

# Hennies Residence Addition and Renovation

19749 Telbir Ave.  
Rocky River, OH 44116

ISSUANCE NAME: DESIGN REVIEW

ISSUANCE DATE: 04/20/2026

PROJECT NUMBER:



## LEGEND - STANDARD ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.C.	AIR CONDITIONING
ALT.	ALTERNATE
C.B.B.	CEMENTITIOUS BACKER BOARD
C.H.	CEILING HEIGHT
C.T.	CERAMIC TILE
C.	COAX CABLE
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.W.	COLD WATER
COORD.	COORDINATE
DEMO	DEMOLITION
DIA.	DIAMETER
DWG.	DRAWING
EXIST.	EXISTING
E.T.R.	EXISTING TO REMAIN
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
EQ.	EQUAL
F.D.	FLOOR DRAIN
FURN.	FURNITURE
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GYP. BD.	GYPSUM BOARD
H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING
H.W.	HOT WATER
MANF.	MANUFACTURER
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MIR.	MIRRORED
MISC.	MISCELLANEOUS
M.T.	MOSAIC TILE
M.R.G.B.	MOISTURE RESISTANT GYPSUM BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPP.	OPPOSITE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
RAD.	RADIUS
R.O.	ROUGH OPENING
SAN.	SANITARY
SIM.	SIMILAR
S.O.G.	SLAB ON GRADE
S.S.M.	SOLID SURFACE MATERIAL
S.F.	SQUARE FEET
S.S.	STAINLESS STEEL
ST.	STORM
STRUCT.	STRUCTURAL
S.A.	SUPPLY AIR
TEMP.	TEMPORARY
T.	THERMOSTAT
T.L.T.	TOILET
TYP.	TYPICAL
U.C.	UNDER COUNTER
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT

## LEGEND - MATERIALS

	UNDISTURBED OR COMPACTED SOIL		CONTINUOUS WOOD FRAMING		BRICK		RIGID INSULATION
	POROUS FILL OR SUBBASE		WOOD BLOCKING		CONCRETE UNIT MASONRY		FIBROUS FIRE SAFING
	DRAINAGE FILL		PLYWOOD		STEEL		GLASS
	CAST-IN-PLACE CONCRETE		PARTICLE BOARD		ALUMINUM		TERRAZZO
	TOPSOIL		FINISHED LUMBER FOR ARCHITECTURAL WORK		GYPSUM BOARD		CERAMIC TILE
	GROUT		BATT INSULATION				

## LEGEND - GRAPHIC SYMBOLS

**NORTH ARROW**

**GRAPHIC SCALE**

SCALE: 1/8" = 1'-0"

**VIEW TITLE**

**1 View Name**  
SCALE: 1/8" = 1'-0"

**ROOM TAG**

Room Name 101, Room Name 150 SF, ROOM #, ROOM AREA

**COLUMN GRID**

**SPOT ELEVATIONS**

EXISTING ELEVATION, NEW ELEVATION

**VERTICAL ELEVATIONS**

EXISTING ELEVATION, NEW ELEVATION

**DRAWING REVISION**

**SECTION / DETAIL TAG**

DETAIL #, SHEET #

**CALLOUT / ENLARGED DETAIL TAG**

DETAIL #, SHEET #

**INTERIOR / EXTERIOR ELEVATION TAG**

ELEVATION #, SHEET #

**DOOR TAG SYMBOL**

DOOR SIZE, DOOR MARK, 1'-0"x1'-0", 123

**CEILING TAG**

CEILING HEIGHT, 1'-0" A.F.F.

**WINDOW TYPE SYMBOL**

**GENERAL ANNOTATION**

DIMENSIONS 4'-0" MAX, CENTERLINE, CONTROL JOINT C.J.

**LINETYPE LEGEND**

PROPERTY LINE, RIGHT OF WAY, SANITARY LINE, STORM LINE, FENCE, WATER LINE, GAS LINE

**PLUMBING LEGEND**

FIXTURE TYPE, WC-1, FIXTURE NUMBER

**MECHANICAL LEGEND**

LINEAR DIFFUSER, EXHAUST FAN, RETURN AIR DUCT / GRILLE, SUPPLY AIR DUCT / DIFFUSER, THERMOSTAT

**ELECTRICAL LEGEND**

DOWNLIGHTS - LED, PENDANT LIGHTS - LED, UNDER CABINET LIGHTING - LED, PANELBOARD (CLEAR FLOOR SPACE), LIGHT SWITCH (+48" A.F.F. - U.O.N.), LIGHT SWITCH - DIMMABLE (+48" A.F.F. - U.O.N.), LIGHT SWITCH - 3 WAY (+48" A.F.F. - U.O.N.), DOOR BELL (+48" A.F.F. - U.O.N.), DUPLEX RECEPTABLE (+12" A.F.F. - U.O.N.), GROUND FAULT CIRCUIT INTERRUPTER (G.F.C.I.), USB DUPLEX RECEPTABLE (+12" A.F.F. - U.O.N.), QUAD RECEPTABLE (+12" A.F.F. - U.O.N.)

**FRAMING DIRECTION SYMBOL**

**PARTITION TAG**

PARTITION #

Addition and  
Renovation

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

03/25/2026  
Date:

ZONING  
Revision:

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

COVER SHEET

G1

Sheet:

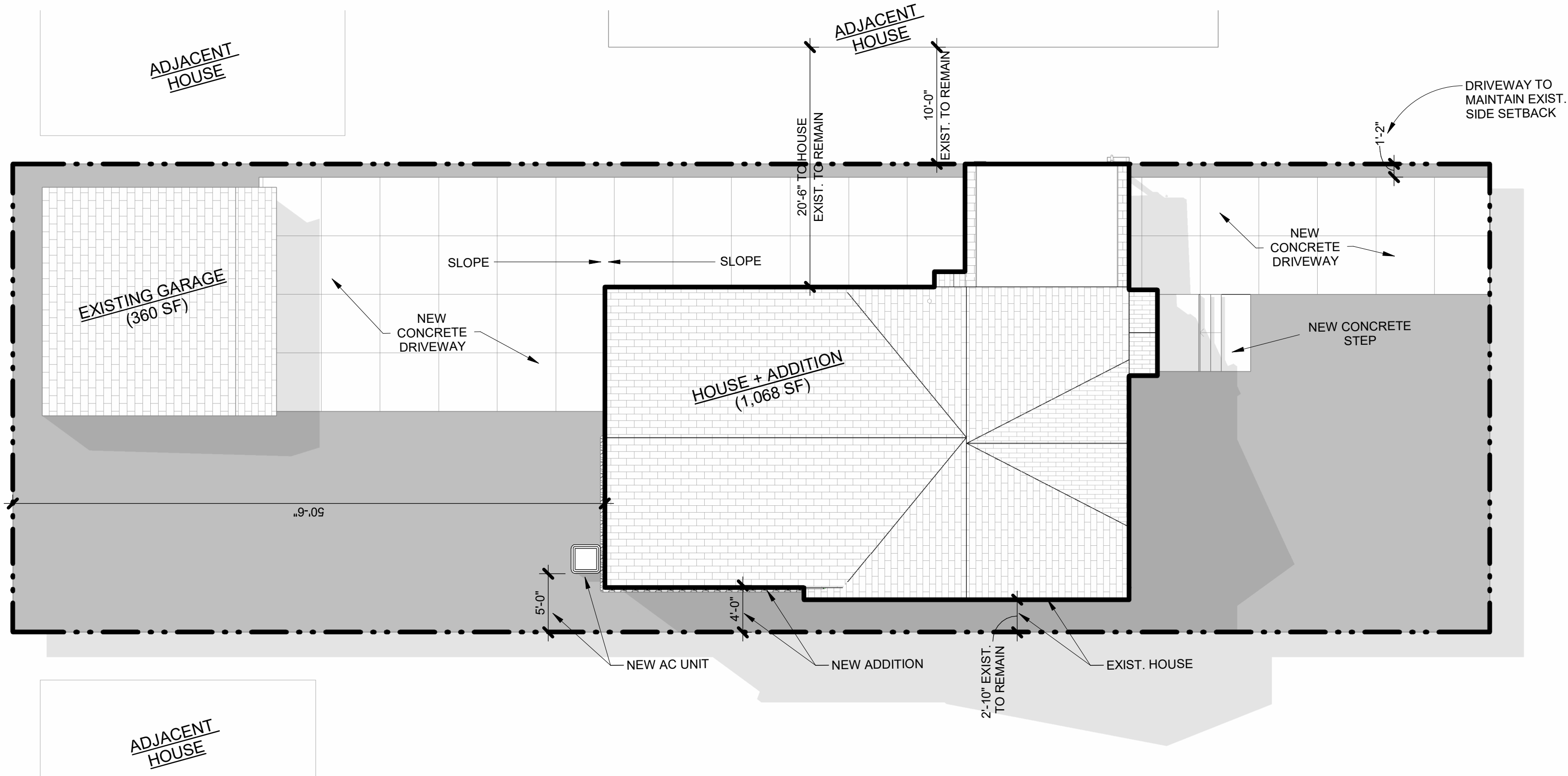
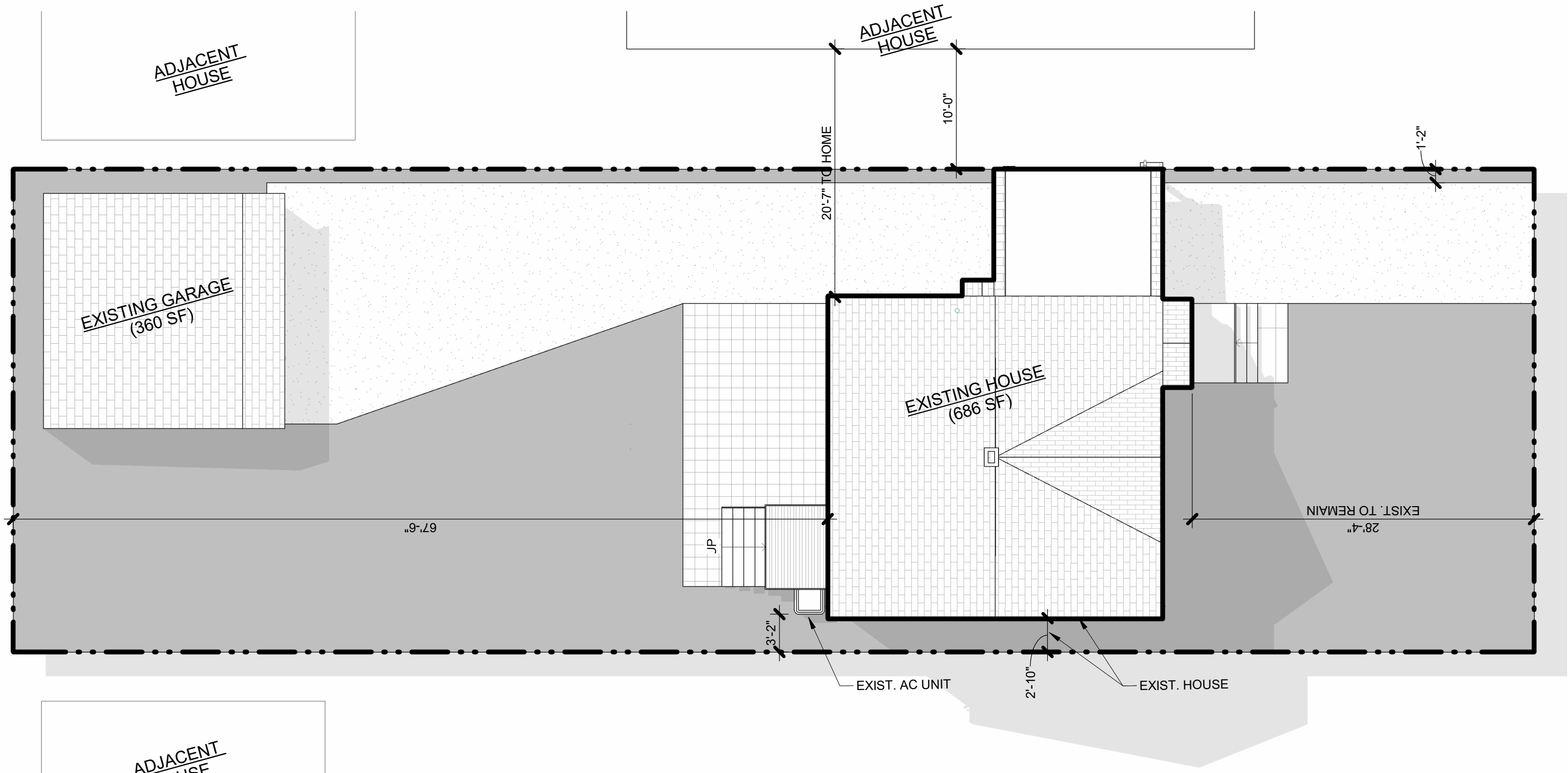
SHEET LIST	
SHEET #	SHEET NAME
G1	COVER SHEET
G2	SITE PLANS
G3	EXISTING IMAGES
G4	EXISTING IMAGES
D0	BASEMENT DEMO PLAN
D1	FIRST FLOOR DEMO PLAN
D2	SECOND FLOOR DEMO PLAN
D3	THIRD FLOOR DEMO PLAN
A0	BASEMENT FLOOR PLAN
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	THIRD FLOOR PLAN
A4	EXTERIOR ELEVATION - SOUTH
A5	EXTERIOR ELEVATION - WEST
A6	EXTERIOR ELEVATION - NORTH
A7	EXTERIOR ELEVATION - EAST
A8	WALL SECTIONS AND DETAILS
A9	WALL SECTIONS AND DETAILS
A10	FIRST FLOOR REFL. CEILING PLAN
A11	SECOND FLOOR REFL. CEILING PLAN
A12	ENLARGED PLAN - MAIN BATHROOM
A13	ENLARGED PLAN - KIDS BATHROOM
S1	FRAMING PLANS
Grand total: 23	

LOT COVERAGE - EXISTING	
LOT SQ. FT.	5,041 (PER GIS)
EXISTING HOUSE:	686 S.F.
EXISTING GARAGE:	360 S.F.
TOTAL:	1,046 S.F. (20.7%)

LOT COVERAGE - NEW	
LOT SQ. FT.	5,041 (PER GIS)
NEW HOUSE:	1,068 S.F.
EXISTING GARAGE:	360 S.F.
TOTAL:	1,428 S.F. (28.3%)

NOTE:  
SQUARE FOOTAGES SHOWN ARE THE FOOTPRINTS OF STRUCTURES

NOTE:  
SQUARE FOOTAGES SHOWN ARE THE FOOTPRINTS OF STRUCTURES



# Addition and Renovation

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

Date: 03/25/2026

## DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

## SITE PLANS

# G2

Sheet:

ZONING  
Revision:



**EXISTING  
IMAGES**

**G3**

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

Revision:

Date:

Project Info:

Designer:

**Addition and  
Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116



**EXISTING  
IMAGES**

**G4**

Sheet:

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

DESIGN REVIEW

Revision:

04/20/2026

Date:

**Addition and  
Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

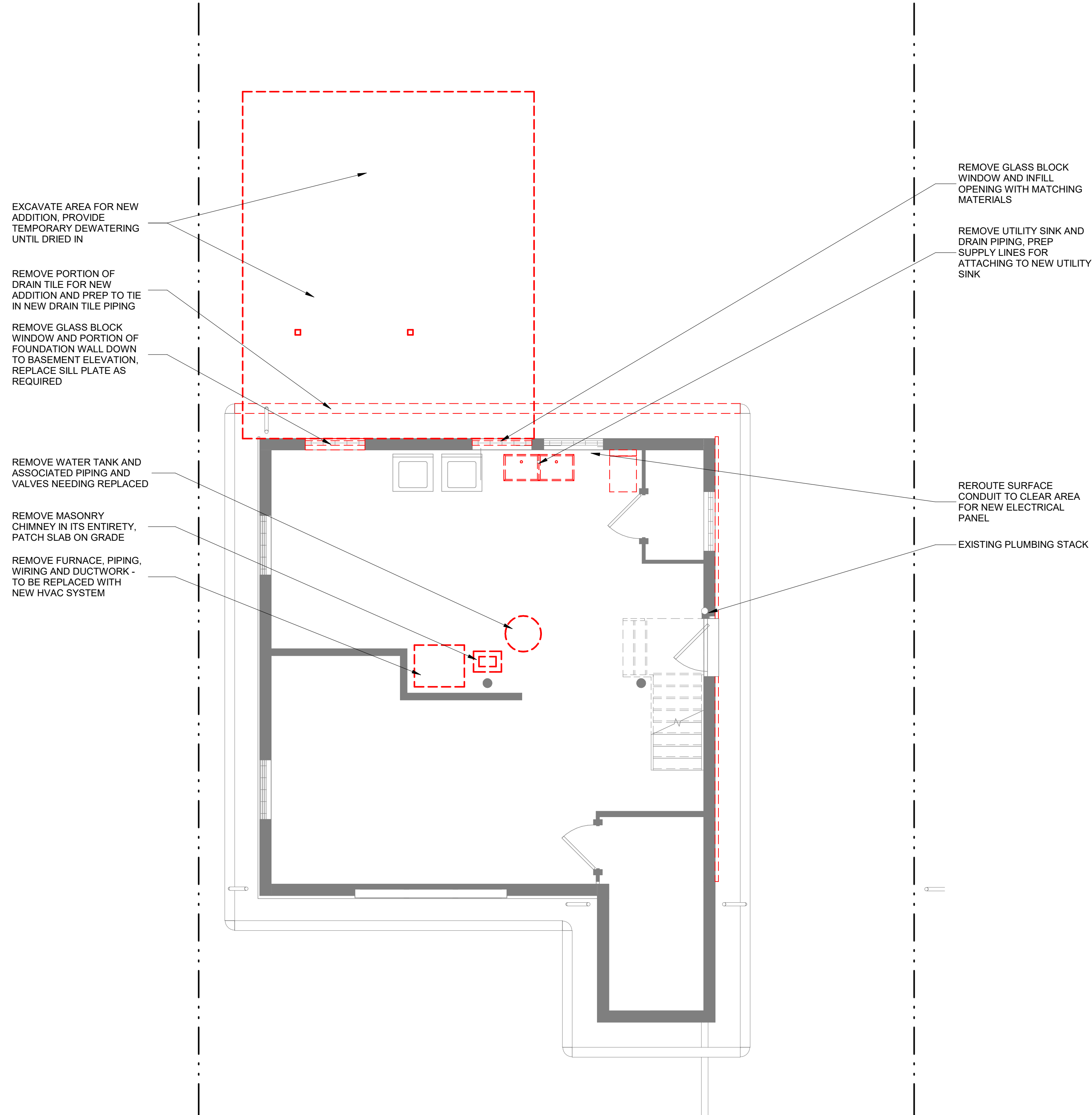
Project Info:

Designer:



# BASEMENT FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



## GENERAL NOTES - DEMOLITION

- COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID; FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.
- SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.
- COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH NEW WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.
- REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAW, BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.
- INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.
- INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.
- NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.
- INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.
- PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.
- DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.
- LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK, IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

# BASEMENT DEMO PLAN

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

# Addition and Renovation

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Project Info:

04/20/2026

Date:

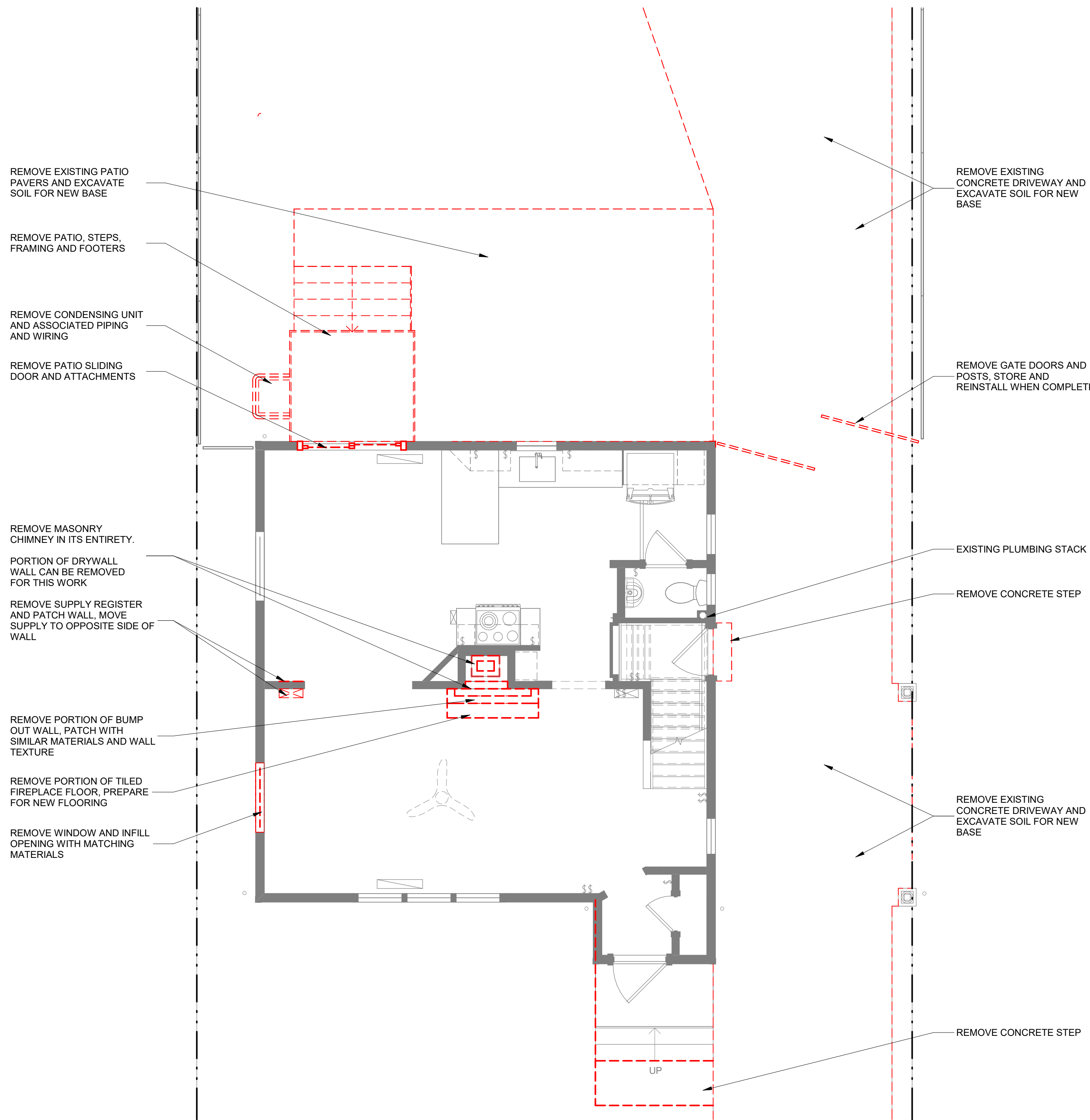
DESIGN REVIEW

Revision:

# D0

Sheet:

Designer:



**GENERAL NOTES - DEMOLITION**

1. COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID; FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.
2. SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.
3. COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH NEW WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.
4. REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAW, BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.
5. INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.
6. INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.
7. NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.
8. INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.
9. PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.
10. DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.
11. LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK, IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

REMOVE EXISTING PATIO PAVERS AND EXCAVATE SOIL FOR NEW BASE

REMOVE PATIO, STEPS, FRAMING AND FOOTERS

REMOVE CONDENSING UNIT AND ASSOCIATED PIPING AND WIRING

REMOVE PATIO SLIDING DOOR AND ATTACHMENTS

REMOVE MASONRY CHIMNEY IN ITS ENTIRETY.

