

1597 Northview Road

PROJECT DESCRIPTION:

<p>A. ARCHITECTURAL: WALL SYSTEM: FOUNDATION SYSTEM: FLOOR SYSTEM: ROOF SYSTEM:</p>	<p>CONSTRUCTION OF NEW 2ND STORY DORMER ADDITION & WOOD DECK WOOD FRAME, SHEATHING, NEW SIDING EXISTING MASONRY WALL ON CONCRETE FOOTER PLYWOOD ON WOOD JOISTS ASPHALT SHINGLES ON PLYWOOD SHEATHING</p>
<p>B. STRUCTURAL:</p>	<p>LVL MICROLLAM BEAMS</p>
<p>C. MECHANICAL:</p>	<p>N/A</p>
<p>D. PLUMBING:</p>	<p>N/A</p>
<p>E. ELECTRICAL:</p>	<p>NEW WIRING INCLUDING LIGHTS, OUTLETS, AND SWITCHES ON EXISTING ELECTRICAL PANEL</p>

SITE INFORMATION:

<p>PROPERTY LOCATION: ZONING DISTRICT: SURROUNDING LAND USES: PARCEL SIZE: FRONT LOT LINE: BUILDING COVERAGE:</p>	<p>1597 NORTHVIEW ROAD, ROCKY RIVER OH, 44116 RESIDENTIAL RESIDENTIAL APPROXIMATELY 20,520 SF (0.41 ACRES) NORTHVIEW ROAD 8% HOUSE + 3% GARAGE</p>
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BUILDING INFORMATION:

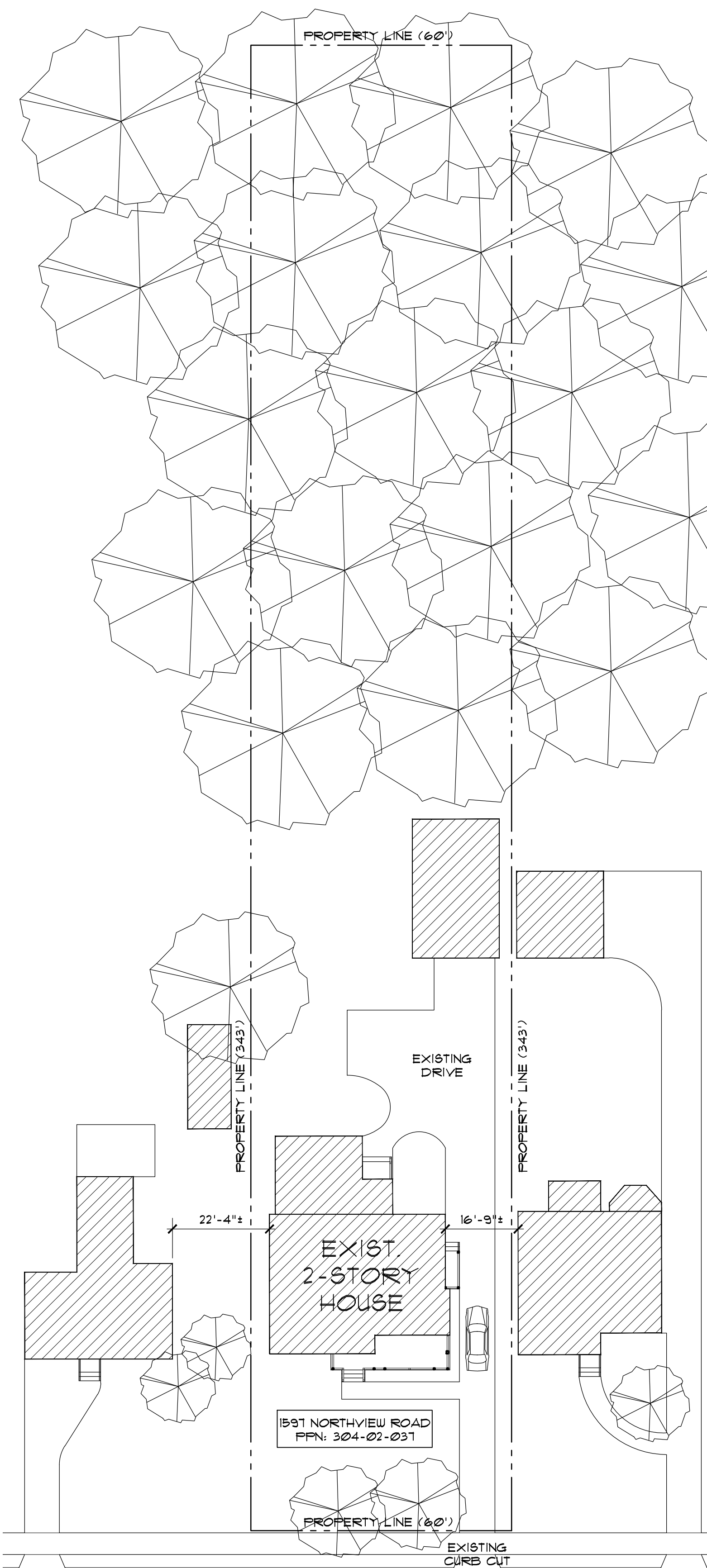
<p>A. LAND USE: B. CONSTRUCTION CLASS: C. PROJECT AREA:</p>	<p>(5100) R - 1-FAMILY FLATTED LOT V-A HOUSE FOOTPRINT: 1,658 GSF GARAGE FOOTPRINT: 640 GSF</p>
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GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH REQUIREMENTS OF THESE DOCUMENTS AND THE REQUIREMENTS OF THE OWNER AND THE CURRENT RESIDENTIAL CODE OF OHIO (RCO).
2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ANY AND ALL FIRE AND SAFETY CODES, OR CODES OF FEDERAL, STATE, COUNTY OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED IN THESE CONTRACT DOCUMENTS. CONFLICTS BETWEEN WORK SET FORTH IN THESE DOCUMENTS AND BUILDING CODES, LAWS OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT AND ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY FEDERAL, STATE, COUNTY, MUNICIPAL LAW AND SHALL INCLUDE IN THE CONTRACT THE COST OF SUCH FEES.
4. THE GENERAL CONTRACTOR IS TO ARRANGE FOR ALL HOISTING FACILITIES FOR MATERIALS AND EQUIPMENT. THE CONTRACT SHALL INCLUDE ALL COSTS FOR DELIVERY AND/OR HANDLING OF MATERIALS.
5. ALL ARRANGEMENTS FOR CONSTRUCTION PERSONNEL ENTERING THE BUILDING DURING WORKING HOURS, MATERIAL DELIVERY, DEBRIS REMOVAL, MATERIAL RETURNED TO BUILDING, IS TO BE MADE WITH THE OWNER.
6. EACH CONTRACTOR AND VENDOR SHALL CHECK BUILDING OPENINGS, AND CLEARANCES FOR DELIVERY OF EQUIPMENT AND /OR MATERIALS (SIZES OF ELEVATORS, DOORS, CORRIDORS, ETC.)
7. THE GENERAL CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING WITH ANY WORK.
8. DO NOT SCALE DRAWINGS- USE DIMENSIONS SHOWN.
9. THE GENERAL CONTRACTOR IS TO ERECT ALL NECESSARY TEMPORARY, SOLID, AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT OCCUPIED AREAS INCLUDING THE PROTECTION OF FLOORING MATERIALS WHILE CONSTRUCTION AND DEMOLITION ARE IN PROGRESS.
10. THE GENERAL CONTRACTOR IS TO REMOVE ALL DEBRIS AND LEAVE ALL AREAS BROOM CLEAN AT THE END OF EACH WORK DAY, AND TO BE CAREFUL TO PROTECT AND NOT DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED.
11. GENERAL CONTRACTOR IS TO PERFORM ALL WORK FOR THE CONTRACT SUM WITHOUT ADJUSTMENT IN THE EVENT OF LABOR DISPUTES AND/OR WORK STOPPAGES.
12. INSPECTIONS: OWNER TO CONTRACT WITH A QUALIFIED TESTING LABORATORY FOR TESTING OF CONCRETE, REBAR, SOIL BEARING, SOIL COMPACTION, MASONRY, GROUT, ETC. AS REQUIRED BY LOCAL CODES.

