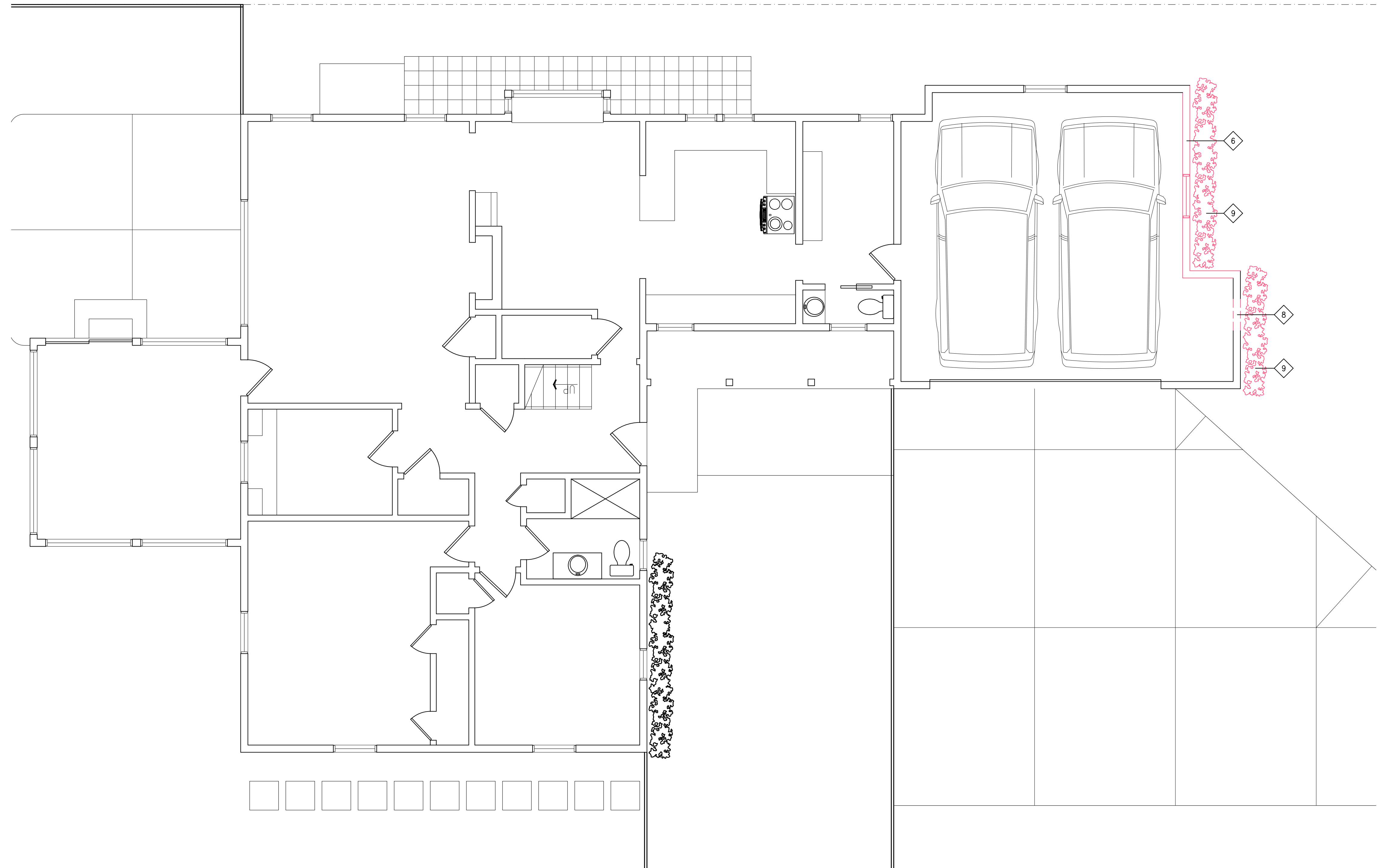
DEMOLITION KEY NOTES

- 1 REMOVE EXISTING DOOR & PREP FOR INFILL.
- 2 REMOVE EXIST. WINDOW & CASING PREP FOR INFILL & NEW WINDOW.
- 3 REMOVE EXIST. WINDOW & CASING PREP FOR NEW WINDOW.
- 4 REMOVE EXIST. ROOF & PREP FOR NEW WALL LAYOUT AND ROOF STRUCTURE.
- 5 REMOVE PORTION OF WALL. PREPARE FOR NEW WINDOW.
- 6 REMOVE WALLS AND OPENINGS AS SHOWN & PREP FOR NEW LAYOUT. PROVIDE SHORING AS REQUIRED.
- 7 REMOVE EXISTING CLOSET & WALL. PREP FOR NEW WALL LAYOUT. PROVIDE SHORING AS REQUIRED.
- 8 NEW OPENING IN EXISTING WALL FOR NEW WINDOW.
- 9 REMOVE EXISTING LANDSCAPE.

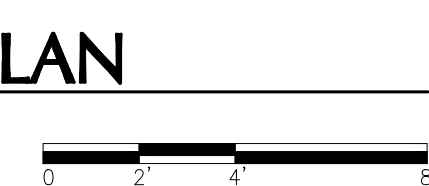
— KEYNOTE REFERENCE

GENERAL DEMOLITION NOTES

- A. REFER TO THE DRAWING KEYNOTES FOR SPECIFIC DEMOLITION SHEET SPECIFIC INFORMATION.
- B. WHERE PIPING OR OTHER ITEMS TO BE REMOVED RUN THROUGH A WALL WHICH IS TO REMAIN, THESE ITEMS SHALL BE REMOVED CLEAR TO THE FACE OF THE WALL AND THE EXISTING WALL SHALL BE PATCHED AND REPAIRED TO MATCH THE ADJACENT WALL OR PROPOSED WALL SURFACE.
- C. IF, AT ANY TIME, THE CONTRACTOR BECOMES AWARE OF AN ALTERATION THAT WILL OR HAS CREATED AN UNSAFE OR UNANTICIPATED STRUCTURAL CONDITION, THEY ARE TO IMMEDIATELY NOTIFY THE ARCHITECT.
- D. PRIOR TO SUBMITTING A BID, ALL CONTRACTORS MUST VISIT AND BECOME FAMILIAR WITH THE PROJECT SITE.
- E. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, STANDARDS AND REGULATIONS. THE CONTRACTORS MUST COMPLY WITH ALL EPA AND OSHA REGULATIONS.
- F. ALL WORK TO BE CONTAINED IN SCOPE OF WORK AREA UNLESS PERMITTED BY THE OWNER. DEMOLITION AND OTHER MATERIALS SHALL BE KEPT WITHIN THE SCOPE OF WORK AREAS.
- G. IN DEMOLITION NOTES, "AS REQUIRED" IS TO INCLUDE MATCHING EITHER EXISTING EXPOSED FINISHES OR NEW FINISHES WITH SIMILAR AND COMPATIBLE MATERIALS, WHICHEVER APPLIES.
- H. PROTECT REMAINING SURFACES, EQUIPMENT AND PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE OCCURRING DURING CONSTRUCTION. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL & THE GENERAL PUBLIC FROM INJURY DUE TO THE DEMOLITION.
- J. THE OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED OR MODIFIED.
- K. COORDINATE THIS DEMOLITION SHEET AND NOTES WITH MECHANICAL/ELECTRICAL DEMOLITION SHEETS & NOTES.
- L. ALL ASBESTOS CONTAINING MATERIALS ARE TO BE REMOVED AND ABATED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR AND PROPERLY DISPOSED OF PER EPA REGULATIONS AND REQUIREMENTS. ANY SUSPECT MATERIALS SHALL BE TESTED TO CONFIRM.
- M. BASED ON THE AGE OF THE EXIST. BUILDING, THE OWNER MAKES KNOWN TO ALL CONTRACTORS THAT LEAD PAINT IS SUSPECTED TO BE PRESENT IN THE RESIDENCE. RENOVATION AND DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH 29CFR1926.62 AND ALL OTHER APPLICABLE OSHA REGULATIONS.



1 FIRST FLOOR DEMO PLAN
D101 SCALE: 1/4"=1'-0"



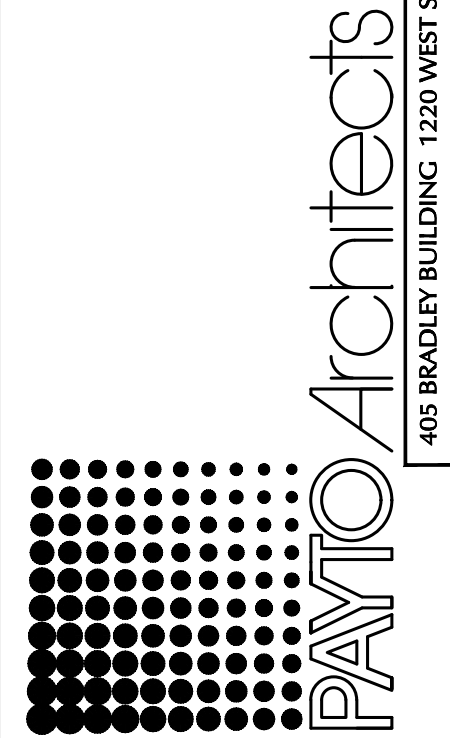
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**PRINTS FULL SCALE
ON 24"X36" SHEET**



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



**SECOND FLOOR
DEMOLITION
PLAN**

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

D102

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DOCUMENTS

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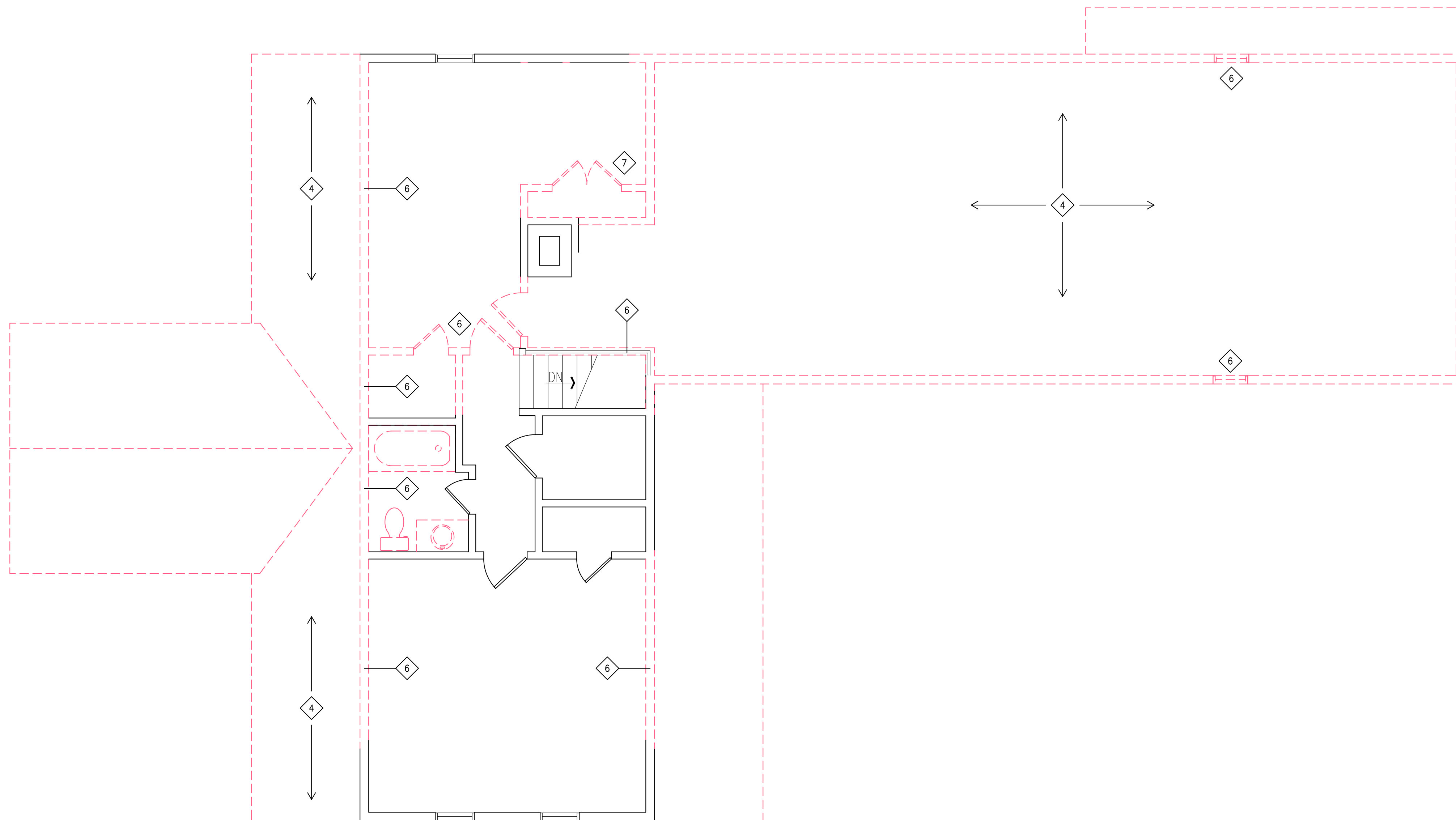
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- 8 NEW OPENING IN EXISTING WALL FOR NEW WINDOW.
- 9 REMOVE EXISTING LANDSCAPE.