PORTION OF DRYWALL WALL CAN BE REMOVED FOR THIS WORK

REMOVE SUPPLY REGISTER AND PATCH WALL, MOVE SUPPLY TO OPPOSITE SIDE OF WALL

REMOVE PORTION OF BUMP OUT WALL, PATCH WITH SIMILAR MATERIALS AND WALL TEXTURE

REMOVE PORTION OF TILED FIREPLACE FLOOR, PREPARE FOR NEW FLOORING

REMOVE WINDOW AND INFILL OPENING WITH MATCHING MATERIALS

REMOVE EXISTING CONCRETE DRIVEWAY AND EXCAVATE SOIL FOR NEW BASE

REMOVE GATE DOORS AND POSTS, STORE AND REINSTALL WHEN COMPLETE

EXISTING PLUMBING STACK

REMOVE CONCRETE STEP

REMOVE EXISTING CONCRETE DRIVEWAY AND EXCAVATE SOIL FOR NEW BASE

REMOVE CONCRETE STEP

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

04/20/2026  
Date:

DESIGN REVIEW  
Revision:

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

**FIRST FLOOR DEMO PLAN**

**D1**

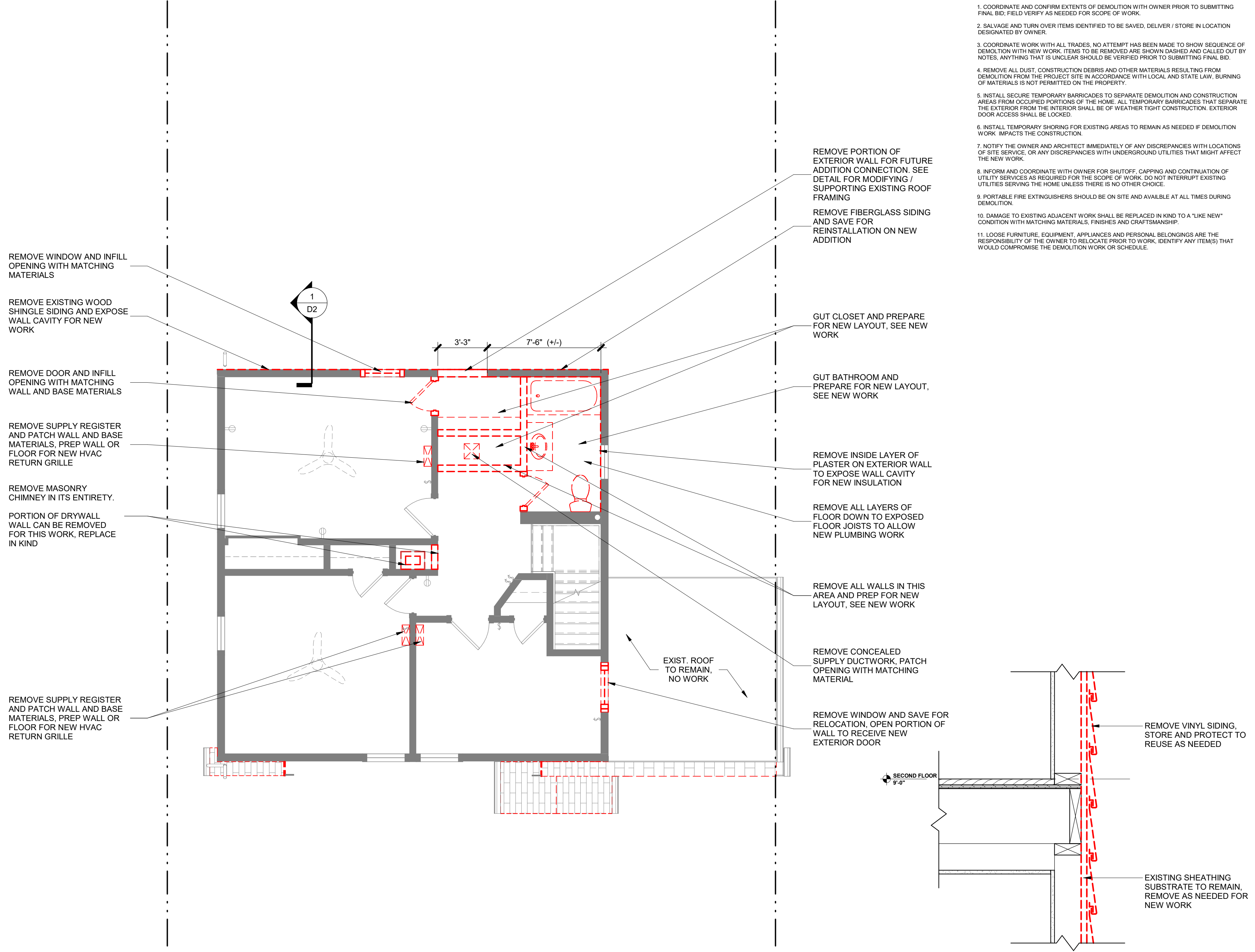
Sheet:

Designer:

Project Info:

**GENERAL NOTES - DEMOLITION**

- COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID; FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.
- SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.
- COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH NEW WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.
- REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAW, BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.
- INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.
- INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.
- NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.
- INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.
- PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.
- DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.
- LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK, IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.



**SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**1 EXTERIOR SIDING - DEMOLITION**  
SCALE: 1 1/2" = 1'-0"

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

04/20/2026  
Date:

DESIGN REVIEW  
Revision:

DESIGN REVIEW  
Issuance Name:

04/20/2026  
Issuance Date:

Project Number:

**SECOND FLOOR DEMO PLAN**

**D2**

Designer:

Project Info:

Sheet:

**GENERAL NOTES - DEMOLITION**

1. COORDINATE AND CONFIRM EXTENTS OF DEMOLITION WITH OWNER PRIOR TO SUBMITTING FINAL BID; FIELD VERIFY AS NEEDED FOR SCOPE OF WORK.
2. SALVAGE AND TURN OVER ITEMS IDENTIFIED TO BE SAVED, DELIVER / STORE IN LOCATION DESIGNATED BY OWNER.
3. COORDINATE WORK WITH ALL TRADES. NO ATTEMPT HAS BEEN MADE TO SHOW SEQUENCE OF DEMOLITION WITH NEW WORK. ITEMS TO BE REMOVED ARE SHOWN DASHED AND CALLED OUT BY NOTES. ANYTHING THAT IS UNCLEAR SHOULD BE VERIFIED PRIOR TO SUBMITTING FINAL BID.
4. REMOVE ALL DUST, CONSTRUCTION DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION FROM THE PROJECT SITE IN ACCORDANCE WITH LOCAL AND STATE LAW, BURNING OF MATERIALS IS NOT PERMITTED ON THE PROPERTY.
5. INSTALL SECURE TEMPORARY BARRICADES TO SEPARATE DEMOLITION AND CONSTRUCTION AREAS FROM OCCUPIED PORTIONS OF THE HOME. ALL TEMPORARY BARRICADES THAT SEPARATE THE EXTERIOR FROM THE INTERIOR SHALL BE OF WEATHER TIGHT CONSTRUCTION. EXTERIOR DOOR ACCESS SHALL BE LOCKED.
6. INSTALL TEMPORARY SHORING FOR EXISTING AREAS TO REMAIN AS NEEDED IF DEMOLITION WORK IMPACTS THE CONSTRUCTION.
7. NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH LOCATIONS OF SITE SERVICE, OR ANY DISCREPANCIES WITH UNDERGROUND UTILITIES THAT MIGHT AFFECT THE NEW WORK.
8. INFORM AND COORDINATE WITH OWNER FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED FOR THE SCOPE OF WORK. DO NOT INTERRUPT EXISTING UTILITIES SERVING THE HOME UNLESS THERE IS NO OTHER CHOICE.
9. PORTABLE FIRE EXTINGUISHERS SHOULD BE ON SITE AND AVAILABLE AT ALL TIMES DURING DEMOLITION.
10. DAMAGE TO EXISTING ADJACENT WORK SHALL BE REPLACED IN KIND TO A "LIKE NEW" CONDITION WITH MATCHING MATERIALS, FINISHES AND CRAFTSMANSHIP.
11. LOOSE FURNITURE, EQUIPMENT, APPLIANCES AND PERSONAL BELONGINGS ARE THE RESPONSIBILITY OF THE OWNER TO RELOCATE PRIOR TO WORK, IDENTIFY ANY ITEM(S) THAT WOULD COMPROMISE THE DEMOLITION WORK OR SCHEDULE.

Designer:

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Project Info:

04/20/2026  
Date:

DESIGN REVIEW  
Revision:

DESIGN REVIEW

Issuance Name:

04/20/2026

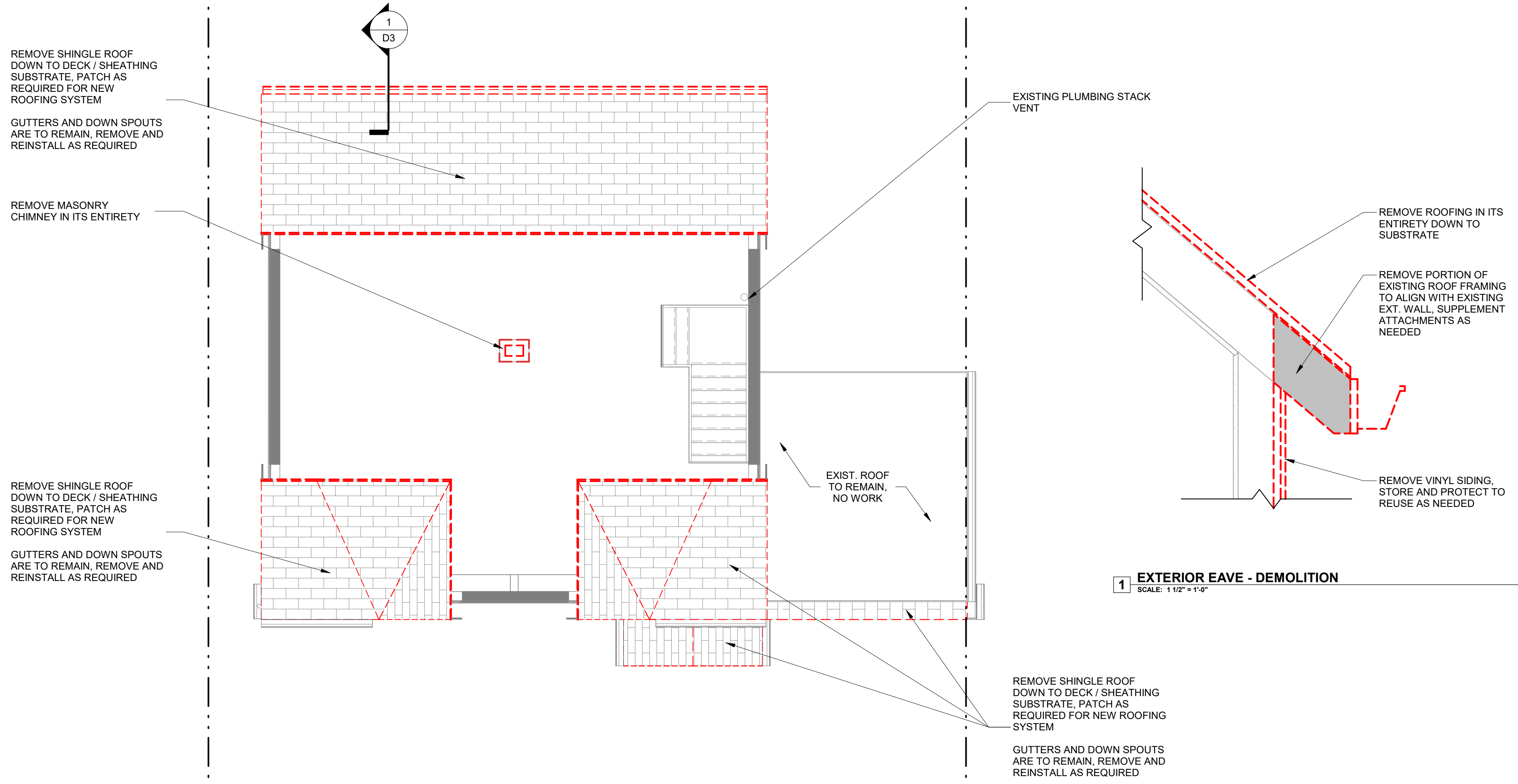
Issuance Date:

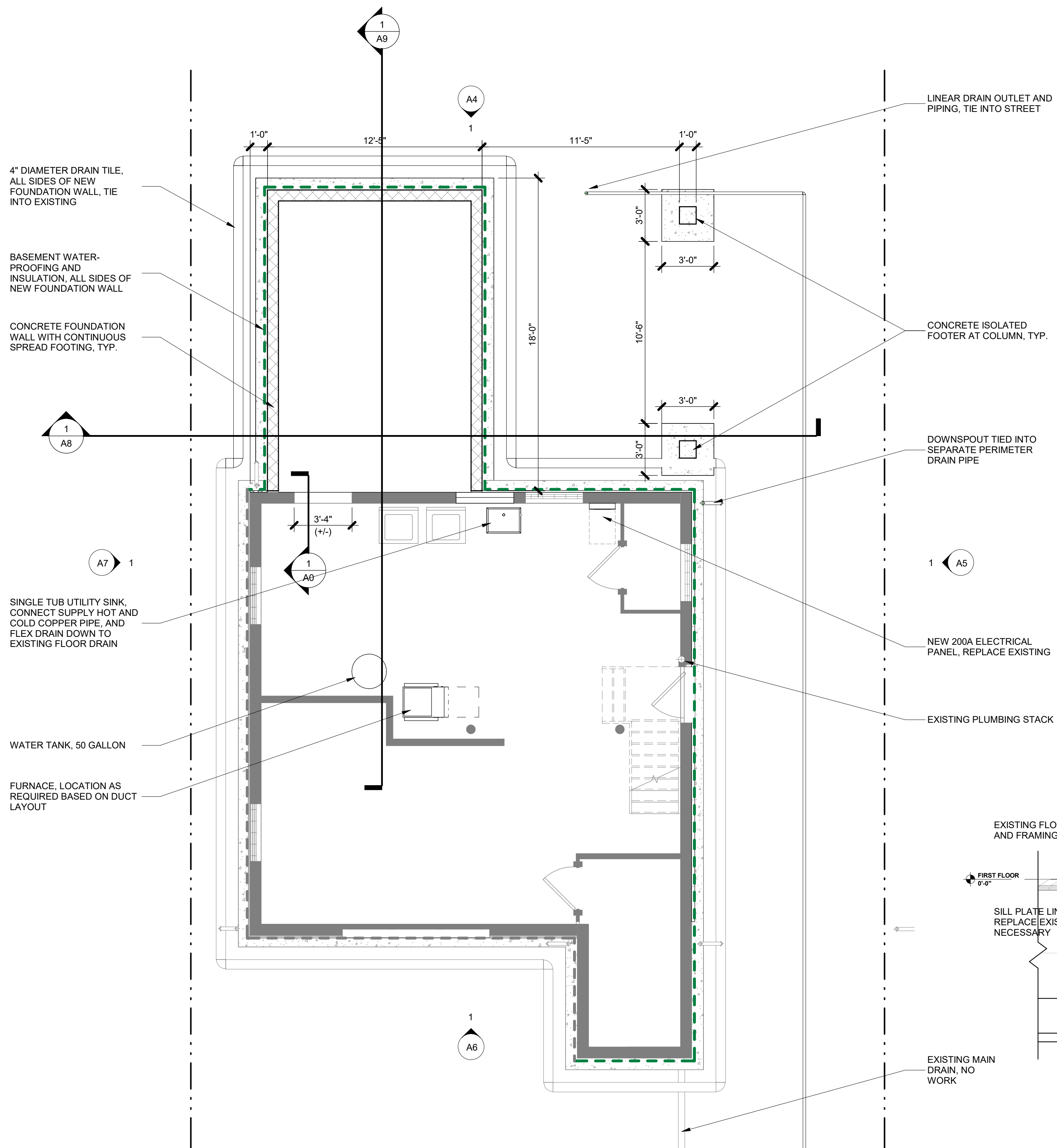
Project Number:

**THIRD FLOOR DEMO PLAN**

**D3**

Sheet:





**GENERAL NOTES - INTERIOR CONSTRUCTION**

1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
4. TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
5. WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
6. PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
7. DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
8. EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
9. PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION, TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASSED OPENINGS SHOULD BE IN CENTER OF OPENING.
10. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
11. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
12. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

4" DIAMETER DRAIN TILE, ALL SIDES OF NEW FOUNDATION WALL, TIE INTO EXISTING

BASEMENT WATER-PROOFING AND INSULATION, ALL SIDES OF NEW FOUNDATION WALL

CONCRETE FOUNDATION WALL WITH CONTINUOUS SPREAD FOOTING, TYP.

SINGLE TUB UTILITY SINK, CONNECT SUPPLY HOT AND COLD COPPER PIPE, AND FLEX DRAIN DOWN TO EXISTING FLOOR DRAIN

WATER TANK, 50 GALLON

FURNACE, LOCATION AS REQUIRED BASED ON DUCT LAYOUT

LINEAR DRAIN OUTLET AND PIPING, TIE INTO STREET

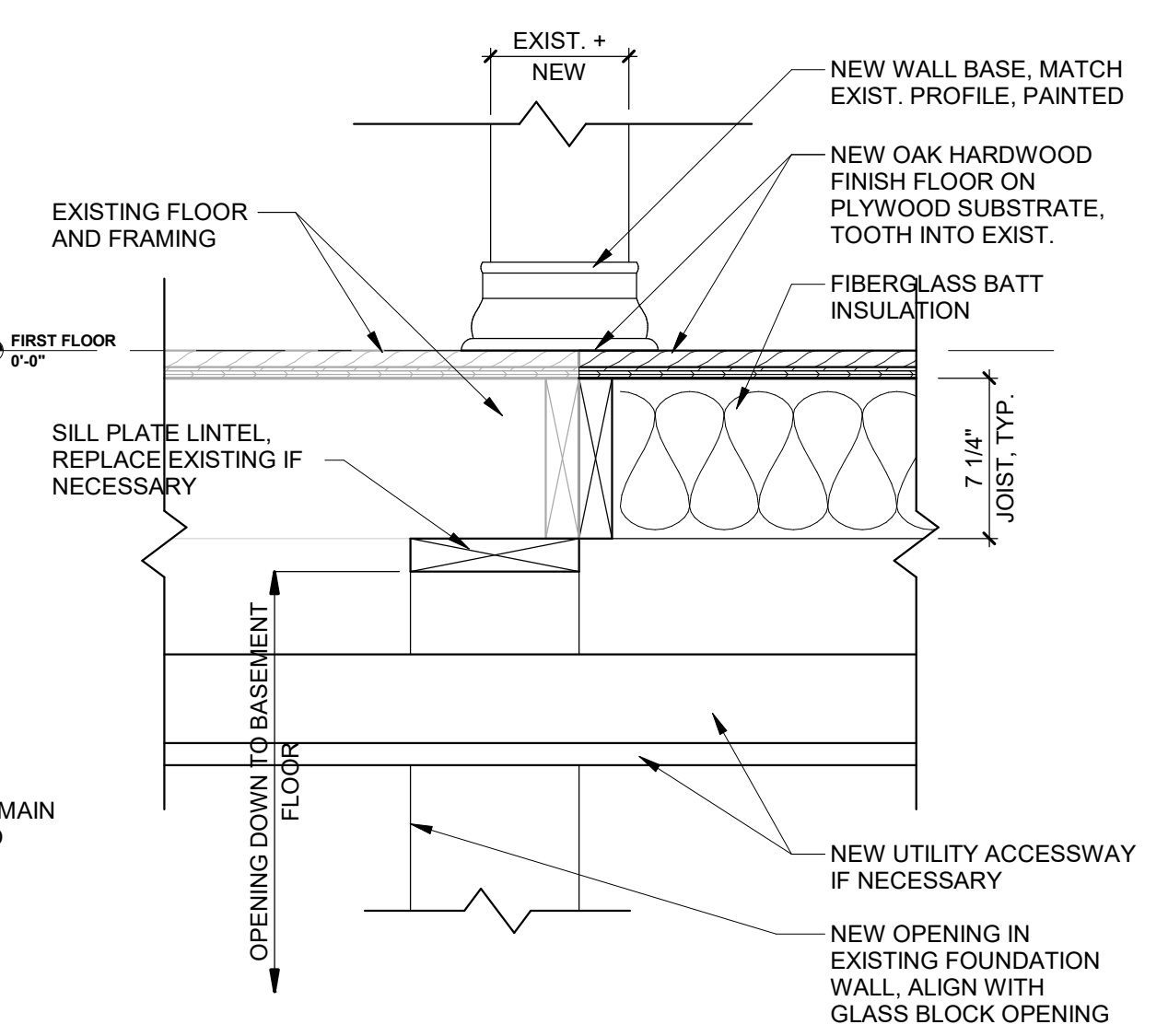
CONCRETE ISOLATED FOOTER AT COLUMN, TYP.