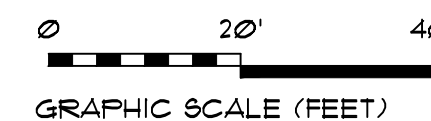
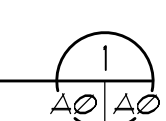
DEMOLITION NOTES

1. THE GENERAL CONTRACTOR IS TO VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS AND DEMOLITION DRAWINGS PRIOR TO START OF WORK AND RESOLVE ANY QUESTIONS OR CONFLICTS REGARDING THE EXISTING CONDITIONS.
2. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL SCOPE OF WORK REQUIRED. NOTIFY ARCHITECT OF ALL EXISTING CONSTRUCTION NOT SPECIFICALLY NOTED ON THE DRUGS, AND REMOVE OR RETAIN ITEMS AS DIRECTED BY ARCHITECT.
3. DEMOLISH AND REMOVE WALLS, CEILING AND ALL OTHER ITEMS AS SHOWN. EQUIPMENT DESIGNATED TO REMAIN OR BE REUSED, SUCH AS DOORS, FRAMES, STOPS, MOULDINGS, HARDWARE AND WALL MOUNTED FIXTURES, ARE TO BE TAGGED AND STORED IN A SAFE PLACE UNTIL READY FOR INSTALLATION, AS DIRECTED BY ARCHITECT.
4. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK UNTIL IT IS SAFE TO REMOVE SUCH BRACING AND SUPPORTS.
5. REMOVE DAMAGED CORNER BEADS AND BEADS AT EXISTING CORNERS WHERE NEW WALLS ALIGN WITH EXISTING FINISH.
6. ALL CONTRACTORS AND VENDORS ARE TO COORDINATE WITH OTHER TRADES TO VERIFY SCHEDULES, AND REMOVALS OF CONDUIT, PANEL BOARDS, LIGHTING, ELECTRICAL OUTLETS, PLUMBING, DUCTWORK, ETC. PRIOR TO THEIR REMOVAL.
7. REMOVE FROM THE PREMISES ALL PRODUCTS OF DEMOLITION NOT DESIGNATED FOR REUSE. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE. PREVENT DUST AND DIRT FROM RISING BY WETTING DEBRIS.
8. WHILE DEMOLISHING PARTITIONS AND CEILING, ALL ENCOUNTERED PIPES, CONDUIT AND DUCTWORK WHICH ARE TO REMAIN, WILL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE FLOOR, WALL OR CEILING.
9. GENERAL CONTRACTOR IS TO INSTALL FLOOR TO CEILING PLASTIC SHEETING BETWEEN OCCUPIED AREAS AND RENOVATED AREAS. EXISTING WALLS ARE TO REMAIN AS TEMPORARY PROTECTION UNTIL PHASING ALLOWS FOR DEMOLITION OF PARTITIONS. TO PROTECT EXISTING DOORS, MOULDINGS, ETC. THE GENERAL CONTRACTOR SHALL USE 40LB. NON-STAINING PAPER ON EA. SIDE.
10. THE GENERAL CONTRACTOR IS TO PROMPTLY REPAIR ALL DAMAGE CAUSED TO ADJACENT AREAS BY DEMOLITION AT NO ADDITIONAL EXPENSE TO THE TENANT/OWNER. GENERAL CONTRACTOR IS TO PATCH AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH, OR COLOR UNLESS NOTED OTHERWISE BY ARCHITECT.
11. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN THE FLOOR THE GEN. CONTRACTOR SHALL PATCH TO LEVEL FLOOR WITH EXISTING SLAB AND/OR REQUIRED SURFACE TO RECEIVE NEW FINISHED FLOOR.
12. REMOVE EXISTING CARPET, PADDING AND TACK STRIPS FROM ENTIRE AREA OF ALTERATION OR AS NOTED IN THESE DRAWINGS. GENERAL CONTRACTOR WILL REMOVE, IN CONTAINERS, ALL DEBRIS.



SITE PLAN

1" = 20'-0"



SITE LOCATION MAP

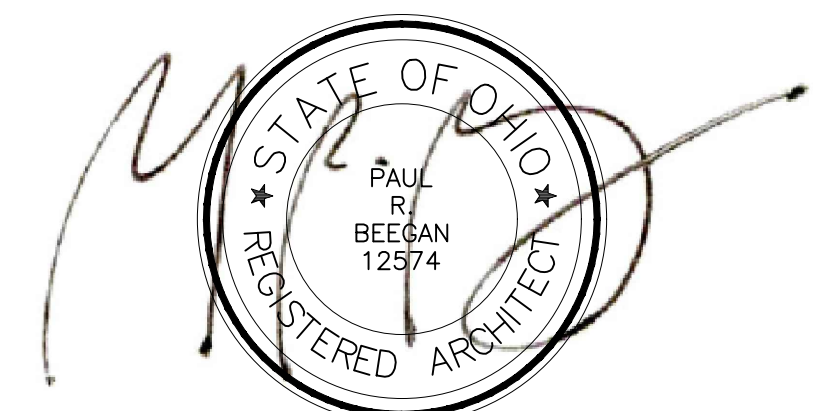
N.T.S.



ISSUE	DATE	DESCRIPTION
1	10.20.25	plan review and permit

Drawing List

A0	PROJECT DESCRIPTION, SITE LOCATION MAP & ARCHITECTURAL SITE PLAN
A1	2ND FLOOR DEMOLITION PLAN
A2	FLOOR PLANS
A3	2ND FLOOR REFLECTED CEILING & ELECTRICAL LAYOUT PLAN, ROOF PLAN
A4	EXTERIOR ELEVATIONS
A5	DETAIL SECTIONS
A6	DETAIL SECTIONS



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2025

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ARCHITECTURAL DESIGN

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project no. 25-040

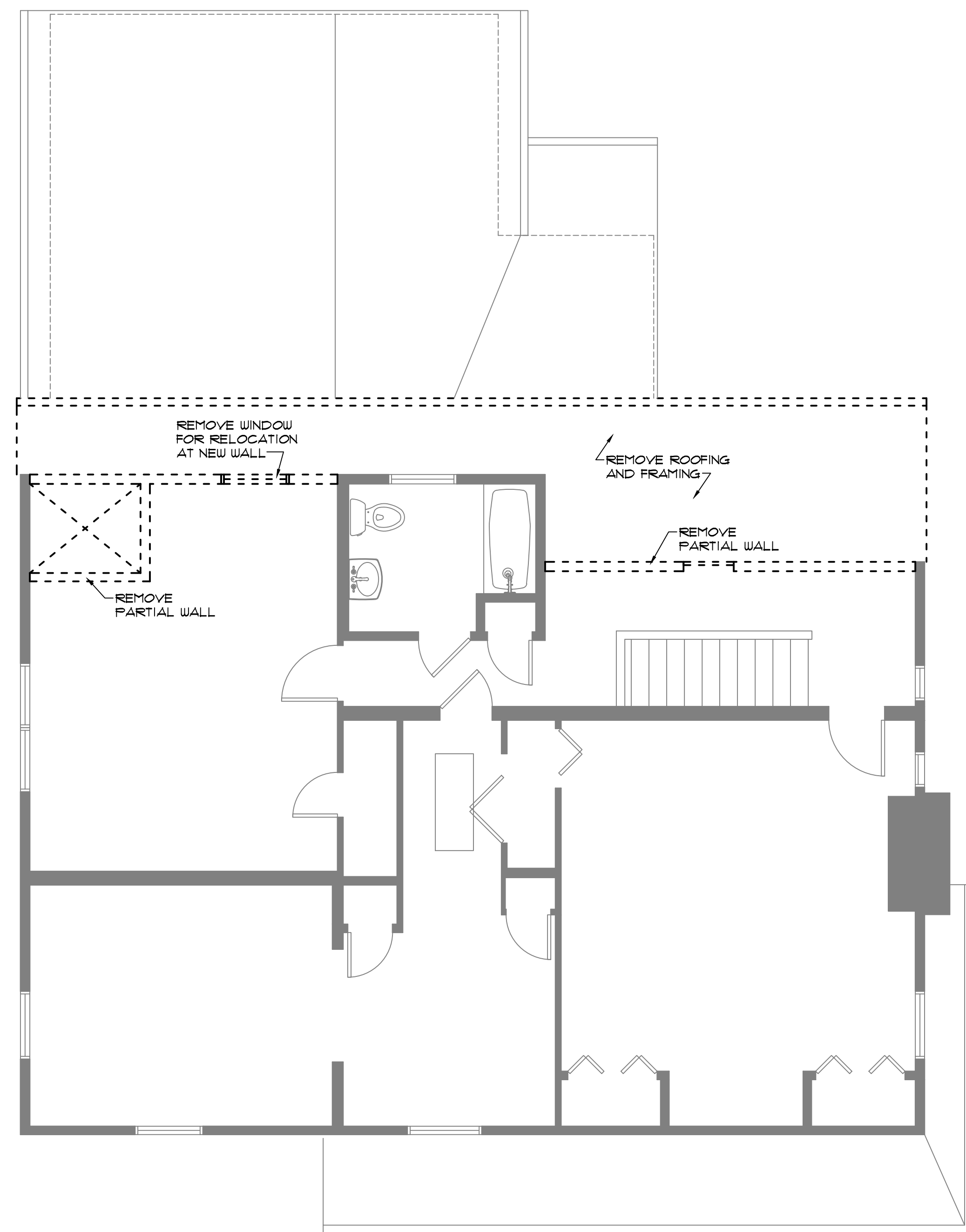
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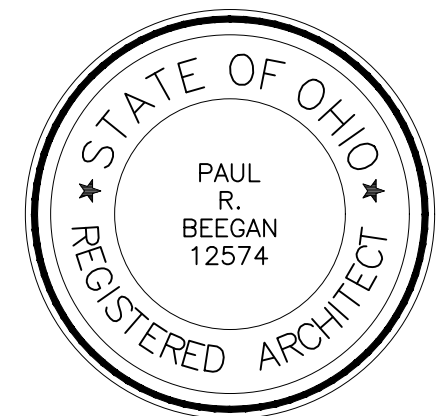
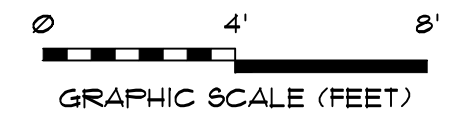
Project Description
Site Location Map &
Architectural Site Plan

