

# DETACHED GARAGE

21273 Aberdeen Rd.

Rocky River, Ohio

## ARCHITECTS C.A. McGETTRICK, LLC

14551 Madison Ave.  
Lakewood, Ohio 44107  
216-227-0700

### GENERAL NOTES

THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS ( IN WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED.

VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES BY 5/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MINIMUM & 38" MAXIMUM, MEASURED FROM THE NOSING OF THE TREAD.

BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSING THROUGH IT.

ACCESS TO THE ATTIC AREAS IN COMPLIANCE WITH RCO SECTION 807.1 IS REQUIRED. THE ACCESS PANELS OR DOORS SHALL BE IN READILY ACCESSIBLE LOCATIONS.

ADJUST ALL OVERHANGS OF DIFFERENT PITCHES TO MAINTAIN CONSISTENT LEVEL.

SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.

THE DRAWINGS SHOW THE GENERAL DETAILS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHERE ADDITIONAL DETAILS ARE REQUIRED, OR WHERE CONDITIONS ARE ENCOUNTERED THAT ARE NOT ANTICIPATED BY THE DRAWINGS.

CONTRACTOR AND / OR OWNER SHALL NOTIFY THE ARCHITECT OF ANY FIELD CHANGES MADE TO THE PLANS OR BUILDING DURING CONSTRUCTION. FIELD CHANGES MADE TO THE BUILDING WITHOUT THE CONSULTATION AND/OR APPROVAL OF THE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF CONTRACTOR AND OWNER.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ARCHITECTS C.A. McGETTRICK, LLC DOES NOT PROVIDE ANY CONSTRUCTION SUPERVISION. CONTRACTOR AND / OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED.

ARCHITECTS C.A. McGETTRICK, LLC IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS. ANY CHANGES AFTER ISSUANCE OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND INVOICED.

A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER. NOTIFY THE ARCHITECT OF UNUSUAL SOIL CONDITIONS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. ARCHITECTS C.A. McGETTRICK, LLC ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS.

**WINDOWS:**  
BASED ON PELLA 250 SERIES, W/ ADVANCED LOW-E 5/8" INSULATED GLASS, AND U-VALUE OF 0.35

ALL WINDOWS SHALL BE FLASHED AND SEALED OVER NAILING FLANGES WITH WINDOW FLASHING TAPE.

DOOR HARDWARE TO BE SELECTED BY OWNER.

MECHANICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH HEAT LOSS CALCULATIONS PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH SIZING OF ELECTRICAL SERVICE (MIN. 50a INCREASE) AND PANEL DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR (EC) SHALL PROVIDE 120V /240V 3-WIRE SINGLE PHASE SERVICE WITH THE FOLLOWING CONDUCTOR BASED ON TABLE 15 NATIONAL ELECTRICAL CODE (310). PROVIDE 400AMP SERVICE PER RISER DIAGRAM PROVIDED COPPER 2 / 0 AWG (COPPER).

ELECTRICAL CONTRACTOR SHALL BOND TOGETHER ALL ELECTRODES TO FORM A GROUNDING SYSTEM. CONDUCTOR SIZES SHOULD BE AS SHOWN IN NEC 250.66 ELECTRICAL GROUNDING CAN INCLUDE FOLLOWING: (1) METAL UNDERGROUND WATER LINE IN CONTACT WITH EARTH FOR A MIN. 10'-0"; (2) CONCRETE ELECTRODES; (3) ROD, PIPE AND PLATE ELECTRODES IN ACCORDANCE WITH NEC 250.53.

ALL GENERAL LIGHTING AND RECEPTACLE OUTLETS BRANCH CIRCUITS SHALL BE 15AMP OVERLOAD PROTECTED CIRCUITS INSTALLED WITH 14GA COPPER CONDUCTORS. ALL GENERAL BRANCH CIRCUITS TO BEDROOMS SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT INTERRUPTER DEVICE NEC 210.12.

ALL NEW AND REPLACEMENT OUTLETS SHALL BE TAMPER-RESISTANT

RECEPTACLES BE SPACED NO MORE THAN 12'-0" APART OR 6'-0" FROM AND INSIDE CORNER SEE NEC 210.52. A RECEPTACLE MUST BE INSTALLED ON EACH WALL SPACE GREATER THAN 2'-0" SEE NEC 210.52.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED / BATTERY BACKUP. SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE W/ RCO 314.5 SHALL INCLUDE PHOTOELECTRIC TECH.