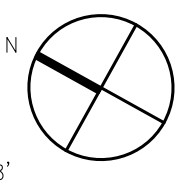
— KEYNOTE REFERENCE

GENERAL DEMOLITION NOTES

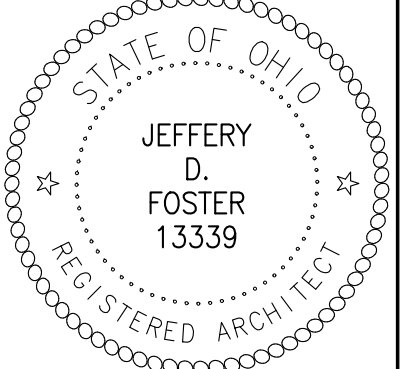
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- B. WHERE PIPING OR OTHER ITEMS TO BE REMOVED RUN THROUGH A WALL WHICH IS TO REMAIN, THESE ITEMS SHALL BE REMOVED CLEAR TO THE FACE OF THE WALL AND THE EXISTING WALL SHALL BE PATCHED AND REPAIRED TO MATCH THE ADJACENT WALL OR PROPOSED WALL SURFACE.
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- D. PRIOR TO SUBMITTING A BID, ALL CONTRACTORS MUST VISIT AND BECOME FAMILIAR WITH THE PROJECT SITE.
- E. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, STANDARDS AND REGULATIONS. THE CONTRACTORS MUST COMPLY WITH ALL EPA AND OSHA REGULATIONS.
- F. ALL WORK TO BE CONTAINED IN SCOPE OF WORK AREA UNLESS PERMITTED BY THE OWNER. DEMOLITION AND OTHER MATERIALS SHALL BE KEPT WITHIN THE SCOPE OF WORK AREAS.
- G. IN DEMOLITION NOTES, "AS REQUIRED" IS TO INCLUDE MATCHING EITHER EXISTING EXPOSED FINISHES OR NEW FINISHES WITH SIMILAR AND COMPATIBLE MATERIALS, WHICHEVER APPLIES.
- H. PROTECT REMAINING SURFACES, EQUIPMENT AND PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE OCCURRING DURING CONSTRUCTION. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL & THE GENERAL PUBLIC FROM INJURY DUE TO THE DEMOLITION.
- J. THE OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED OR MODIFIED.
- K. COORDINATE THIS DEMOLITION SHEET AND NOTES WITH MECHANICAL/ELECTRICAL DEMOLITION SHEETS & NOTES.
- L. ALL ASBESTOS CONTAINING MATERIALS ARE TO BE REMOVED AND ABATED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR AND PROPERLY DISPOSED OF PER EPA REGULATIONS AND REQUIREMENTS. ANY SUSPECT MATERIALS SHALL BE TESTED TO CONFIRM.
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1 SECOND FLOOR DEMO PLAN
D102 SCALE: 1/4"=1'-0"

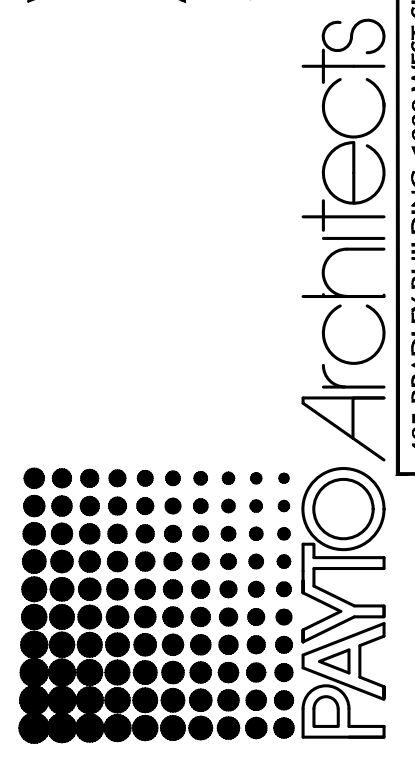


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EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



FOUNDATION
PLAN

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

A100

PERMIT & CONSTRUCTION DOCUMENTS

KEYNOTE LEGEND

- 1 NO WORK TO OCCUR IN THIS ROOM UNLESS NOTED OTHERWISE.
- 2 NEW HEADER AND POSTS AT EXISTING OPENING. IF EXISTING MATCH WITH NEWLY SHOWN THEN EXISTING TO REMAIN.
- 3 EXISTING CHIMNEY TO REMAIN. BRICK TO REMAIN EXPOSED.
- 4 PATCH AND REPAIR DRYWALL AS REQUIRED FOR NEW STRUCTURAL WORK. IF NEW JOISTS ARE REQUIRED, INSTALL THESE FROM ABOVE.
- 5 RE-INSTALLED PAVERS ON GRAVEL BASE.
- 6 4" THICK CONCRETE SLAB WITH #10 WWF. DOWEL NEW SLAB INTO EXISTING AT ALL EDGES.
- 7 CLOSET ORGANIZING AND STORAGE SYSTEM. COORDINATE SPEC. & LAYOUT WITH OWNER. PROVIDE ALL NECESSARY IN WALL BLOCKING.
- 8 NEW WHITE PVC PICKET FENCE, 4'-0" HIGH TO REPLACE EXISTING.
- 9 36" HIGH PAINTED WOOD RAILING WITH STAINED TOP RAIL. PICKETS AT 4" O/C SPACING MAX. STYLE TO MATCH EXISTING.
- 10 ATTIC ACCESS HATCH ABOVE.
- 11 HVAC UNIT FOR NEW SECOND FLOOR SPACES. PROVIDE CONDENSATE DRAIN.

BRACED WALL SCHEDULE

(CS-PF) CONTINUOUSLY SHEATHED PORTAL FRAME (APA)

1. 7/16" OSB OR PLYWOOD
2. REFERENCE FIGURE 602.10.6.4 IN RESIDENTIAL CODE OF OHIO (RCO)

(CS-WS) CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL

1. 7/16" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
2. 8" O.C. EDGE NAILING
3. 12" O.C. FIELD NAILING
4. LENGTH AS NOTED
5. AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED

FOOTING SCHEDULE:

F1 16"W X 8"D CONT. FOOTING W/ (2)-#5 BARS CONT.

F2 2'-0" X 2'-0" X 1'-0" FOOTING WITH (3)-#4 BARS EACH WAY

PIER SCHEDULE:

P1 8"X8" CMU PIER W/ #5 VERT. GROUTED SOLID FULL HT.

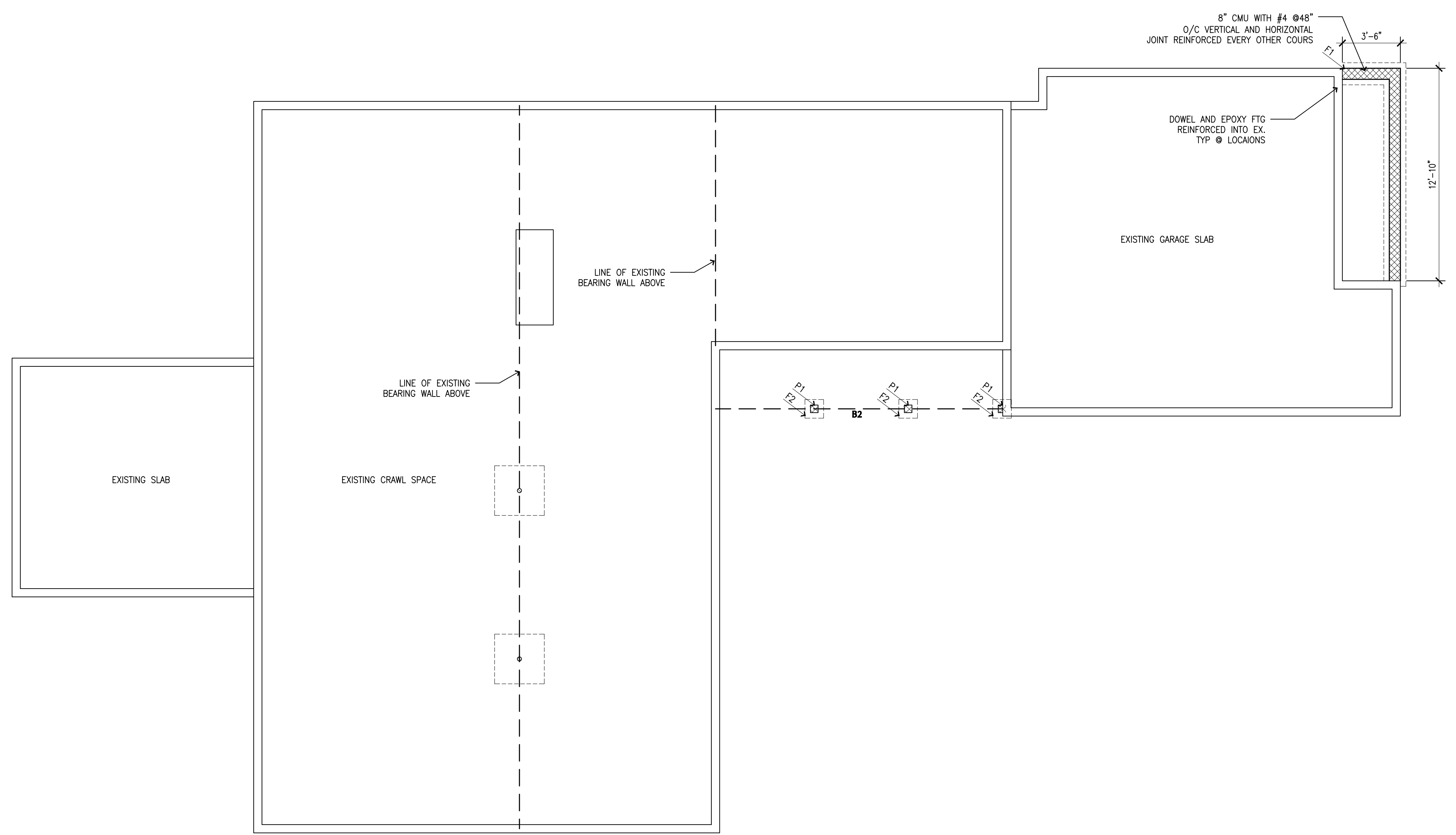
BEAM SCHEDULE:

B1 (3) 2X6
B2 (2) 2X8
B3 (2) 2X8 MIN.
B4 (3) 2X8
B5 (3) 2X8 OR (2) 2X10
B6 (2) 2X10
B7 (2) 2X12 OR (3) 2X10
B8 (2) 9-1/4" LVL
B9 (2) 11-7/8" LVL
B10 (2) 11-7/8" LVL
B11 (2) 18" LVL
B12 (3) 2X12 OR (2) 9-1/4" LVL

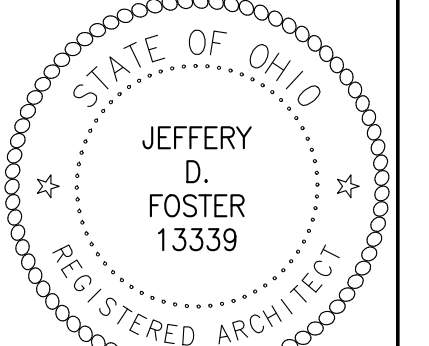
NOTE: AT ALL HEADERS ON EXTERIOR WALLS, INSTALL RIGID INSULATION BETWEEN HEADER MEMBERS

COLUMN SCHEDULE:

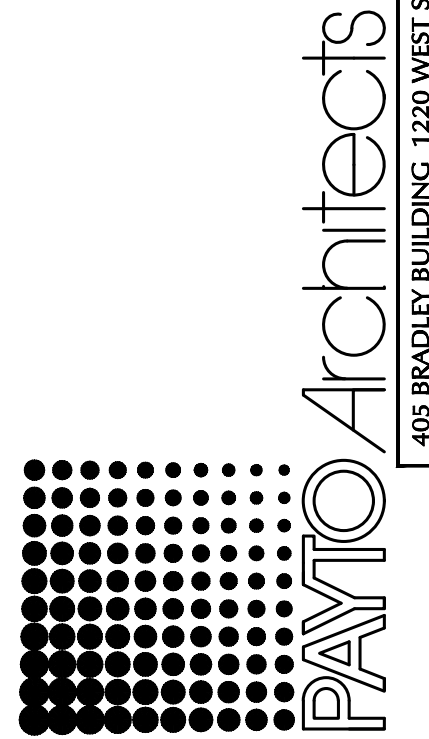
C1 (4)-2X6
C2 (3)-2X4
C3 5-1/4" X 5-1/4" PSL
C4 4X4 PT POST WITH SIMPSON POST CAP AND POST BASE
C5 6X6 POSTS WITH SIMPSON POST CAPS AND POST BASE
C6 (3)-2X6
C7 3-1/2" X 5-1/4" PSL



1
A100 **FOUNDATION PLAN**
SCALE: 1/4"=1'-0"



VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



FIRST FLOOR PLAN
PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

A101

PERMIT & CONSTRUCTION DOCUMENTS

405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113 PHONE: (216) 341-6800 WEB: WWW.PAYTOARCHITECTS.COM

KEYNOTE LEGEND

- 1 NO WORK TO OCCUR IN THIS ROOM UNLESS NOTED OTHERWISE.
- 2 NEW HEADER AND POSTS AT EXISTING OPENING. IF EXISTING MATCH WITH NEWLY SHOWN THEN EXISTING TO REMAIN.
- 3 EXISTING CHIMNEY TO REMAIN. BRICK TO REMAIN EXPOSED.
- 4 PATCH AND REPAIR DRYWALL AS REQUIRED FOR NEW STRUCTURAL WORK. IF NEW JOISTS ARE REQUIRED, INSTALL THESE FROM ABOVE.
- 5 RE-INSTALLED PAVERS ON GRAVEL BASE.
- 6 4" THICK CONCRETE SLAB WITH #10 WWF. DOWEL NEW SLAB INTO EXISTING AT ALL EDGES.
- 7 CLOSET ORGANIZING AND STORAGE SYSTEM. COORDINATE SPEC. & LAYOUT WITH OWNER. PROVIDE ALL NECESSARY IN WALL BLOCKING.
- 8 NEW WHITE PVC PICKET FENCE, 4'-0" HIGH TO REPLACE EXISTING.
- 9 36" HIGH PAINTED WOOD RAILING WITH STAINED TOP RAIL. PICKETS AT 4" O/C SPACING MAX. STYLE TO MATCH EXISTING.
- 10 ATTIC ACCESS HATCH ABOVE.
- 11 HVAC UNIT FOR NEW SECOND FLOOR SPACES. PROVIDE CONDENSATE DRAIN.

BRACED WALL SCHEDULE

CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME (APA)

1. 7/8" OSB OR PLYWOOD
2. REFERENCE FIGURE 602.10.6.4 IN RESIDENTIAL CODE OF OHIO (RCO)

CS-WSP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL

1. 7/8" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
2. 6" O.C. EDGE NAILING
3. 12" O.C. FIELD NAILING
4. LENGTH AS NOTED
5. AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED

FOOTING SCHEDULE:

16"W X 8"D CONT. FOOTING W/ (2)-#5 BARS CONT.

2'-0" X 2'-0" X 1'-0" FOOTING WITH (3)-#4 BARS EACH WAY

PIER SCHEDULE:

8"X8" CMU PIER W/ #5 VERT. GROUTED SOLID FULL HT.