A0

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2ND FLOOR DEMO PLAN 2
1/4" = 1'-0" A1



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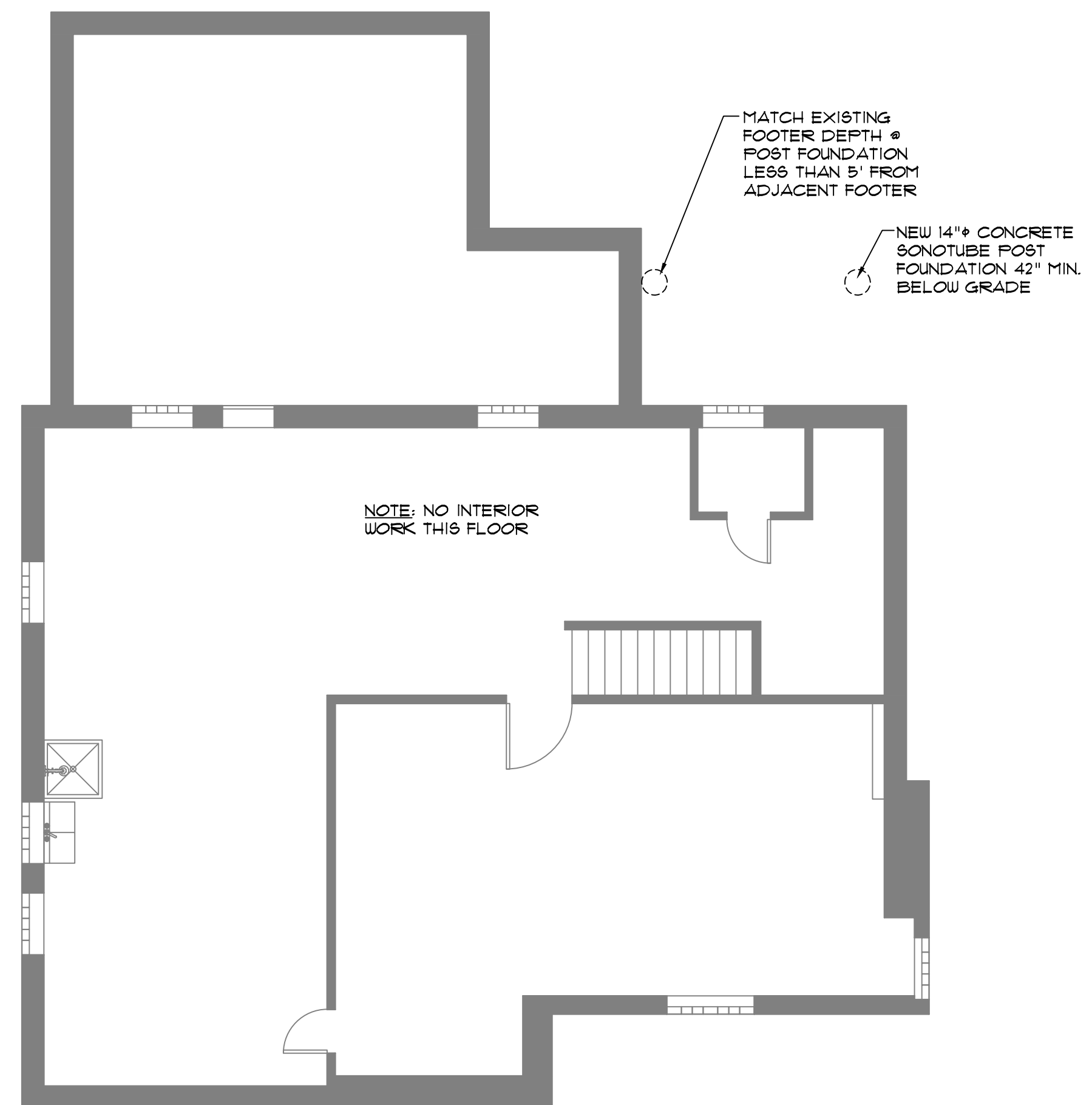
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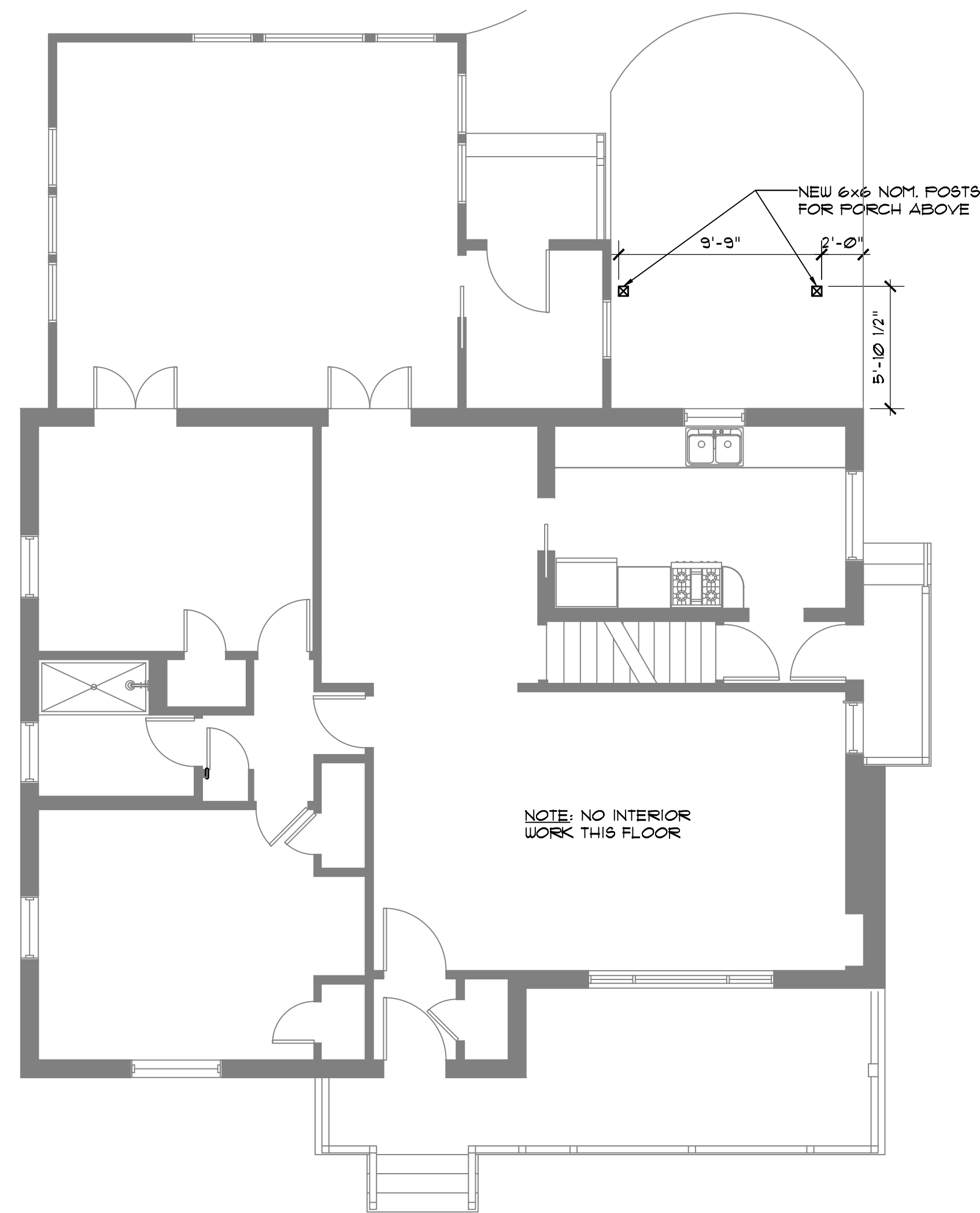
2nd Floor Demolition Plan