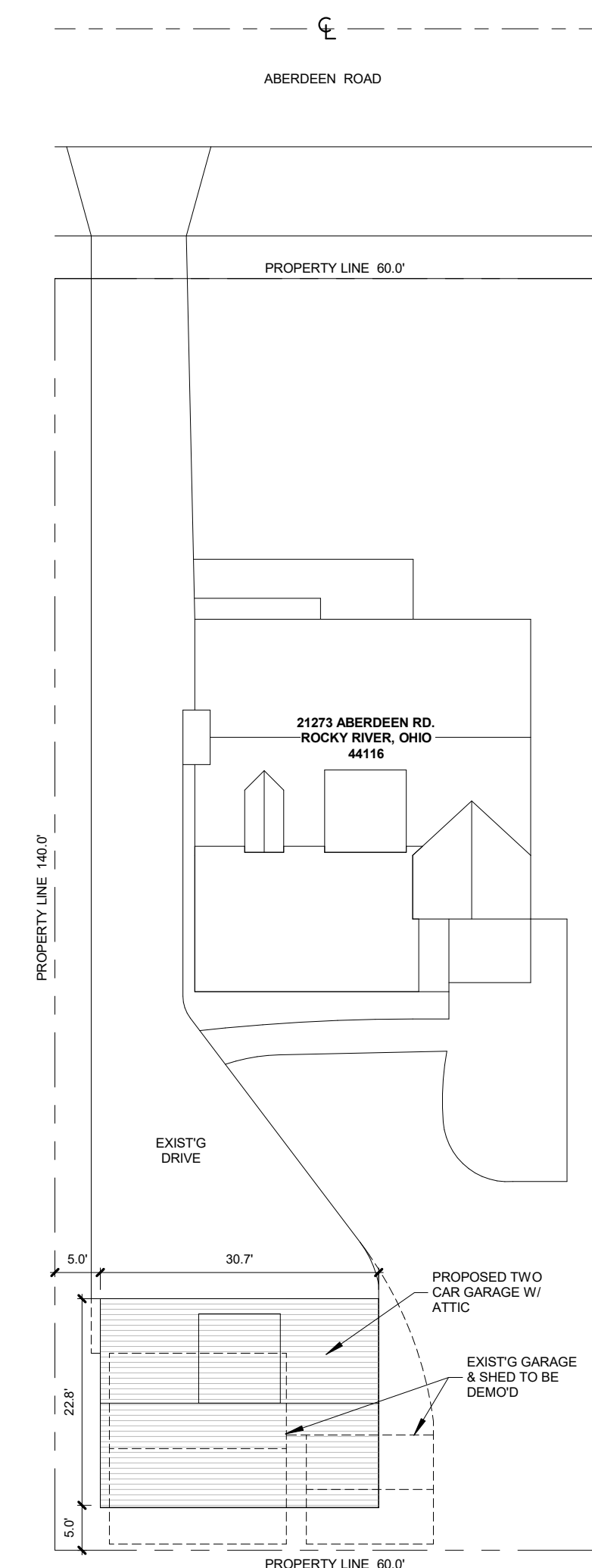
ALL EXTERIOR OUTLETS, GARAGE OUTLETS, AND ANY OUTLET IN A WET OR EXTERIOR LOCATION SHALL BE PROTECTED BY A GFCI BRANCH CIRCUIT SEE NEC 210.8.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE "DESIGN PHASE".

### DRAWING INDEX

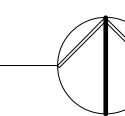
TS	GENERAL NOTES / SITE PLAN
A-1	FOUNDATION PLAN / GARAGE & GARAGE ATTIC PLANS / EXTERIOR ELEVATIONS / DETAILS
A-2	GARAGE & GARAGE ATTIC FRAMING PLANS / SECTION / STRUCTURAL SPECIFICATIONS

### SITE PLAN



SITE DATA	
TOTAL LOT COVERAGE:	21273 Aberdeen Rd.
SITE AREA:	8,400 sqft.
- ALLOWABLE LOT COVERAGE, 28%:	2,352 sqft.
- EXISTING LOT COVERAGE:	2,086 sqft.
- PROPOSED LOT COVERAGE:	2,213 sqft.

**SITE PLAN**  
1/16" = 1'-0"



DATE: 3/20/26  
REVISION:

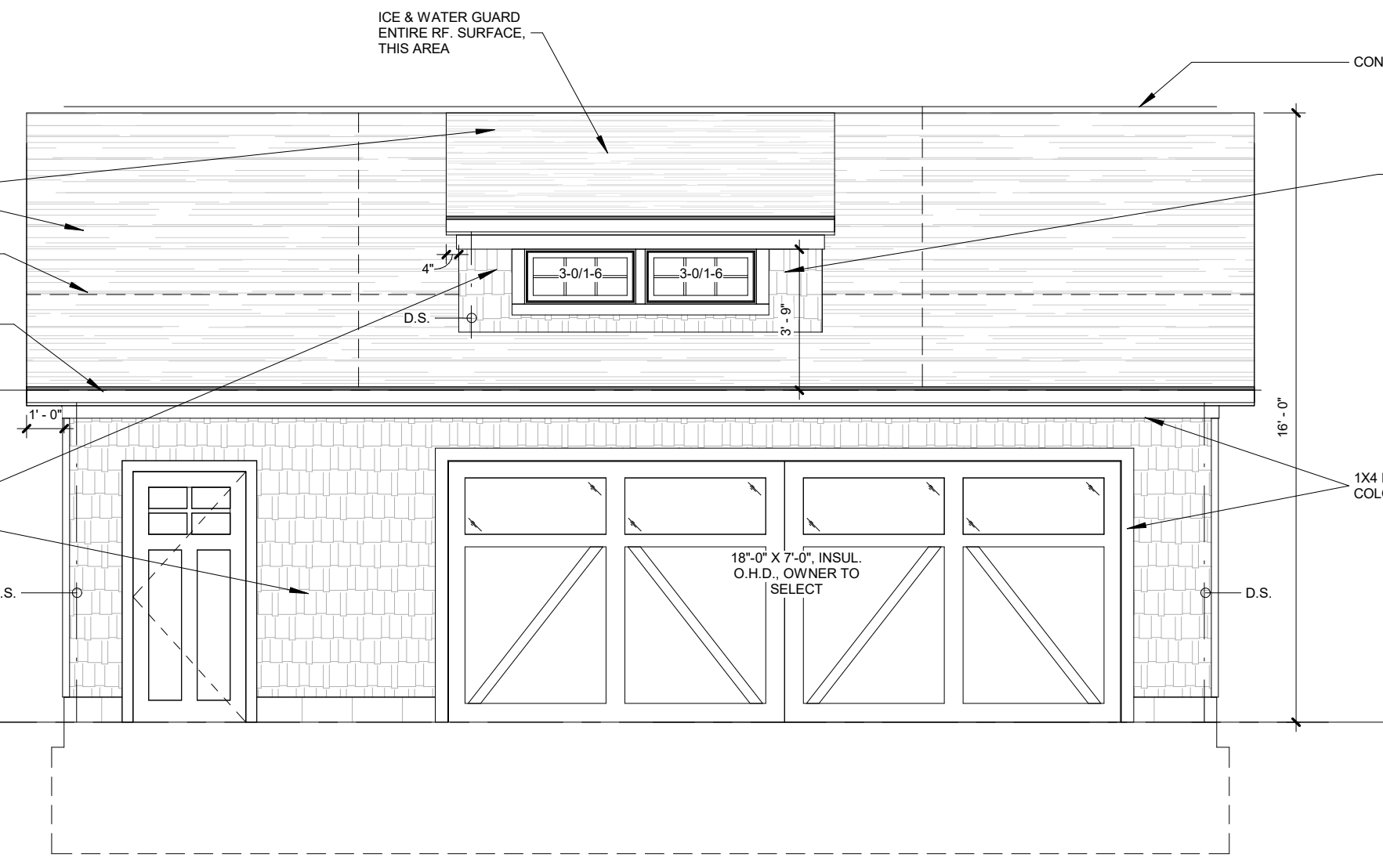
**DETACHED GARAGE**  
 21273 Aberdeen Rd., Rocky River, Ohio 44116  
**ARCHITECTS, C.A. McGETTRICK, LLC**  
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.  
22519  
CHARLES McGETTRICK, JR. #775915  
EXPIRATION DATE: 12/31/2026

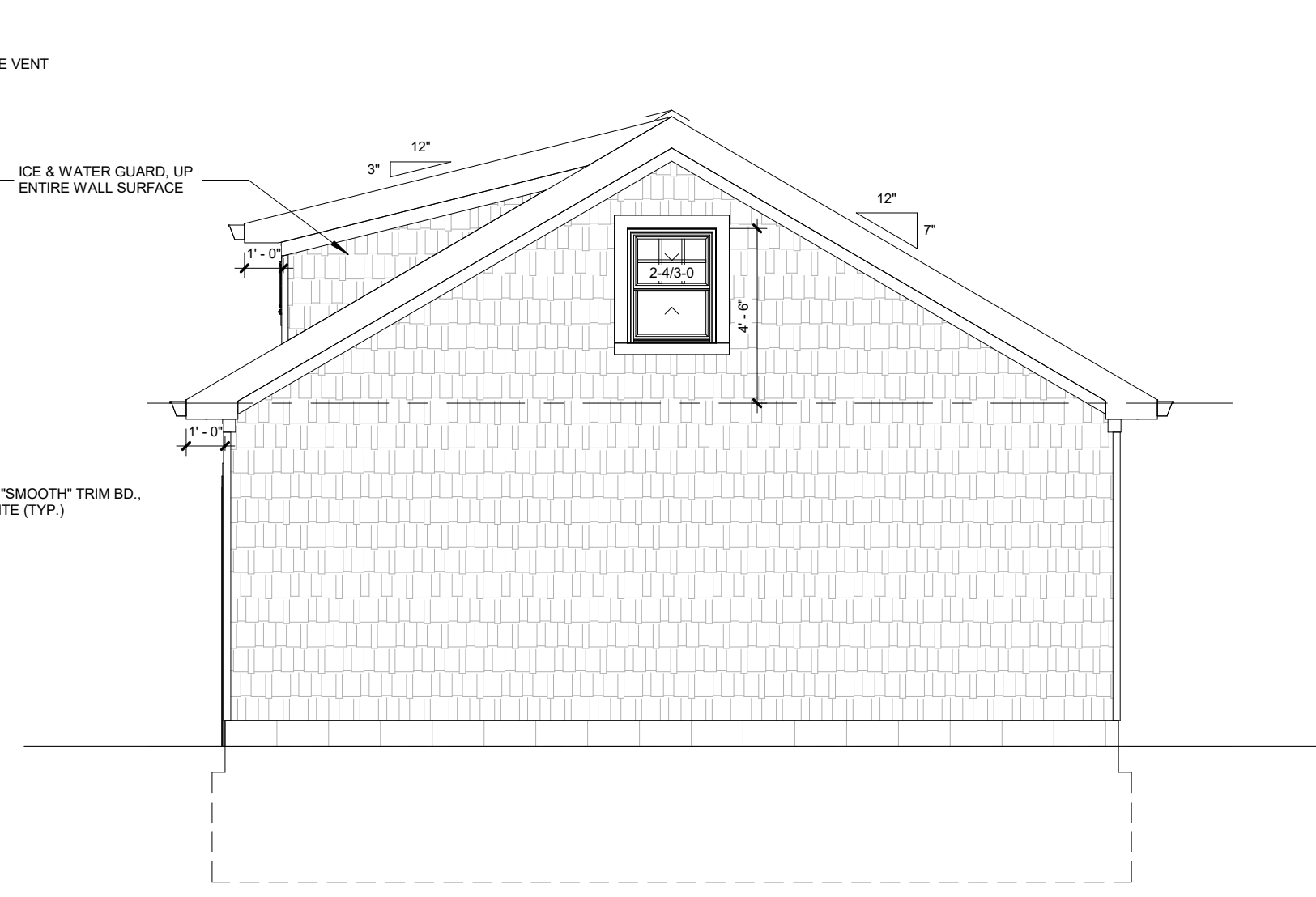
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**NOTE:**  
FLASH ALL ROOFWALL INTERSECTIONS (TYP.)