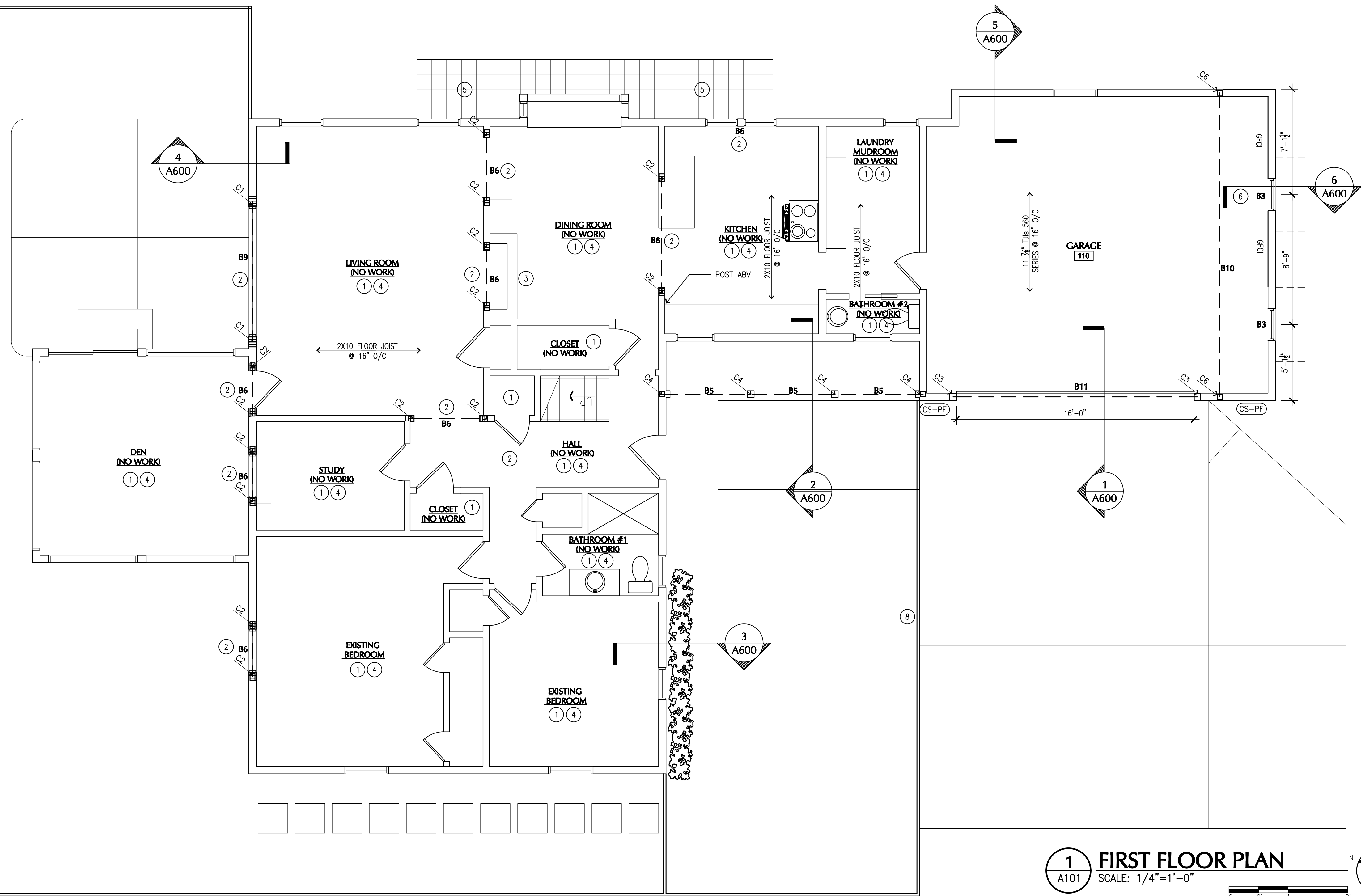
BEAM SCHEDULE:

B1 (3) 2X6
B2 (2) 2X8
B3 (2) 2X8 MIN.
B4 (3) 2X8
B5 (3) 2X8 OR (2) 2X10
B6 (2) 2X10
B7 (2) 2X12 OR (3) 2X10
B8 (2) 9-1/4" LVL
B9 (2) 11-1/4" LVL
B10 (2) 11-7/8" LVL
B11 (2) 18" LVL
B12 (3) 2X12 OR (2) 9-1/4" LVL

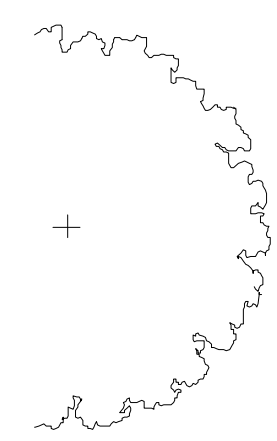
NOTE: AT ALL HEADERS ON EXTERIOR WALLS, INSTALL RIGID INSULATION BETWEEN HEADER MEMBERS

COLUMN SCHEDULE:

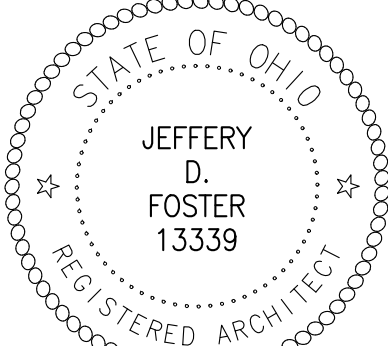
C1 (4)-2X6
C2 (3)-2X4
C3 5-1/4" X 5-1/4" PSL
C4 4X4 PT POST WITH SIMPSON POST CAP AND POST BASE
C5 6X6 POSTS WITH SIMPSON POST CAPS AND POST BASE
C6 (3)-2X6
C7 3-1/2" X 5-1/4" PSL



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"
0 2' 4' 8'

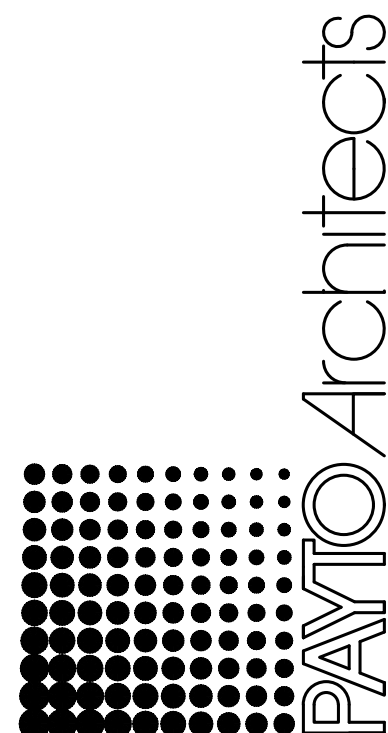


PRINTS FULL SCALE ON 24"X36" SHEET



JEFFERY FOSTER LICENSE 13339 EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
 ADDITION & RENOVATIONS
 20712 BEACONSFIELD BLVD.
 ROCKY RIVER, OH 44116



SECOND FLOOR PLAN

PA PROJECT NO. 2022-72
 CURRENT DATE 01.23.26

A102

PERMIT & CONSTRUCTION DOCUMENTS

405 BRADLEY BUILDING, 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113 PHONE: (216) 341-6800 WEB: WWW.PAYTOARCHITECTS.COM

KEYNOTE LEGEND	
1	NO WORK TO OCCUR IN THIS ROOM UNLESS NOTED OTHERWISE.
2	NEW HEADER AND POSTS AT EXISTING OPENING. IF EXISTING MATCH WITH NEWLY SHOWN THEN EXISTING TO REMAIN.
3	EXISTING CHIMNEY TO REMAIN. BRICK TO REMAIN EXPOSED.
4	PATCH AND REPAIR DRYWALL AS REQUIRED FOR NEW STRUCTURAL WORK. IF NEW JOISTS ARE REQUIRED, INSTALL THESE FROM ABOVE.
5	RE-INSTALLED PAVERS ON GRAVEL BASE.
6	4" THICK CONCRETE SLAB WITH #10 WWF. DOWEL NEW SLAB INTO EXISTING AT ALL EDGES.
7	CLOSET ORGANIZING AND STORAGE SYSTEM. COORDINATE SPEC. & LAYOUT WITH OWNER. PROVIDE ALL NECESSARY IN WALL BLOCKING.
8	NEW WHITE PVC PICKET FENCE, 4'-0" HIGH TO REPLACE EXISTING.
9	36" HIGH PAINTED WOOD RAILING WITH STAINED TOP RAIL. PICKETS AT 4" O/C SPACING MAX. STYLE TO MATCH EXISTING.
10	ATTIC ACCESS HATCH ABOVE.
11	HVAC UNIT FOR NEW SECOND FLOOR SPACES. PROVIDE CONDENSATE DRAIN.

BRACED WALL SCHEDULE	
CS-PF	CONTINUOUSLY SHEATHED PORTAL FRAME (APA)
1.	5/8" OSB OR PLYWOOD
2.	REFERENCE FIGURE 602.10.6.4 IN RESIDENTIAL CODE OF OHIO (RCO)
CS-WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
1.	5/8" OSB OR PLYWOOD SHEATHING APPLIED TO ONE SIDE
2.	6" O.C. EDGE NAILING
3.	12" O.C. FIELD NAILING
4.	LENGTH AS NOTED
5.	AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED

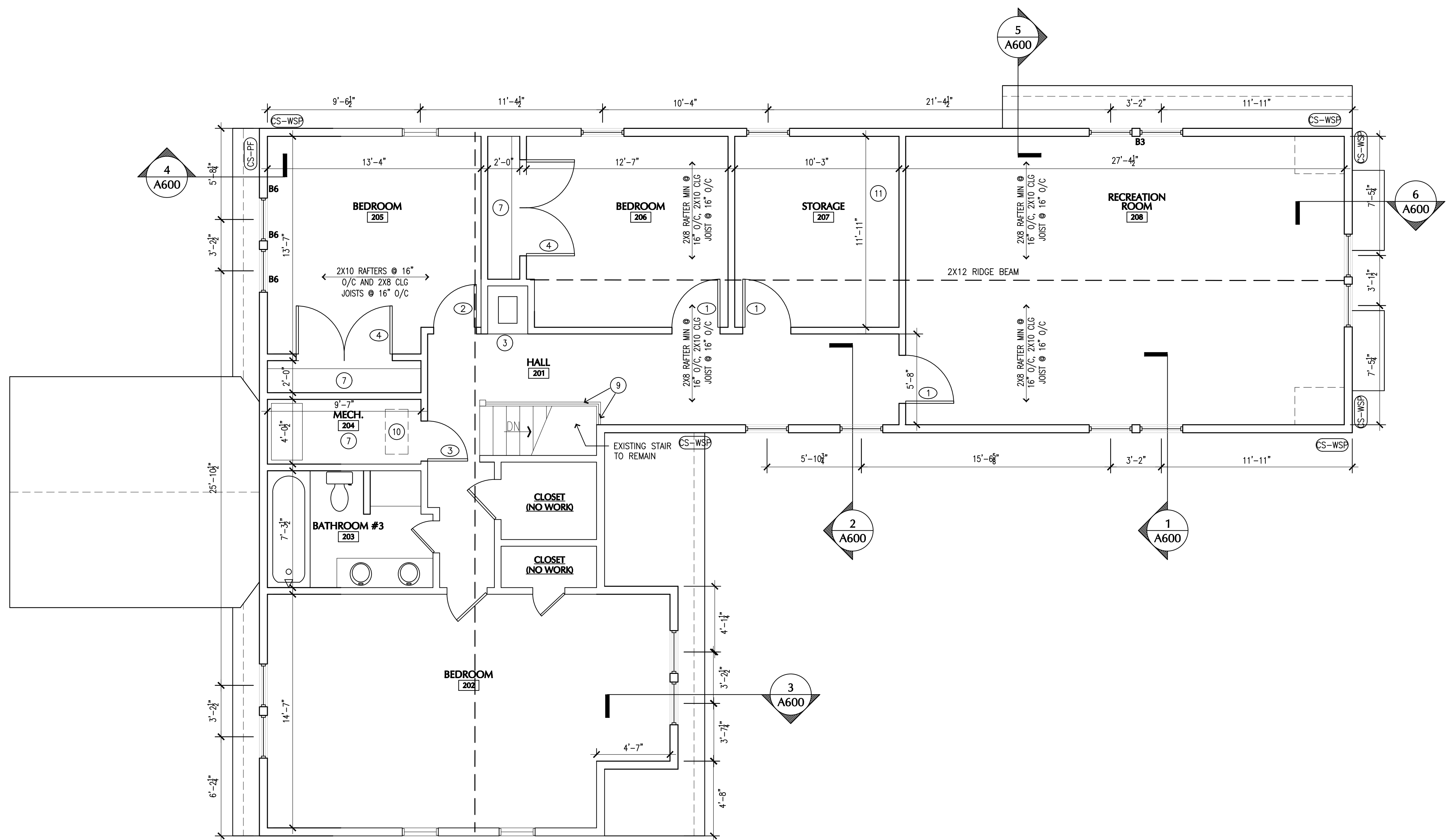
FOOTING SCHEDULE:	
F1	16"W X 8"D CONT. FOOTING W/ (2)-#5 BARS CONT.
F2	2'-0" X 2'-0" X 1'-0" FOOTING WITH (3)-#4 BARS EACH WAY

PIER SCHEDULE:	
P1	8"X8" CMU PIER W/ #5 VERT. GROUTED SOLID FULL HT.

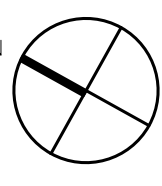
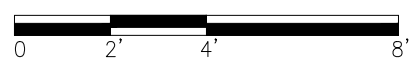
BEAM SCHEDULE:	
B1	(3) 2X6
B2	(2) 2X8
B3	(2) 2X8 MIN.
B4	(3) 2X8
B5	(3) 2X8 OR (2) 2X10
B6	(2) 2X10
B7	(2) 2X12 OR (3) 2X10
B8	(2) 9-1/4" LVL
B9	(2) 11-1/4" LVL
B10	(2) 11-7/8" LVL
B11	(2) 18" LVL
B12	(3) 2X12 OR (2) 9-1/4" LVL

NOTE: AT ALL HEADERS ON EXTERIOR WALLS, INSTALL RIGID INSULATION BETWEEN HEADER MEMBERS

COLUMN SCHEDULE:	
C1	(4)-2X6
C2	(3)-2X4
C3	5-1/4" X 5-1/4" PSL
C4	4X4 PT POST WITH SIMPSON POST CAP AND POST BASE
C5	6X6 POSTS WITH SIMPSON POST CAPS AND POST BASE
C6	(3)-2X6
C7	3-1/2" X 5-1/4" PSL