A1

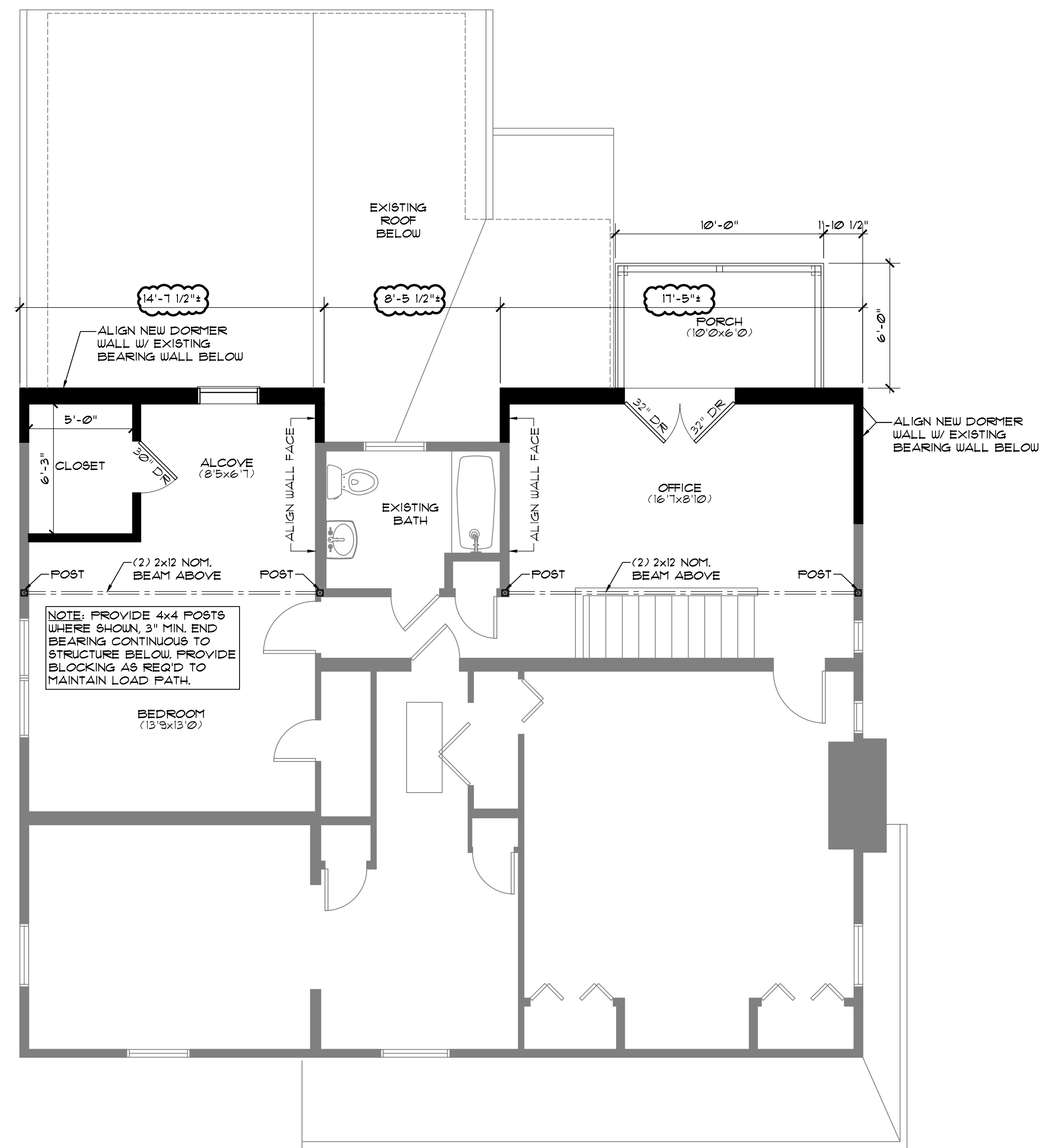
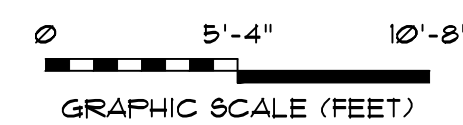
ISSUE	DATE	DESCRIPTION
1	10.20.25	plan review and permit
2	02.26.26	revisions



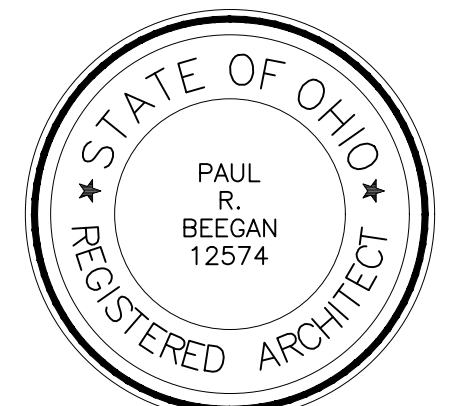
BASEMENT PLAN 3
3/16" = 1'-0"



1ST FLOOR PLAN 4
3/16" = 1'-0"



2ND FLOOR PLAN 5
1/4" = 1'-0"



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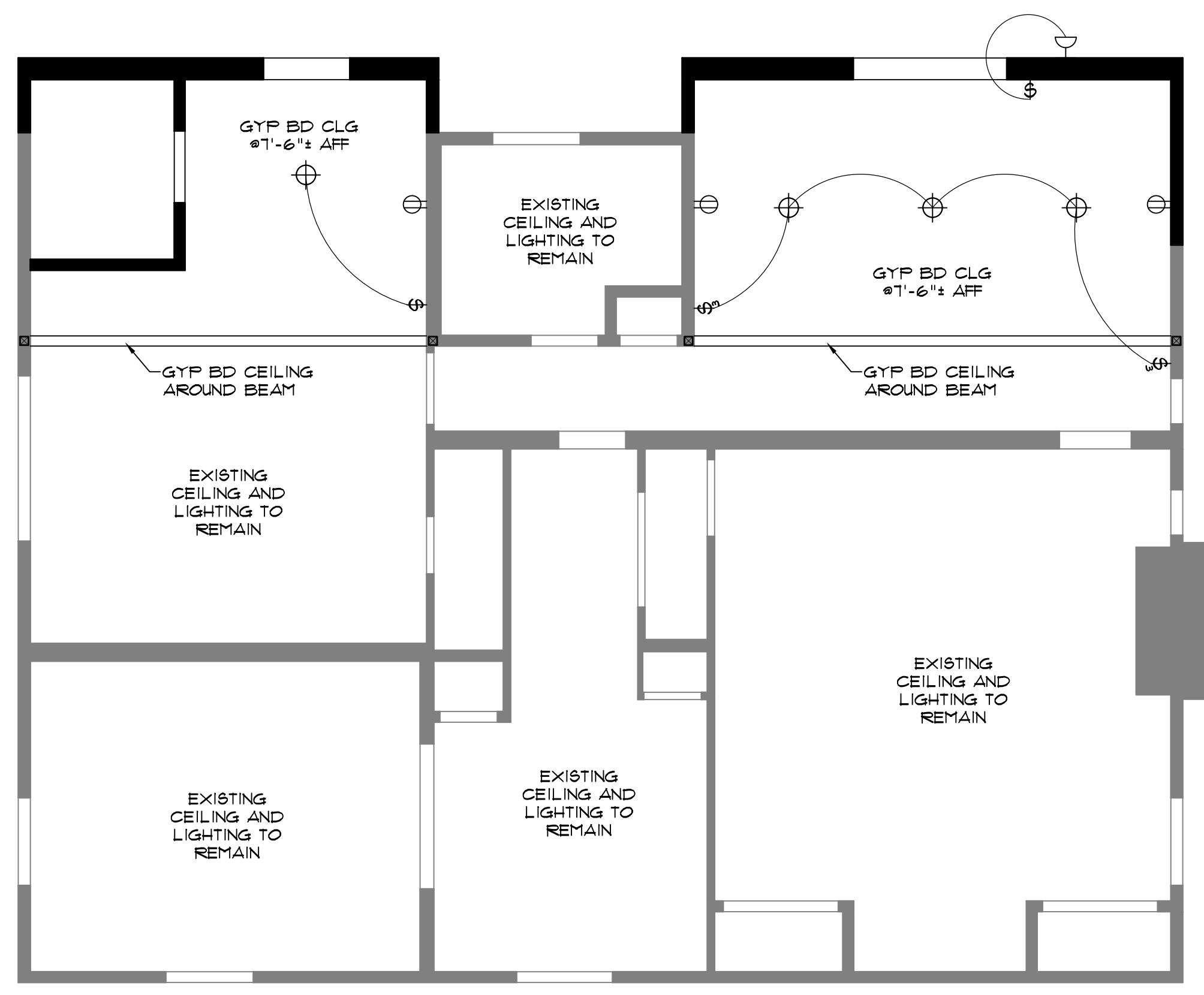
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Floor Plans