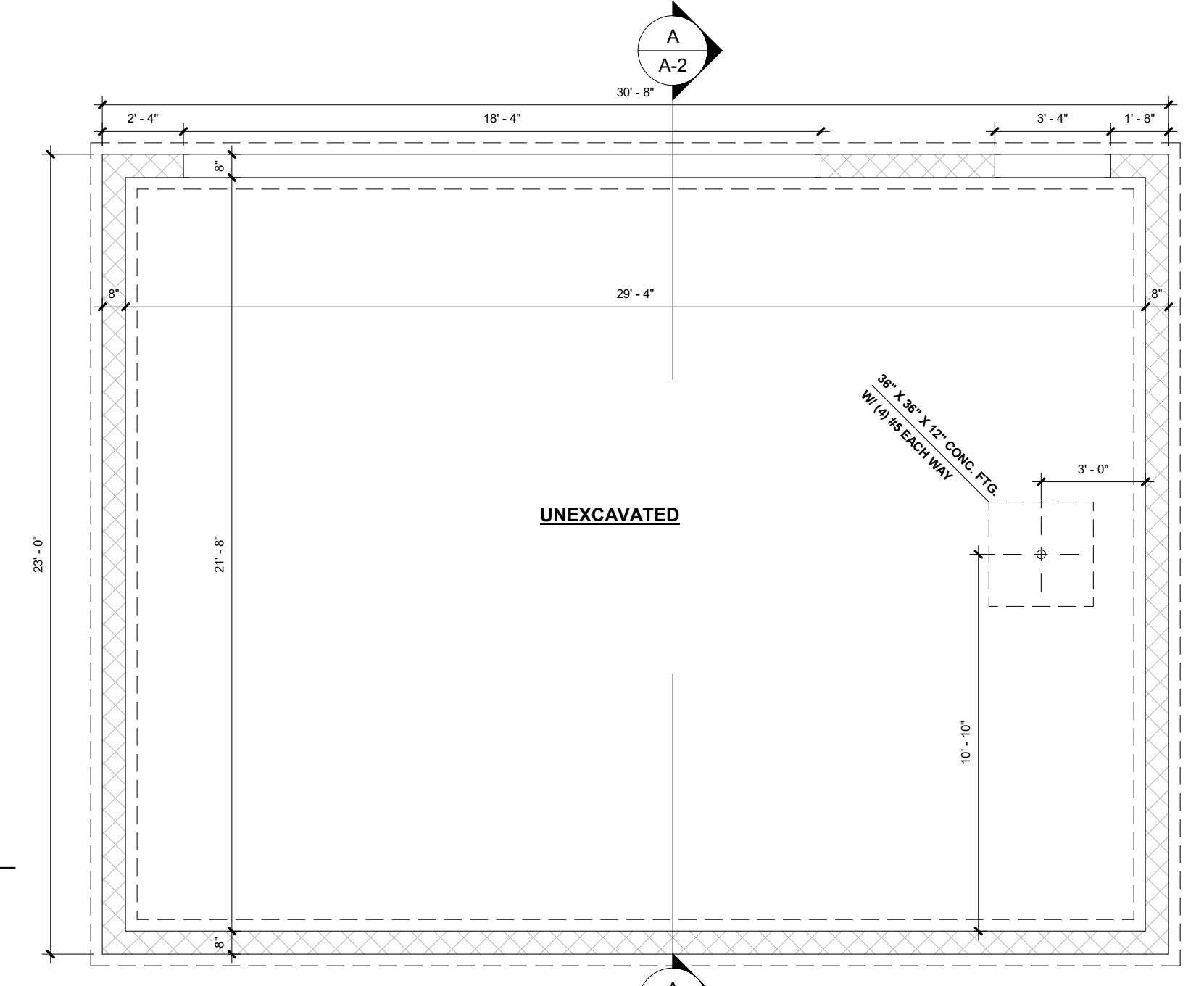
30YR. DIM. SHINGLES, MATCH EXIST'G (TYP.)  
ICE & WATER GUARD, 3'-0" MIN. UP FROM EAVES (TYP.)  
5" ALUM. OCGE SEAMLESS GUTTER ON 1X AZEK GUTTER BD. OR APPROV' EQ. W/ SPIKE & FERRULE MAX. 3'-0" O.C. (TYP.)  
**ATTIC**  
8' - 10"  
HARDE SHAKE SIDING, MATCH EXIST'G  
**GRADE**  
0' - 0"