1 SECOND FLOOR PLAN
 A102 SCALE: 1/4"=1'-0"

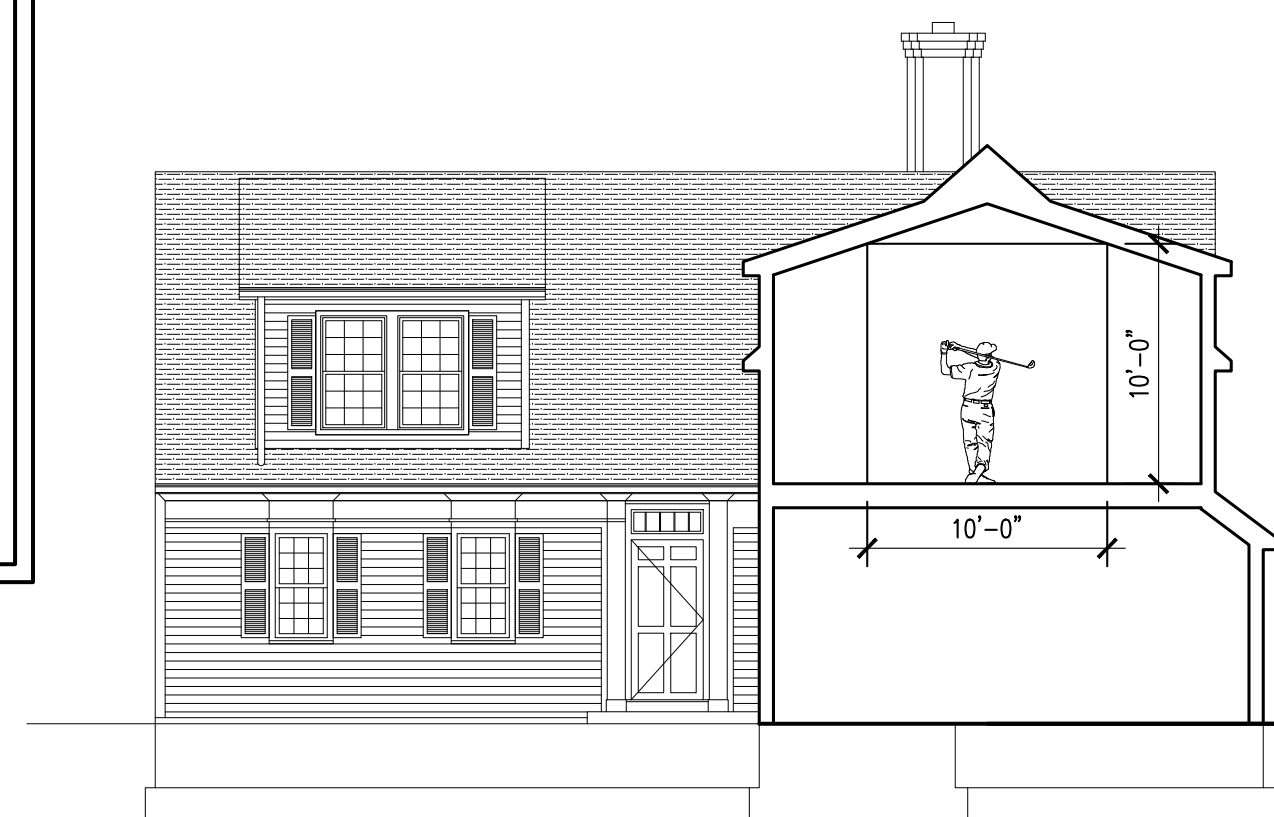


KEYNOTE LEGEND - ELEVATIONS

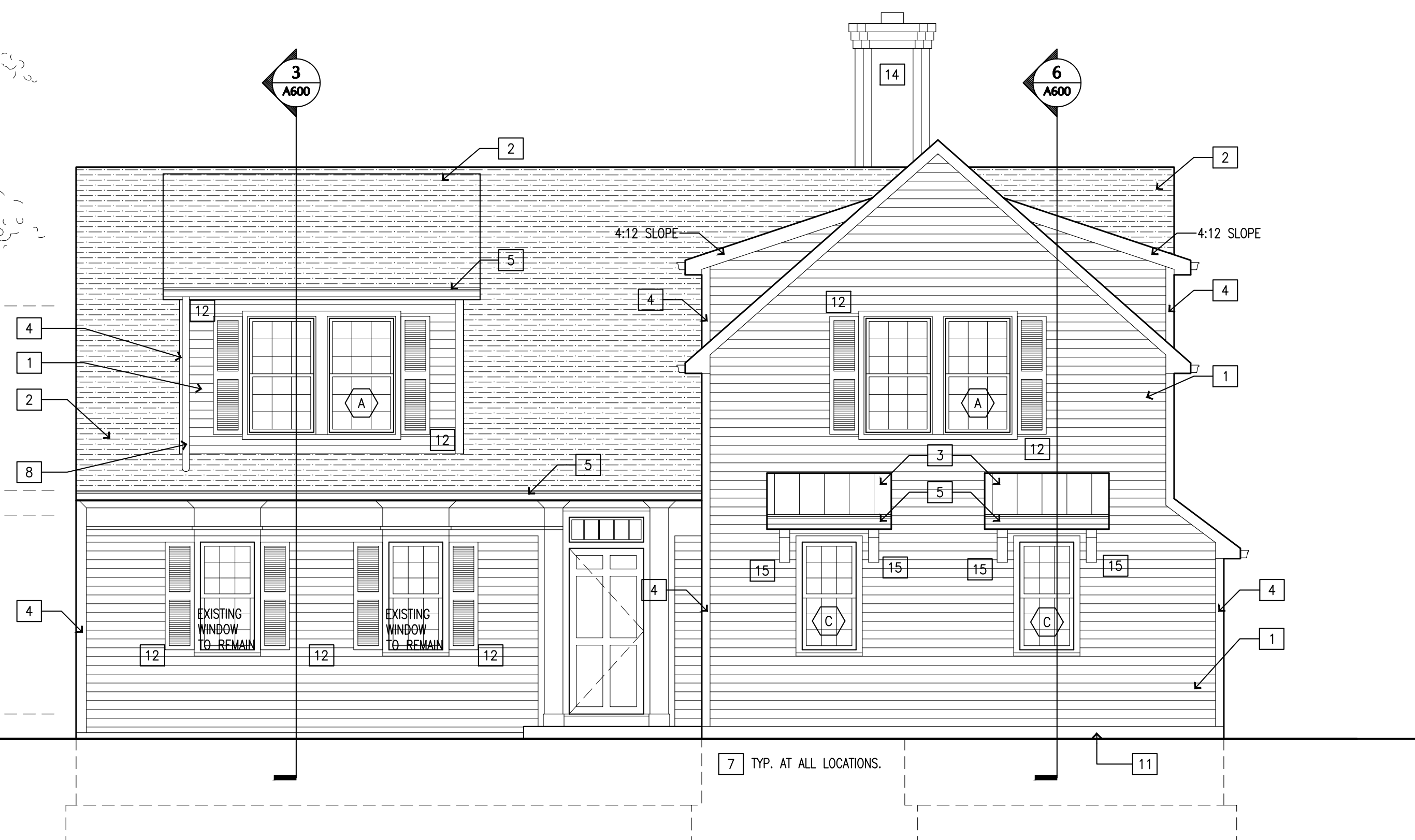
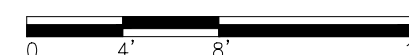
- 1 4" JAMES HARDIE LAP SIDING, COLOR TO BE DETERMINED BY OWNER. INSTALL AND FLASH PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. SYSTEM TO BE PRE-FINISHED FOR FIRST COAT. SECOND COAT TO BE APPLIED IN FIELD.
- 2 30 YEAR ASPHALT SHINGLES OVER LAPPED BUILDING FELT. PROVIDE ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS.
- 3 24 GA. GALVANIZED STEEL STANDING SEAM ROOFING OVER HIGH TEMPERATURE UNDERLAYMENT.
- 4 4" NOMINAL CORNER BOARDS TO MATCH SIDING.
- 5 5" ALUM. GUTTER OVER AZEK FASCIA BOARDS - COLOR TO BE WHITE
- 6 6" JAMES HARDIE TRIM BOARD.
- 7 1/2" X 4" TRIM BOARDS AT ALL WINDOW AND DOOR OPENINGS. COLOR TO MATCH WINDOWS.
- 8 METAL DOWNSPOUT LEADER TIED INTO UNDERGROUND. COLOR TO BE WHITE.
- 9 NEW INSULATED METAL GARAGE DOOR WITH OPENER.
- 10 8" JAMES HARDIE TRIM BOARD.
- 11 EXPOSED CMU FOUNDATION WALL WITH PAINTED FINISH.
- 12 COMPOSITE WOOD SHUTTERS. COLOR TO BE SELECTED BY OWNER.
- 13 FIBER CEMENT BOARD AND BATTEN SIDING, COLOR TO BE DETERMINED BY OWNER. INSTALL AND FLASH PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. SYSTEM TO BE PRE-FINISHED FOR FIRST COAT. SECOND COAT TO BE APPLIED IN FIELD.
- 14 EXISTING CHIMNEY TO REMAIN. TUCKPOINT AS REQUIRED. PAINT ALL SURFACES WHEN COMPLETE. INSTALL NEW STEP FLASHINGS.
- 15 COMPOSITE OR PVC BRACKETS. PAINT TO MATCH TRIM AND CORNER BOARDS.
- 16 COMPOSITE TRIM WRAPPED COLUMN, ARCH AND BEAM AT PORCH. PAINT TO MATCH TRIM AND CORNER BOARDS.

GENERAL NOTES:

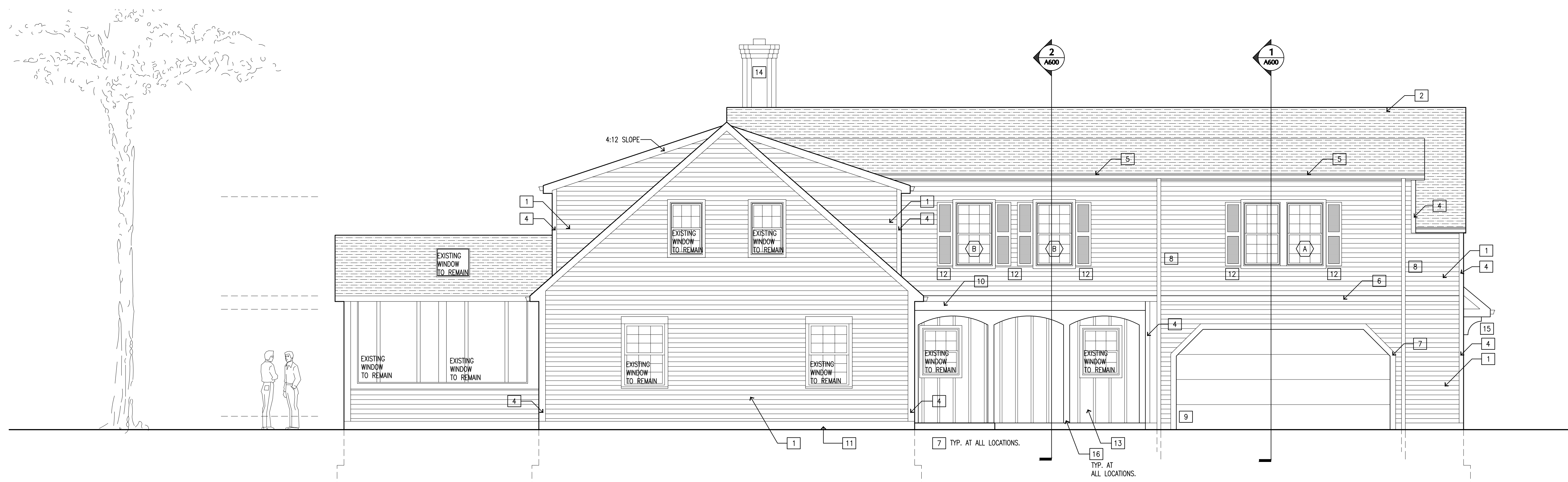
- A) PROVIDE 4" TRIM AND OR BRICK MOLDINGS AT ALL WINDOW & DOOR OPEN'GS AS REQUIRED OR SHOWN.
- B) PROVIDE 20 GA. GALV. FLASHING AT ALL WALL PENETRATIONS, VALLEYS & VERTICAL SURFACES - COLOR TO MATCH ADJ. ROOF. EXTEND UP MIN. OF 12" BEHIND WALL CLADDING.
- C) ALL FASCIA BOARDS TO ME A MIN. OF 8" HIGH
- D) PROVIDE SAMPLES AND SPECS ON ALL MATERIALS FOR OWNERS APPROVAL PRIOR TO PROCUREMENT.
- E) ALL FIBER CEMENT SIDING AND AND PVC TRIM TO BE PAINTED
- F) ALL MATERIALS TO BE INSTALLED AND DETAILED PER MANUFACTURERS SPECIFICATIONS, DIRECTIONS OR REQUIREMENTS.
- G) PROVIDE A MOCK UP OF ACTUAL MATERIALS BEING USED ON THE PROJECT. SIZE TO BE A MINIMUM OF 4'X4' AND TO INCLUDE ALL EXTERIOR MATERIALS BEING UTILIZED.
- H) ENTIRE EXTERIOR TO HAVE TYVEK AIR AND MOISTURE BARRIER, INSTALLED, TAPED AND SEALED PER MANUFACTURERS RECOMMENDATIONS. LAKE FACING ELEVATIONS AND DORMERS TO BE CLAD FULLY IN ICE AND WATER SHIELD.



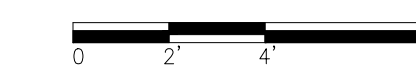
3 BUILDING SECTION
A200 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
A200 SCALE: 1/4"=1'-0"