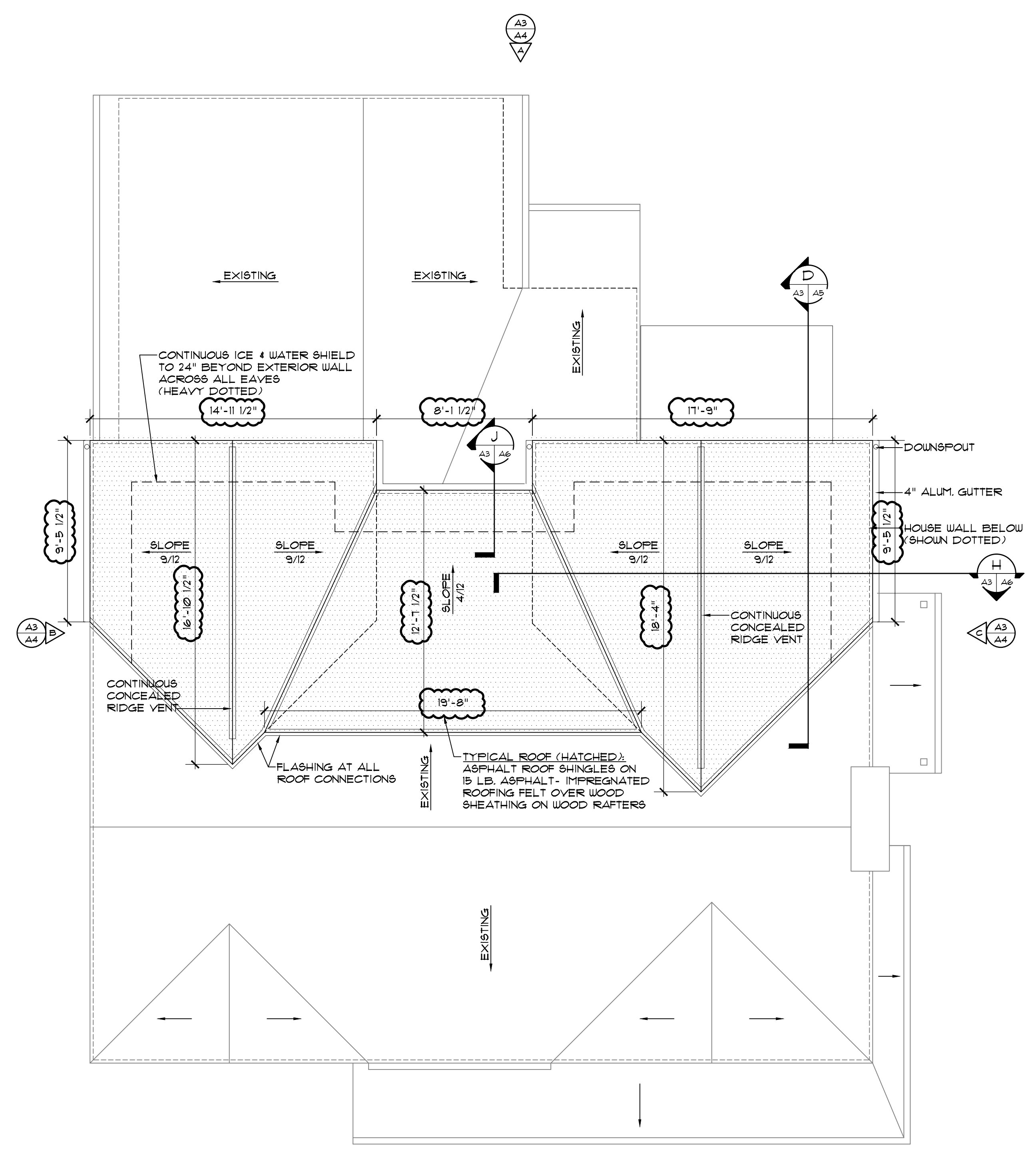
A2

ISSUE	DATE	DESCRIPTION
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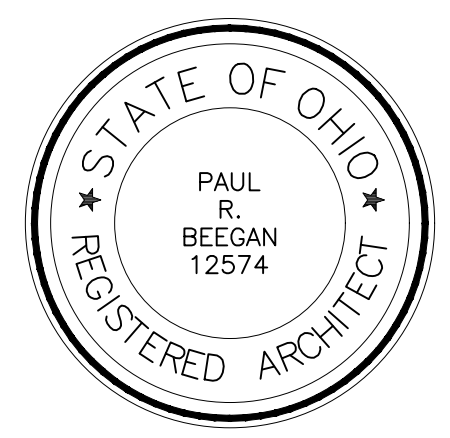
CEILING PLAN KEY	
	4" DOWN LIGHT
	WALL MOUNTED LIGHTING
	120V RECEPTACLE
	3-WAY SWITCH



2ND FLOOR REFLECTED CEILING & ELECTRICAL LAYOUT PLAN
 1/4" = 1'-0"
 A3 | A3



ROOF PLAN
 1/4" = 1'-0"
 A3 | A3



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2nd Floor Reflected Ceiling & Electrical Layout Plan, Roof Plan

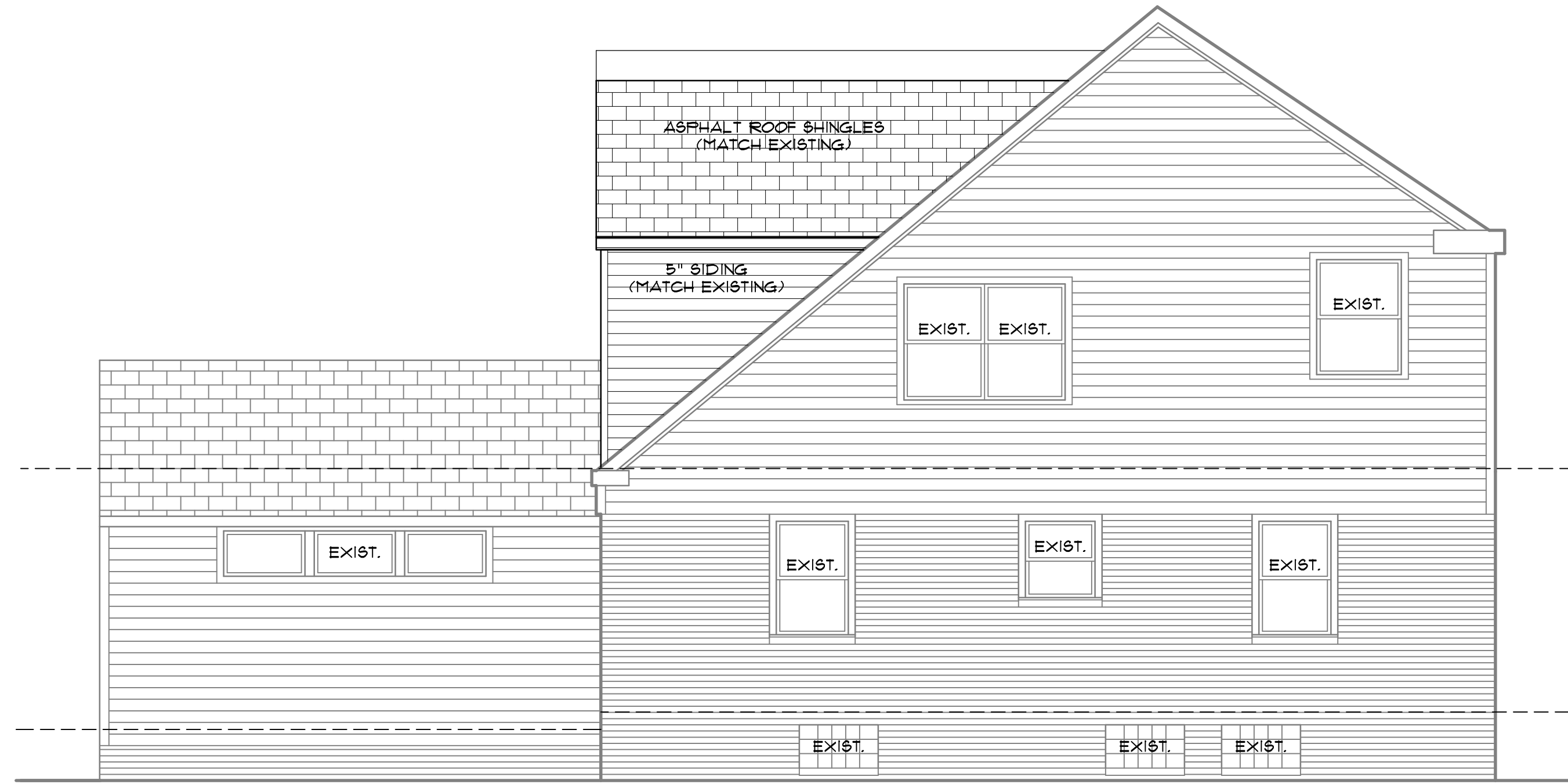
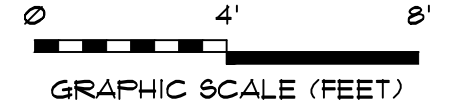
A3