**NORTH ELEVATION**  
1/4" = 1'-0"



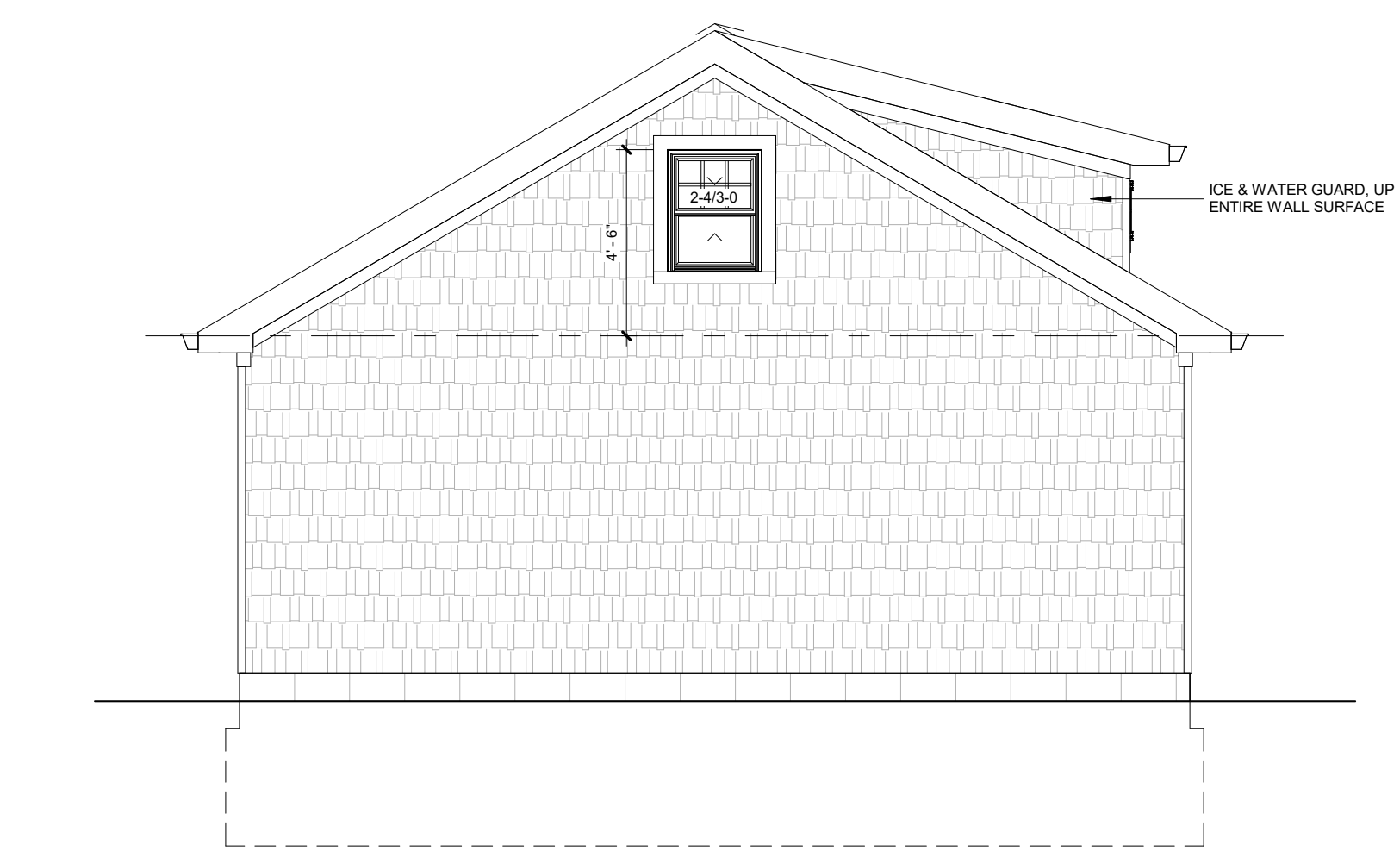
**WEST ELEVATION**  
1/4" = 1'-0"