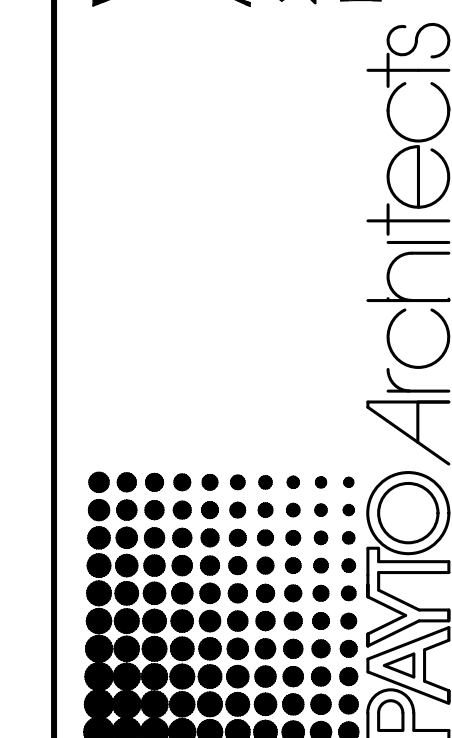


1 WEST ELEVATION
A200 SCALE: 1/4"=1'-0"



JEFFERY D. FOSTER
LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



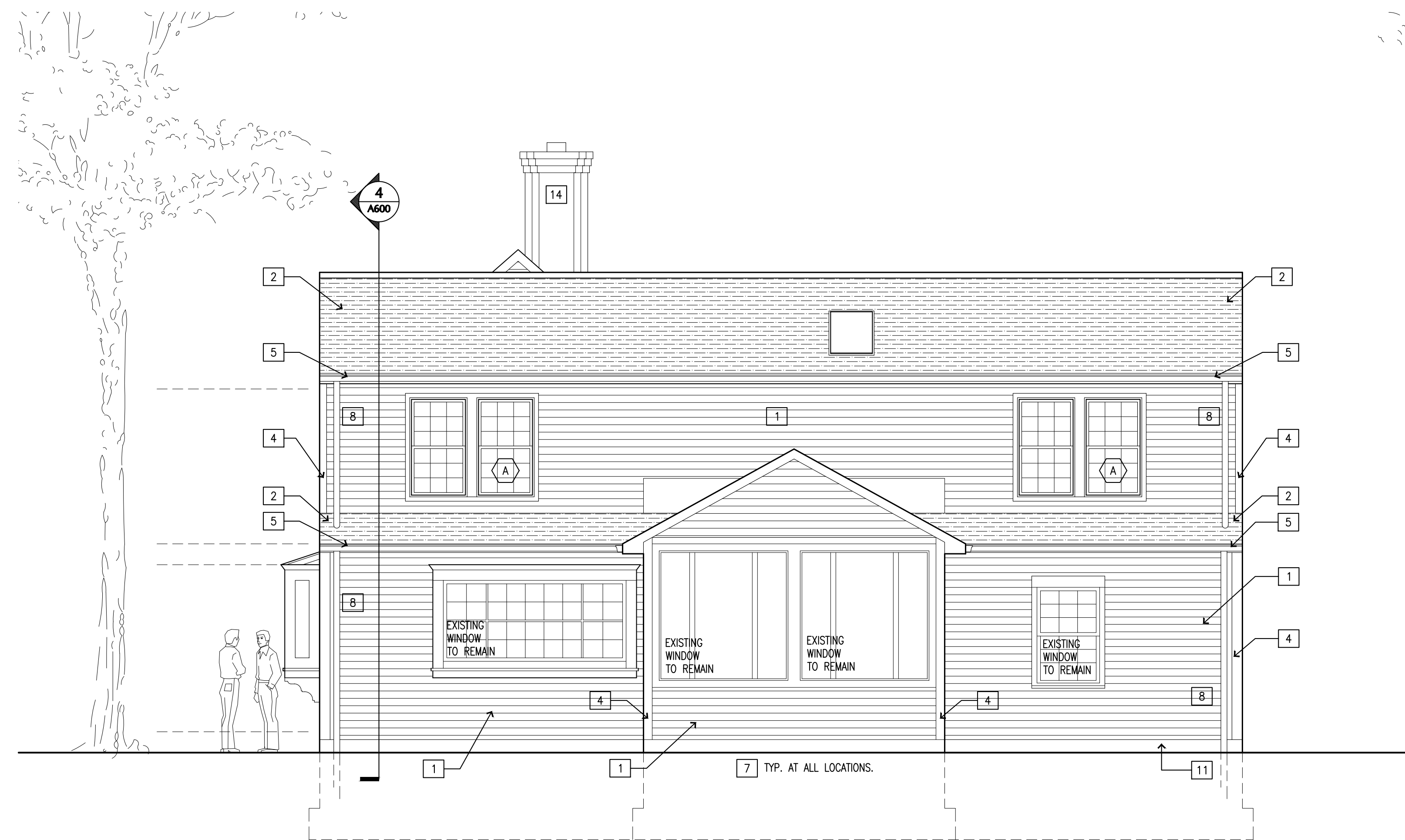
EXTERIOR ELEVATIONS & BUILDING SECTION

KEYNOTE LEGEND - ELEVATIONS

- 1 4" JAMES HARDIE LAP SIDING, COLOR TO BE DETERMINED BY OWNER. INSTALL AND FLASH PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. SYSTEM TO BE PRE-FINISHED FOR FIRST COAT. SECOND COAT TO BE APPLIED IN FIELD.
- 2 30 YEAR ASPHALT SHINGLES OVER LAPPED BUILDING FELT. PROVIDE ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS.
- 3 24 GA. GALVANIZED STEEL STANDING SEAM ROOFING OVER HIGH TEMPERATURE UNDERLAYMENT.
- 4 4" NOMINAL CORNER BOARDS TO MATCH SIDING.
- 5 5" ALUM. GUTTER OVER AZEK FASCIA BOARDS - COLOR TO BE WHITE
- 6 6" JAMES HARDIE TRIM BOARD.
- 7 1/2" X 4" TRIM BOARDS AT ALL WINDOW AND DOOR OPENINGS. COLOR TO MATCH WINDOWS.
- 8 METAL DOWNSPOUT LEADER TIED INTO UNDERGROUND. COLOR TO BE WHITE.
- 9 NEW INSULATED METAL GARAGE DOOR WITH OPENER.
- 10 8" JAMES HARDIE TRIM BOARD.
- 11 EXPOSED CMU FOUNDATION WALL WITH PAINTED FINISH.
- 12 COMPOSITE WOOD SHUTTERS. COLOR TO BE SELECTED BY OWNER.
- 13 FIBER CEMENT BOARD AND BATTEN SIDING, COLOR TO BE DETERMINED BY OWNER. INSTALL AND FLASH PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. SYSTEM TO BE PRE-FINISHED FOR FIRST COAT. SECOND COAT TO BE APPLIED IN FIELD.
- 14 EXISTING CHIMNEY TO REMAIN. TUCKPOINT AS REQUIRED. PAINT ALL SURFACES WHEN COMPLETE. INSTALL NEW STEP FLASHINGS.
- 15 COMPOSITE OR PVC BRACKETS. PAINT TO MATCH TRIM AND CORNER BOARDS.
- 16 COMPOSITE TRIM WRAPPED COLUMN, ARCH AND BEAM AT PORCH. PAINT TO MATCH TRIM AND CORNER BOARDS.

GENERAL NOTES:

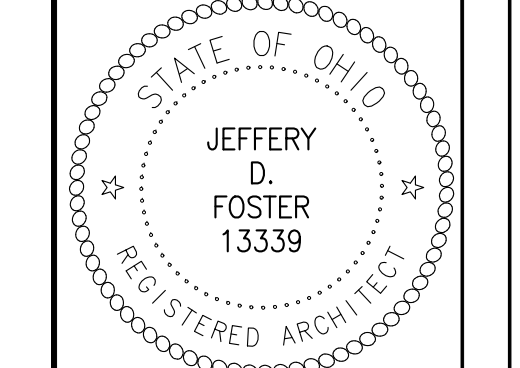
- A) PROVIDE 4" TRIM AND OR BRICK MOLDINGS AT ALL WINDOW & DOOR OPN'GS AS REQUIRED OR SHOWN.
- B) PROVIDE 20 GA. GALV. FLASHING AT ALL WALL PENETRATIONS, VALLEYS & VERTICAL SURFACES - COLOR TO MATCH ADJ. ROOF. EXTEND UP MIN. OF 12" BEHIND WALL CLADDING.
- C) ALL FASCIA BOARDS TO BE A MIN. OF 8" HIGH
- D) PROVIDE SAMPLES AND SPECS ON ALL MATERIALS FOR OWNERS APPROVAL PRIOR TO PROCUREMENT.
- E) ALL FIBER CEMENT SIDING AND PVC TRIM TO BE PAINTED
- F) ALL MATERIALS TO BE INSTALLED AND DETAILED PER MANUFACTURERS SPECIFICATIONS, DIRECTIONS OR REQUIREMENTS.
- G) PROVIDE A MOCK UP OF ACTUAL MATERIALS BEING USED ON THE PROJECT. SIZE TO BE A MINIMUM OF 4'X4' AND TO INCLUDE ALL EXTERIOR MATERIALS BEING UTILIZED.
- H) ENTIRE EXTERIOR TO HAVE TYVEK AIR AND MOISTURE BARRIER, INSTALLED, TAPED AND SEALED PER MANUFACTURERS RECOMMENDATIONS. LAKE FACING ELEVATIONS AND DORMERS TO BE CLAD FULLY IN ICE AND WATER SHIELD.



2 NORTH ELEVATION
A201 SCALE: 1/4"=1'-0"

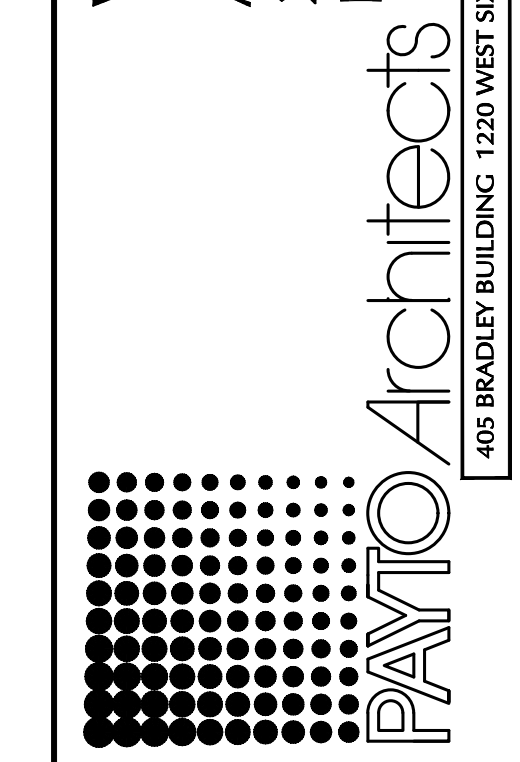


1 EAST ELEVATION
A201 SCALE: 1/4"=1'-0"



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

VERICIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116

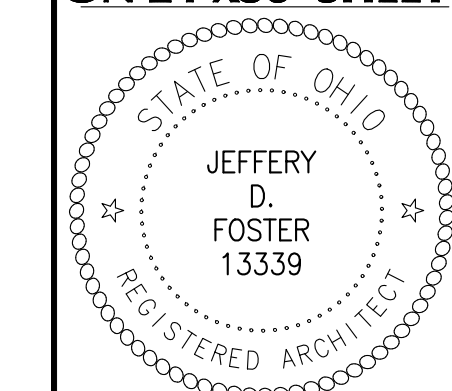


EXTERIOR ELEVATIONS

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

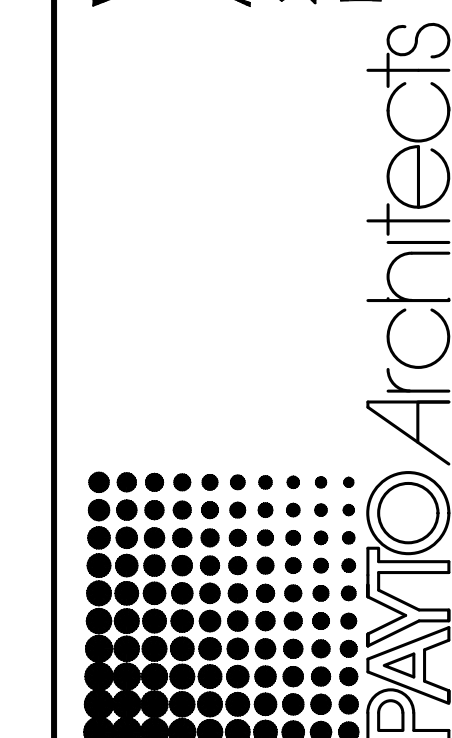
A201
PERMIT & CONSTRUCTION DOCUMENTS

PRINTS FULL SCALE
ON 24"X36" SHEET



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



FIRST FLOOR
REFLECTED CEILING
& ELECTRICAL PLAN

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

A401

PERMIT & CONSTRUCTION
DOCUMENTS

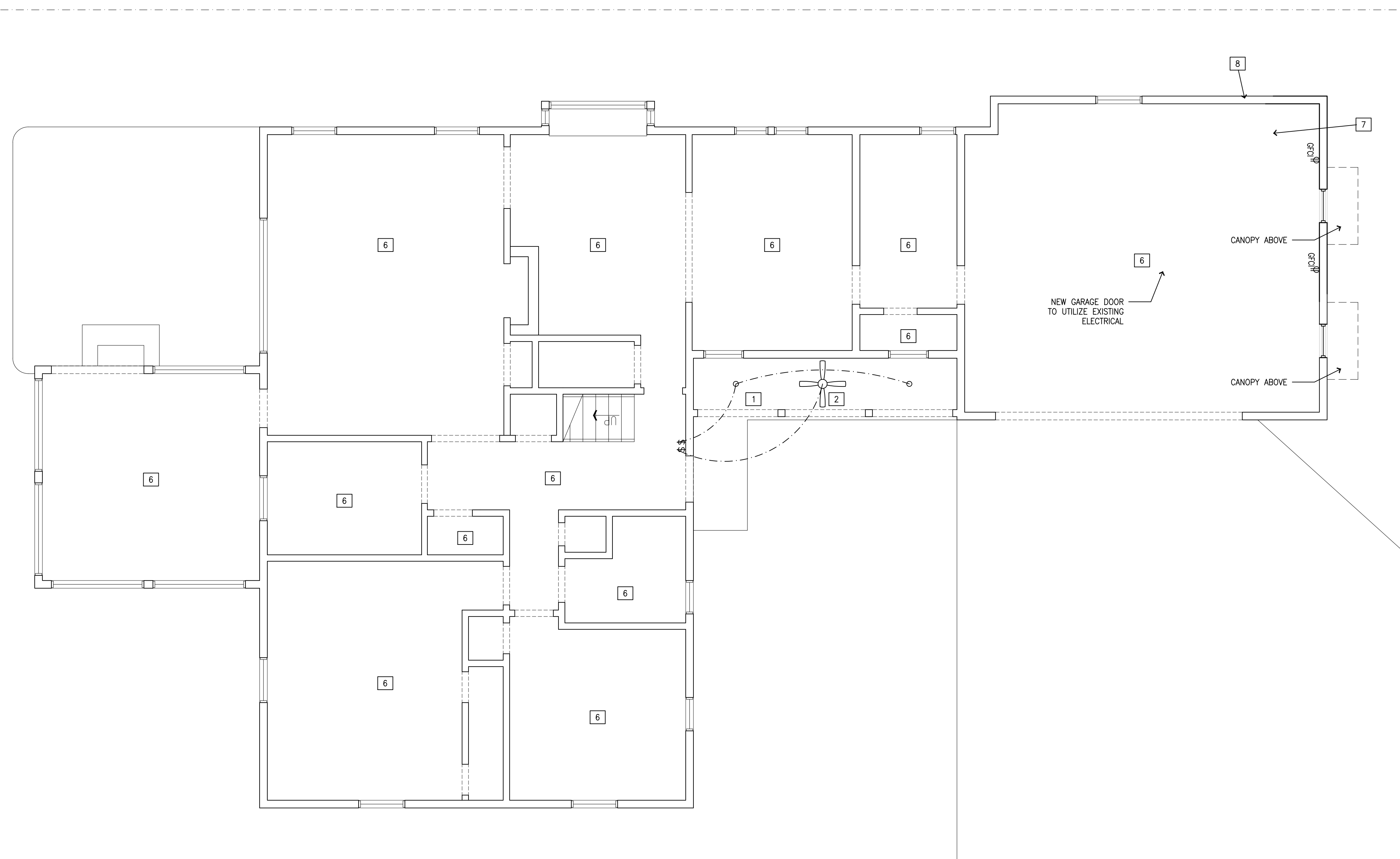
WEB: WWW.PAYTOARCHITECTS.COM
PHONE: (216) 241-6800

KEYNOTE LEGEND - REFLECTED CEILING PLAN

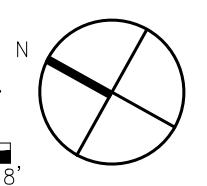
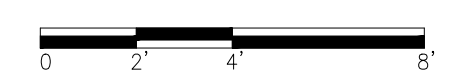
- 1 RECESSED DOWN LIGHTS AS SHOWN.
- 2 CEILING FAN. EXTERIOR RATED IN EXTERIOR LOCATIONS.
- 3 WALL MOUNTED LIGHT.
- 4 BATH EXHAUST FAN WITH LIGHT. ROUTE VENT TO EXTERIOR.
- 5 CLOSET LIGHTING WITH OCCUPANCY SENSOR.
- 6 EXISTING ELECTRICAL & LIGHTING IN ROOM TO REMAIN.
- 7 LOCATION OF EXISTING ELECTRICAL SERVICE METER.
- 8 PROPOSED LOCATION OF NEW ELECTRICAL SERVICE METER

C = COUNTERTOP HEIGHT OUTLET AT 42"
S.D. = HARDWIRED, INTERCONNECTED SMOKE / CARBON MONOXIDE DETECTOR. CONNECT TO ANY EXISTING.

NOTE: SPACING OF ALL RECESSED TO BE CENTERED AND SPACED EQUIDISTANT OR AS SHOWN

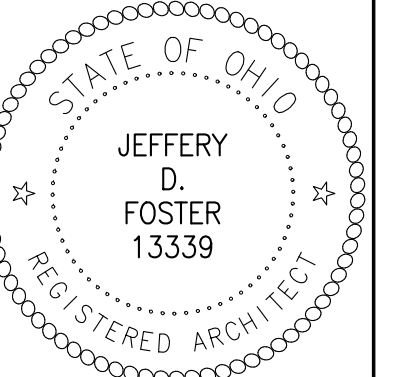


1
A401 **FIRST FLOOR ELECTRICAL & CEILING PLAN**
SCALE: 1/4"=1'-0"



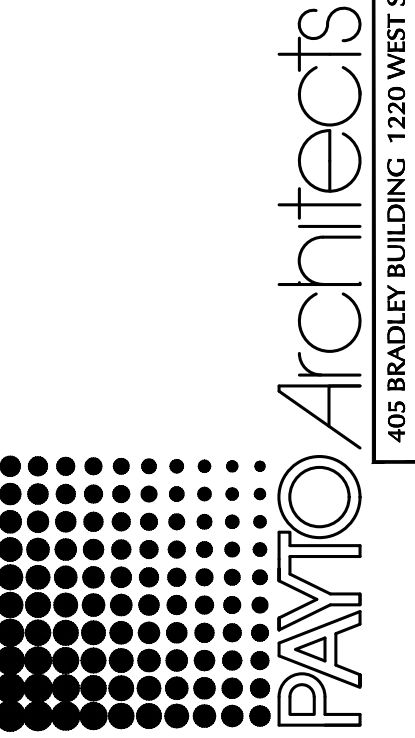
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PRINTS FULL SCALE
ON 24"x36" SHEET



JEFFERY FOSTER, LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



SECOND FLOOR
REFLECTED CEILING
& ELECTRICAL PLAN

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

A402

PERMIT & CONSTRUCTION
DOCUMENTS

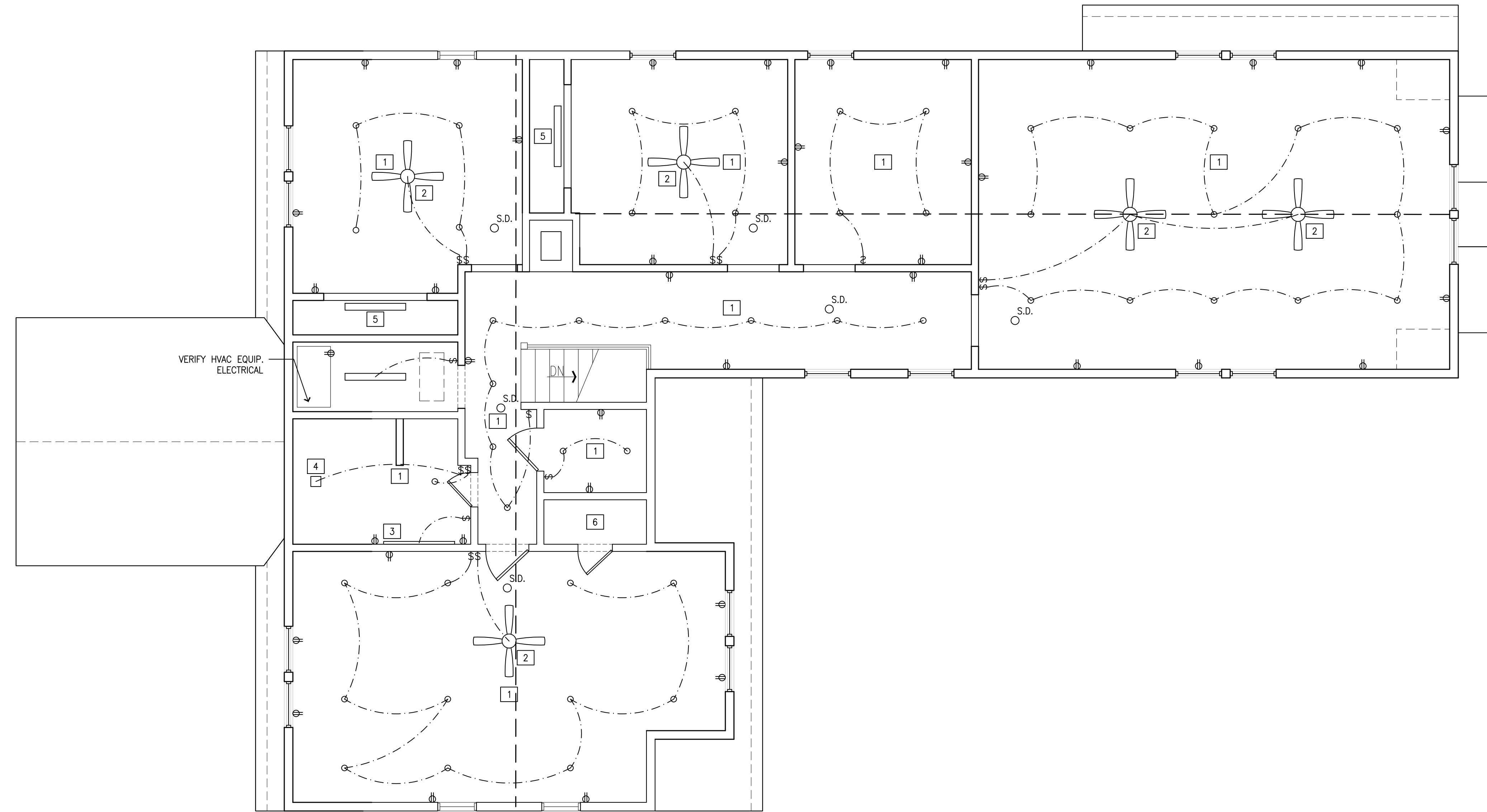
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KEYNOTE LEGEND - REFLECTED CEILING PLAN

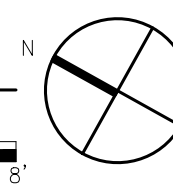
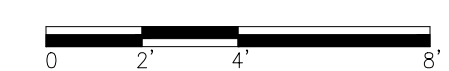
- 1 RECESSED DOWN LIGHTS AS SHOWN.
- 2 CEILING FAN. EXTERIOR RATED IN EXTERIOR LOCATIONS.
- 3 WALL MOUNTED LIGHT.
- 4 BATH EXHAUST FAN WITH LIGHT. ROUTE VENT TO EXTERIOR.
- 5 CLOSET LIGHTING WITH OCCUPANCY SENSOR.
- 6 EXISTING ELECTRICAL & LIGHTING IN ROOM TO REMAIN.
- 7 LOCATION OF EXISTING ELECTRICAL SERVICE METER.
- 8 PROPOSED LOCATION OF NEW ELECTRICAL SERVICE METER

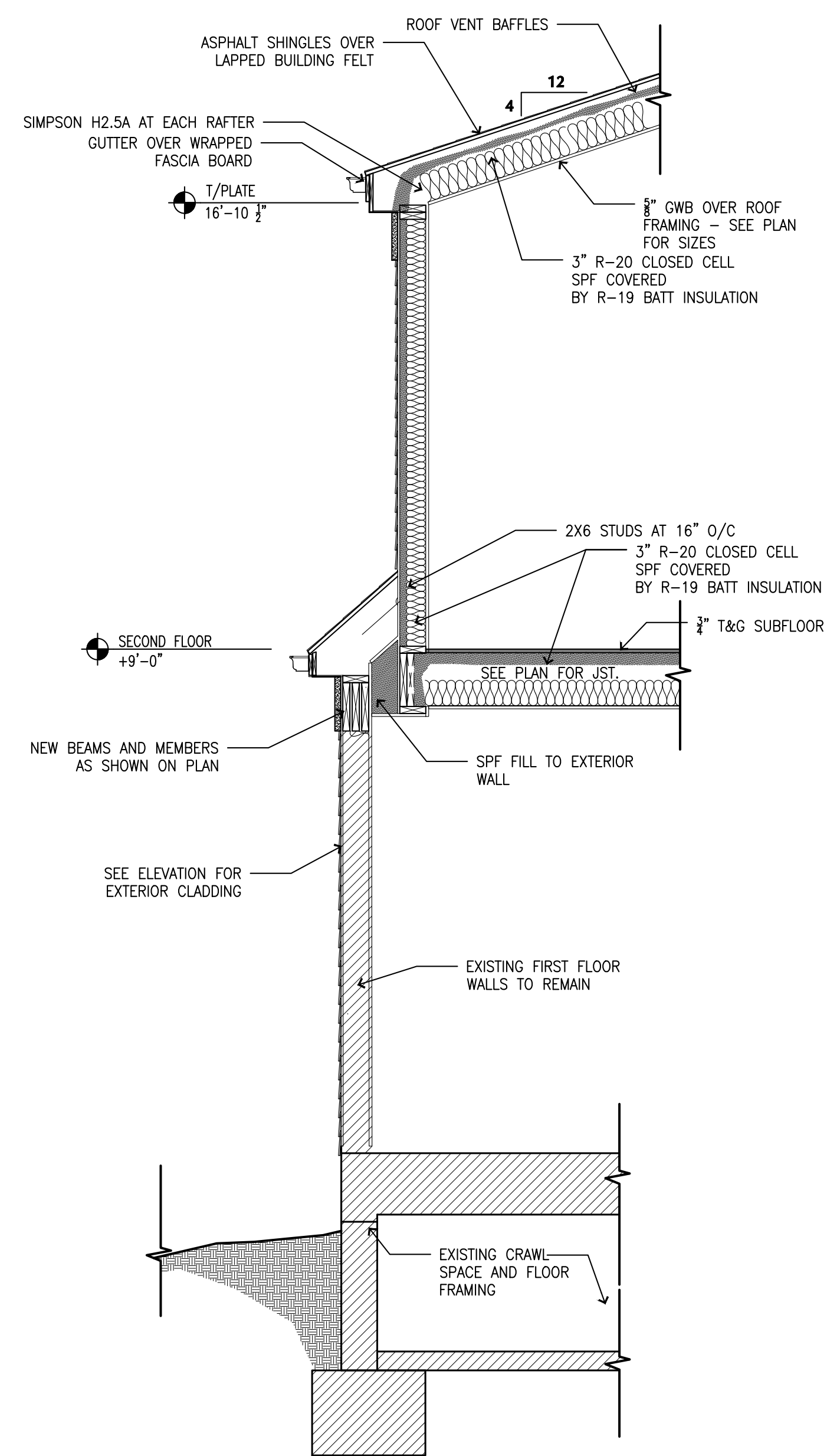
C = COUNTERTOP HEIGHT OUTLET AT 42"
S.D. = HARDWIRED, INTERCONNECTED SMOKE / CARBON MONOXIDE DETECTOR. CONNECT TO ANY EXISTING.