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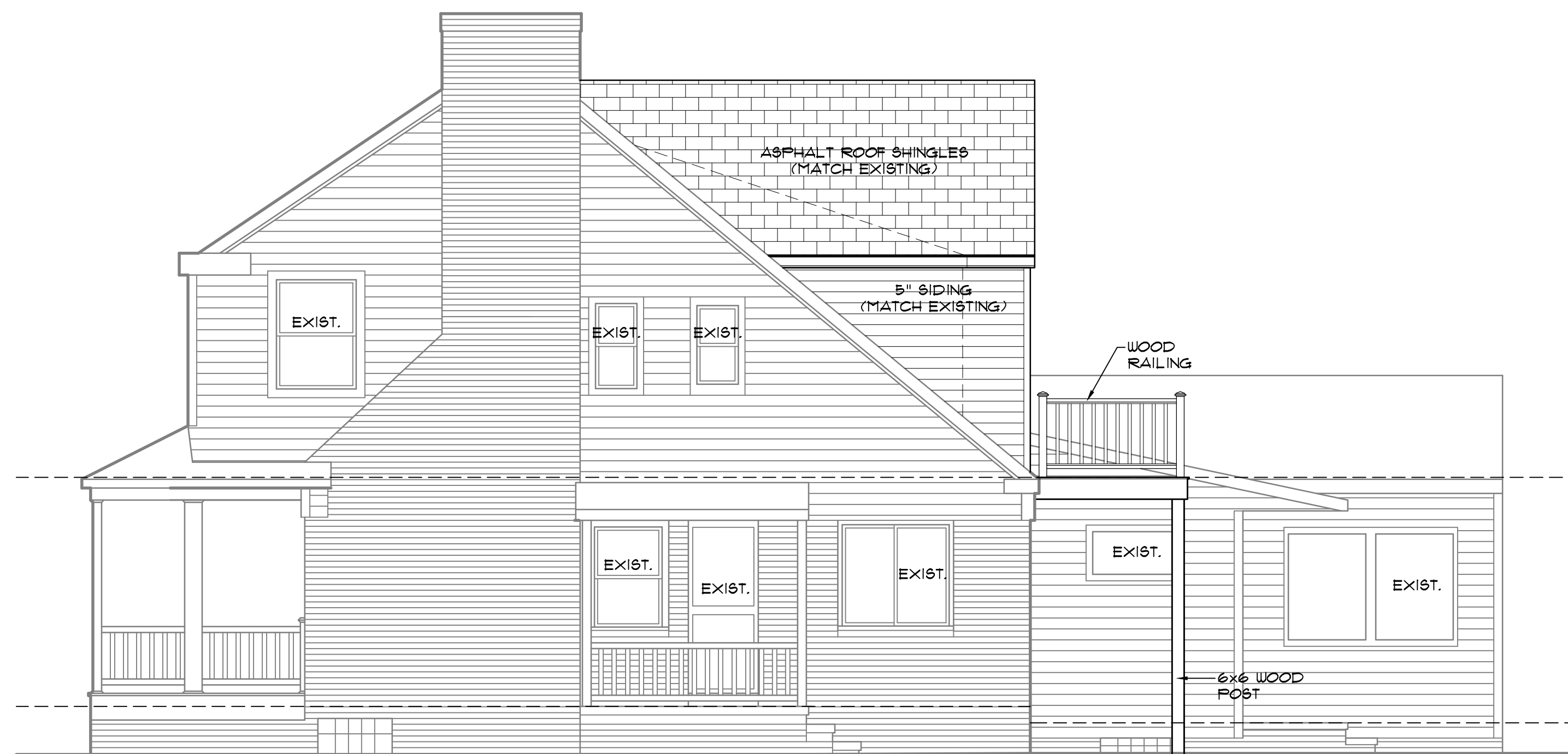
REAR ELEVATION
1/4" = 1'-0"

A
A3/A4



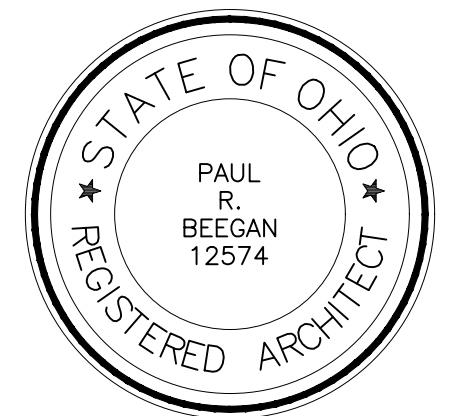
LEFT SIDE ELEVATION
1/4" = 1'-0"

B
A3/A4



RIGHT SIDE ELEVATION
1/4" = 1'-0"