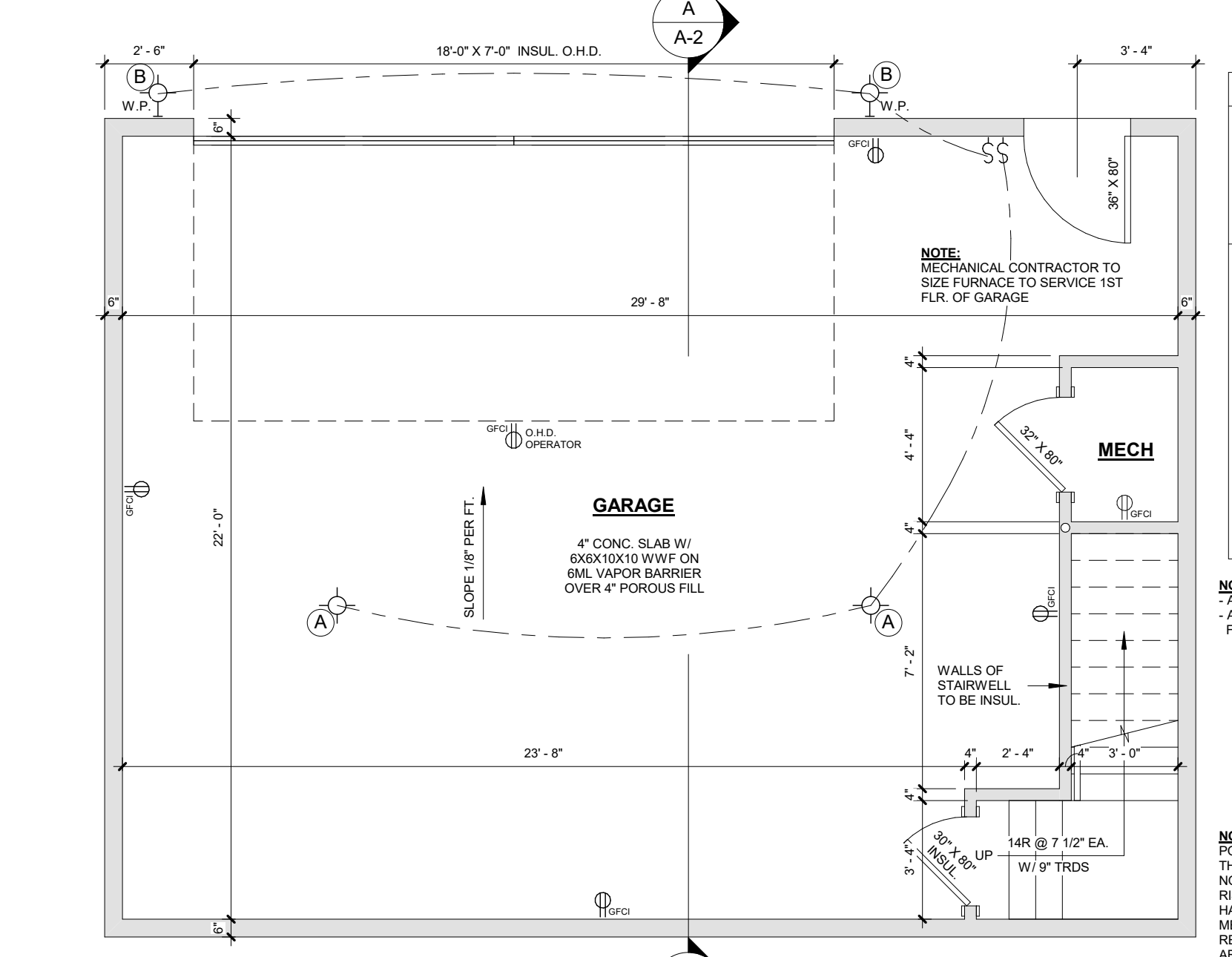
**FOUNDATION PLAN**  
1/4" = 1'-0"