DOWNSPOUT TIED INTO SEPARATE PERIMETER DRAIN PIPE

NEW 200A ELECTRICAL PANEL, REPLACE EXISTING

EXISTING PLUMBING STACK

EXISTING MAIN DRAIN, NO WORK



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**1 FLOOR TRANSITION - CRAWLSPACE**  
SCALE: 1 1/2" = 1'-0"

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Date: 03/25/2026

ZONING

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

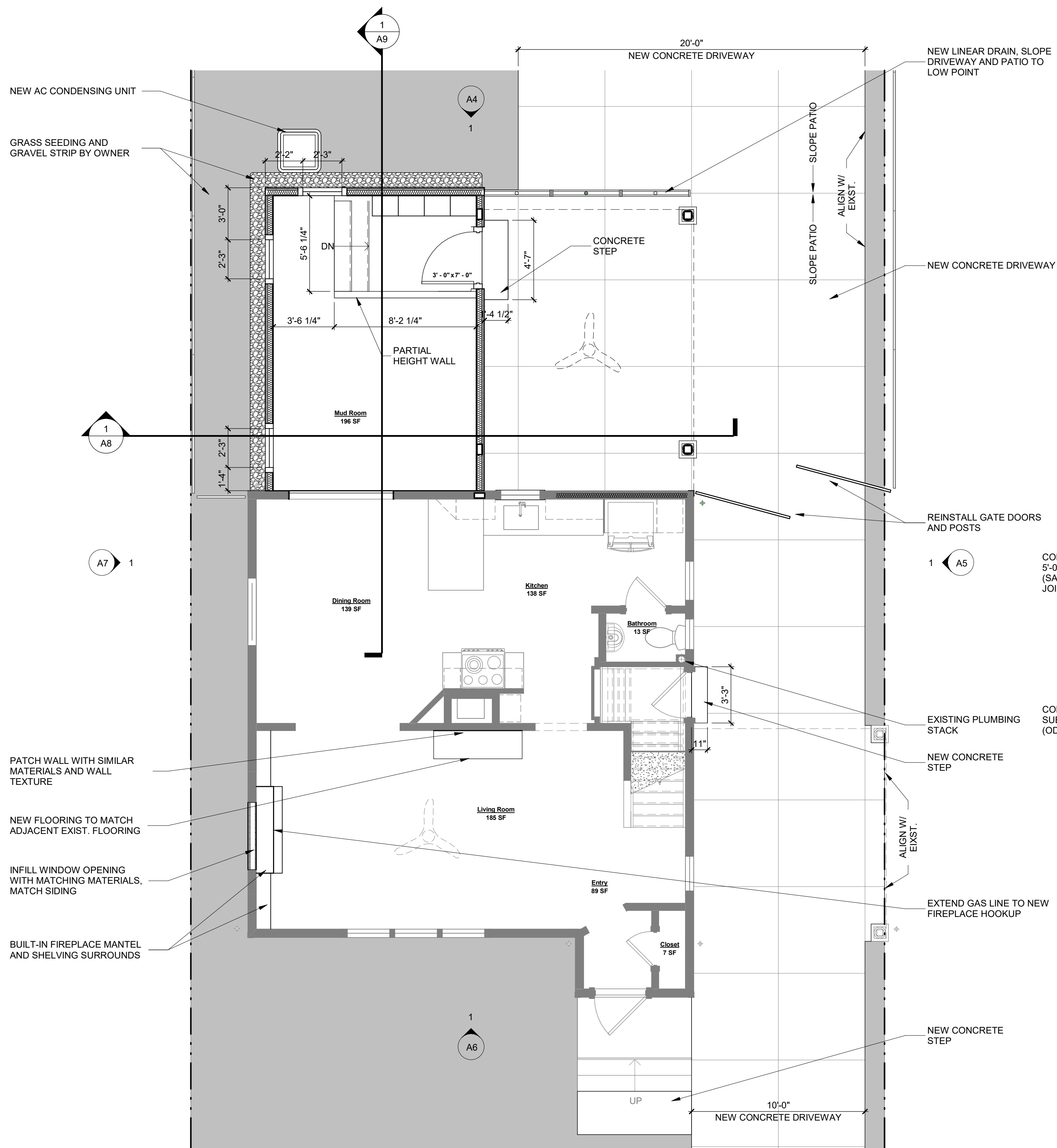
**BASEMENT FLOOR PLAN**

**A0**

Sheet:

Designer:

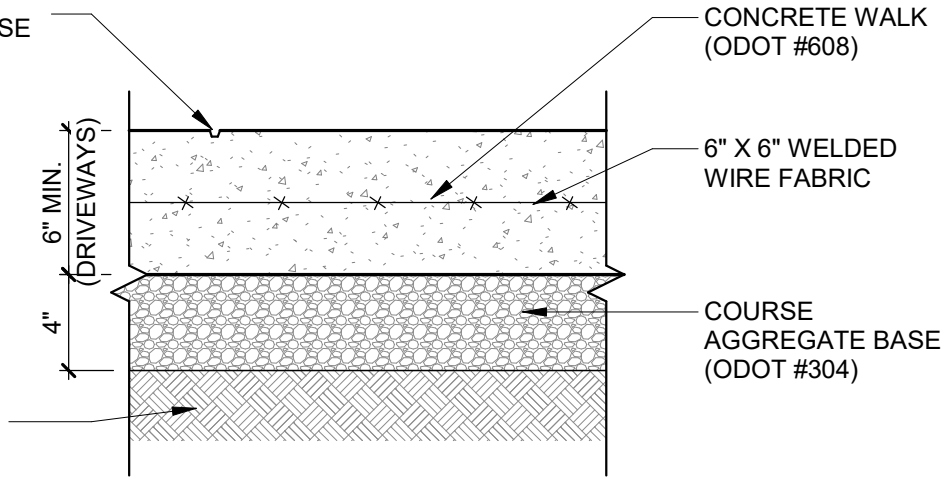
Project Info:



**GENERAL NOTES - INTERIOR CONSTRUCTION**

- ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
- WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
- DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
- EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION. TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASSED OPENINGS SHOULD BE IN CENTER OF OPENING.
- FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
- DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
- PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

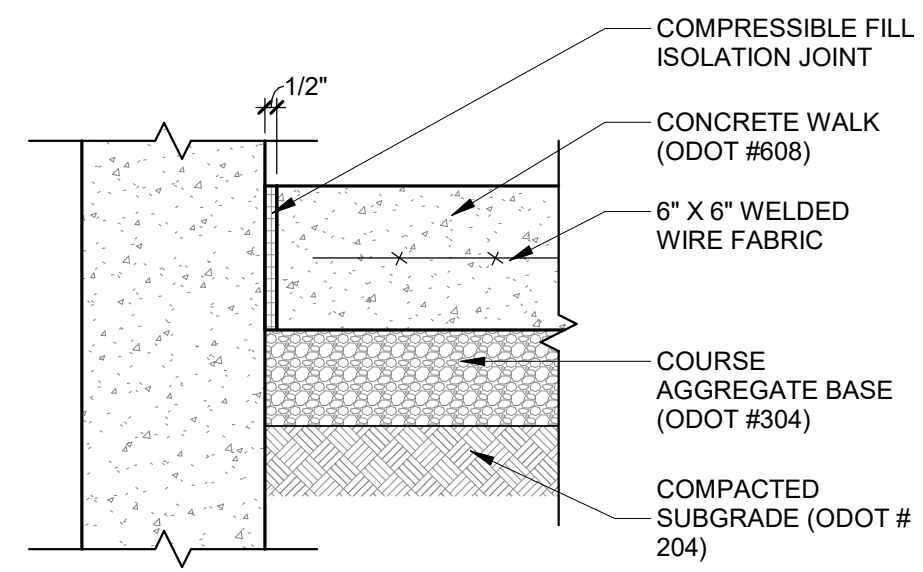
CONTROL JOINT - 5'-0" O.C. MAX (SAW CUT OR USE JOINT TOOL)



NOTE: SLOPE 1/4" PER FOOT TOWARD FOR DRAINAGE

**S.O.G. W CONTROL JOINT**

COMPACTED SUBGRADE (ODOT #204)



**ISOLATION JOINT**

NEW AC CONDENSING UNIT

GRASS SEEDING AND GRAVEL STRIP BY OWNER

NEW LINEAR DRAIN, SLOPE DRIVEWAY AND PATIO TO LOW POINT

SLOPE PATIO  
ALIGN W/ EXIST.

NEW CONCRETE DRIVEWAY

REINSTALL GATE DOORS AND POSTS

EXISTING PLUMBING STACK

NEW CONCRETE STEP

ALIGN W/ EXIST.

EXTEND GAS LINE TO NEW FIREPLACE HOOKUP

NEW CONCRETE STEP

PATCH WALL WITH SIMILAR MATERIALS AND WALL TEXTURE

NEW FLOORING TO MATCH ADJACENT EXIST. FLOORING

INFILL WINDOW OPENING WITH MATCHING MATERIALS, MATCH SIDING

BUILT-IN FIREPLACE MANTEL AND SHELVING SURROUNDS

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

03/25/2026  
Date:

ZONING  
Revision:

**DESIGN REVIEW**

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

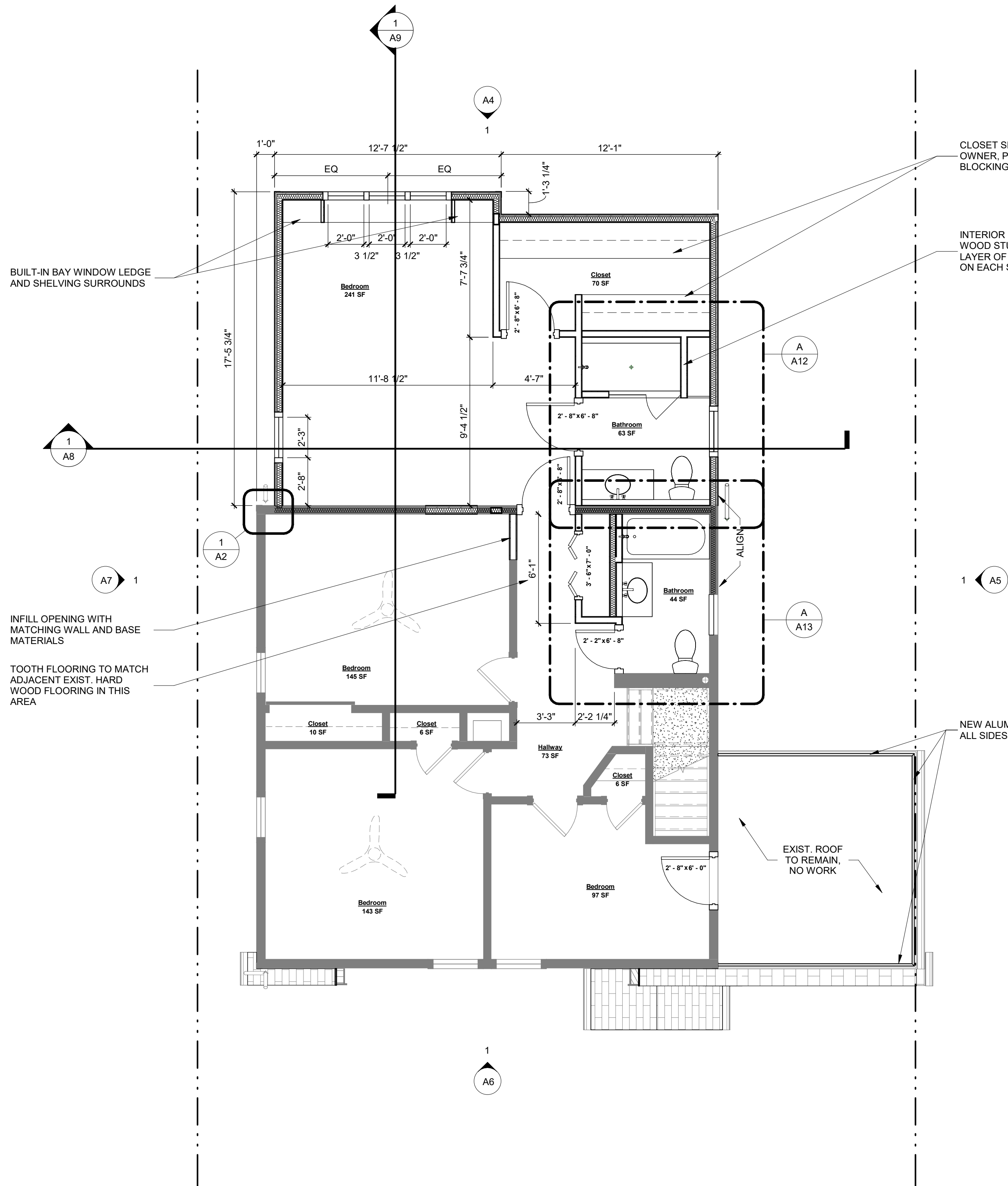
**FIRST FLOOR PLAN**

**A1**

Sheet:

**GENERAL NOTES - INTERIOR CONSTRUCTION**

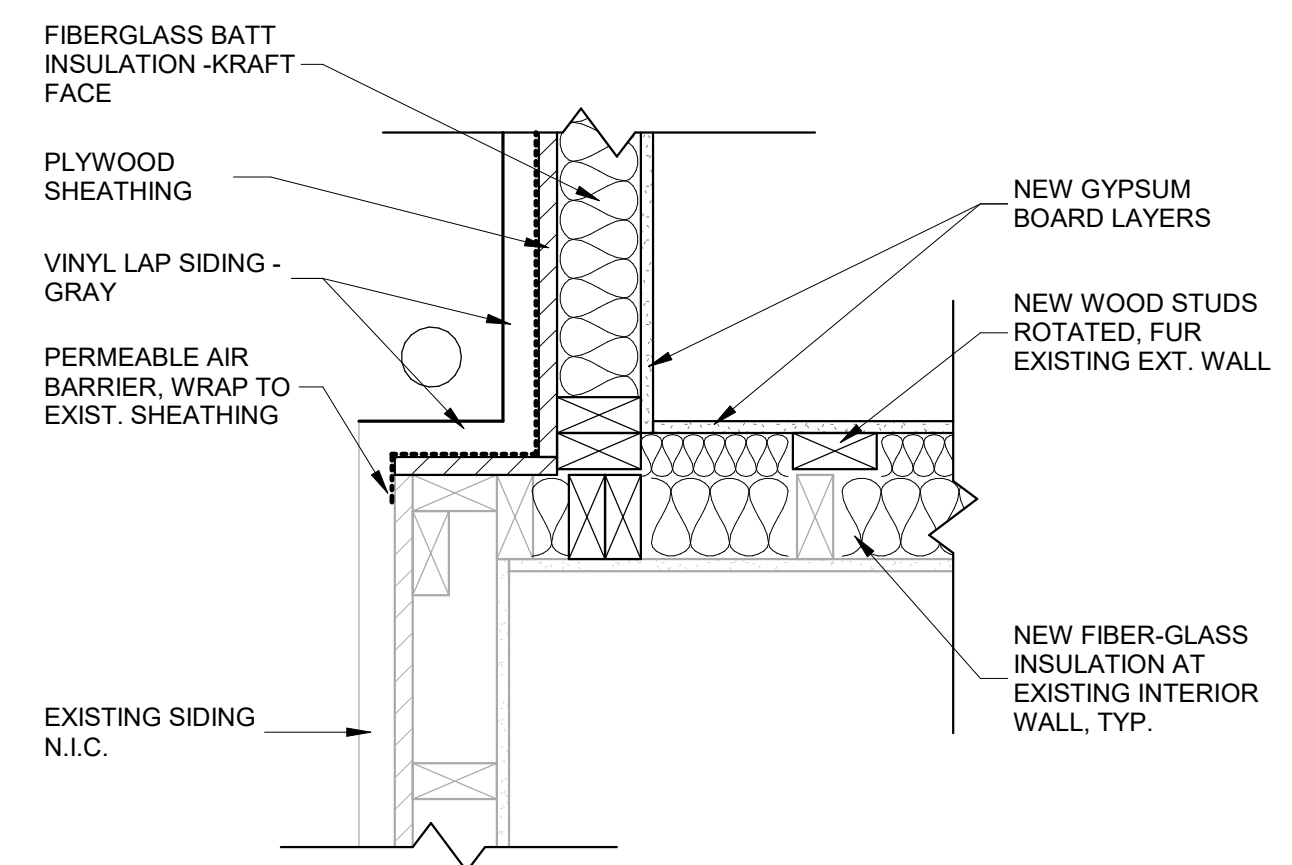
- ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX., HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
- WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
- DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
- EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION, TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN CENTER OF OPENING.
- FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
- DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
- PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.



CLOSET SHELVING BY OWNER, PROVIDE IN WALL BLOCKING

INTERIOR PARTITION OF 2x4 WOOD STUD WITH 1/2" LAYER OF GYPSUM BOARD ON EACH SIDE, TYP.

NEW ALUMINUM RAILING, ALL SIDES



**1 EXTERIOR WALL OUTSIDE CORNER**  
SCALE: 1 1/2" = 1'-0"

BUILT-IN BAY WINDOW LEDGE AND SHELVING SURROUNDS

INFILL OPENING WITH MATCHING WALL AND BASE MATERIALS

TOOTH FLOORING TO MATCH ADJACENT EXIST. HARD WOOD FLOORING IN THIS AREA

EXIST. ROOF TO REMAIN, NO WORK

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Project Info:  
Date: 03/25/2026

ZONING  
Revision:

DESIGN REVIEW  
Issuance Name:  
04/20/2026  
Issuance Date:

**SECOND FLOOR PLAN**  
Project Number:  
**A2**  
Sheet:

Designer:

Project Info:

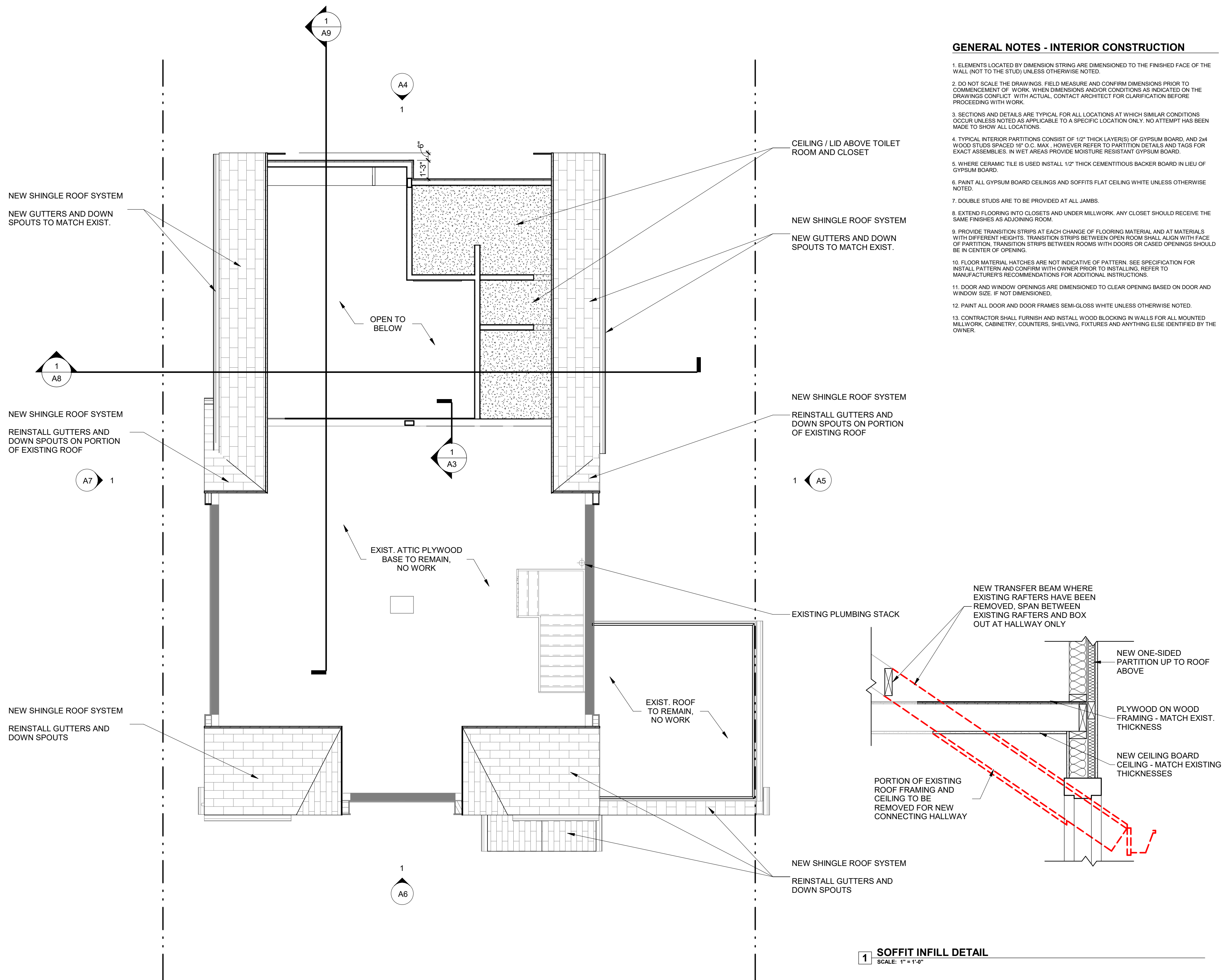
Date:

ZONING

Revision:

Project Number:

Sheet:



**GENERAL NOTES - INTERIOR CONSTRUCTION**

1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF THE WALL (NOT TO THE STUD) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
4. TYPICAL INTERIOR PARTITIONS CONSIST OF 1/2" THICK LAYER(S) OF GYPSUM BOARD, AND 2x4 WOOD STUDS SPACED 16" O.C. MAX. HOWEVER REFER TO PARTITION DETAILS AND TAGS FOR EXACT ASSEMBLIES. IN WET AREAS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
5. WHERE CERAMIC TILE IS USED INSTALL 1/2" THICK CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD.
6. PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS FLAT CEILING WHITE UNLESS OTHERWISE NOTED.
7. DOUBLE STUDS ARE TO BE PROVIDED AT ALL JAMBS.
8. EXTEND FLOORING INTO CLOSETS AND UNDER MILLWORK. ANY CLOSET SHOULD RECEIVE THE SAME FINISHES AS ADJOINING ROOM.
9. PROVIDE TRANSITION STRIPS AT EACH CHANGE OF FLOORING MATERIAL AND AT MATERIALS WITH DIFFERENT HEIGHTS. TRANSITION STRIPS BETWEEN OPEN ROOM SHALL ALIGN WITH FACE OF PARTITION. TRANSITION STRIPS BETWEEN ROOMS WITH DOORS OR CASED OPENINGS SHOULD BE IN CENTER OF OPENING.
10. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE SPECIFICATION FOR INSTALL PATTERN AND CONFIRM WITH OWNER PRIOR TO INSTALLING. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INSTRUCTIONS.
11. DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CLEAR OPENING BASED ON DOOR AND WINDOW SIZE. IF NOT DIMENSIONED.
12. PAINT ALL DOOR AND DOOR FRAMES SEMI-GLOSS WHITE UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL MOUNTED MILLWORK, CABINETS, COUNTERS, SHELVING, FIXTURES AND ANYTHING ELSE IDENTIFIED BY THE OWNER.