C
A3/A4



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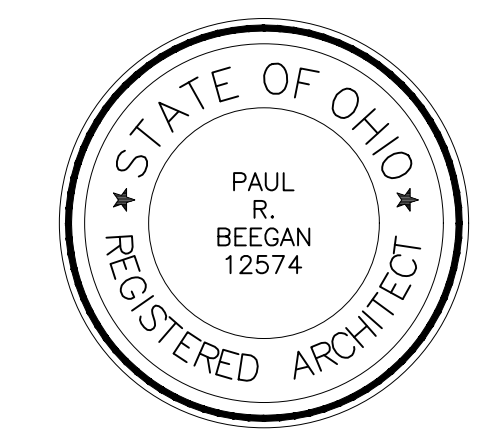
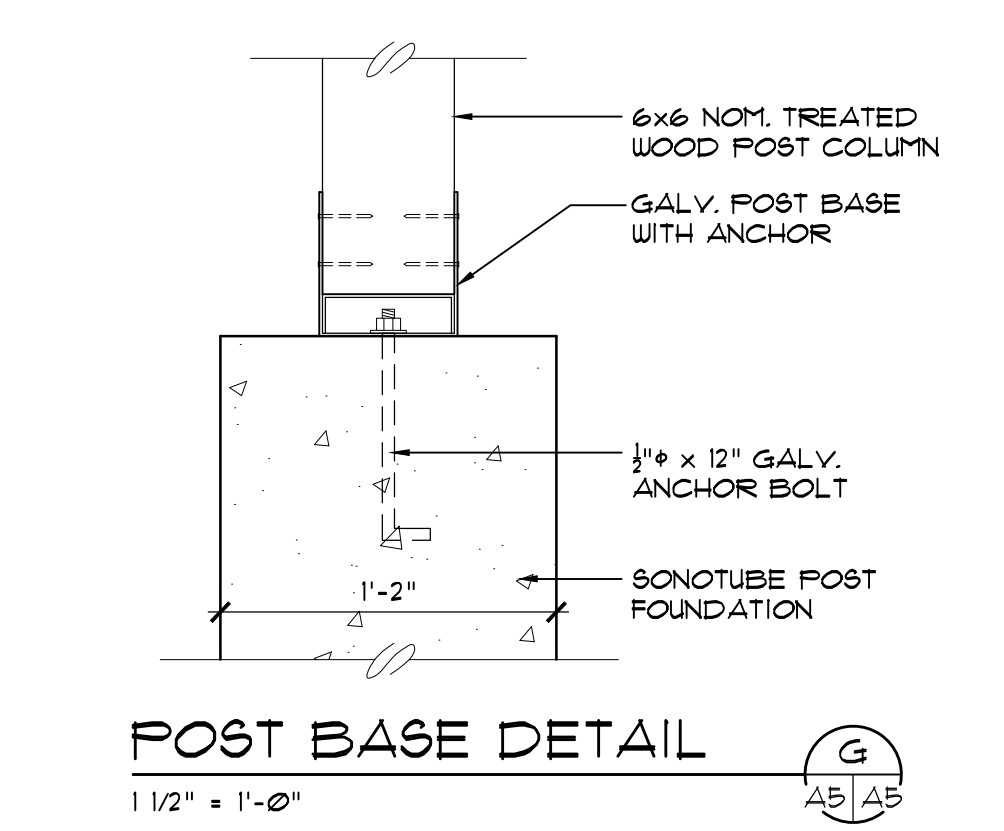
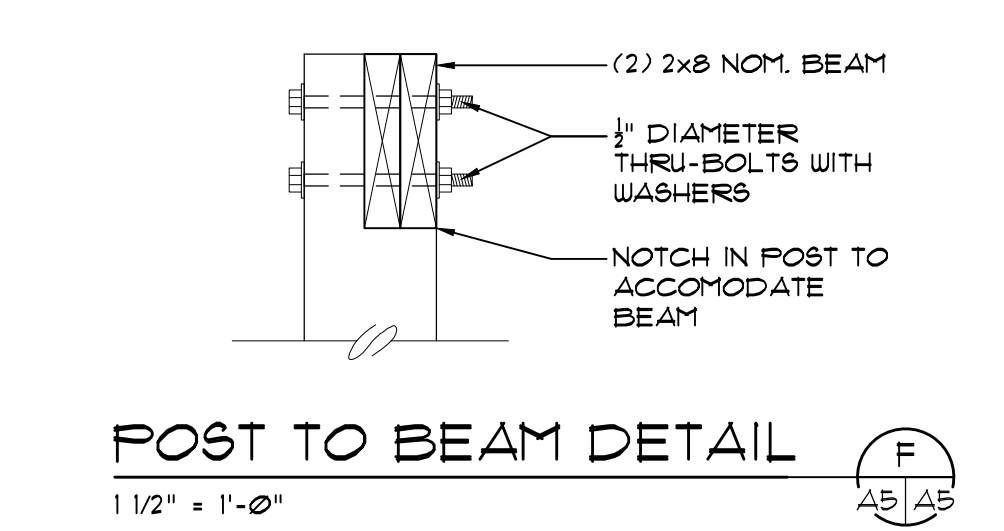
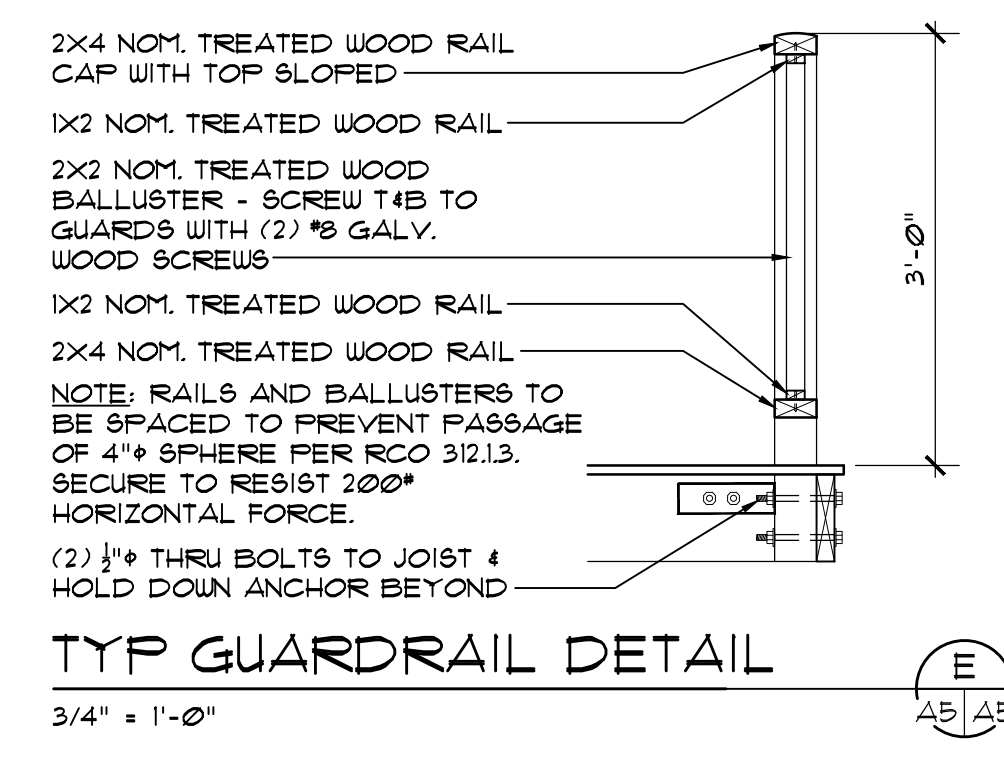
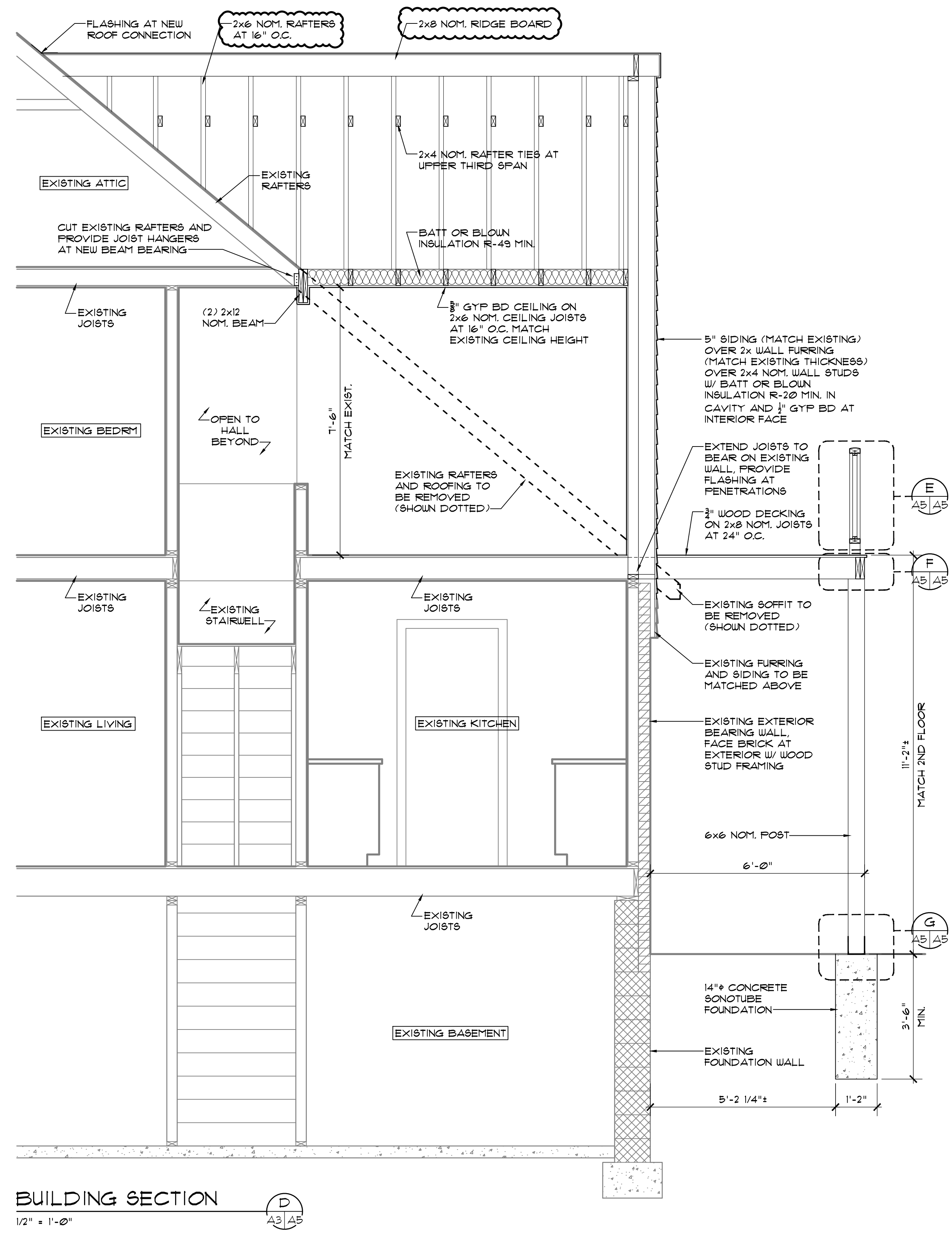
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Exterior Elevations