NOTE: SPACING OF ALL RECESSED TO BE CENTERED AND SPACED EQUIDISTANT OR AS SHOWN

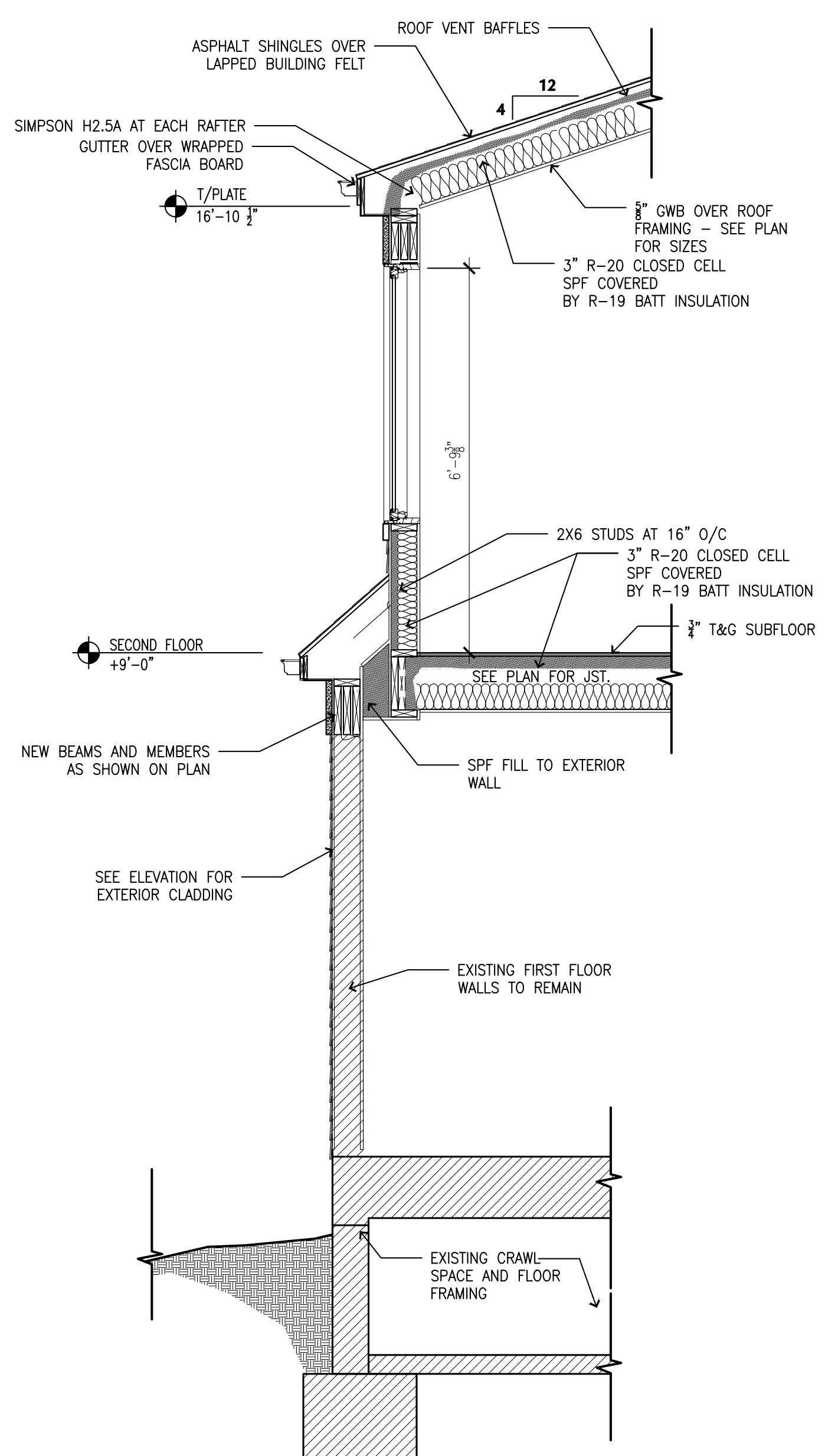


2 SECOND FLOOR ELECTRICAL & CEILING PLAN
A401 SCALE: 1/4"=1'-0"

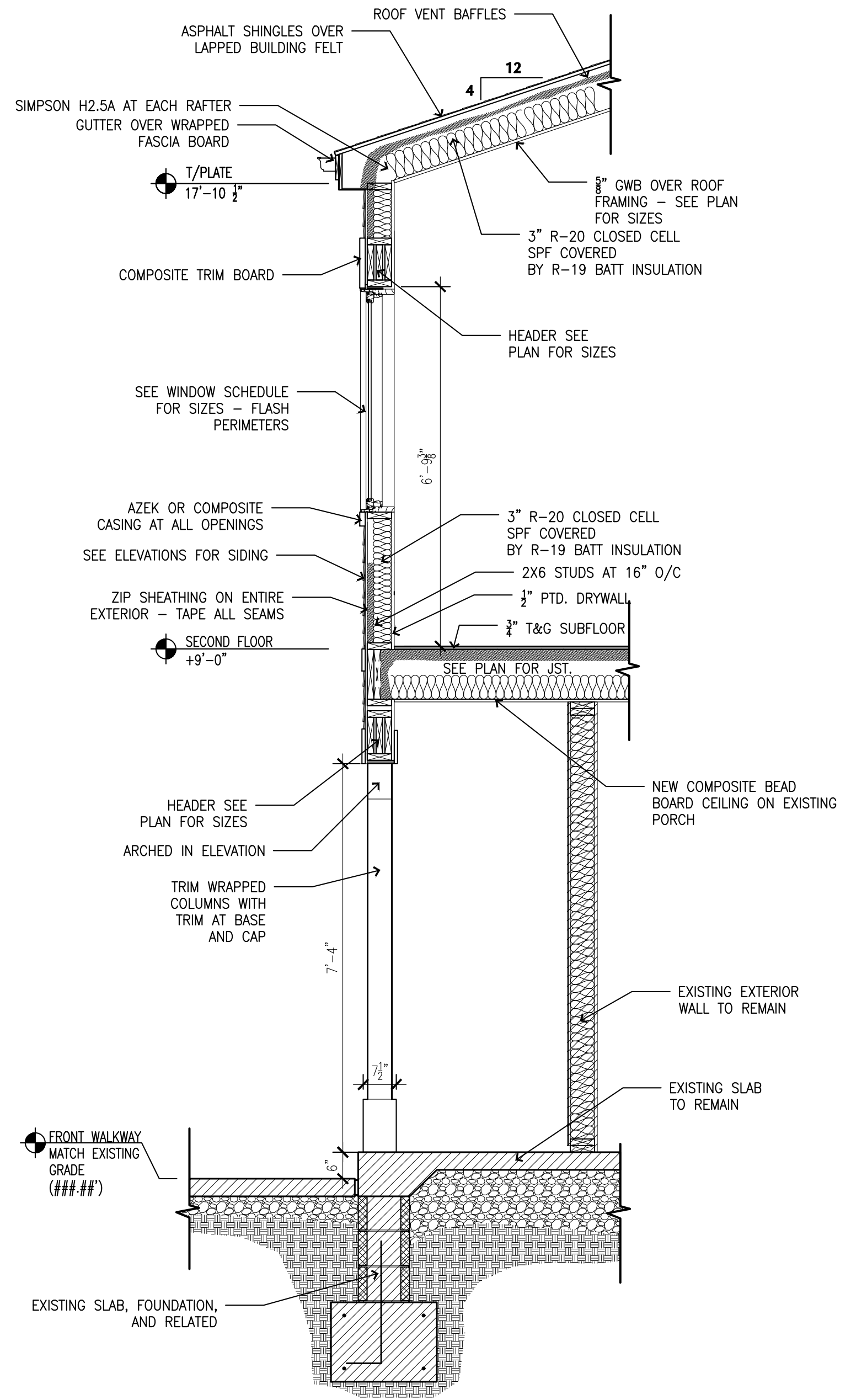




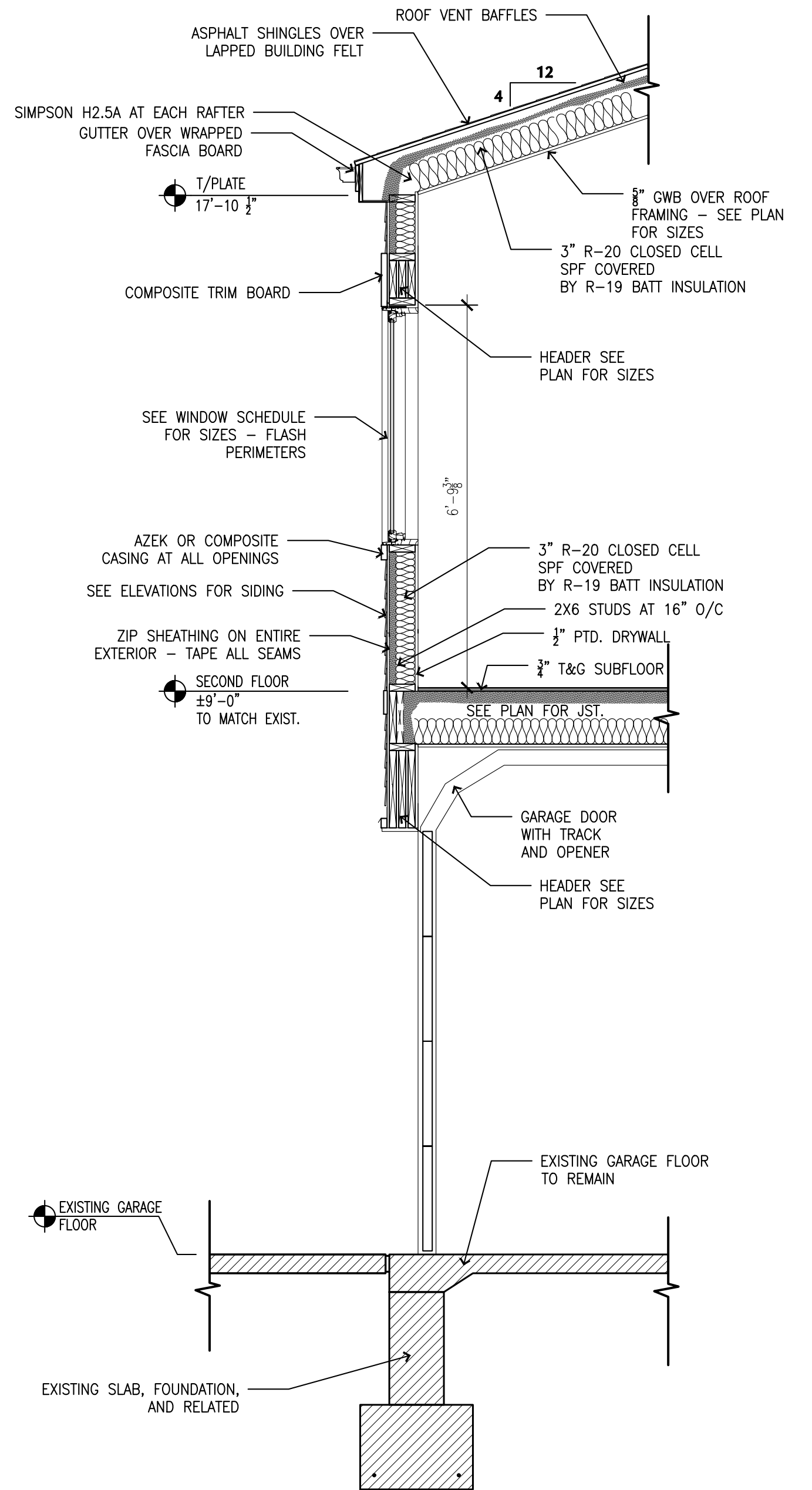
4 DETAIL SECTION
 A600 SCALE: 1/2"=1'-0"



3 DETAIL SECTION
 A600 SCALE: 1/2"=1'-0"



2 DETAIL SECTION
 A600 SCALE: 1/2"=1'-0"

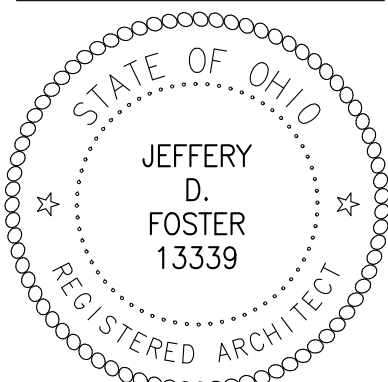


1 DETAIL SECTION
 A600 SCALE: 1/2"=1'-0"

405 BRADLEY BUILDING, 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
 PHONE: (216) 341-6800
 WEB: WWW.PAYTOARCHITECTS.COM

VERCIGLIO RESIDENCE
 ADDITION & RENOVATIONS
 20712 BEACONSFIELD BLVD.
 ROCKY RIVER, OH 44116

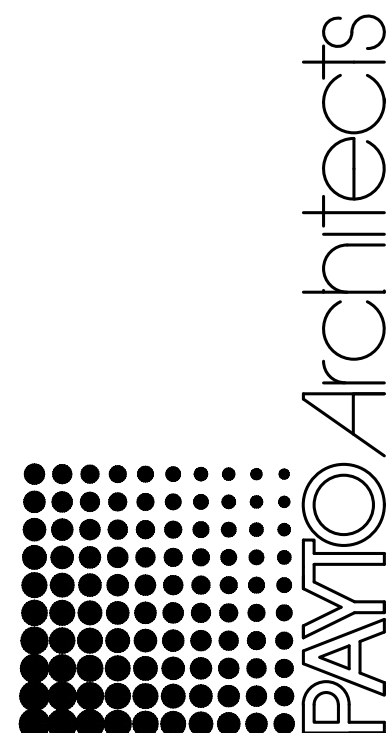
PAYTO Architects



JEFFERY FOSTER LICENSE 13339
EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE

ADDITION & RENOVATIONS
20712 BEACONSFIELD BLVD.
ROCKY RIVER, OH 44116



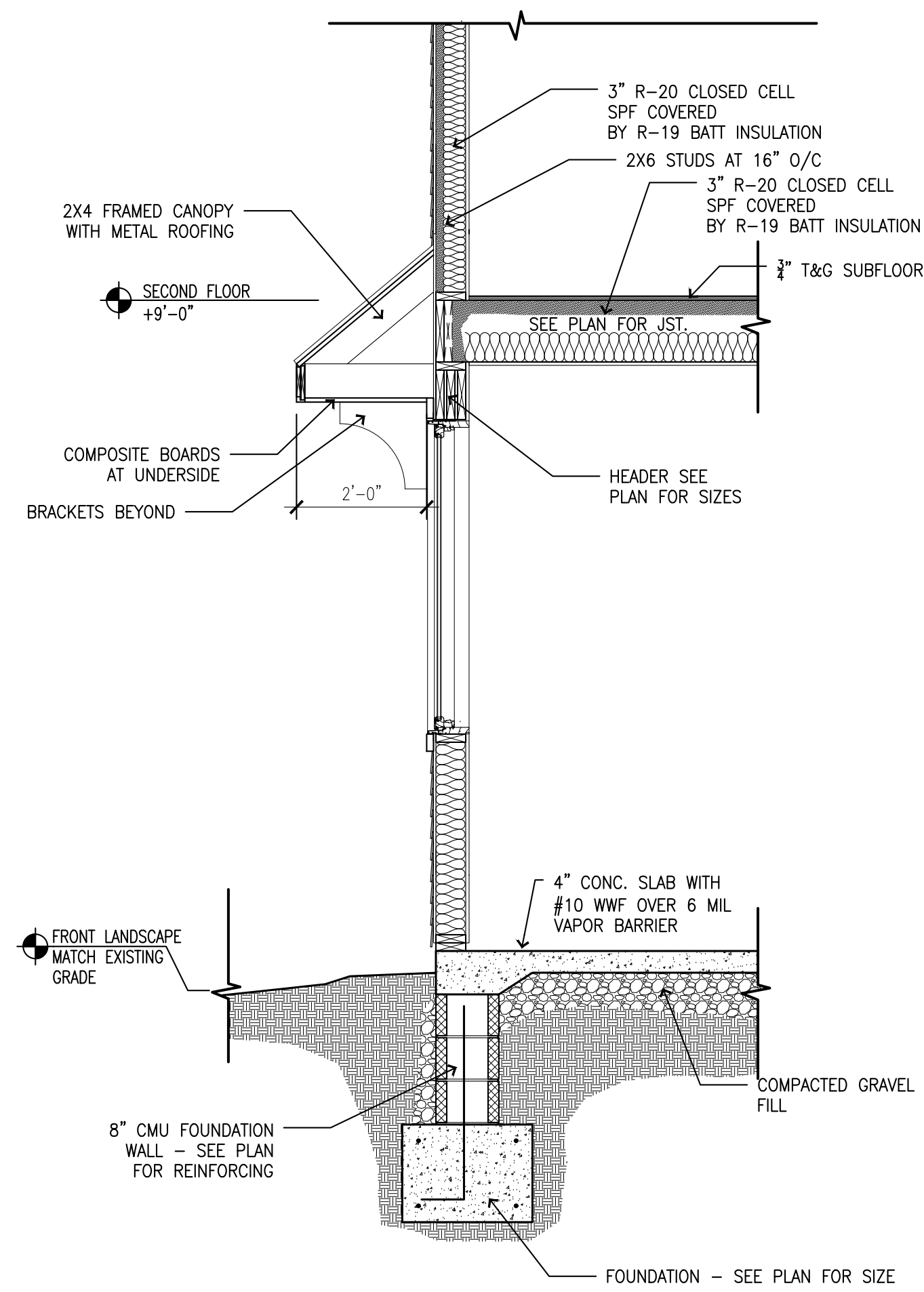
DETAIL SECTIONS

PA PROJECT NO. 2022-72
CURRENT DATE 01.23.26

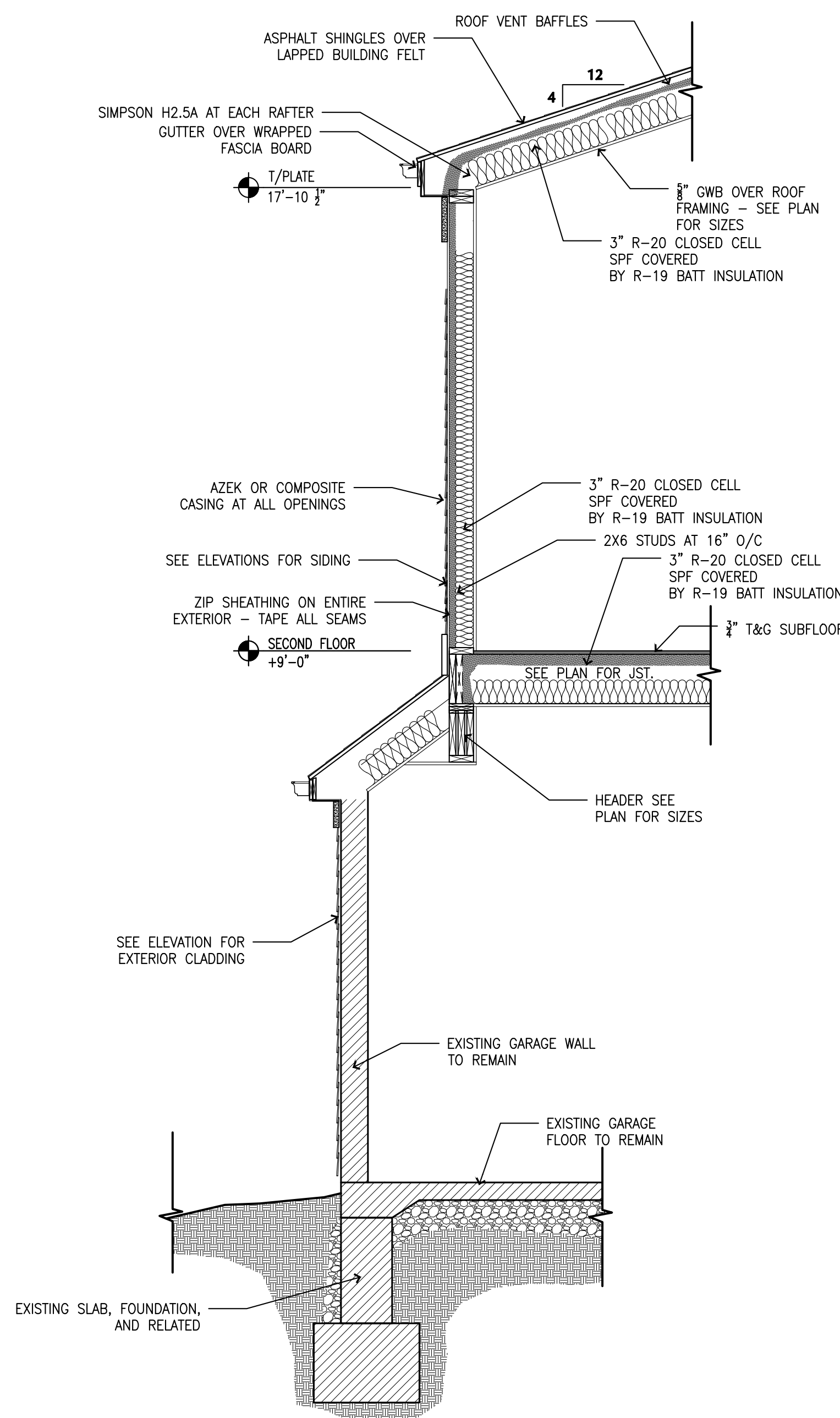
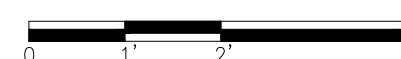
A601

PERMIT & CONSTRUCTION DOCUMENTS

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6 DETAIL SECTION
A601 SCALE: 1/2"=1'-0"



5 DETAIL SECTION
A601 SCALE: 1/2"=1'-0"

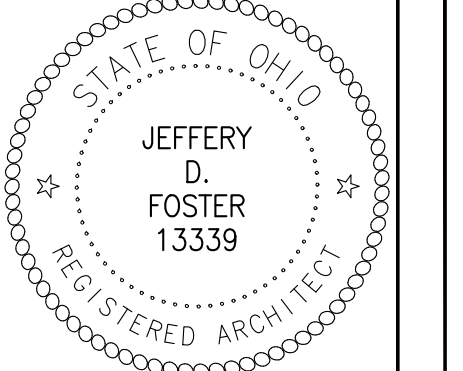


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FINISH SCHEDULE																																	
NO.	ROOM NAME	FLOOR					BASE			WALL			TRIM			CEILING			REMARKS														
		NONE	CONCRETE	CARPET	LUXURY VINYL TILE (LVT)	PORCELAIN TILE	NEW WOOD TO MATCH EXISTING	EXISTING WOOD	EXISTING TO REMAIN	WOOD	TO MATCH FLOOR TILE	RUBBER COVE	FINISH	PATCH AND REPAIR EXISTING	CALL.	GYP/SLUM BOARD	WOOD WAINSCOT	WOOD SHIPLAP		FINISH	EXISTING TO REMAIN	WAINSCOT	CROWN	CASING AT OPENINGS	CHAIR RAIL	FINISH	EXISTING TO REMAIN	PAINTED GYP/SLUM BOARD	TEXTURED GYP/SLUM BOARD	BEADED BOARD	FINISH	HEIGHT	
110	GARAGE																																EXISTING TO REMAIN, NEW CONC. AT ADDITION
201	HALL																																
202	BEDROOM																																
203	BATHROOM #3																																
204	MECH.																																
205	BEDROOM																																
206	BEDROOM																																
207	STORAGE																																
208	RECREATION ROOM																																

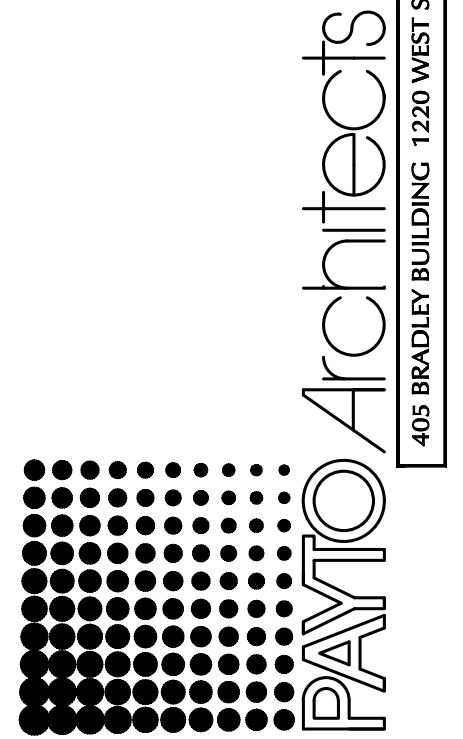
ISSUE DATE: 01.23.26

PRINTS FULL SCALE ON 24"X36" SHEET



JEFFERY D. FOSTER LICENSE 13339 EXPIRATION DATE: 12/31/27

VERCIGLIO RESIDENCE
 ADDITION & RENOVATIONS
 20712 BEACONSFIELD BLVD.
 ROCKY RIVER, OH 44116



FINISH SCHEDULE,
 DOOR &
 WINDOW TYPES,
 TRIM PROFILES

PA PROJECT NO. 2022-72
 CURRENT DATE 01.23.26

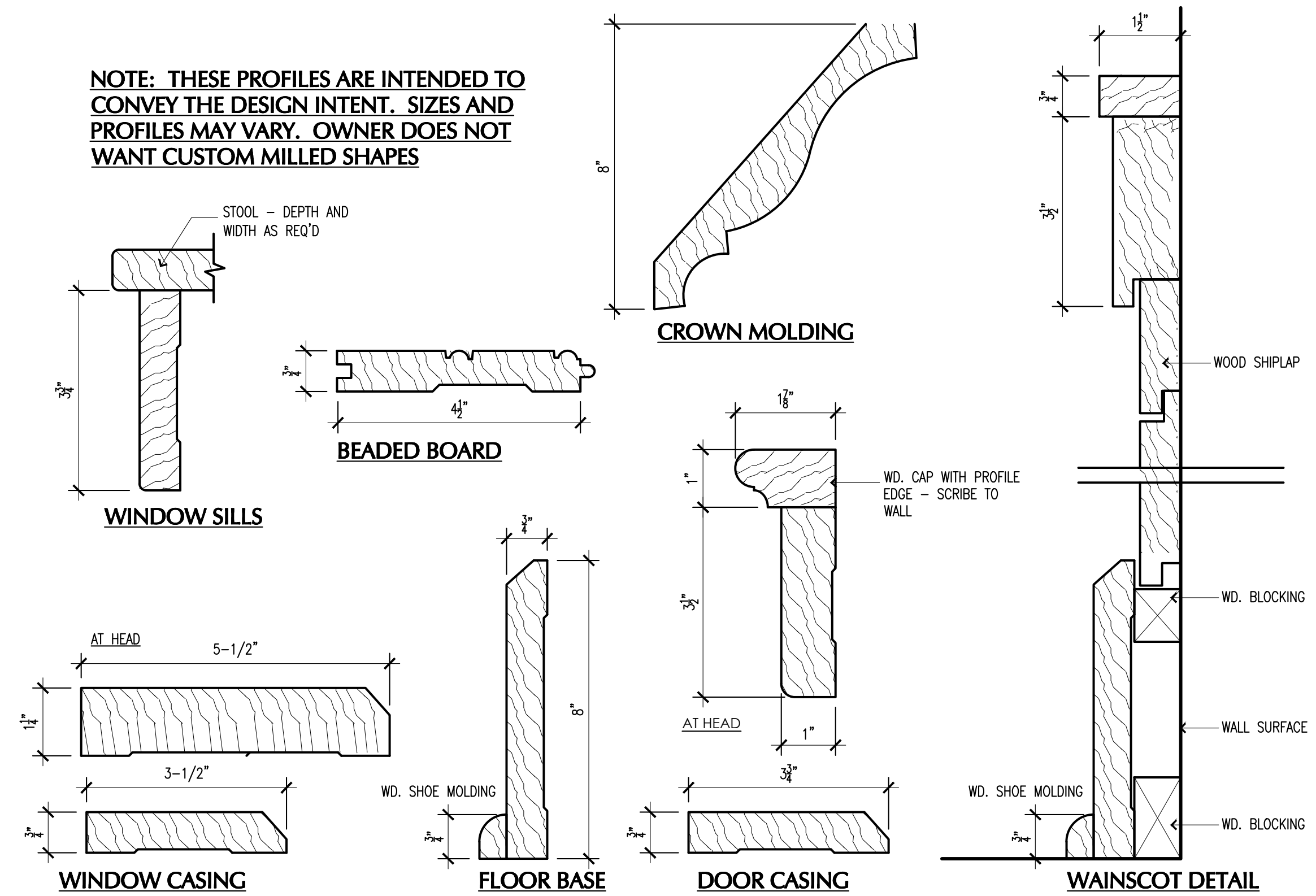
A900

PERMIT & CONSTRUCTION DOCUMENTS

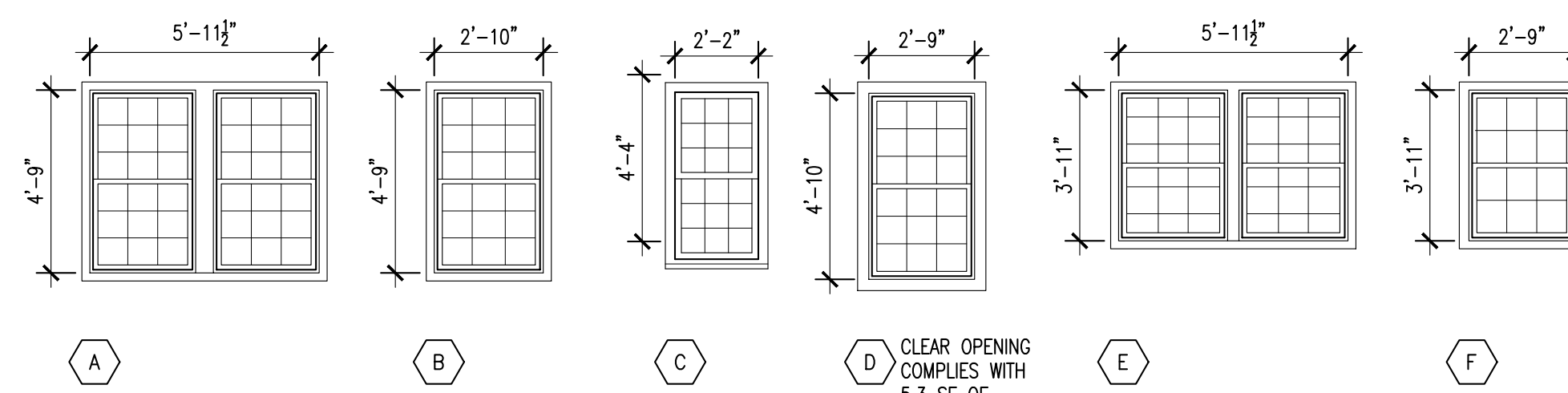
WINDOW SCHEDULE			
TYPE	APPROX. UNIT SIZE	TYPE	COLOR
A	SEE ELEV. (2) 3757		WHITE
B	SEE ELEV. 3757		WHITE
C	SEE ELEV. 2553		WHITE
D	SEE ELEV. 3757		WHITE
E	SEE ELEV. (2) 3747		WHITE
F	SEE ELEV. 3747		WHITE

INTERIOR & EXTERIOR DOOR SPECIFICATIONS	WINDOW SPECIFICATIONS
A) ALL INTERIOR DOORS TO BE STILE AND RAIL TYPE IN CONFIGURATION AS SHOWN	A) ALL WINDOWS TO BE ALUMINUM CLAD WOOD IN PREMIUM KYNAR FINISH AS SELECTED BY OWNER AND ARCHITECT.
B) ALL INTERIOR DOORS TO BE PAINTED FINISH.	B) INTERIORS ARE TO BE PRE-PRIMED OR PRE-FINISHED PAINTED FINISH.
C) NO NEW EXTERIOR DOORS PROPOSED.	C) PROVIDE WINDOW SCREENS FOR ALL OPERABLE UNITS
D) ALL DOORS TO ALL REQUIRED HARDWARE AND LOCKSETS.	D) BASIS OF DESIGN IS PELLA LIFESTYLE SERIES DOUBLE HUNG UNITS WITH SIMULATED DIVIDED LITES AND FULL MUNTINS ON INTERIOR AND EXTERIOR.
	E) PROVIDE SAMPLES AND SPECS ON ALL MATERIALS FOR OWNERS APPROVAL PRIOR TO INSTALLATION
	F) FINISH ON ALL INTERIOR HARDWARE TO BE SELECTED BY OWNER AND ARCHITECT.
	G) ALL WINDOWS TO BE FLASHED AND INSTALLED PER THE MANUFACTURERS SPECIFICATIONS.
	H) ALL WINDOWS TO BE FLASHED AND INSTALLED PER THE MANUFACTURERS SPECIFICATIONS.

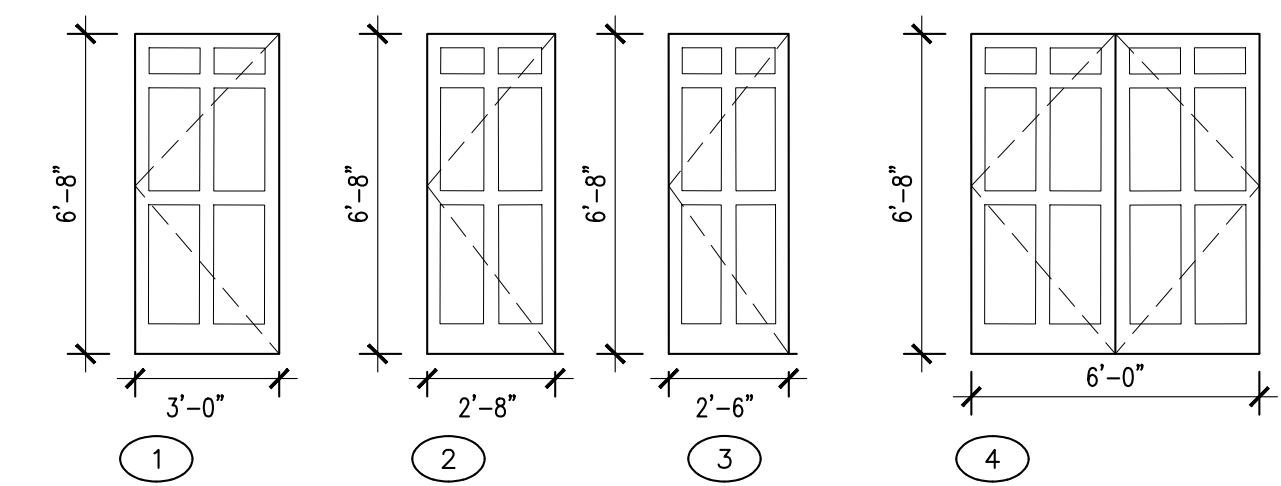
NOTE: THESE PROFILES ARE INTENDED TO CONVEY THE DESIGN INTENT. SIZES AND PROFILES MAY VARY. OWNER DOES NOT WANT CUSTOM MILLED SHAPES



C TRIM PROFILES
 A900 SCALE: 6" = 1'-0"



B WINDOW ELEVATIONS & TYPES
 A900 SCALE: 1/4" = 1'-0"



A DOOR TYPES
 A900 SCALE: 1/4" = 1'-0"

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