**1 SOFFIT INFILL DETAIL**  
SCALE: 1" = 1'-0"

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

03/25/2026  
Date:

ZONING  
Revision:

DESIGN REVIEW  
Issuance Name:

04/20/2026  
Issuance Date:

Project Number:

**THIRD FLOOR PLAN**

**A3**

**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.
- INSULATIONS**  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- ROOFING**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE  
 11. PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 12. RECOMMENDATIONS AND DETAILS
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH

**CHAPTER 11 ENERGY EFFICIENCY**

**1101.14 Certificate (Mandatory)**  
 A permanent certificate shall be completed by the owner or the owner's representative and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall indicate the predominant R-values of insulation installed in or on ceilings, roofs, walls, foundation components such as slabs, basement walls, crawl space walls and floors, and ducts outside conditioned spaces; U-factors of fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing performed on the building. Where there is more than one value for each component, the certificate shall indicate the value covering the largest area. The certificate shall indicate the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace, or baseboard electric heater is installed in the residence, the certificate shall indicate "gas-fired unvented room heater," "electric furnace," or "baseboard electric heater," as appropriate. An efficiency shall not be indicated for gas-fired unvented room heaters, electric furnaces and electric baseboard heaters.

**TABLE 1102.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**

**1102.1.3 R-value computation**  
 Insulation material used in layers, such as framing cavity insulation or continuous insulation, shall be summed to compute the corresponding component R-value.

**TABLE 1102.1.4 EQUIVALENT U-FACTORS**

**1102.1.4 U-factor alternative.**  
 An assembly with a U-factor equal to or less than that specified in Table 1102.1.4 shall be permitted as an alternative to the R-value in Table 1102.1.2.

**1102.2.2 Ceilings without attic spaces.**  
 Where Section 1102.1.2 requires insulation R-values greater than R-30 in the ceiling and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R-30.  
 This reduction shall not apply to the U-factor alternative approach in Section 1102.1.4

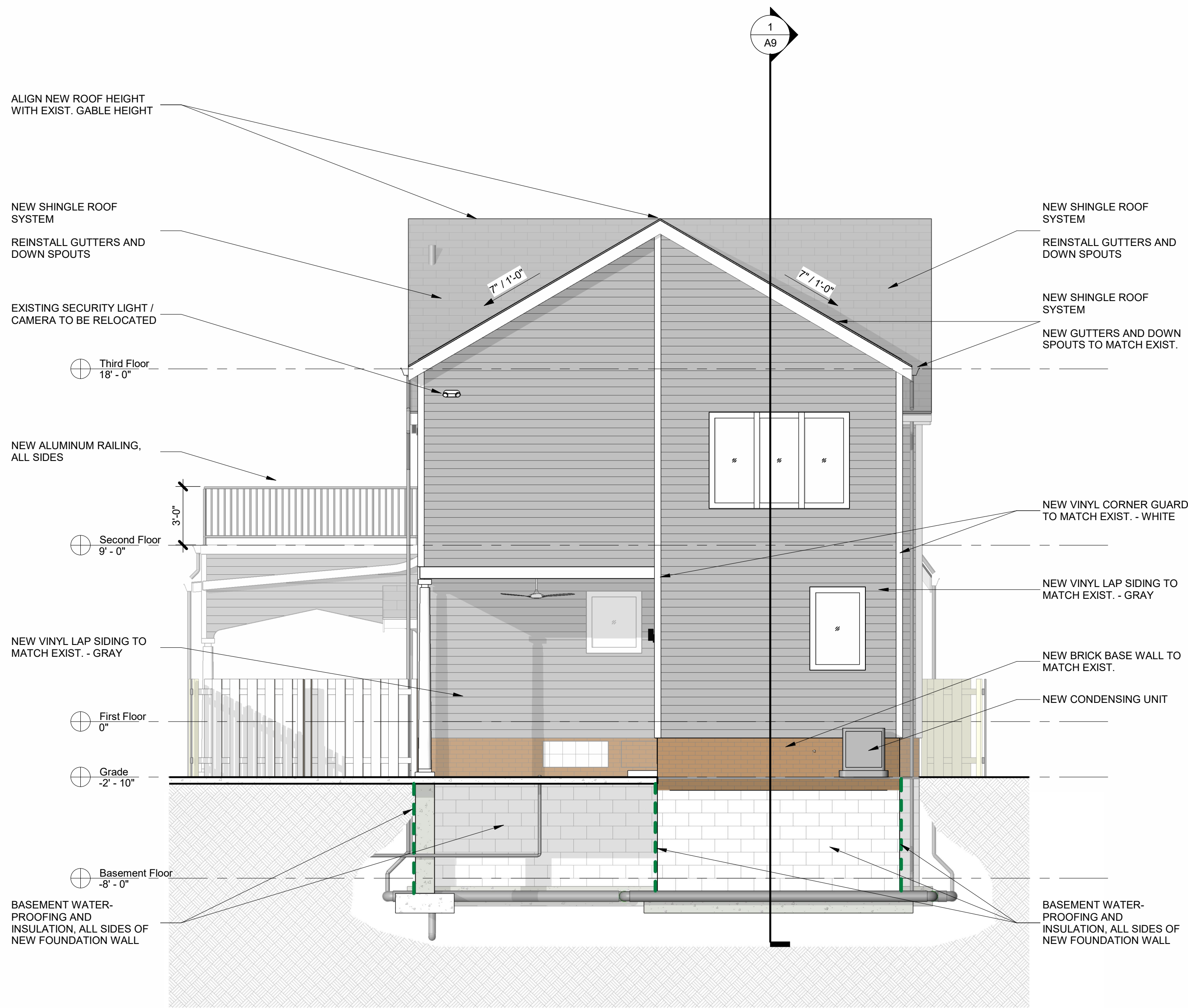
**TABLE 1101.7 CUYAHOGA COUNTY = 5A**

BASEMENT WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
CONCRETE WALL - 7 5/8"	1.11
XPS INSULATION - 2"	10.00
R-VALUE: 11.11 TOTAL ✓	
U-VALUE: 0.090 TOTAL	
CODE ALLOWABLE R-VALUE: 10/13	

FRAME WALLS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
VINYL SIDING - HOLLOW BACK	0.61
WATER-RESISTIVE BARRIER	0.85
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE - 0"	0.00
FIBERGLASS BATT INSULATION - 3 1/2"	15.00
GYPSUM BOARD - 1/2"	0.45
AIR FILM - INTERIOR WALL	0.68
R-VALUE: 18.7 TOTAL	
U-VALUE: 0.0534 TOTAL ✓	
CODE ALLOWABLE U-VALUE: 0.060	

CEILINGS	
MATERIAL DESCRIPTION (INSULATING MATERIAL)	RESISTANCE (R-VALUE FOR GIVEN MATERIAL)
AIR FILM - EXTERIOR WALL	0.17
ASPHALT SHINGLE	0.44
UNDERLAYMENT	0.00
PLYWOOD SHEATHING - 3/4"	0.94
AIR SPACE / BAFFLE - 1"	1.00
POLYURETHANE SPRAY INSULATION - 6 1/4"	42.00
GYPSUM BOARD - 1/2"	0.85
AIR FILM - INTERIOR CEILING	0.61
R-VALUE: 48.01 TOTAL	
U-VALUE: 0.0217 TOTAL ✓	
CODE ALLOWABLE U-VALUE: 0.026	

**NOTES:**  
 VALUES ARE BASED ON COMMON BUILDING MATERIALS.  
 VALUES ARE BASED ON THE 2019 RESIDENTIAL CODE OF OHIO (RCO).



**1 SOUTH ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
 Hennies Residence  
 19749 Telbir Ave.  
 Rocky River, OH 44116  
 Project Info:

Date: 03/25/2026

**ZONING**  
 Revision:

**DESIGN REVIEW**  
 Issuance Name: 04/20/2026  
 Issuance Date:

**EXTERIOR ELEVATION - SOUTH**  
**A4**  
 Project Number:

Designer:

Project Info:

Date:

ZONING

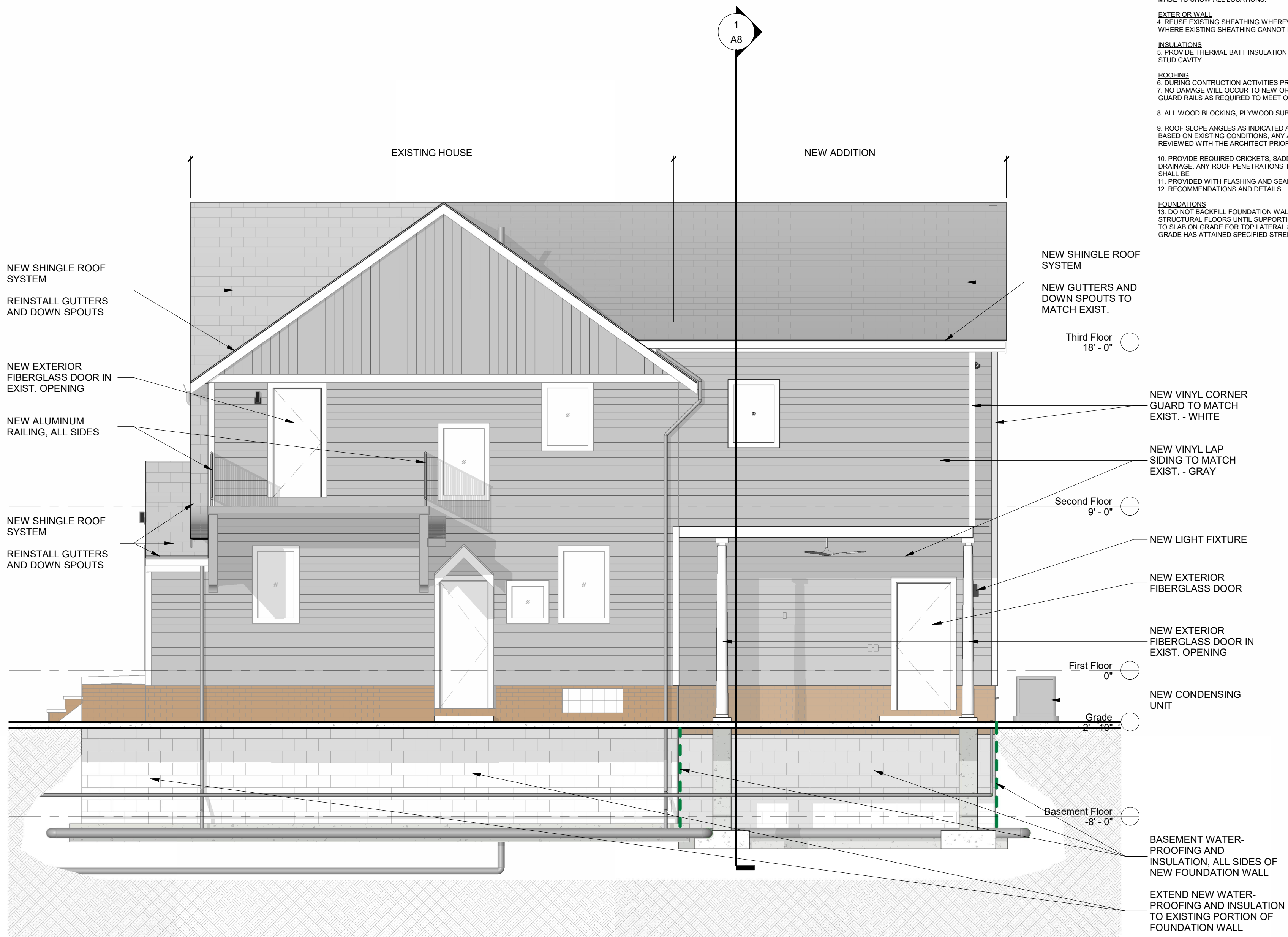
Revision:

Project Number:

Sheet:

**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.
- INSULATIONS**  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- ROOFING**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 11. PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 12. RECOMMENDATIONS AND DETAILS
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH



**1 WEST ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
 Hennies Residence  
 19749 Telbir Ave.  
 Rocky River, OH 44116

Project Info: 03/25/2026  
 Date:

ZONING  
 Revision:

DESIGN REVIEW  
 Issuance Name: 04/20/2026  
 Issuance Date:  
 Project Number:

**EXTERIOR ELEVATION - WEST**  
**A5**

Designer:

Project Info:

Date:

ZONING

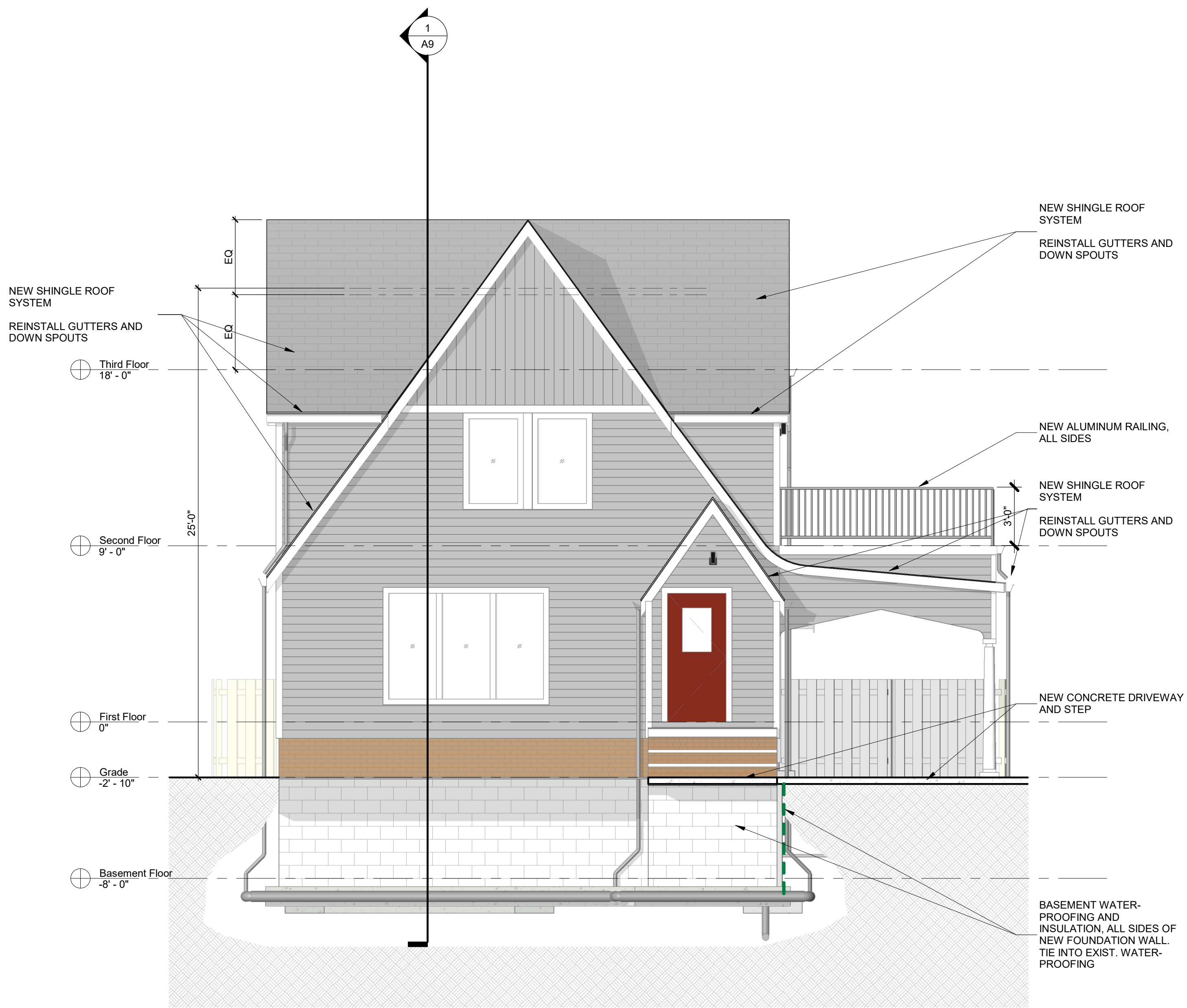
Revision:

Project Number:

Sheet:

**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.
- INSULATIONS**  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- ROOFING**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS RECOMMENDATIONS AND DETAILS.
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH



**1 NORTH ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
 Hennies Residence  
 19749 Telbir Ave.  
 Rocky River, OH 44116

Project Info:  
 Date: 03/25/2026  
 ZONING  
 Revision:

**DESIGN REVIEW**  
 Issuance Name:  
 04/20/2026  
 Issuance Date:  
 Project Number:

**EXTERIOR ELEVATION - NORTH**  
**A6**

Designer:

Project Info:

Date:

ZONING

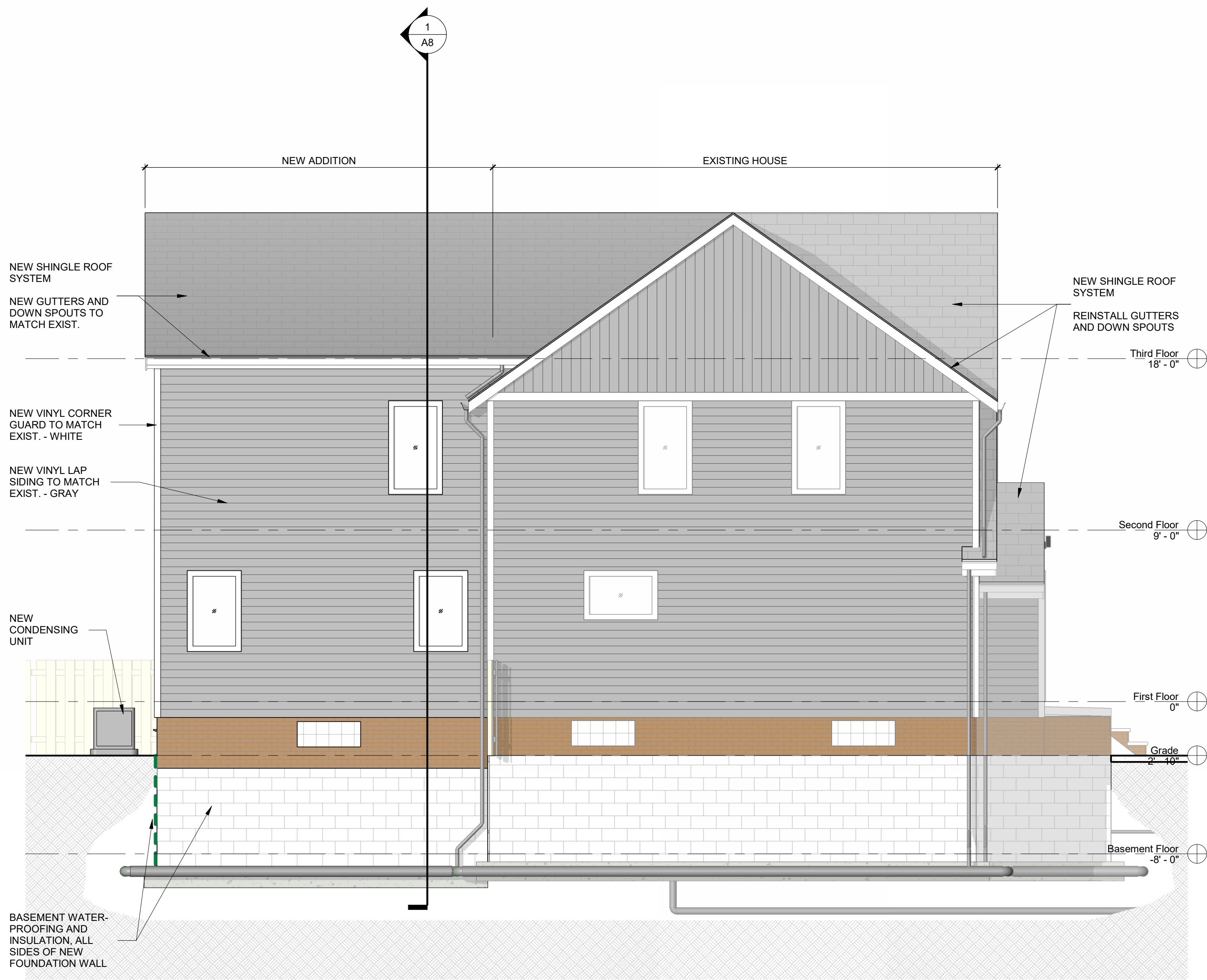
Revision:

Project Number:

Sheet:

**GENERAL NOTES - EXTERIOR CONSTRUCTION**

- GENERAL**  
 1. ELEMENTS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FINISHED FACE OF CONCRETE, FACE OF BRICK, SIDING MATERIAL OR ROOFING UNLESS OTHERWISE NOTED. MASONRY OPENING DIMENSIONS ARE NOMINAL.  
 2. DO NOT SCALE THE DRAWINGS. FIELD MEASURE AND CONFIRM DIMENSIONS.  
 3. SECTIONS AND DETAILS ARE TYPICAL FOR ALL LOCATIONS AT WHICH SIMILAR CONDITIONS OCCUR UNLESS NOTED AS APPLICABLE TO A SPECIFIC LOCATION ONLY. NO ATTEMPT HAS BEEN MADE TO SHOW ALL LOCATIONS.
- EXTERIOR WALL**  
 4. REUSE EXISTING SHEATHING WHEREVER POSSIBLE. REPLACE AND PROVIDE NEW IN LOCATIONS WHERE EXISTING SHEATHING CANNOT BE SALVAGED.  
 5. PROVIDE THERMAL BATT INSULATION (NON FACED) OF R-VALUE INDICATED, FRICTION FIT IN STUD CAVITY.
- INSULATIONS**  
 6. DURING CONSTRUCTION ACTIVITIES PROTECT ROOFING SYSTEM / STRUCTURES TO ASSURE THAT NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 7. NO DAMAGE WILL OCCUR TO NEW OR EXISTING ROOFING SYSTEMS. PROVIDE TEMPORARY GUARD RAILS AS REQUIRED TO MEET OSHA STANDARDS.  
 8. ALL WOOD BLOCKING, PLYWOOD SUBSTRATE AND NAILERS SHOULD BE PRESSURE TREATED.  
 9. ROOF SLOPE ANGLES AS INDICATED ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BASED ON EXISTING CONDITIONS. ANY ADJUSTMENTS OR SUGGESTED ALTERATIONS SHOULD BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.  
 10. PROVIDE REQUIRED CRICKETS, SADDLES AND ANY REQUIRED TAPERING TO MAINTAIN PROPER DRAINAGE. ANY ROOF PENETRATIONS THAT OCCUR DUE TO NEW INTERIORS CONSTRUCTION SHALL BE  
 11. PROVIDED WITH FLASHING AND SEALED WEATHER TIGHT PER ROOFING MANUFACTURERS  
 12. RECOMMENDATIONS AND DETAILS
- FOUNDATIONS**  
 13. DO NOT BACKFILL FOUNDATION WALLS SPANNING BETWEEN BASEMENT SLABS AND STRUCTURAL FLOORS UNTIL SUPPORTING SLABS ARE IN PLACE. BRACE WALLS WHICH ARE TIED TO SLAB ON GRADE FOR TOP LATERAL SUPPORT BEFORE BACKFILLING AND UNTIL SLAB ON GRADE HAS ATTAINED SPECIFIED STRENGTH



**1 EAST ELEVATION - NEW**  
 SCALE: 1/4" = 1'-0"

**Addition and Renovation**  
 Hennies Residence  
 19749 Telbir Ave.  
 Rocky River, OH 44116

03/25/2026  
 Date:

ZONING  
 Revision:

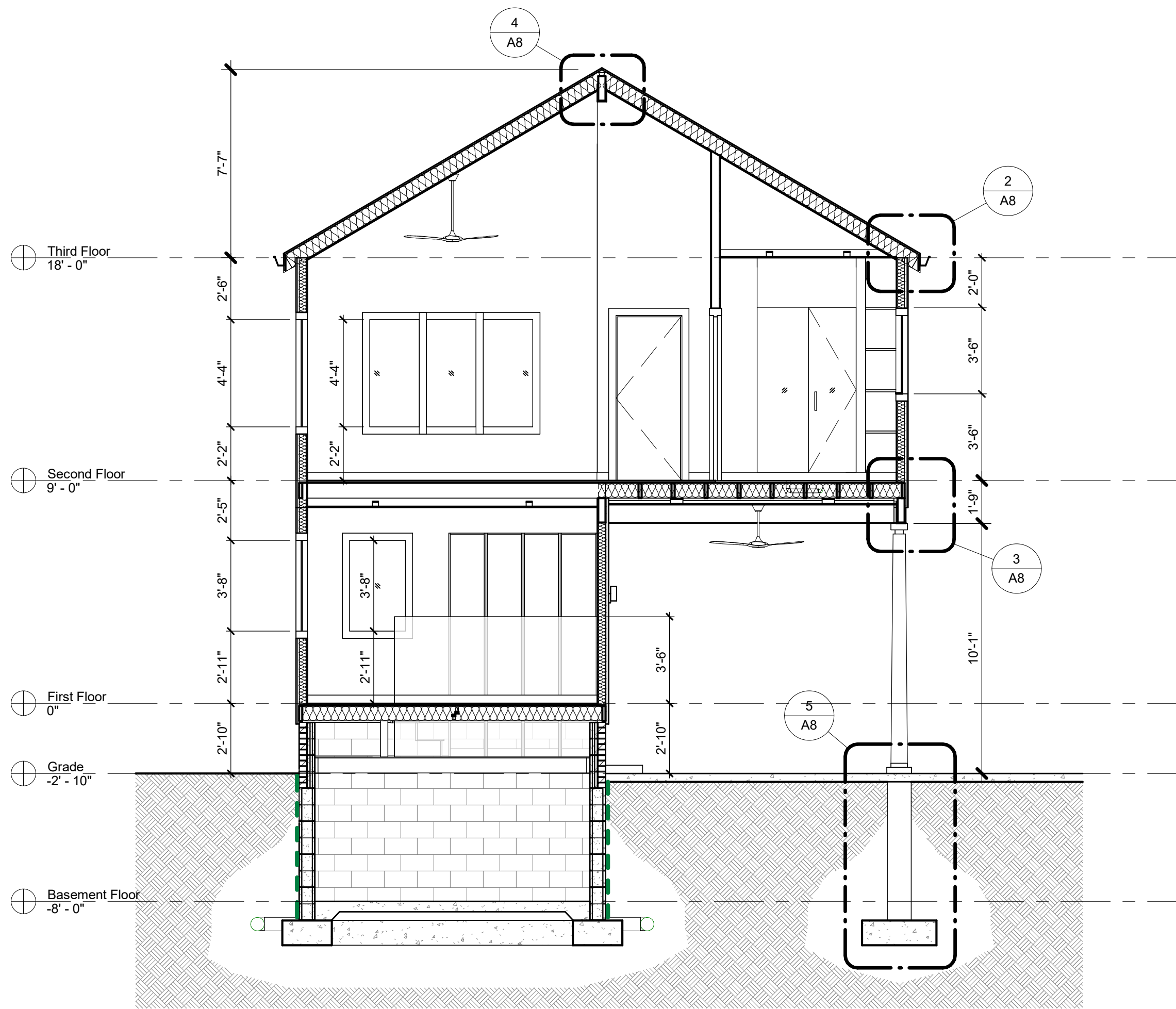
DESIGN REVIEW  
 Issuance Name:  
 04/20/2026  
 Issuance Date:  
 Project Number:

**EXTERIOR ELEVATION - EAST**  
**A7**

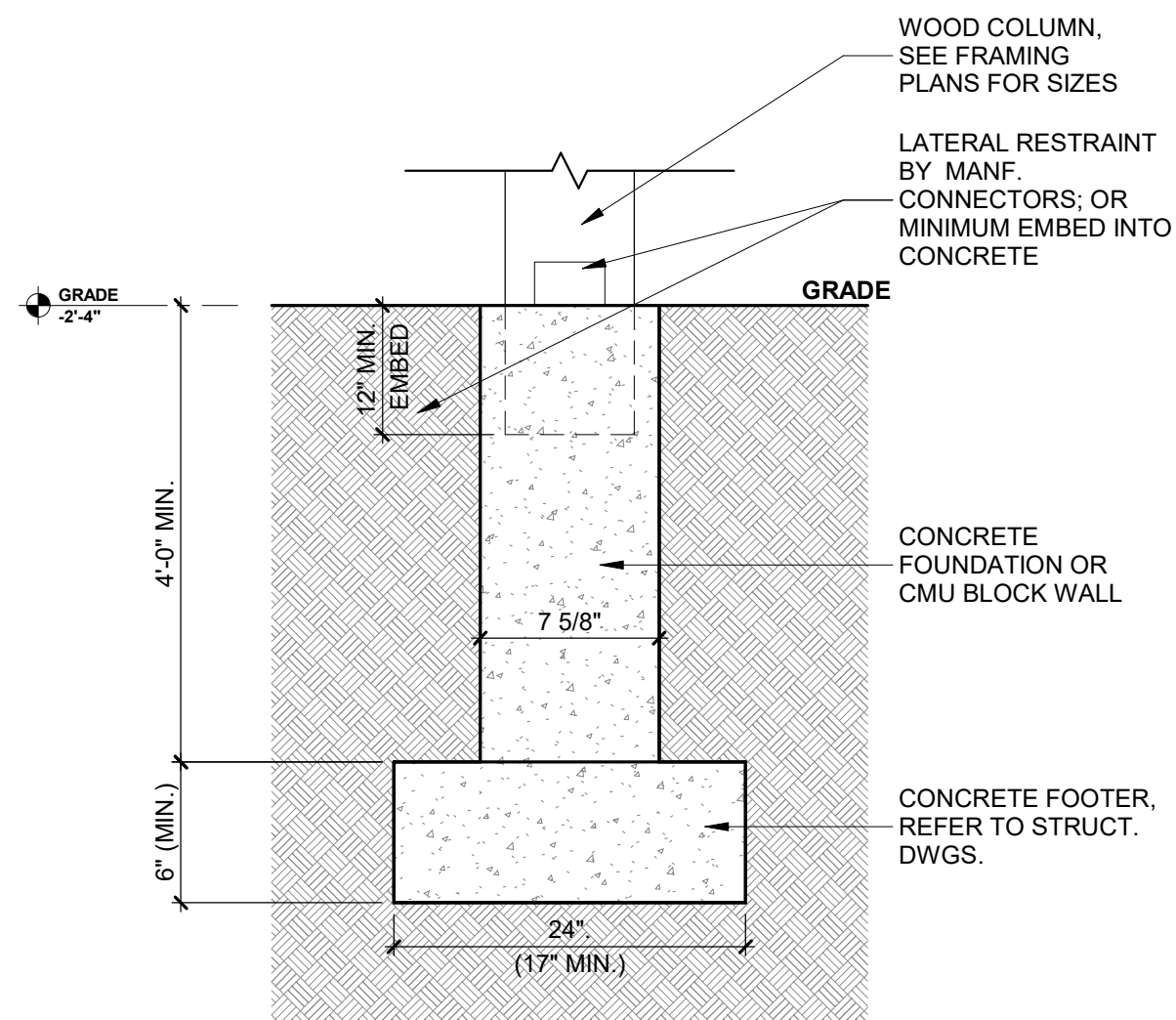
Designer:

Project Info:

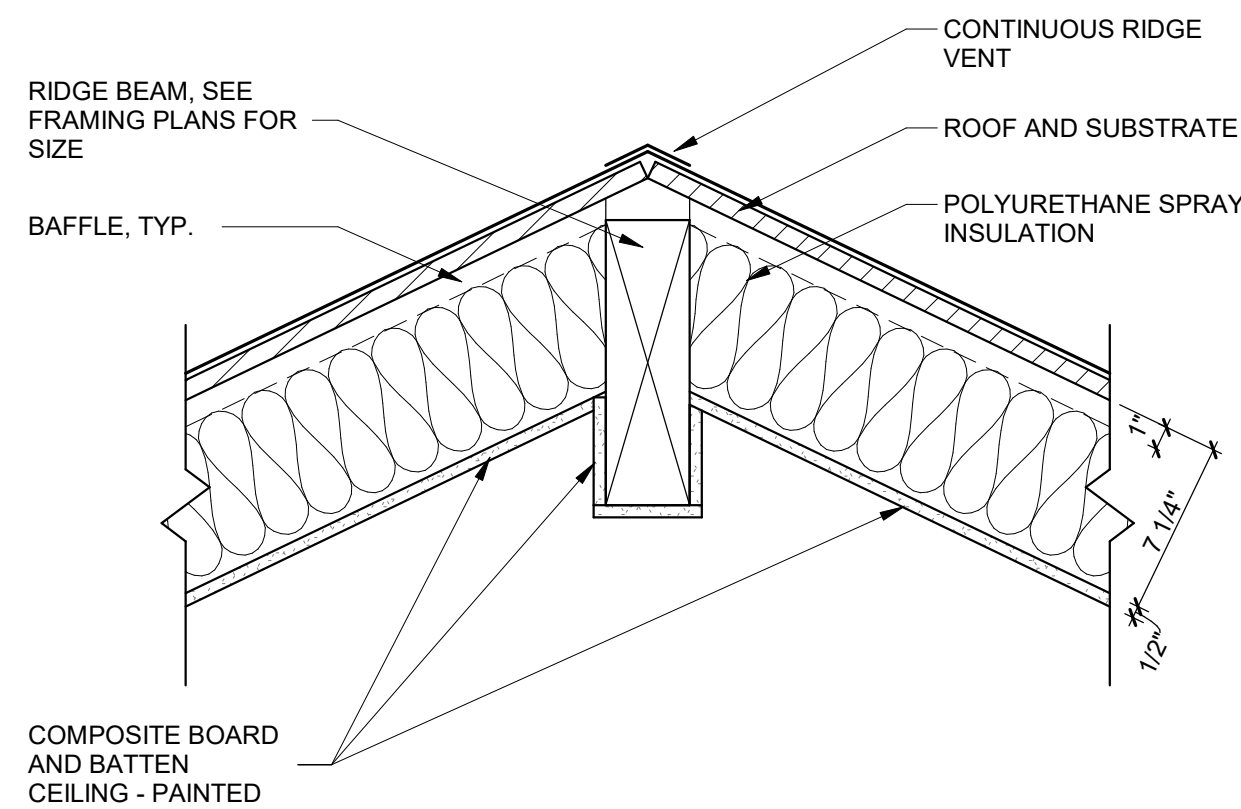
Sheet:



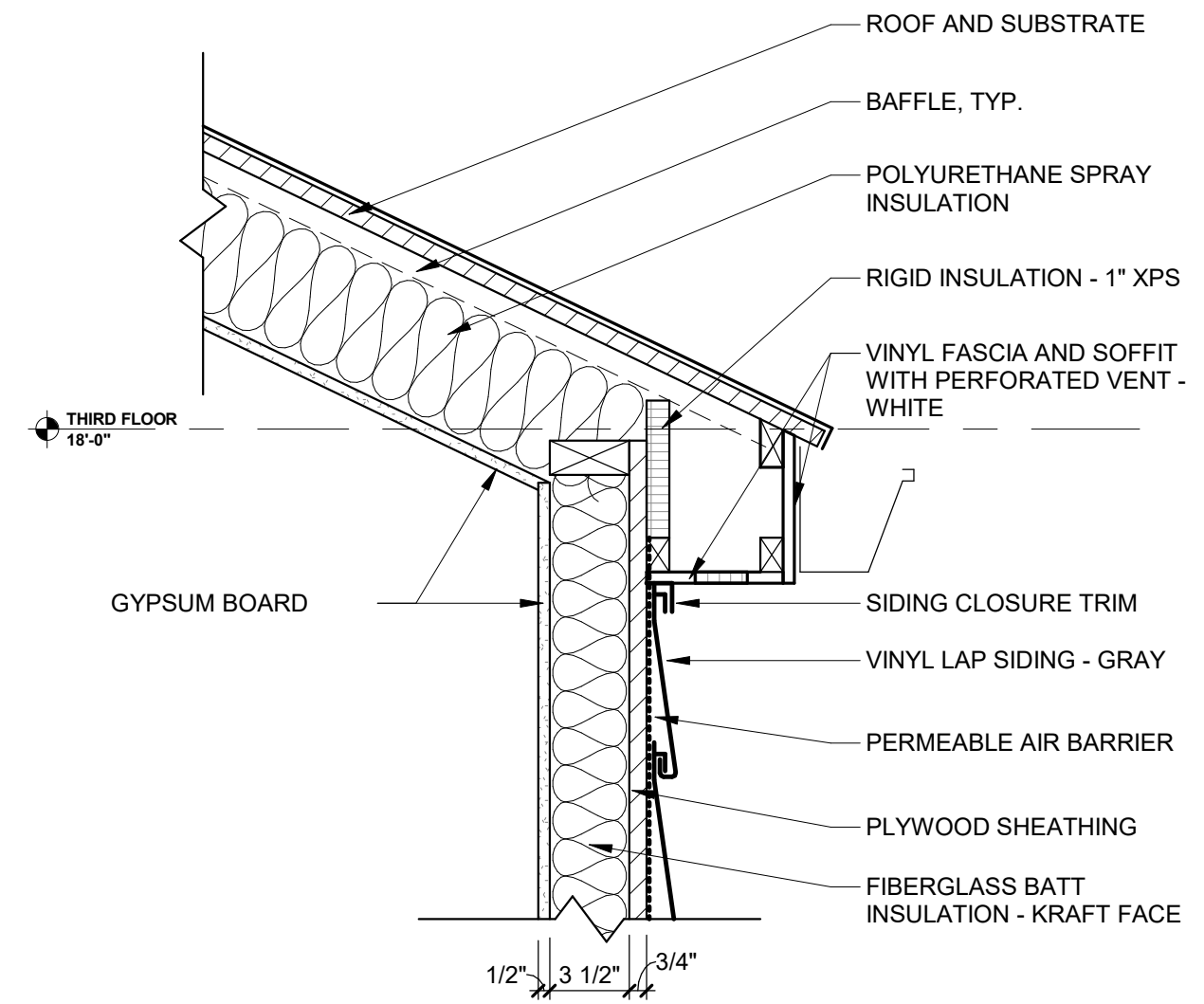
**1 BUILDING SECTION - EAST/WEST**  
SCALE: 1/4" = 1'-0"



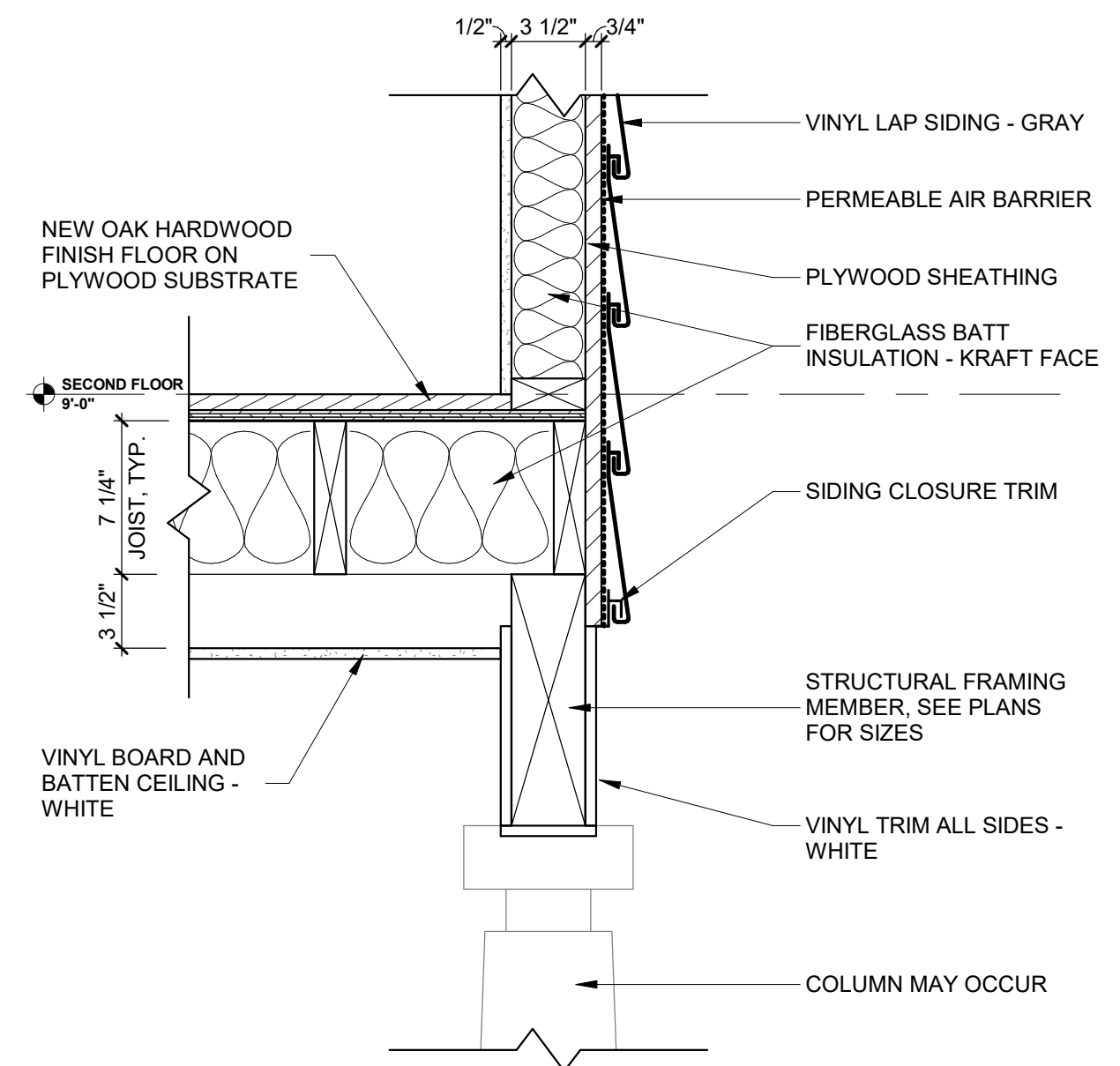
**5 ISOLATED FOOTER - CONCRETE**  
SCALE: 1 1/2" = 1'-0"