A4

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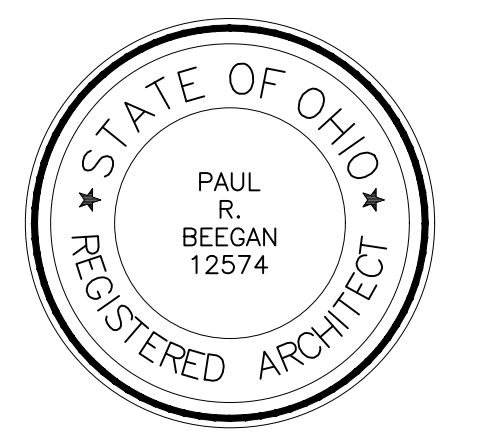
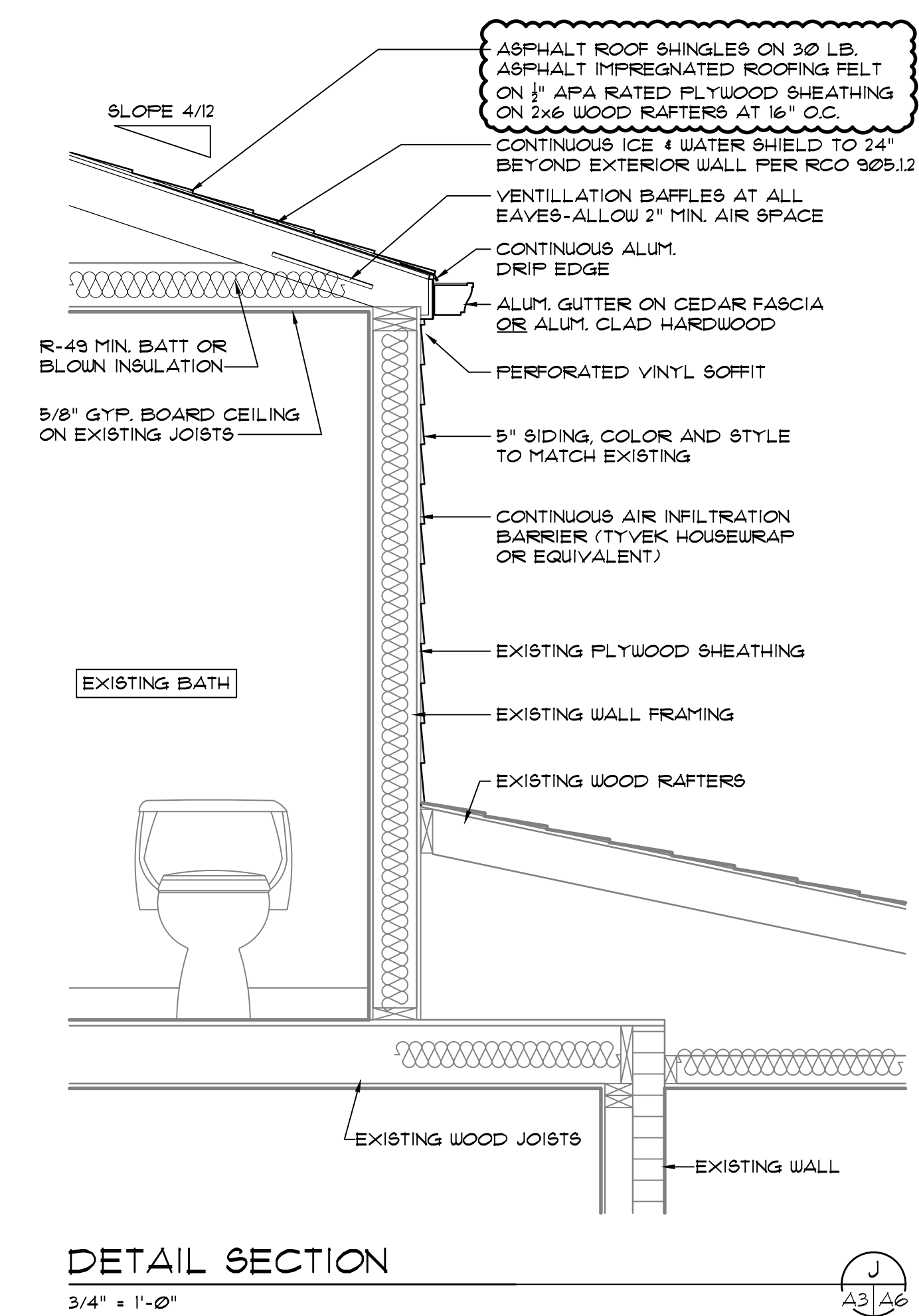
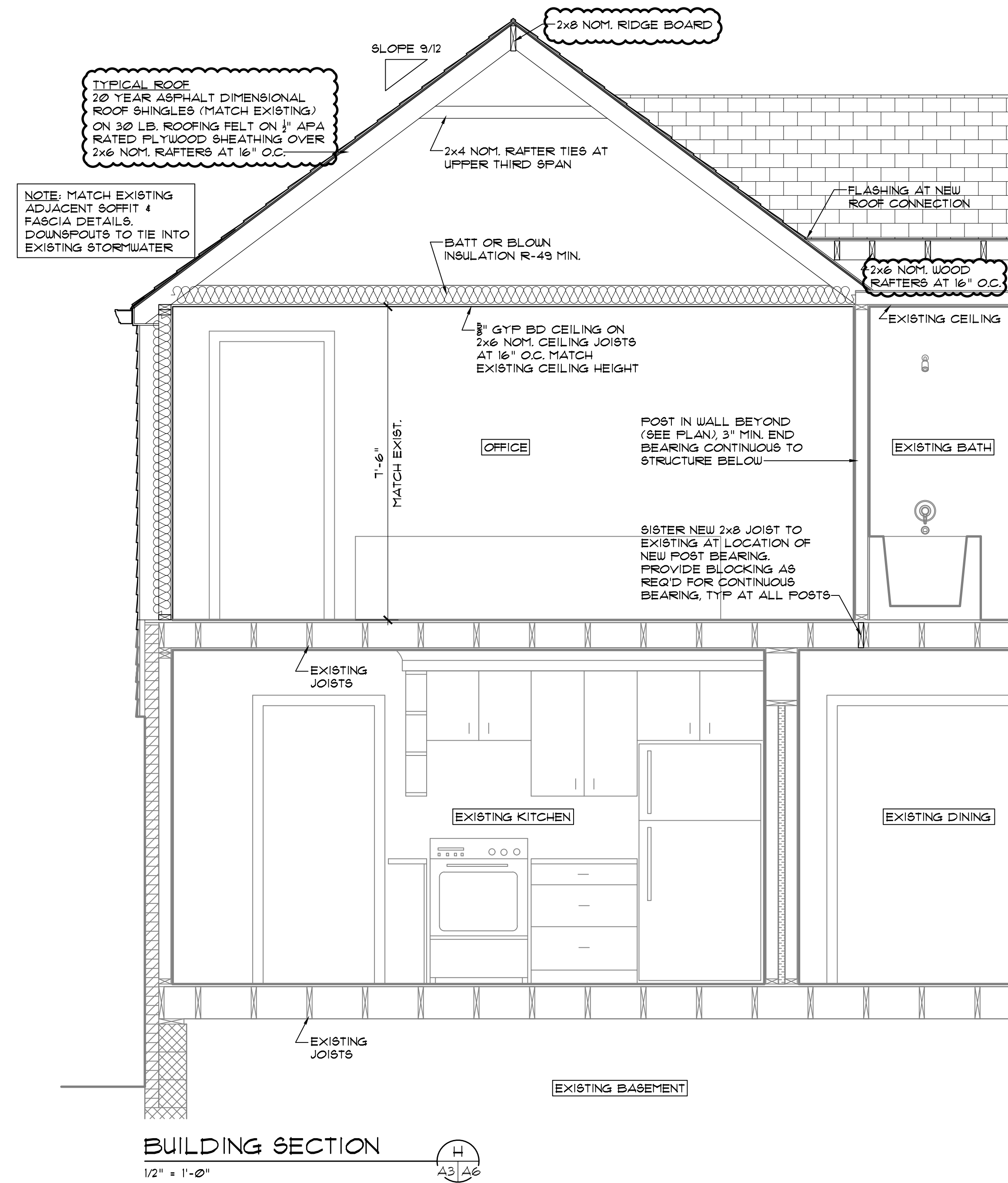
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Detail Sections

A5

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Detail Sections

A6