**SOUTH ELEVATION**  
1/4" = 1'-0"



**EAST ELEVATION**  
1/4" = 1'-0"



**GARAGE PLAN**  
1/4" = 1'-0"

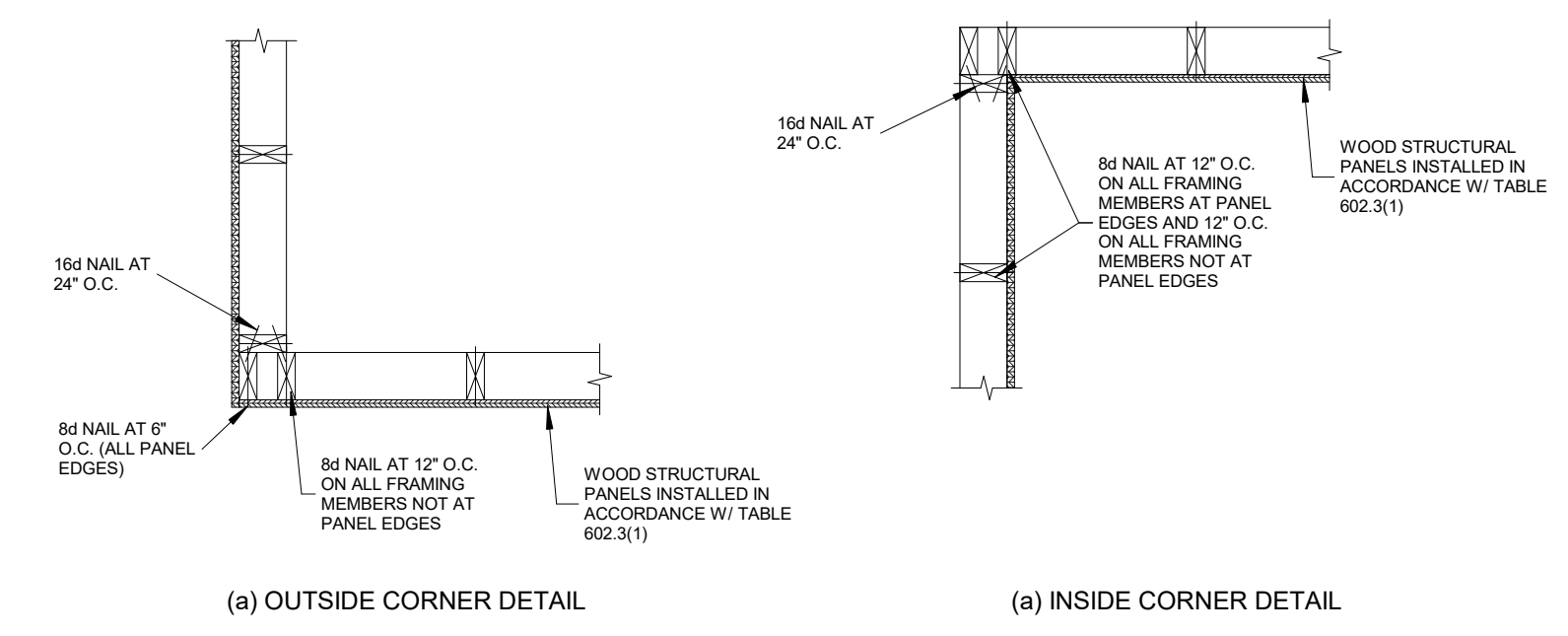
**LIGHT FIXTURE SCHEDULE:**

(A)	48" (2) LAMP SHOP LGT.
(B)	WALL SCONCE
(C)	CEILING MOUNTED FIXTURE

**NOTE:**  
- LIGHT FIXTURES TO BE SELECTED BY OWNER.  
- ALL ELECTRICAL IS EXIST'G UNLESS NOTED ON PLANS  
- ALL NEW AND REPLACEMENT OUTLETS SHALL BE TAMPER-RESISTANT  
\* W.P. - WATER PROOF FIXTURE

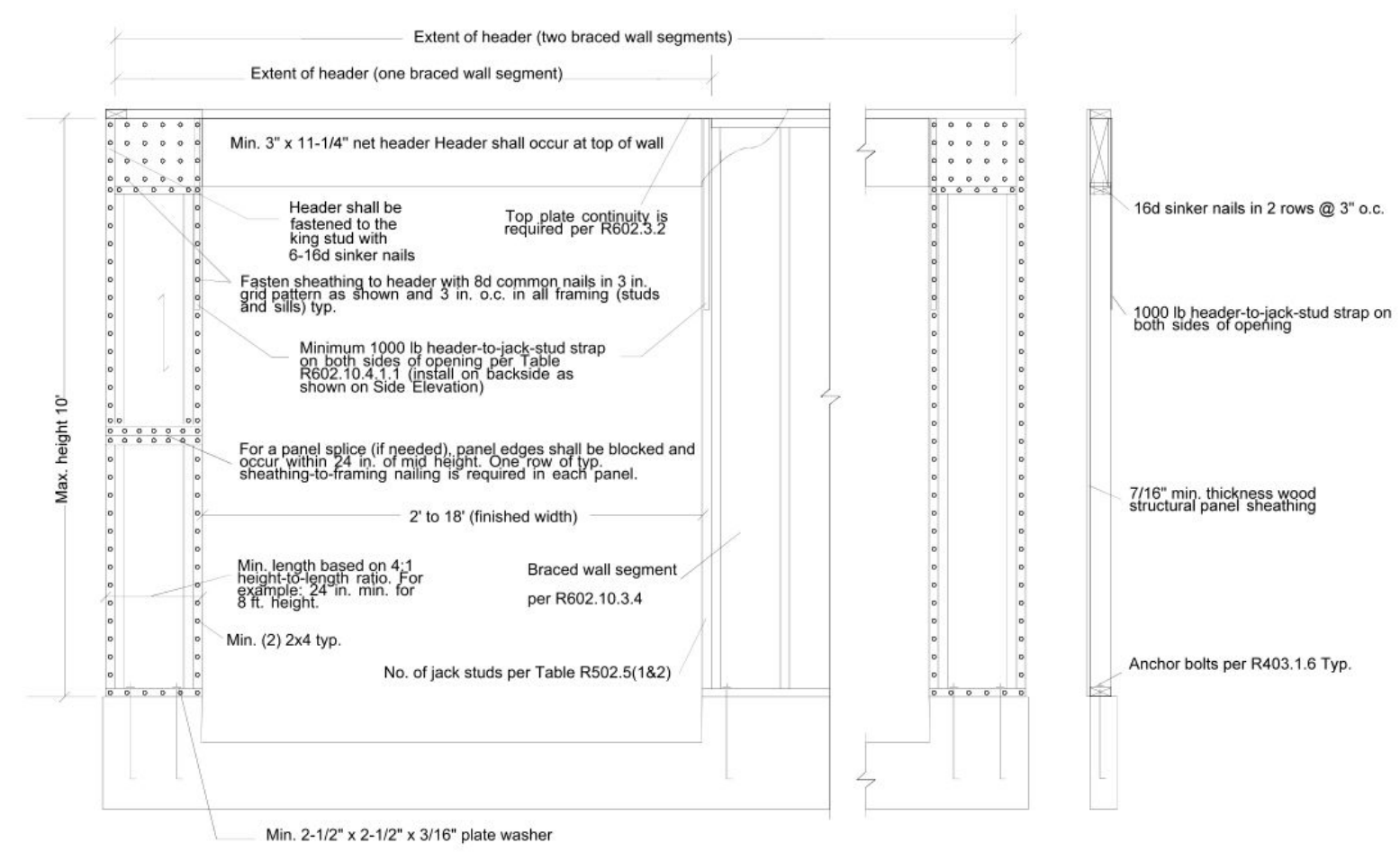
**NOTE:**  
- ALL STAIRS SHALL COMPLY WITH SECTION R311.5 OF THE RCO.  
- ALL CONSTRUCTION SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:  
1. GUARDS SHALL BE INSTALLED AS REQUIRED BY SECTION R502.1 OF THE RCO.  
2. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. THE HANDRAILS SHALL BE LOCATED NOT LESS THAN 34" AND NOT MORE THAN 38" FROM THE SLOPE PLANE OF THE TREAD NOSING.  
3. ALL EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE OF THE DOOR. SEE EXCEPTIONS OF SECTION R511.4.3, WHEN THESE LANDINGS MAY BE OMITTED.

**NOTE:**  
PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HGT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" AND NOT MORE THAN 38" IN HGT. MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDS ON OPEN SIDE OF STAIRWAYS, RAISED FLOOR AREA, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER.



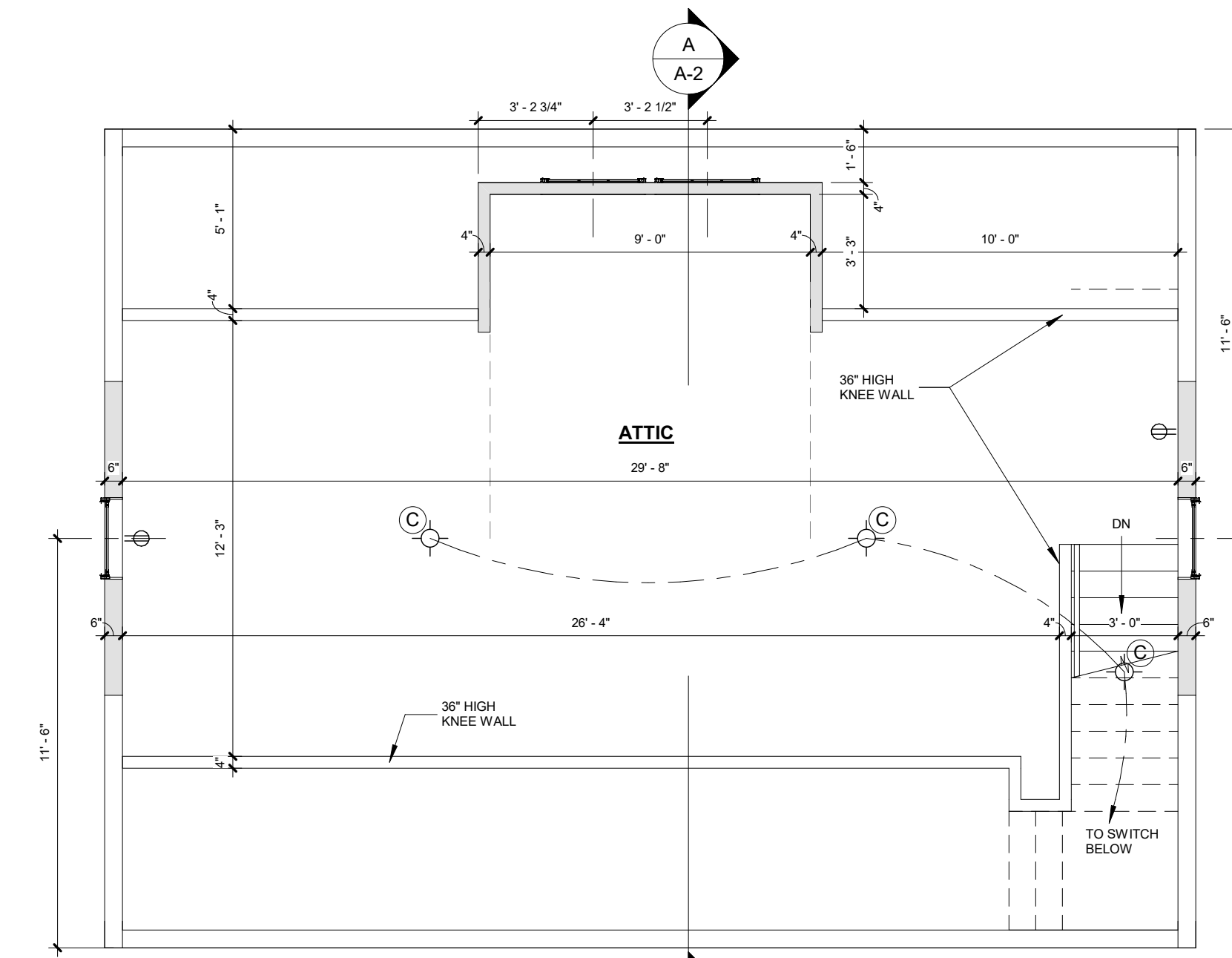
**BRACED WALL METHOD CS-WSP CORNER FRAMING DETAIL**

N.T.S.



**(PFG) PORTAL FRAME AT GARAGE**

N.T.S.



**GARAGE ATTIC**  
1/4" = 1'-0"



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