**4 RIDGE BEAM ROOF DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 EXTERIOR WALL DETAIL - ROOF EAVE**  
SCALE: 1 1/2" = 1'-0"



**3 EXTERIOR WALL DETAIL - OVERHANG**  
SCALE: 1 1/2" = 1'-0"

**Addition and  
Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

Date: 04/20/2026

Revision:

DESIGN REVIEW

Revision:

DESIGN REVIEW

Issuance Name:

04/20/2026

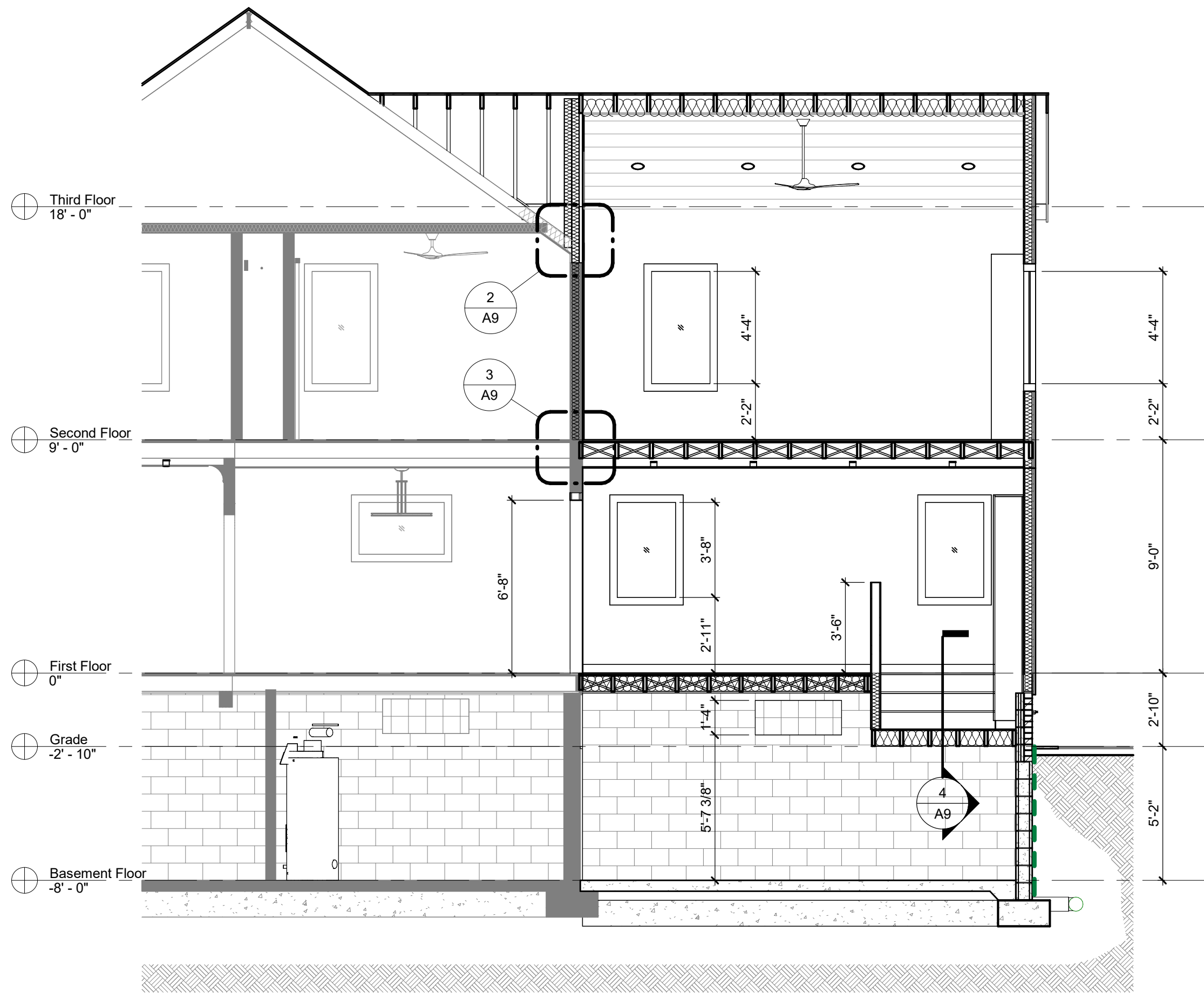
Issuance Date:

Project Number:

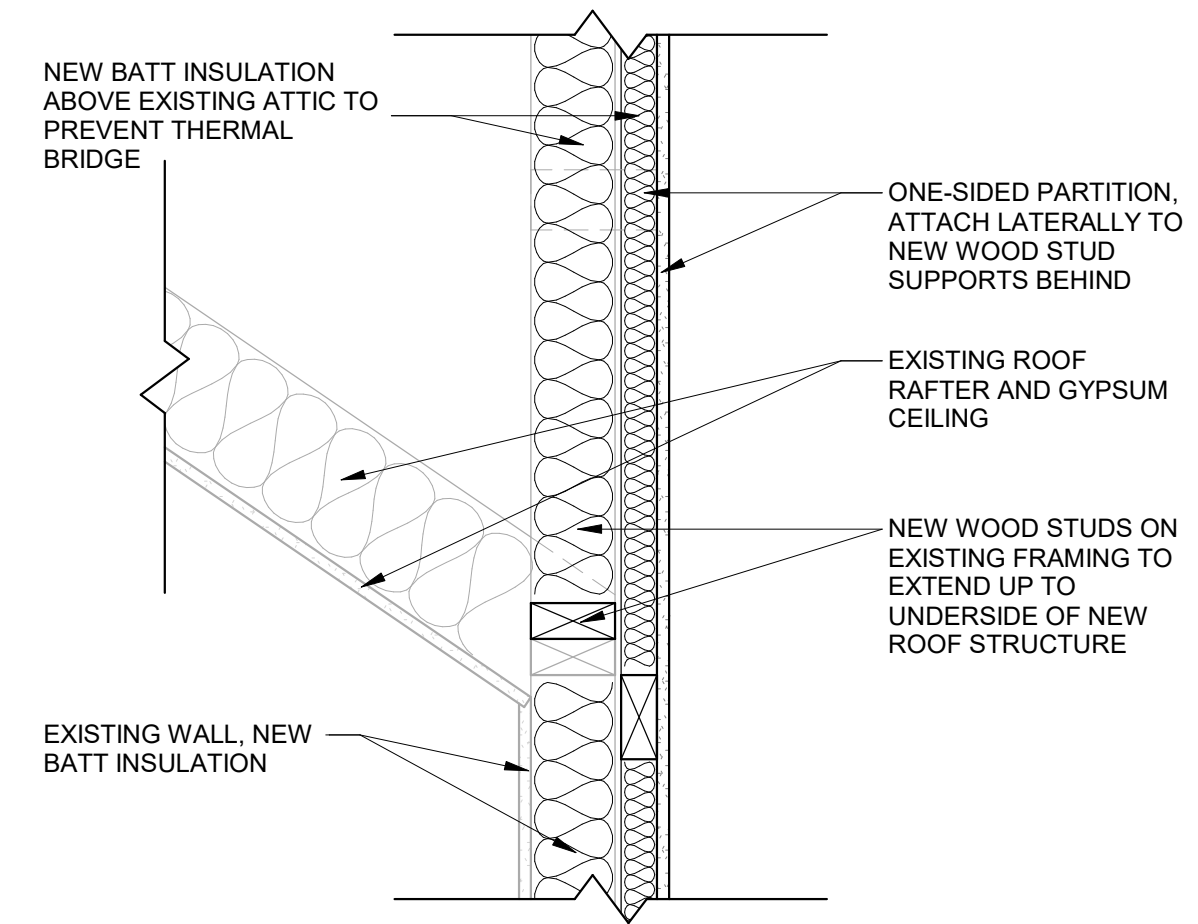
**WALL  
SECTIONS AND  
DETAILS**

**A8**

Sheet:

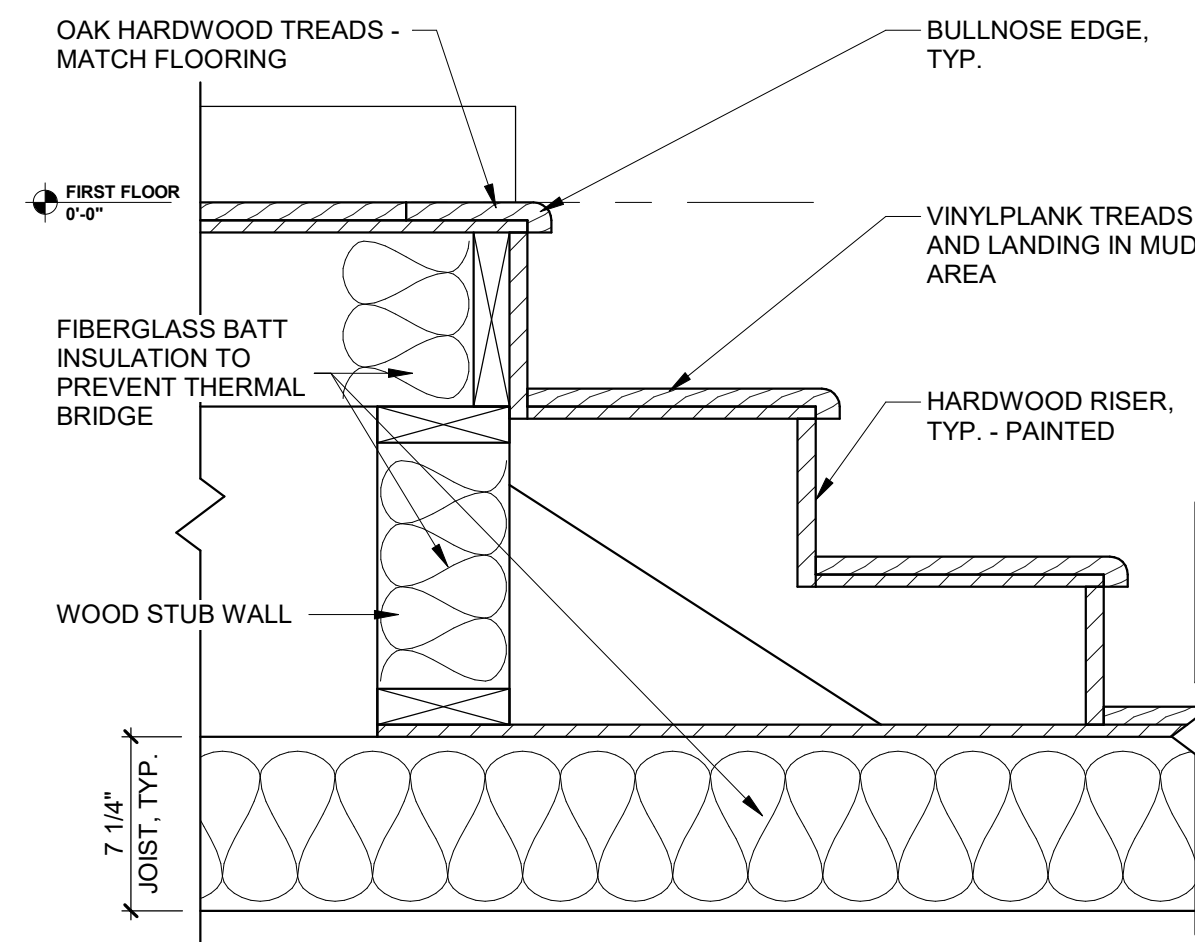


**1 BUILDING SECTION - NORTH/SOUTH**  
SCALE: 1/4" = 1'-0"

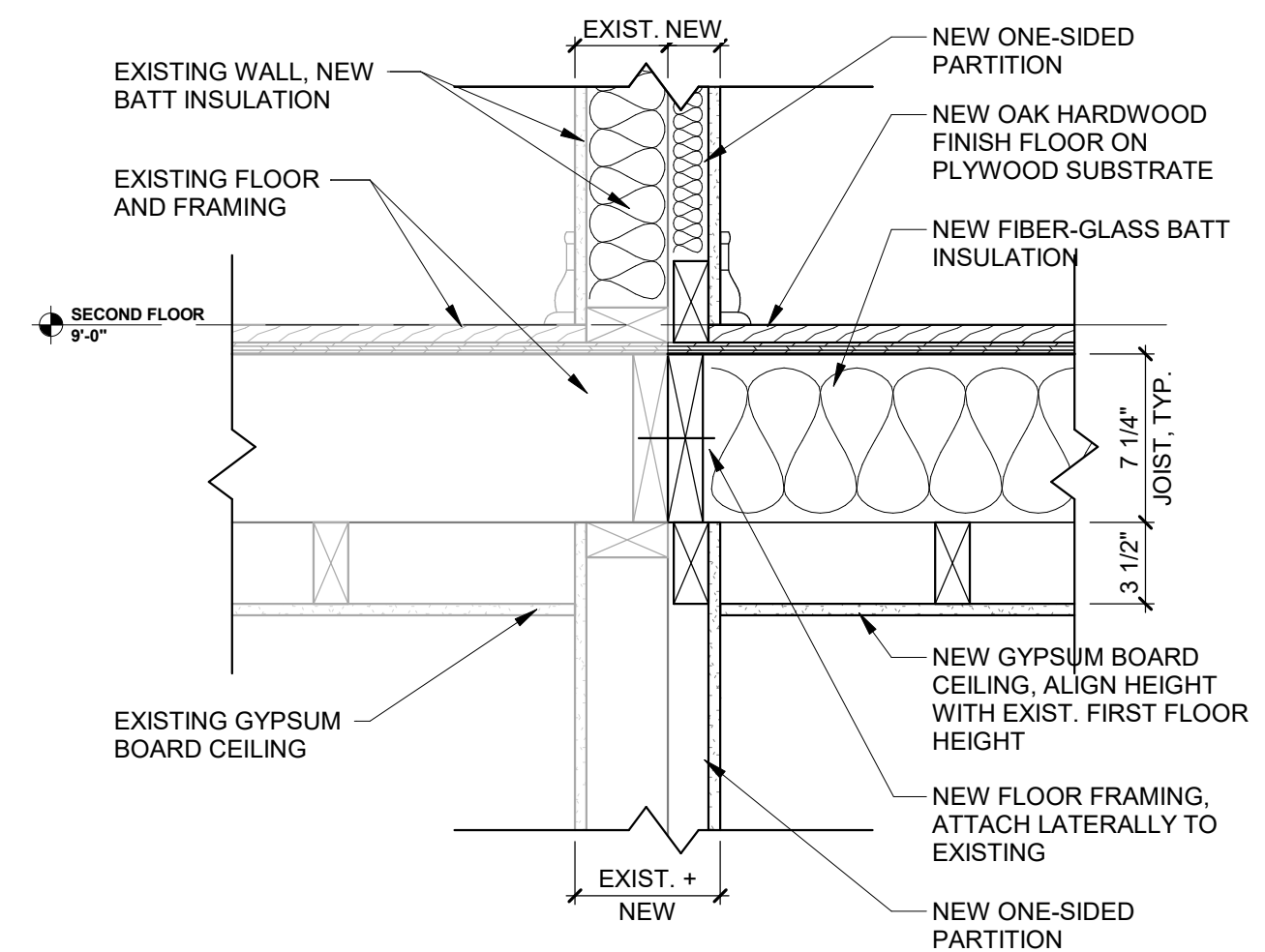


**NOTE:** TYPICAL CONDITION AT NEW VAULTED CEILING MASTER BEDROOM WALL

**2 INTERIOR PARTITION - ROOF EXTENTION**  
SCALE: 1 1/2" = 1'-0"



**4 STAIR LANDING - NEW ENTRANCE**  
SCALE: 1 1/2" = 1'-0"



**3 FLOOR TRANSITION - EXIST. VS. NEW HARDWOOD**  
SCALE: 1 1/2" = 1'-0"

# Addition and Renovation

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

Date: 04/20/2026

Date:

DESIGN REVIEW

Revision:

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

# WALL SECTIONS AND DETAILS

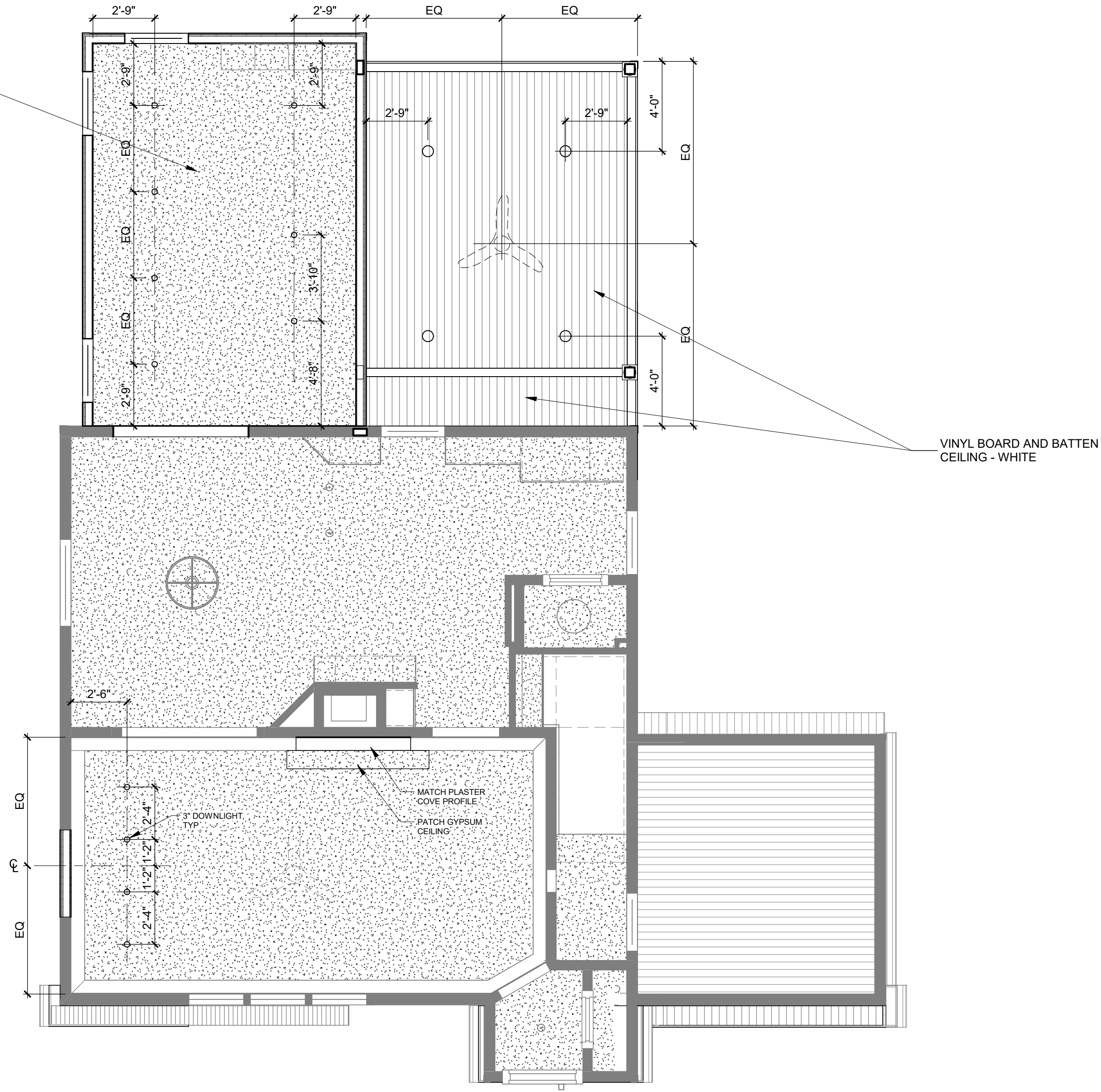
# A9

Sheet:



**FIRST FLOOR REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



NEW GYPSUM BOARD  
CEILING - PAINTED

VINYL BOARD AND BATTEN  
CEILING - WHITE

**FIRST FLOOR  
REFL. CEILING  
PLAN**

**A10**

Sheet:

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

DESIGN REVIEW

Revision:

04/20/2026

Date:

**Addition and  
Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

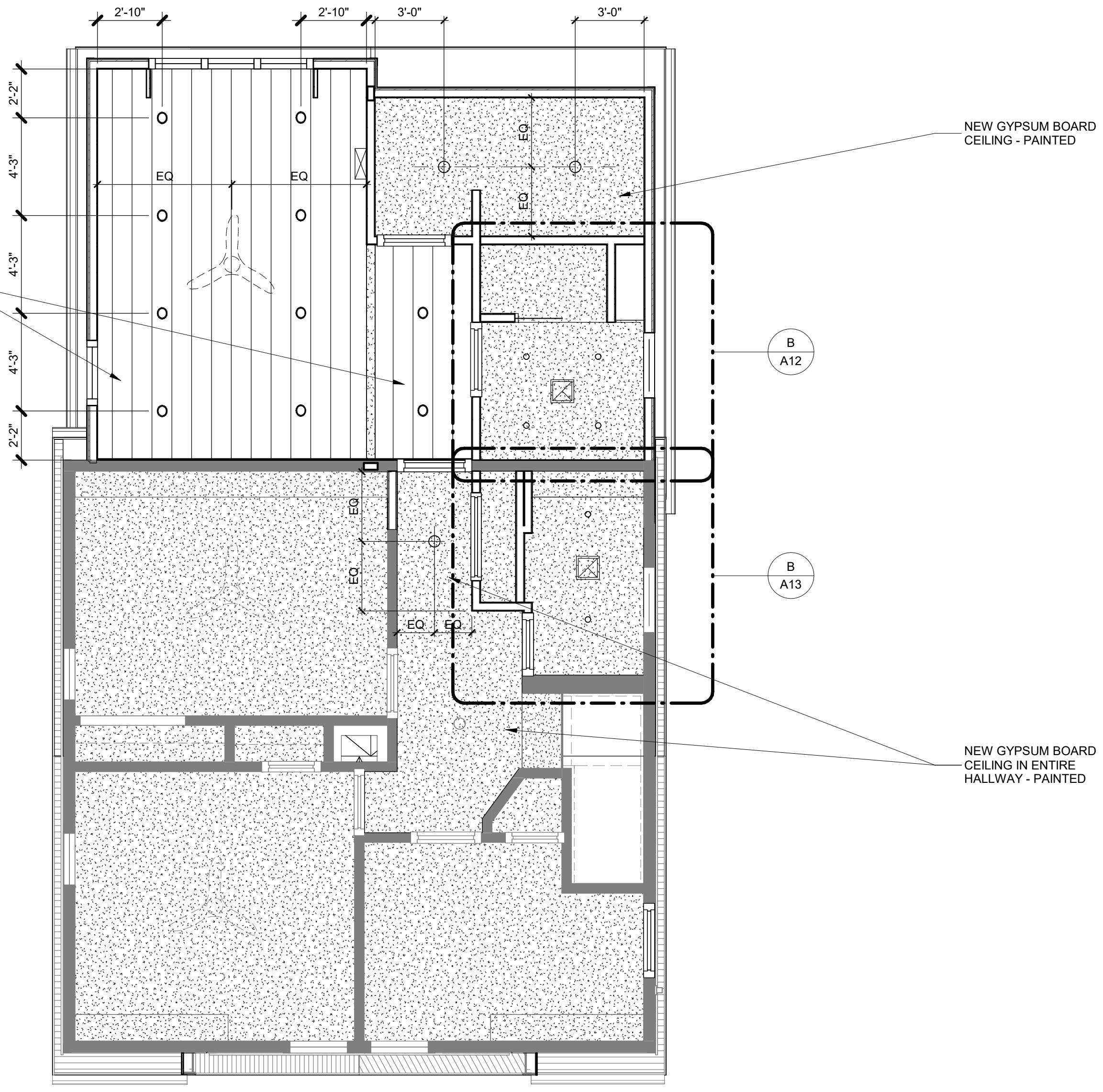
Project Info:

Designer:



**SECOND FLOOR REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



COMPOSITE BOARD AND BATTEN CEILING - PAINTED

NEW GYPSUM BOARD CEILING - PAINTED

NEW GYPSUM BOARD CEILING IN ENTIRE HALLWAY - PAINTED

B  
A12

B  
A13

**SECOND FLOOR REFL. CEILING PLAN**

**A11**

DESIGN REVIEW

Issuance Name:

04/20/2026

Issuance Date:

Project Number:

DESIGN REVIEW

Revision:

04/20/2026

Date:

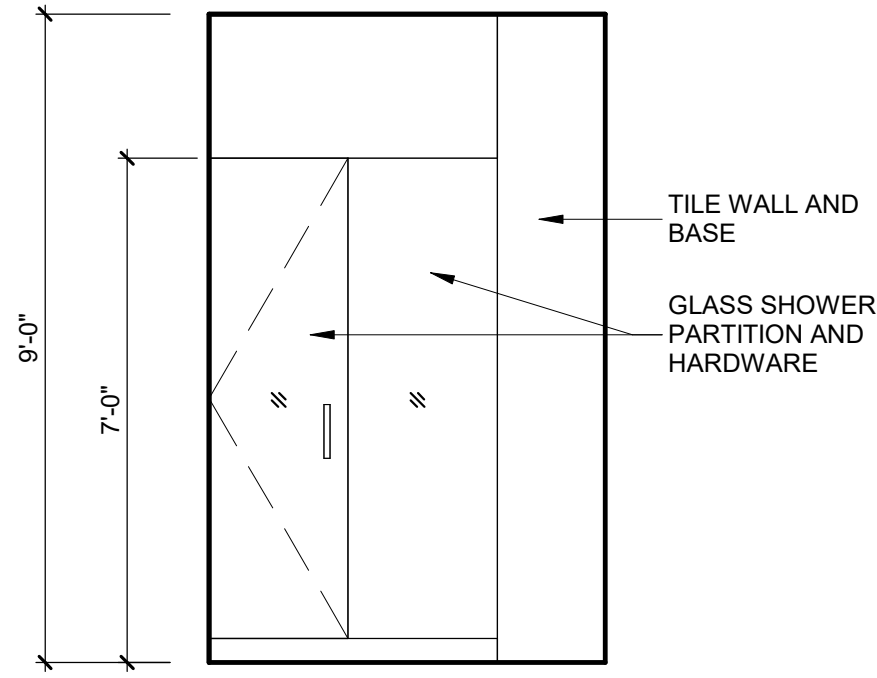
**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

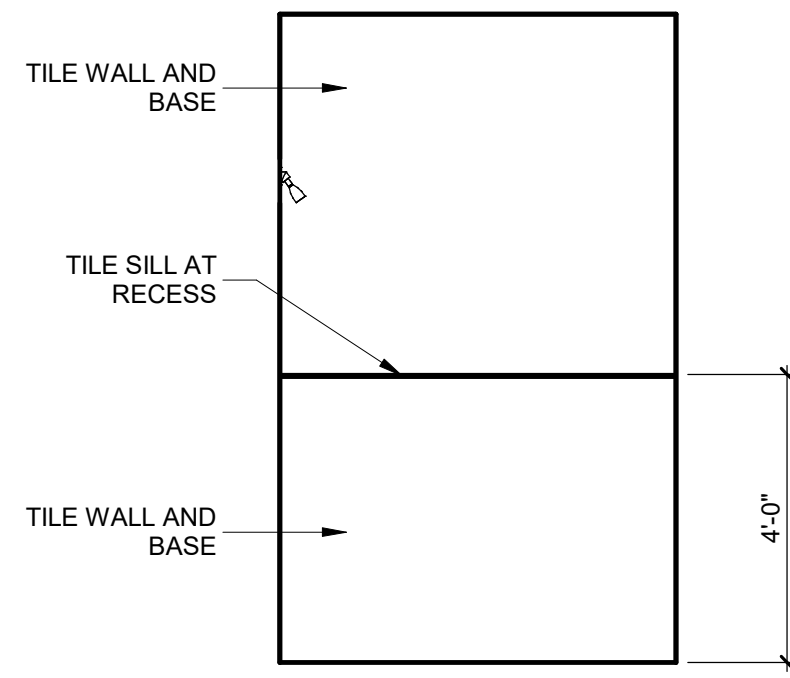
Project Info:

Designer:

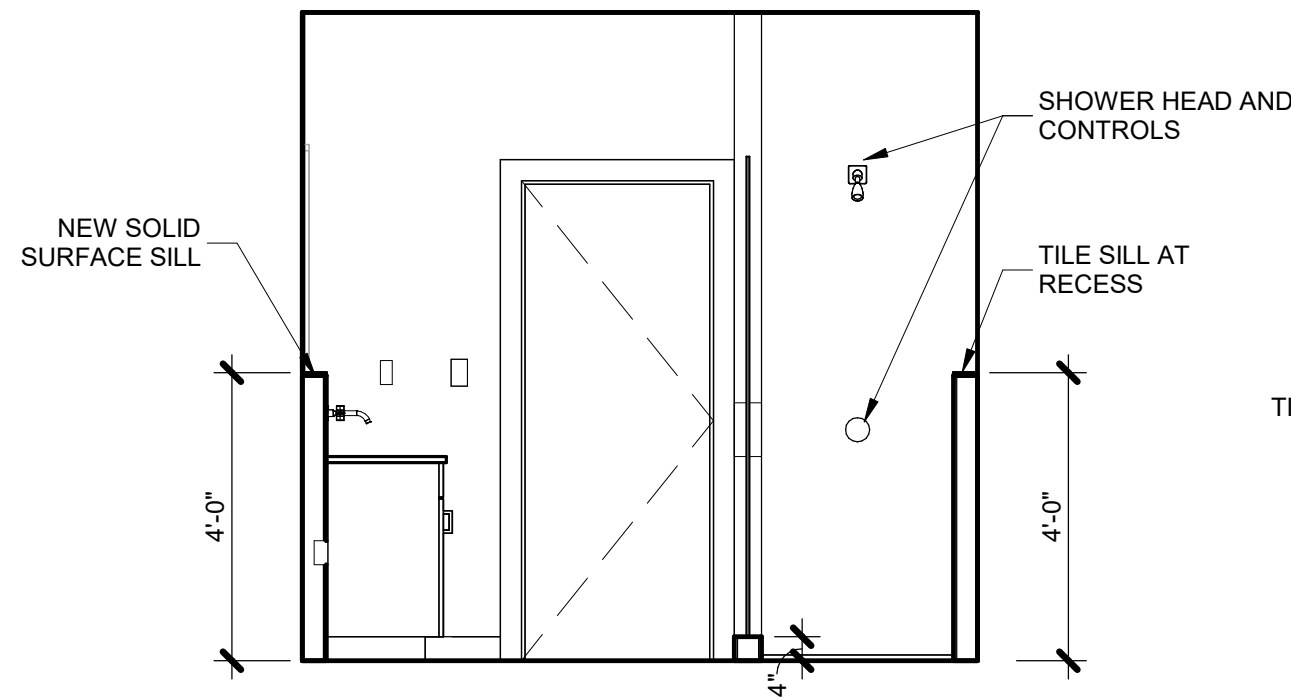
Sheet:



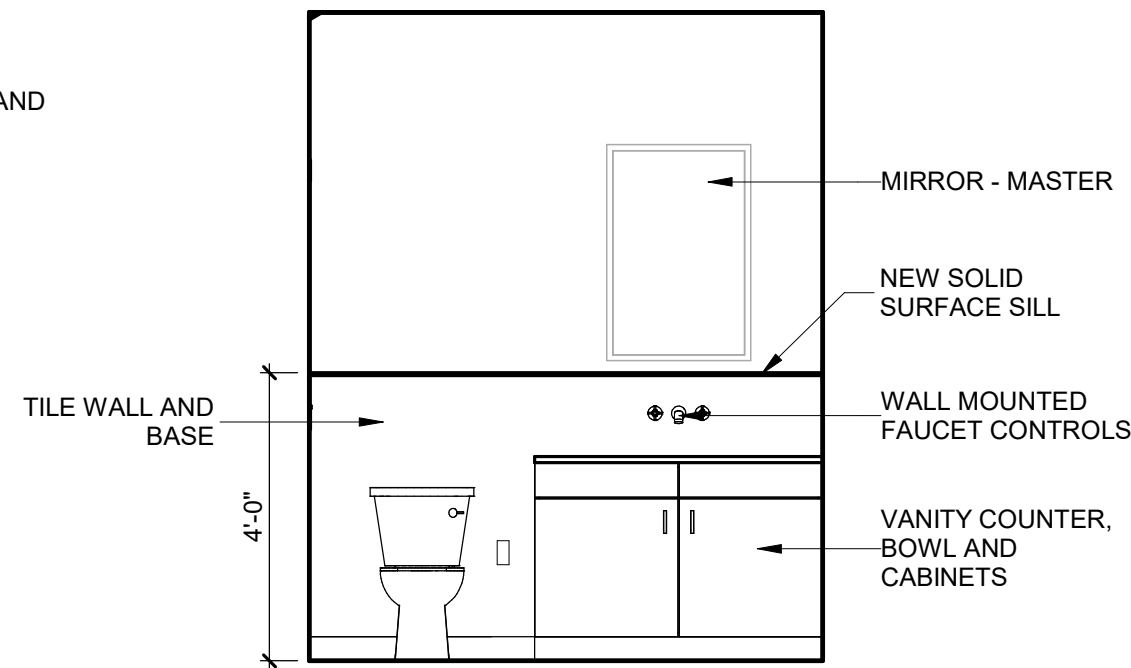
**5 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



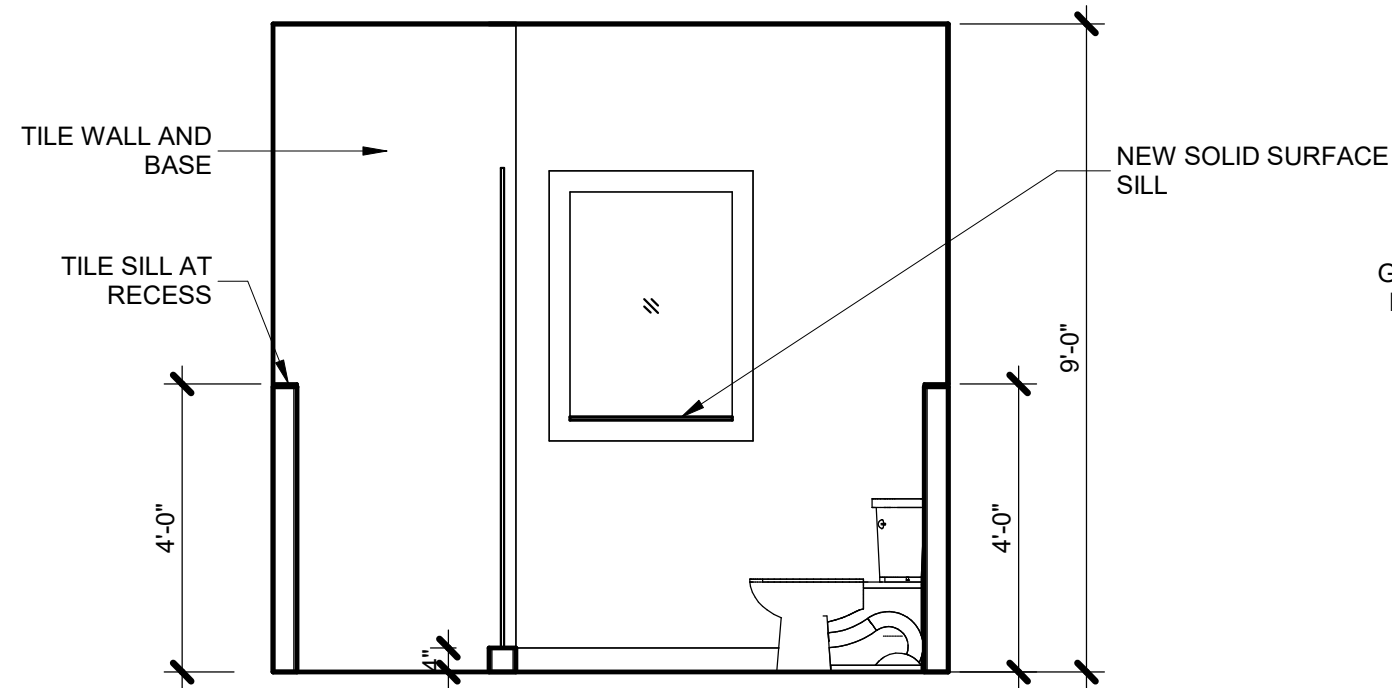
**6 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



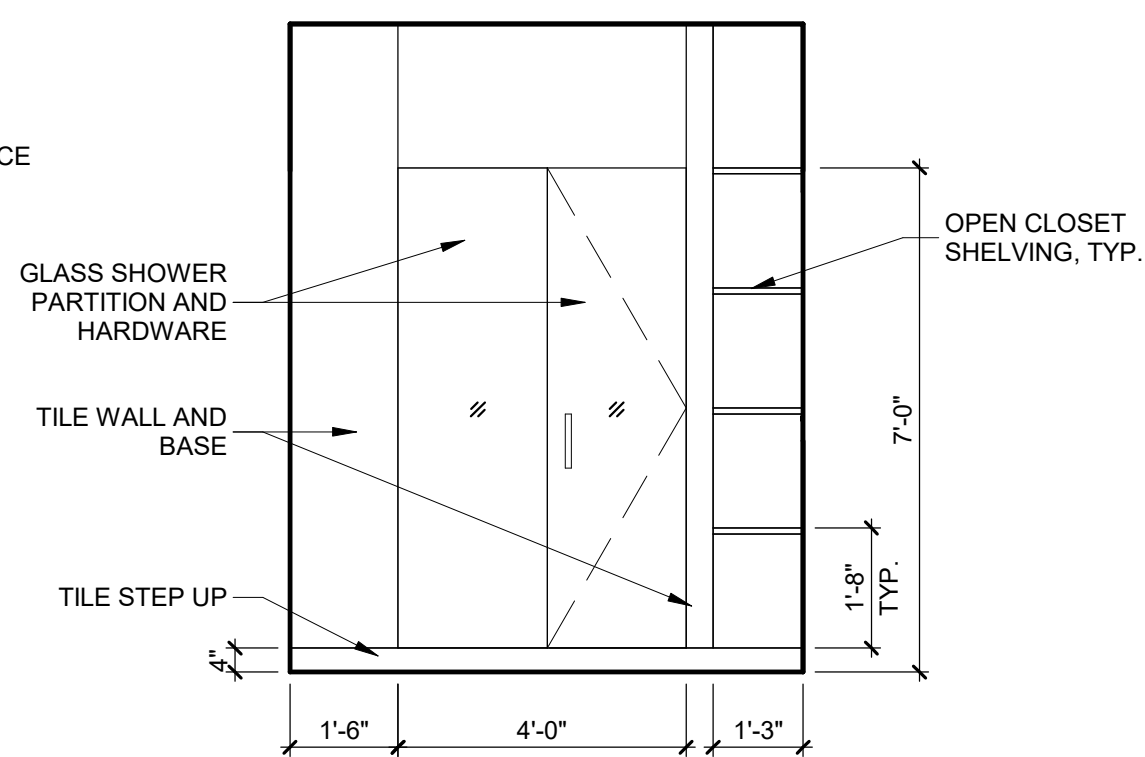
**3 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



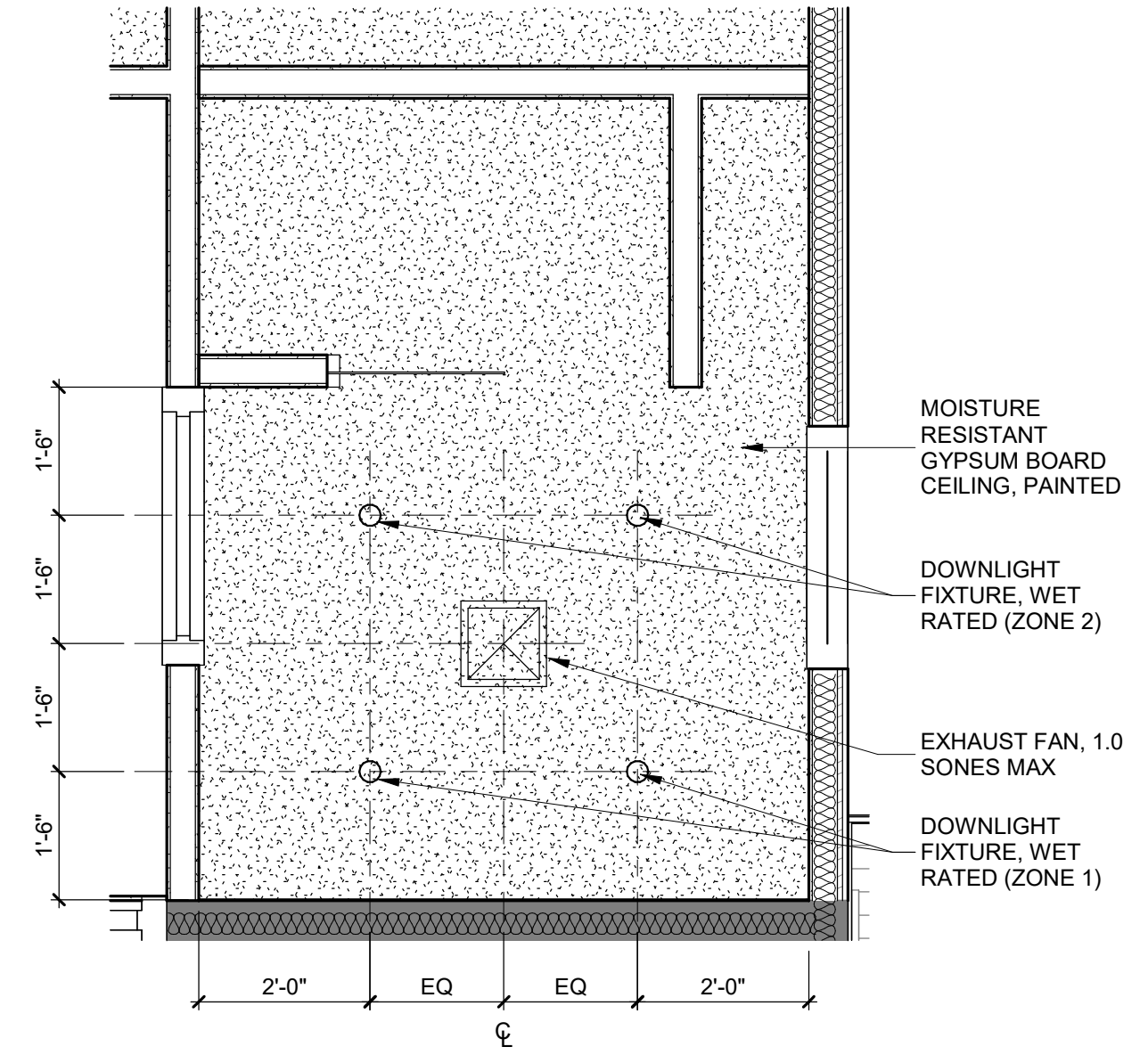
**4 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



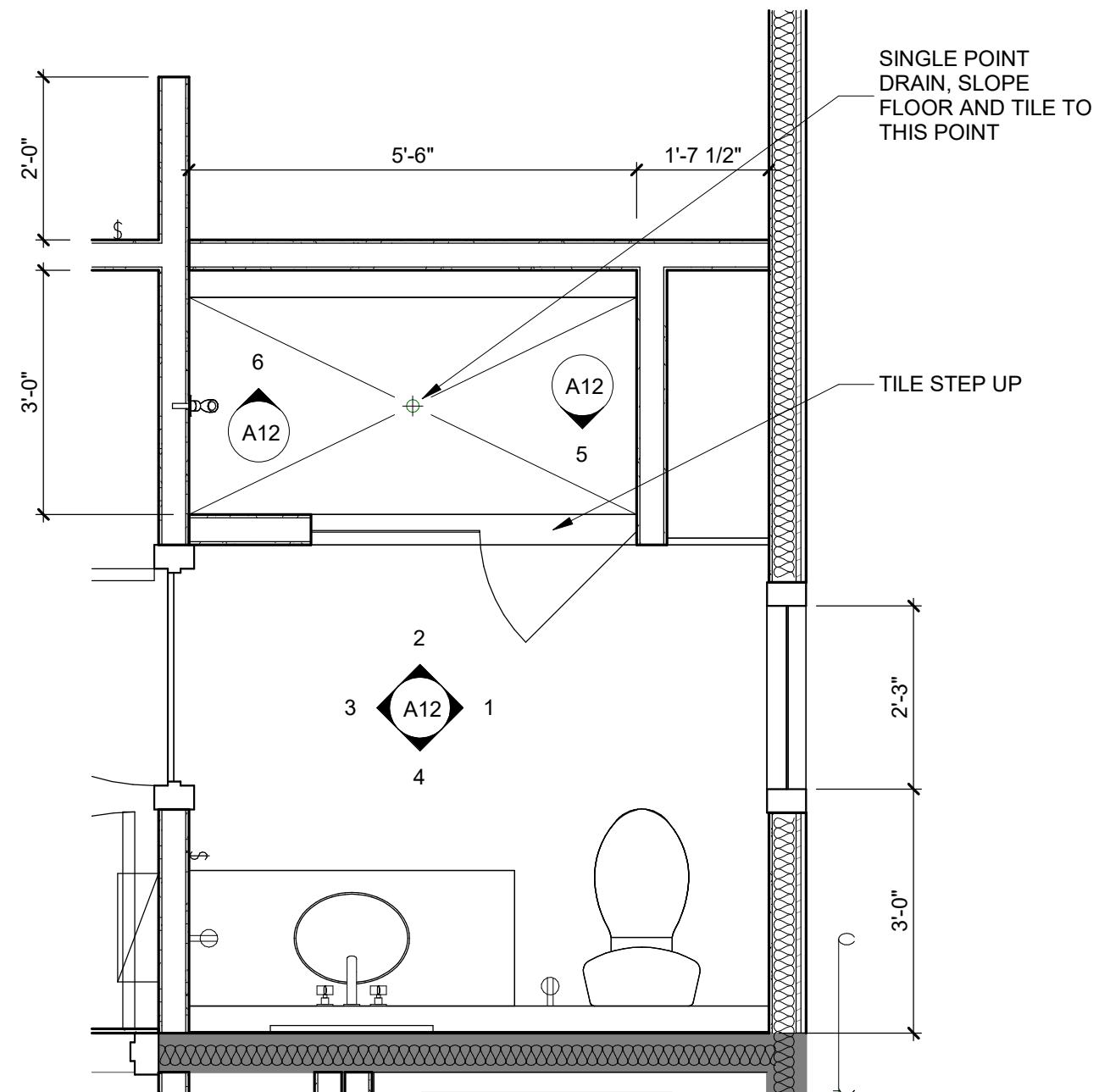
**1 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



**2 ELEVATION - MASTER BATH**  
SCALE: 3/8" = 1'-0"



**B ENLARGED BATHROOM RCP - KIDS**  
SCALE: 1/2" = 1'-0"



**A ENLARGED BATHROOM PLAN - MASTER**  
SCALE: 1/2" = 1'-0"

**Addition and Renovation**

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

Date: 04/20/2026

Revision: DESIGN REVIEW

DESIGN REVIEW

Issuance Name:

04/20/2026

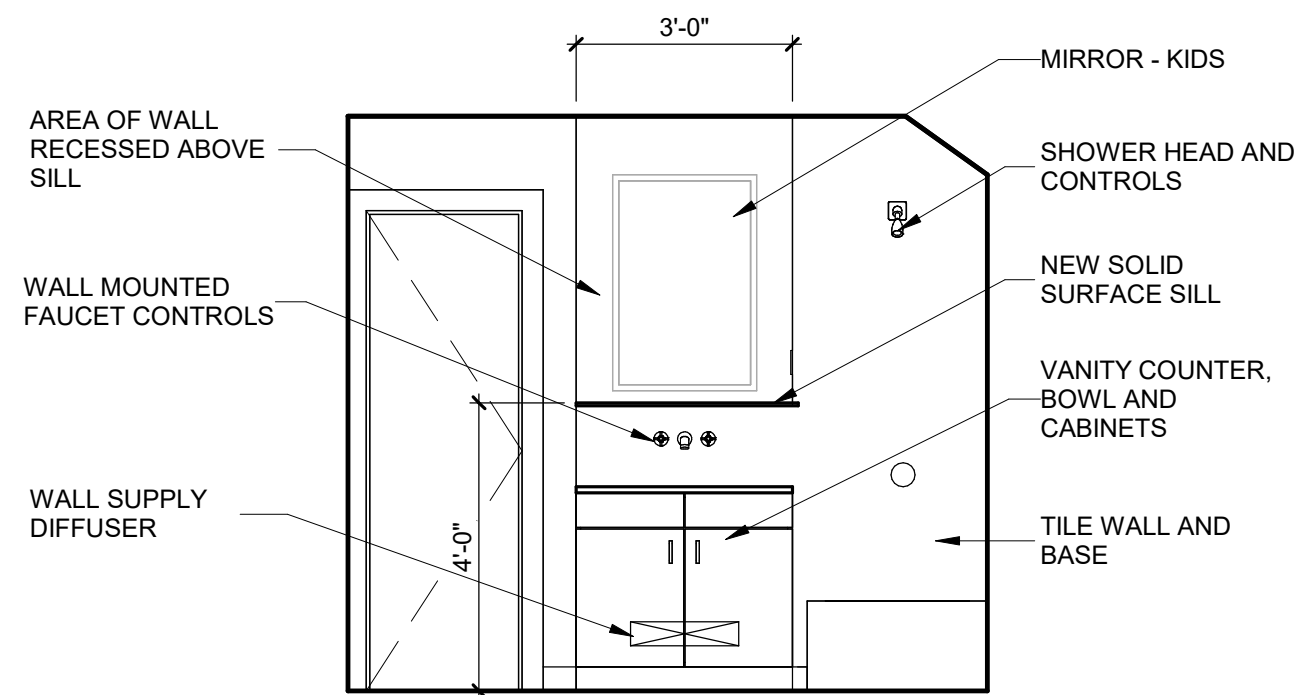
Issuance Date:

Project Number:

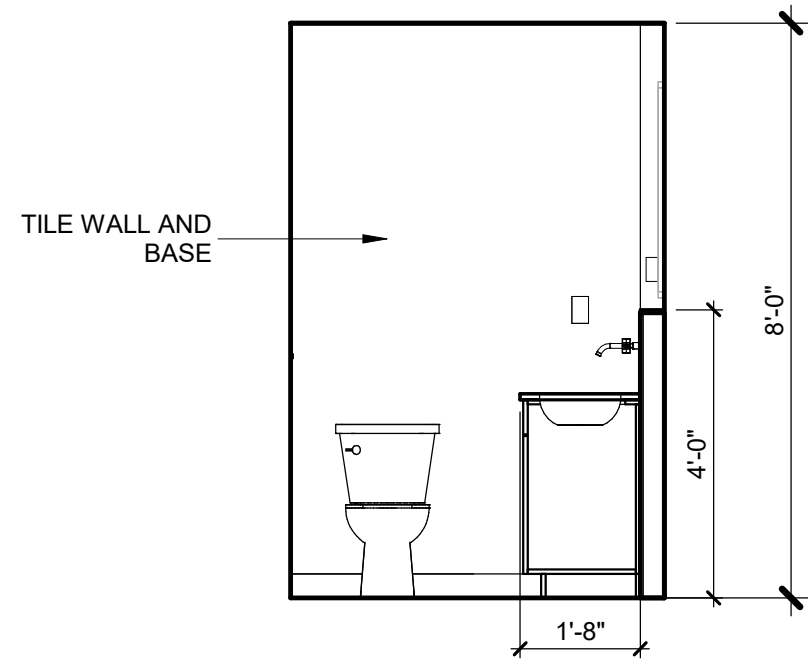
**ENLARGED PLAN - MAIN BATHROOM**

**A12**

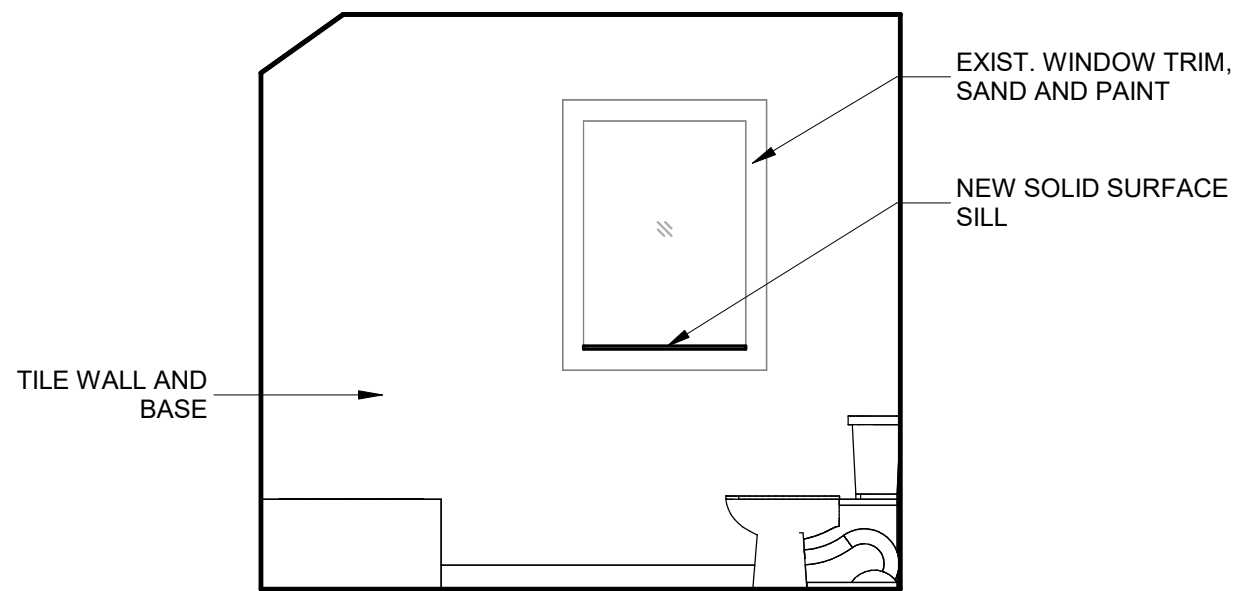
Sheet:



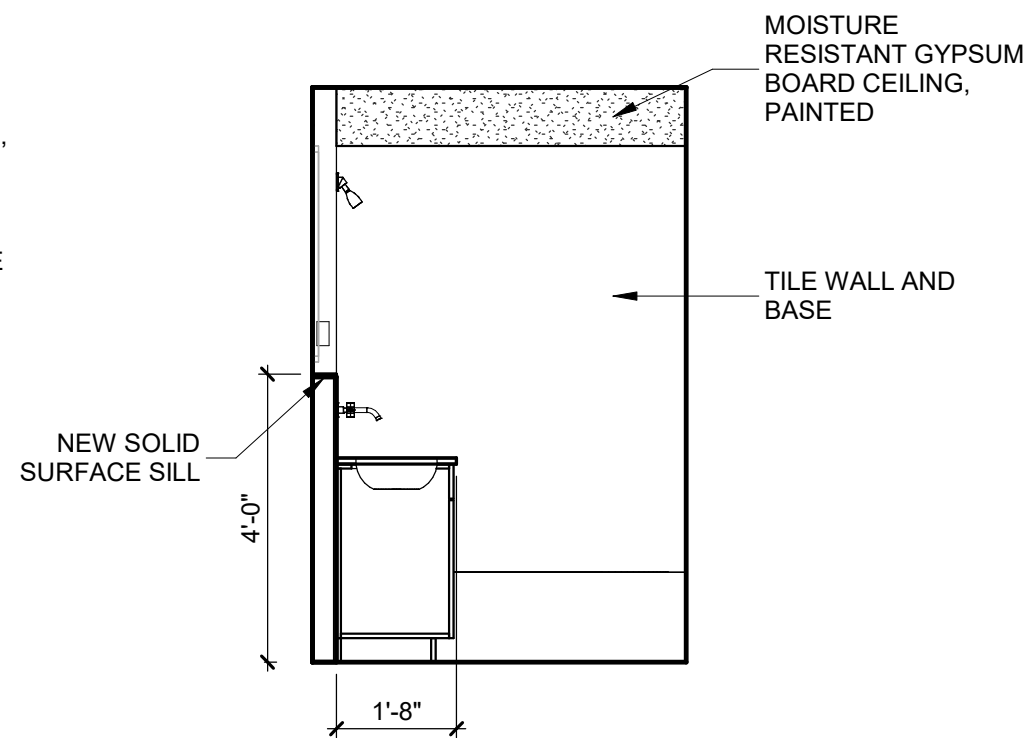
**3 ELEVATION - KIDS BATH**  
SCALE: 3/8" = 1'-0"



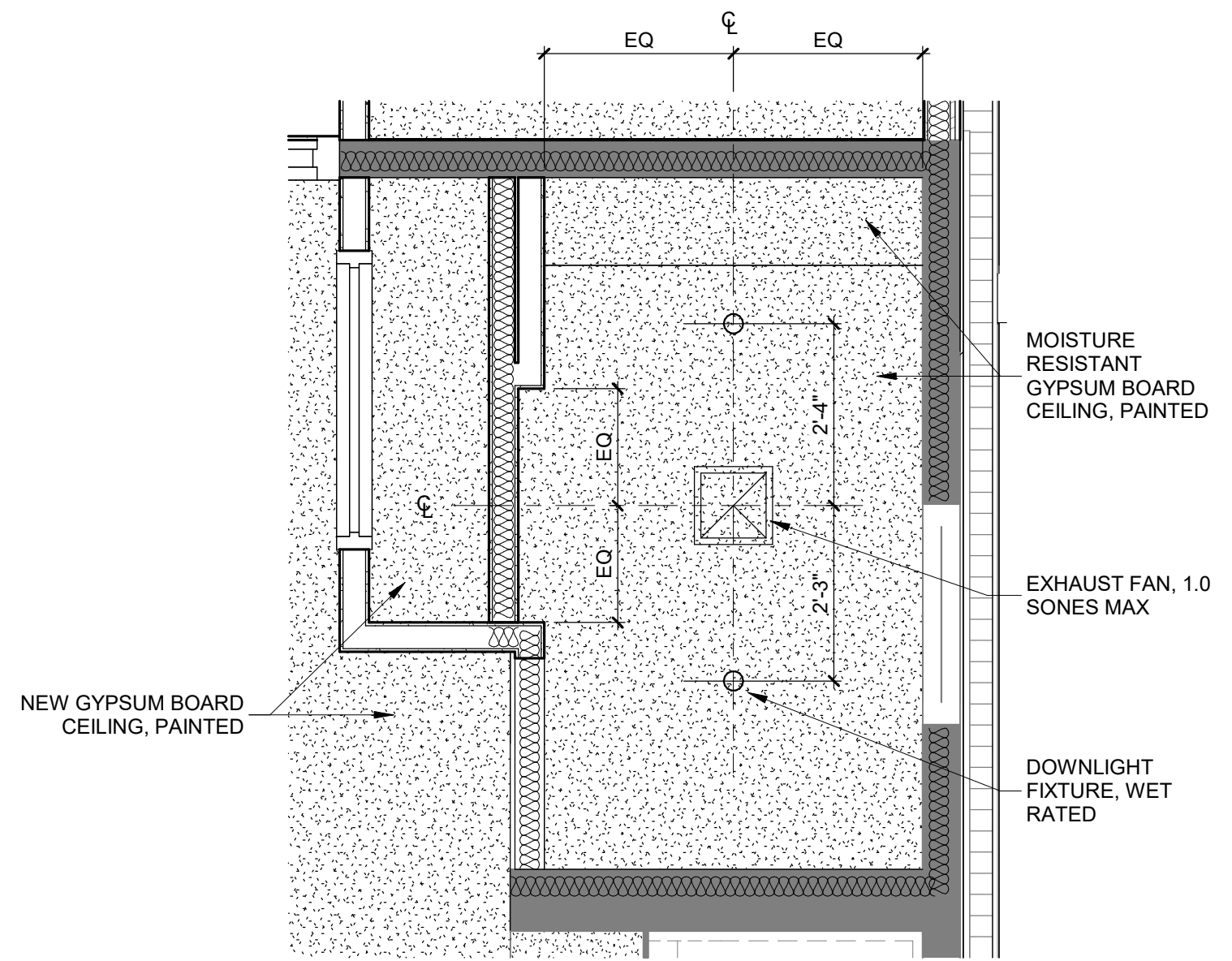
**4 ELEVATION - KIDS BATH**  
SCALE: 3/8" = 1'-0"



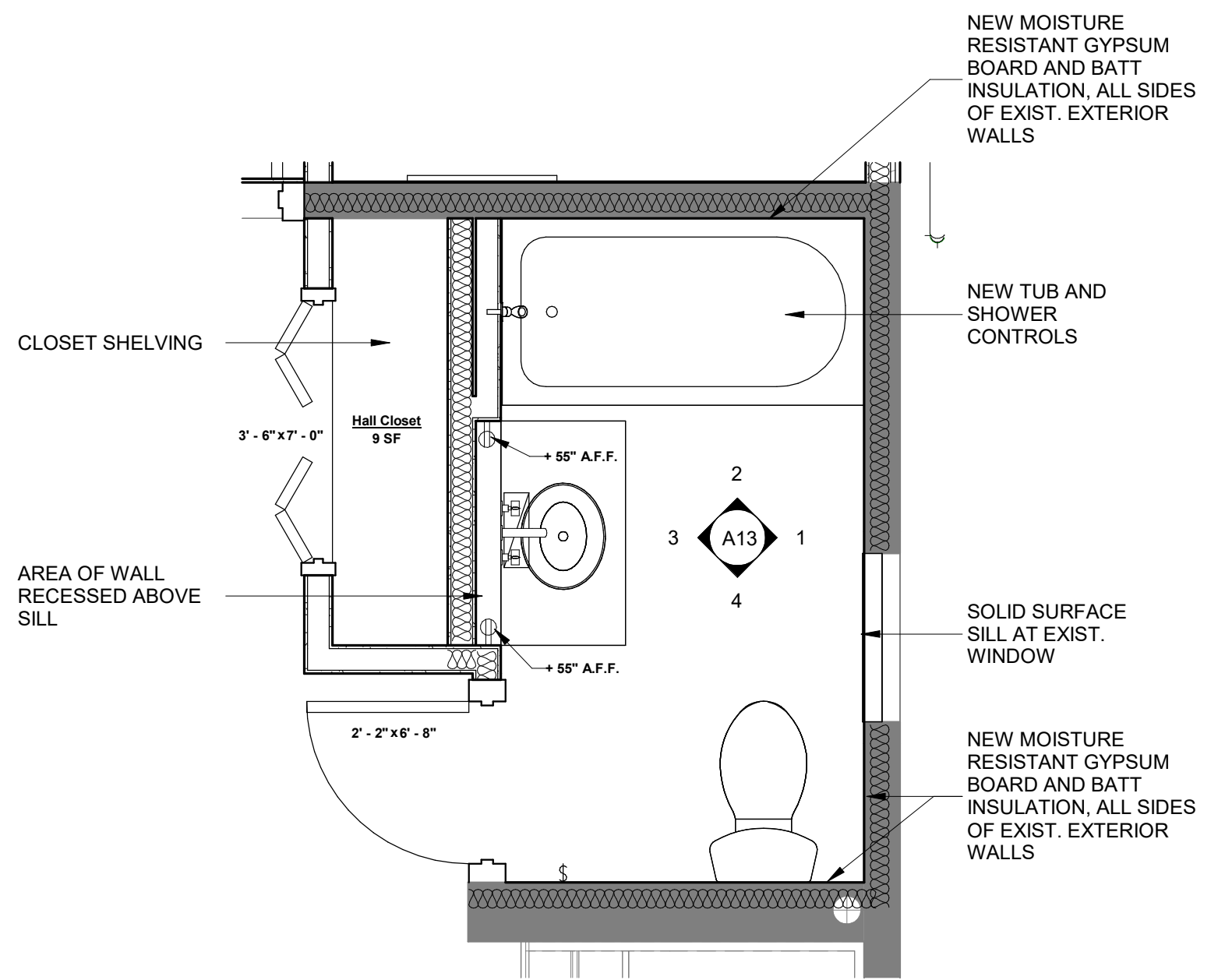
**1 ELEVATION - KIDS BATH**  
SCALE: 3/8" = 1'-0"



**2 ELEVATION - KIDS BATH**  
SCALE: 3/8" = 1'-0"



**B ENLARGED BATHROOM RCP - KIDS**  
SCALE: 1/2" = 1'-0"



**A ENLARGED BATHROOM PLAN - KIDS**  
SCALE: 1/2" = 1'-0"

# Addition and Renovation

Hennies Residence  
19749 Telbir Ave.  
Rocky River, OH 44116

Designer:

Project Info:

Date: 04/20/2026

DESIGN REVIEW  
Revision:

DESIGN REVIEW  
Issuance Name:  
04/20/2026  
Issuance Date:

# ENLARGED PLAN - KIDS BATHROOM

# A13

Project Number:

Sheet:

