

ADDITION TO A PRIVATE RESIDENCE

20623 BEACHWOOD DRIVE

ROCKY RIVER, OHIO 44116

CUYAHOGA COUNTY

PERMANENT PARCEL NUMBER: 301-14-011

PROJECT SCOPE: ADDITION TO A SINGLE FAMILY RESIDENCE

GENERAL NOTES

FRAMING NOTES

MASONRY NOTES

WHEN THIS PLAN IS SUBMITTED FOR PERMIT IT IS UNDERSTOOD THAT THE BUILDER HAS REVIEWED THE DOCUMENTS AND HAS ACCEPTED THE PLANS AS READY TO CONSTRUCT. IF QUESTIONS ARISE CONTACT THE ARCHITECT IMMEDIATELY IN WRITING.

NOTE: ALL SPECIFICATIONS FOR THIS PROJECT SHALL CONFORM TO INTERNATIONAL CODE (LATEST EDITION), WHETHER INDICATED OR NOT. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS IN WHOLE OR IN PART, FOR ANY OTHER PURPOSE IS PROHIBITED. SCHILL ARCHITECTURE, INC. © STEPHEN M. SCHILL RETAINS ALL RIGHTS OF OWNERSHIP FOR THESE DOCUMENTS.

IF A DISCREPANCY OR CONFLICT BETWEEN CODE REQUIREMENTS, DRAWINGS DETAILS, SPECIFICATIONS, ENGINEERING DATA, MANUFACTURER'S RECOMMENDATIONS, OR OWNER PROVIDED INFORMATION BECOMES KNOWN TO THE CONTRACTOR, HE OR SHE SHALL PROMPTLY REPORT THE CONFLICT OR DISCREPANCY IN WRITING TO THE ARCHITECT OR OWNER'S REPRESENTATIVE FOR CLARIFICATION AND CORRECTIVE ACTION. IN ADDITION, ANY WORK INSTALLED IN CONFLICT WITH REQUIREMENTS IDENTIFIED HEREIN WITHOUT PROPER NOTIFICATION SHALL BE CONSIDERED BY THE CONTRACTOR AT HIS OR HER EXPENSE AND AT NO COST TO THE ARCHITECT, ENGINEER, OCCUPANT, OR BUILDING OWNER.

SUB-CONTRACTOR SHALL DETERMINE ERECTION PROCEDURE AND SEQUENCING AND PROVIDE WHATEVER BRACING THAT MAY BE REQUIRED TO COMPLETE THE WORK.

VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

EACH SUBCONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND SCHEDULE ALL INSPECTIONS AND COORDINATE ALL TRADES. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH ENDSURING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF ALL PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.

SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.

ALL EXTERIOR WALLS ARE 4" U.O.N. ON BOTH FLOORS. ALL INTERIOR WALLS ARE 3/2" ON THE MAIN LEVEL AND 3/2" ON ALL OTHER LEVELS U.O.N. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR TO VERIFY ALL MEASUREMENTS ON JOB SITE.

ALL WINDOWS ARE INDICATED BY FRAME SIZE. ALL WINDOWS SHALL HAVE DESIGN PRESSURE RATINGS IN ACCORDANCE WITH R.C.O. 62.5

PROVIDE 1/2" INSULATED METAL DOOR (C LABEL) OR EQUAL TO GARAGE.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED w/ BATTERY BACKUP.

PROVIDE CARBON MONOXIDE DETECTORS OUTSIDE OF EACH SLEEPING ROOM.

ALL UNDERGROUND ELECTRIC LINES SHALL BE EMBEDDED IN SAND.

SUMP PUMPS SHALL HAVE AN INLINE CHECK VALVE.

ALL HABITABLE ROOMS SHALL HAVE AGGREGATE GLAZING OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM.

ROOMS USED FOR SLEEPING SHALL COMPLY WITH R.C.O. SECTION 301 FOR EGRESS REQUIREMENTS.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES BY 3/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MINIMUM & 38" MAXIMUM MEASURED FROM THE NOSE OF THE TREAD.

PORCH & BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSING THROUGH IT.

STEP FLASH AT ROOF AND WALL INTERSECTIONS WITH KICK FLASHING AT GUTTER WALL LOCATIONS.

HEADROOM AT ALL STAIRS SHALL BE 6' 8" MINIMUM.

ACCESS TO THE ATTIC AREAS IN COMPLIANCE WITH SECTION 801 IS REQUIRED. THE ACCESS PANELS OR DOORS SHALL BE IN READILY ACCESSIBLE LOCATIONS.

PROVIDE HANDRAILS ON ALL STAIRS PER CODE.

ALL MECHANICAL UNITS SHALL BE ROUTED TO THE REAR OF THE HOME.

CONDENSING UNITS SHALL BE PLACED IN THE REAR OR SIDE YARDS, DEPENDING ON ZONING. CONSULT WITH OWNER AND ARCHITECT ON THIS LOCATION.

ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. THE ARCHITECT IS NOT RESPONSIBLE FOR VERIFYING THIS CAPACITY. A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER. NOTIFY THE ARCHITECT OF UNUSUAL SOIL CONDITIONS.

ALL GARAGE DOORS OPERATED BY AN ELECTRIC OPERATOR SHALL HAVE AN AUTOMATIC SAFETY REVERSE FEATURE.

ALL STAIRS SHALL COMPLY WITH R.C.O. 311.1.4.1. NO RISER SHALL EXCEED 8 1/4" AND NO TREAD SHALL BE LESS THAN 5".

ALL TOILET AND BATH/SHOWER AREAS SHALL HAVE AN EXHAUST FAN.

PROVIDE BELL RITCH ON ALL WINDOWS AND DOORS TOWARD THE EXTERIOR.

PROVIDE FAN FLASHING FOR ALL OPENINGS.

CEILING WATER SHIELD SHALL BE INSTALLED A MINIMUM OF 24" TO THE INSIDE OF INTERIOR FACE OF THE EXTERIOR WALLS.

IT IS THE RESPONSIBILITY OF THE BUILDER TO NOTIFY THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF SCHILL ARCHITECTURE LLC TO DETERMINE IF A RADON AGENCY SYSTEM IS REQUIRED.

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE, ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BUILDING CODE.

ALL 120 VOLT SINGLE PHASE & 40 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETTS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR SPACES SHALL BE PROVIDED WITH ARC-FAULT PROTECTION.

SCHILL ARCHITECTURE, LLC IS NOT A SURVEYING COMPANY. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE "DESIGN PHASE". DURING THE DESIGN PROCESS ANY SITE STUDY DRAIN BY SCHILL ARCHITECTURE, LLC WILL BE USED TO DETERMINE AN ESTIMATED BUILDABLE AREA AND AT NO TIME IS SCHILL ARCHITECTURE, LLC RESPONSIBLE FOR THE LOCATION OF THE HOUSE ON THE LOT, ANY UTILITIES, BUILDING ELEVATIONS OR GRADING INFORMATION.

SCHILL ARCHITECTURE, LLC IS NOT A MECHANICAL ENGINEER AND DOES NOT ALWAYS CONSULT WITH A MECHANICAL ENGINEER FOR MECHANICAL SCHEMATICS DRAIN BY SCHILL ARCHITECTURE, LLC. ALL HVAC PLUMBING AND/OR ELECTRICAL SCHEMATICS DRAIN BY SCHILL ARCHITECTURE, LLC ARE "SUGGESTED" AND FOR USE ONLY TO FULFILL THE BUILDING DEPARTMENTS PLAN SUBMITTAL REQUIREMENTS. IT WILL BE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO HAVE ALL ACTUAL MECHANICAL SYSTEMS DESIGNED AND INSTALLED BY LICENSED MECHANICAL SPECIALISTS. SCHILL ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR ANY MECHANICAL INSTALLATIONS AND/OR ISSUES RELATED TO THEIR INSTALLATION. ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

ALL WINDOWS SHALL BE FLASHED AND SEALED OVER NAILING FLANGES WITH WINDOW FLASHING TAPE.

G.C. SHALL PROVIDE GASKET AND SEAL PACKAGES OR GASKETS BETWEEN FRAME WALLS.

G.C. AND / OR OWNERS SHALL NOTIFY THE ARCHITECT OF ANY FIELD CHANGES MADE TO THE PLANS OR BUILDING DURING CONSTRUCTION. FIELD CHANGES MADE TO THE BUILDING WITHOUT THE CONSULTATION AND/OR APPROVAL OF THE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF G.C. AND BUILDING OWNERS.

G.C. SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONS OR CLARIFICATIONS OF THE DESIGN DRAWINGS. ANY CHANGES OR ALTERATI

ALL RESIDENTIAL PLANS DRAIN BY SCHILL ARCHITECTURE, LLC ARE STRUCTURALLY SIZED BY SCHILL ARCHITECTURE, LLC. ANY BEAM SIZE, WALL MOVEMENTS OR SPANNED OPENING CHANGES MADE DURING CONSTRUCTION TO A STAMPED SET OF PLANS WITHOUT CONSULTING SCHILL ARCHITECTURE, LLC COMPLETELY NEGATES ANY STRUCTURAL RESPONSIBILITIES OF SCHILL ARCHITECTURE, LLC.

SCHILL ARCHITECTURE, LLC DOES NOT PROVIDE ANY CONSTRUCTION SUPERVISION. BUILDER AND / OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURES MATCHED THE PLANS AS DRAIN AND DESIGNED.

SCHILL ARCHITECTURE, LLC IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS. ANY DESIGN PLAN FLIP, SITE STUDY, MECHANICAL OR TRUSS RELATED CHANGES AND/OR ISSUES BROUGHT TO SCHILL ARCHITECTURE, LLC AFTER THE PRINTING OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND BILLED.

SCHILL ARCHITECTURE, LLC IS NOT A TRUSS DESIGNER. ENGINEERED TRUSSES ARE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER.

LUMBER COMPANY AND TRUSS MANUFACTURER TRUSS DESIGNED ROOF PLANS ARE TO BE REVIEWED BY THE TRUSS MANUFACTURER PRIOR TO PRINTING FINAL CONSTRUCTION SETS. DURING THIS REVIEW PROCESS IT WILL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY THAT ALL PLATE HEIGHTS, HEEL HEIGHTS AND ROOF PITCHES WILL CREATE A BUILDABLE TRUSS PACKAGE. THE TRUSS MANUFACTURER IS ALSO RESPONSIBLE TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF JOIST AND HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER, BUILDER AND/OR OWNER SHALL CONTACT SCHILL ARCHITECTURE, LLC TO UPDATE THE PLAN SET. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. SCHILL ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS.

SCHILL ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION SCHEDULE CHANGES OR DELAYS DUE TO ANY ENGINEERED ROOF TRUSS ISSUES.

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

ALL ENGINEERED FLOOR SYSTEMS SHALL BE DESIGNED BY THE MANUFACTURER.

PROVIDE 2x4 COLLAR TIES # 4 @ 6' O.C. FOR ALL RAFTERS.

ALL HEADERS SHALL BE FREE FROM SPLITS, CHECKS, & SHAKES.

PROVIDE DOUBLE HEADER JOIST AND TRIMMER AT ALL FLOOR OPENINGS.

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

PROVIDE 1x3" X4" BRIDGERS # 8 @ 2' O.C. OR SOLID BLOCKING

ALL ANGLED WALLS ARE 45 DEGREES U.O.N.

ADJUST ALL OVERHANGS OF DIFFERENT PITCHES TO MAINTAIN CONSISTANT LEVEL.

ANY HIP OR VALLEY RAFTER EXCEEDING 28' 0" TO BE L.V.L.

DOUBLE ALL JOISTS AT CANTILEVERS

ALL EXTERIOR CORNERS SHALL HAVE WALLS AND SOFFITS PROTECTED IN EACH DIRECTION WITH PLYWOOD.

IF FOAM SHEATHING IS USED, PROVIDE DIAGONAL LET-IN BRACING.

REPAIR/REPLACE ALL FRAMING DAMAGED BY MECHANICAL SYSTEMS INSTALLATION.

ALL WINDOW HEADS SHALL BE AT 6" (10/17" A.F.F. UNLESS OTHERWISE NOTED)

ALL LUMBER IN CONTACT WITH MASONRY AND/OR CONCRETE SHALL BE PROTECTED FROM DECAY IN ACCORDANCE WITH O.R.C. 3113

PROVIDE 2" CLEAR SPACING BETWEEN MASONRY FIREPLACES AND ALL WOOD FRAMING. PROVIDE FIRESTOPPING BETWEEN FLOOR LEVELS.

ALL SILL PLATES SHALL BE FULL WIDTH OF FOUNDATION WALL.

ALL CUTTING, NOTCHING, AND BORING SHALL BE IN CONFORMANCE WITH O.R.C. R-602.6 & R-602.6.1

ALL JOISTS, BEAMS, AND GIRDERS SHALL BE IN MINIMUM OF A MINIMUM MODULUS OF ELASTICITY OF 100,000

MILLWORK AND CABINET DESIGN SHALL BE THE RESPONSIBILITY OF OTHERS.

CONSTRUCTION OBSERVATION IS NOT PROVIDED BY THIS ARCHITECT.

WALLS AND PARTITIONS INCLUDING PURRED OR STUCCOED OFF SPACES OF MASONRY OR CONCRETE WALLS, AND AT THE CEILING AND FLOOR OR ROOF LEVELS, FIRESTOPPING SHALL BE INSTALLED AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURRING AT SOFFITS OVER CABINETS, DROP CEILING, COVE CEILING, ETC.

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES.

ALL JACKS SHALL BE BLOCKED BELOW THE DECK.

DOUBLE ALL FLOOR JOISTS @ WHERPOOL/BATH LOCATIONS.

ALL PARTITIONS OVER 10' 0" HIGH SHALL BE FRAMED @ 2x6" @ 16" O.C.

PROVIDE 2x4 STRUCTURAL COLUMN @ 1000 LB BEAM BEARING POINTS.

PROVIDE 3" STEEL COLUMN @ STEEL BEAM BEARING POINTS.

PROVIDE 2x6 TOP PLATE OF ALL STEEL BEAMS- STAGGER BOLT # 2 @ 2' O.C. w/ 3/8" BOLTS.

PROVIDE GALVANIZED JOIST HANGERS @ ALL FLOOR BEAMS INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PROVIDE 2x8 STRUTS @ 8' 0" O.C. FOR ALL CEILING JOISTS.

ALL FOOTINGS TO BE 8" WIDER THAN THE WALL, THEY SUPPORT AND BEAR ON UNDISTURBED SOIL OF BEARING CAPACITY. THE TOP ALL FOOTINGS SHALL BE A MINIMUM OF 38" BELOW FINISHED GRADE.

PROVIDE C.M.I. "LOOKOUTS" # 4 @ 0' O.C. WHERE SHELVES ARE NOT PROVIDED.

PROVIDE 1/2" X 1" ANCHOR BOLT, 2 PER PLATE, NO MORE THAN 1/2" FROM EACH END- GROUT SOLID

PROVIDE SOLID MASONRY AT ALL BEAM BEARING LOCATIONS. SOLID MASONRY TO EXTEND DOWN TO FOOTING.

PROVIDE 1/2" CEMENT/1/4" IRONITE DAMPROOFING ON ALL FOUNDATION WALLS.

PROVIDE GALVANIZED CORRUGATED METAL TIES # 1/2" O.C. HORIZONTALLY & VERTICALLY FOR ALL MASONRY VENEERS.

PROVIDE 8" SOLDIER # 4" ROLLOUT AT ALL WINDOW AND DOOR OPENINGS. PROJECTED 1/2" U.O.N. IF NO OTHER DESIGN IS INDICATED.

PROVIDE WEATHER STRIPS # 3/8" O.C. ON FIRST COURSE EXPOSED ABOVE GRADE.

PROVIDE 3/4" FELT OVER SHEATHING TO RECEIVE BROCK VENEER LAP. ALL JOINTS A MINIMUM OF 6".

FLASHING SHALL BE INSTALLED PER SECTION 103.8 OF THE O.R.C.

PROVIDE EXTERIOR COMBUSTION AIR FOR ALL FIREPLACES (MINIMUM 6 SQUARE INCHES).

PROVIDE HORIZONTAL JOINT REINFORCING # 18" O.C. VERTICALLY

FIREBOX OPENING LESS THAN 6 @ 60 FT. - 18" WIDE FROM FACE OF FIREBOX.

FIREBOX OPENING GREATER THAN 6 @ 60 FT. - 20" WIDE FROM FACE OF FIREBOX.

FOUNDATIONS SHALL NOT BE BACKFILLED UNLESS PROPERLY BRACED.

PROVIDE ONE (1) # 6 BAR VERTICALLY FULL HEIGHT @ 30" O.C. IN GROUTED CORE U.O.N.

SLOPE ALL SILLS AWAY FROM THE STRUCTURE

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F.

WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 35 psf. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN, AND ALSO DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITH IN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55 psf IS THE CORRECT WALL LOADING. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN IN THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

FILTER FABRIC SHALL BE INSTALLED OVER ALL FOUNDATION DRAIN TILE.

CONCRETE NOTES

ALL FOOTING CONCRETE SHALL BE 3000 P.S.I. (28 DAY COMPRESSIVE STRENGTH).

ALL SLABS ON GRADE SHALL BE 4000 P.S.I. (28 DAY COMPRESSIVE STRENGTH)

PROVIDE CONTROL JOINT @ MIDPOINT OF GARAGE IN BOTH DIRECTIONS.

PROVIDE SAUN OR HAND TROULED CONTROL JOINTS @ 0' O.C. EACH WAY IN DRIVEWAYS.

PROVIDE CONTROL JOINTS IN ALL WALLS EQUAL TO THE WIDTH OF THE WALL.

PROVIDE 6" RILL VAPOR BARRIER UNDER ALL INTERIOR AND EXTERIOR GARAGE SLABS.

PROVIDE EXPANSION JOINTS AS REQUIRED BY CODE.

USE AN APPROVED CURING COMPOUND ON ALL FLAT SURFACES.

THE USE OF ADHESIVES IS PROHIBITED UNLESS APPROVED BY THE ARCHITECT.

INSULATION NOTES

NOTE: PROVIDE OPTION FOR CLOSED CELL FOAM INSULATION

ALL INSULATION SHALL BE INSTALLED FULL AND THICK IN THE CAVITY PER MANUFACTURER'S SPECIFICATIONS

WALLS: 3/2" Batts (R-19 MIN.)

FLAT CEILING: 1/2" Batts (R-19 MIN.)

VAULTED CEILING: 8/2" Batts (R-30 MIN.)

BOX END: 10/4" (R-38 MIN.)

SLAB EDGES: 2 1/4" RIGID EXTRUDED POLYSTYRENE (R-10 MIN.)

PROVIDE VENTILATION BARBERS @ ALL RAFTER SPACES

CAULK ALL OPENINGS EXTERIOR WALLS. FOAM ALL OPENINGS IN TOP PLATES

PROVIDE 2 1/4" THERMADRY STYROFOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS, FULL DEPTH (R-10 MIN.)

ALL PENETRATIONS SHALL BE SEALED WITH BUTYL TAPE

PROVIDE HOUSE WRAP OR FLUID APPLIED BARRIER PER LOCAL CODE

PROVIDE SEALANTS AT ANY WATER MIGRATION POINTS IN THE CONSTRUCTION.

INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R VALUES AND LOCATIONS.

STEEL NOTES

ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH A.S.T.M. SPECIFICATION A36. ALL STRUCTURAL STEEL FOR COLUMNS SHALL COMPLY WITH A.S.T.M. SPECIFICATION A588 GRADE 50 OR A501.

ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH A.S.T.M. SPECIFICATION A618 GRADE 60.

GYP SUM NOTES

PROVIDE 5/8" REGULAR GYPSUM BOARD THROUGHOUT ENTIRE STRUCTURE EXCEPT AS NOTED.

PROVIDE 5/8" TYPE "X" FIRE CODE GYPSUM BOARD THROUGHOUT GARAGE AND WALLS COMMON TO HOUSE N GARAGE ATTIC. PROVIDE 5/8" G.B. ON ALL ATTIC ACCESS PANELS.

PROVIDE WATER RESISTANT GYPSUM BOARD IN ALL BATH & TOILET AREAS.

PROVIDE DUROCK OR EQUAL ON ALL TLED AREAS OF TUB DECKS AND SHOWER STALLS.

ALL CEILING AND WALLS SHALL HAVE A SMOOTH FINISH (LEVEL 5)

FIREPLACE NOTES

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 10 AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH OPENING DIMENSIONS FOR ALL PREFAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING

ELECTRICAL NOTES

ELECTRICAL CONTRACTOR (EC) SHALL CONFIRM THE CAPACITY IF EXISTING SERVICE TO ADEQUATELY SUPPORT THE NEW LOADS. IF NECESSARY, UPGRADE SERVICE EC SHALL BAND TOGETHER ALL ELECTRODES TO FORM A GROUNDING SYSTEM.

CONDUCTOR SIZES SHOULD BE AS SHOWN IN NEC 250.66 ELECTRICAL GROUNDING CAN INCLUDE FOLLOWING: (1) METAL UNDERGROUND WATER LINE IN CONTACT WITH EARTH FOR A MIN. 10'-0"; (2) CONCRETE ELECTRODES; (3) ROD, PIPE AND PLATE ELECTRODES IN ACCORDANCE WITH NEC 250.53.

ALL GENERAL LIGHTING AND RECEPTACLE OUTLETS BRANCH CIRCUITS SHALL BE 50amp OVERLOAD PROTECTED CIRCUITS INSTALLED WITH 14ga COPPER CONDUCTORS. ALL GENERAL BRANCH CIRCUITS TO BEDROOMS SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT INTERRUPTER DEVICE NEC 10.0.1.

GENERAL RECEPTABLES BE SPACED NO MORE THAN 12'-0" APART OR 6'-0" FROM AND INSIDE CORNER SEE NEC 210.52. A RECEPTACLE MUST BE INSTALLED ON EACH WALL SPACE GREATER THAN 2'-0" SEE NEC 210.52.

REFRIGERATORS, MICROWAVE OVENS, DISHWASHERS AND ANY OTHER MAJOR APPLIANCE SHALL HAVE A DEDICATED BRANCH CIRCUIT OF AMPERAGE IN ACCORDANCE WITH APPLIANCE REQD SERVICE.

OVEN, COOK TOPS, RANGES AND CLOTHES DRYER SHALL HAVE A 240V OUTLET WITH AMPERAGE AS REQD FOR APPLIANCE.

KITCHEN SMALL APPLIANCE CIRCUITS TO BE A MIN. OF TWO (2) 20amp 120V CIRCUITS. CIRCUITS WITHIN 6ft. OF A SINK OR WATER SOURCE SHALL BE PROTECTED BY A GROUND-FALLT CIRCUIT INTERRUPTER (GFI) NEC 210.8.

ALL EXTERIOR OUTLETS, GARAGE OUTLETS, AND ANY OUTLET IN A UET OR EXTERIOR LOCATION SHALL BE PROTECTED BY A GFI/FCI BRANCH CIRCUIT SEE NEC 210.8.

TITLE SHEET

TITLE SHEET

SCALE: NONE

GRAPHIC SCALE

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO

INDEX TO DRAWINGS		
NO.	DRAWING DESCRIPTION	
T-1	O	TITLE SHEET
A-1	O	FOUNDATION PLAN, MAIN FLOOR PLAN, UPPER FLOOR PLAN
A-2	O	ROOF PLAN, WALL SECTION
A-3	O	EXTERIOR ELEVATIONS, ARCHITECTURAL, SITE DEVELOPMENT PLAN
A-4	O	WINDOW INSTALLATION DETAIL
A-5	O	FLASHING DETAILS
A-6	O	SPECIFICATIONS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	80 P.S.F.	15 P.S.F.	95 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
⊞	SWITCH- SINGLE POLE
⊞	SWITCH- THREE WAY
⊞	SWITCH- FOUR WAY
⊞	SWITCH- DIMMER
⊞	DUPLEX RECEPTACLE
⊞	DUPLEX RECEPTACLE - FLOOR MOUNTED
⊞	DUPLEX RECEPTACLE- GFCI
⊞	QUAD RECEPTACLE
⊞	DUPLEX RECEPTACLE- WEATHERPROOF
⊞	DUPLEX RECEPTACLE- 220 VOLT
⊞	KEYLESS FIXTURE IN ATTIC SPACE
⊞	CARBON MONOXIDE DETECTOR
⊞	CABLE OUTLET
⊞	DATA OUTLET
⊞	CEILING MOUNTED FIXTURE
⊞	CEILING FAN
⊞	DISCONNECT
⊞	6" RECESSED LIGHT
⊞	4" RECESSED LIGHT
⊞	EXHAUST FAN
⊞	EXHAUST FAN /LIGHT COMBO
⊞	SERVICE METER
⊞	SERVICE PANEL
⊞	PENDANT MOUNTED FIXTURE
⊞	SMOKE DETECTOR- HARD WIRED
⊞	TELEPHONE OUTLET
⊞	WALL MOUNTED FIXTURE
⊞	MOTOR
⊞	THERMOSTAT

NOTES: ELECTRICAL LAYOUT SHOWN IS SCHEMATIC. A WALK THROUGH SHALL BE SCHEDULED WITH THE OWNER AND ARCHITECT.

SYMBOL LEGEND

	SECTION NUMBER		ROOM NAME
	SHEET NUMBER		ROOM NUMBER
	DETAIL NUMBER		DOOR NUMBER
	SHEET NUMBER		WINDOW TAG
	ENLARGED PLAN AREA		REVISION NUMBER
	ROOM NUMBER		REVISION AREA
	SHEET NUMBER		CODED NOTE SYMBOL
	COLUMN CENTERLINE AND DESIGNATION		CEILING HEIGHT
	PLAN NORTH SYMBOL		CEILING MATERIAL
	PARTITION TYPE		

THESE DRAWINGS, DESIGN, AND SPECIFICATIONS ARE THE SOLE PROPERTY OF SCHILL ARCHITECTURE, LLC. STEPHEN M. SCHILL, ARCHITECT. THEY ARE TO BE USED ONLY WITH THIS PROJECT AND MAY NOT BE REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION. THIS COPYRIGHT PROTECTION INCLUDES, BUT IS NOT LIMITED TO, THE OVERALL FORM, AS WELL AS THE ARGUMENTATION, COMPOSITION OF SPACES & ELEMENTS OF DESIGN.

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SCHILL ARCHITECTURE, LLC

TELEPHONE: 440.808.3485
FACSIMILE: 440.808.3485
WWW.SCHILLARCHITECTURE.COM

OFFICE ADDRESS: 150 CROSSINGS PARKWAY SUITE E WESTLAKE, OHIO 44148

EMAIL ADDRESS: STEVE@SCHILLARCHITECTURE.COM

DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	80 P.S.F.	15 P.S.F.	95 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

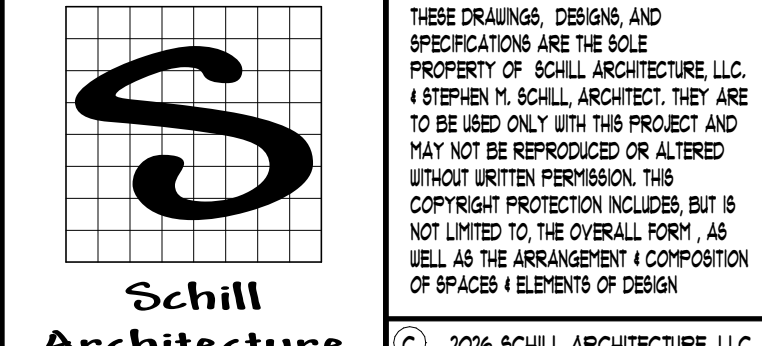
NOTES:
1. ALLOWED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.
2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.
3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD-2"x4"	MATCH EXISTING
UPPER FLOOR	WOOD-2"x4"	MATCH EXISTING

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	296 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	349 SQ.FT.
UPPER LEVEL	431 SQ.FT.
UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.



Schill Architecture
 2026 SCHILL ARCHITECTURE, LLC

SCHILL ARCHITECTURE, LLC
 TELEPHONE: 440.808.3483
 FACSIMILE: 440.808.3485
 WWW.SCHILLARCHITECTURE.COM

OFFICE ADDRESS: 1850 CROSSINGS PARKWAY SUITE E WESTLAKE, OHIO 44148
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DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOFS (OVER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	3000 P.S.F.	N.A.	3000 P.S.F.

NOTES:
 1. ASSUMED SOIL BEARING CAPACITY IS 3000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.
 2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.
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LOWER LEVEL	CONCRETE-8"	8' 0"
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THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	0,000 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
TOTAL AREA UNDER ROOF	1,076 SQ.FT.
REAR PORCH (NOT COVERED)	24 SQ.FT.
TOTAL PROJECT AREA	1,100 SQ.FT.

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ISSUED FOR PERMIT: 15 JAN 2026

REV. NO.	DESCRIPTION	DATE

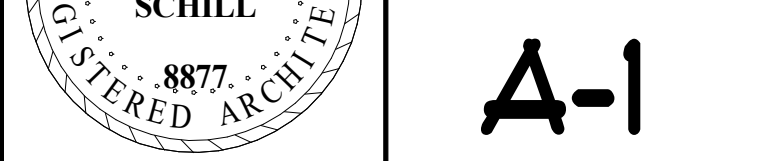
PROJECT: **ADDITION TO: A PRIVATE RESIDENCE**

LOCATION: 20623 BEACHWOOD DRIVE
 ROCKY RIVER, OHIO 44116
 CUYAHOGA COUNTY
 PERMANENT PARCEL NUMBER: 30114-011

ADDITION PLANS

SCALE: AS NOTED
 JOB NUMBER: 268NEYARG

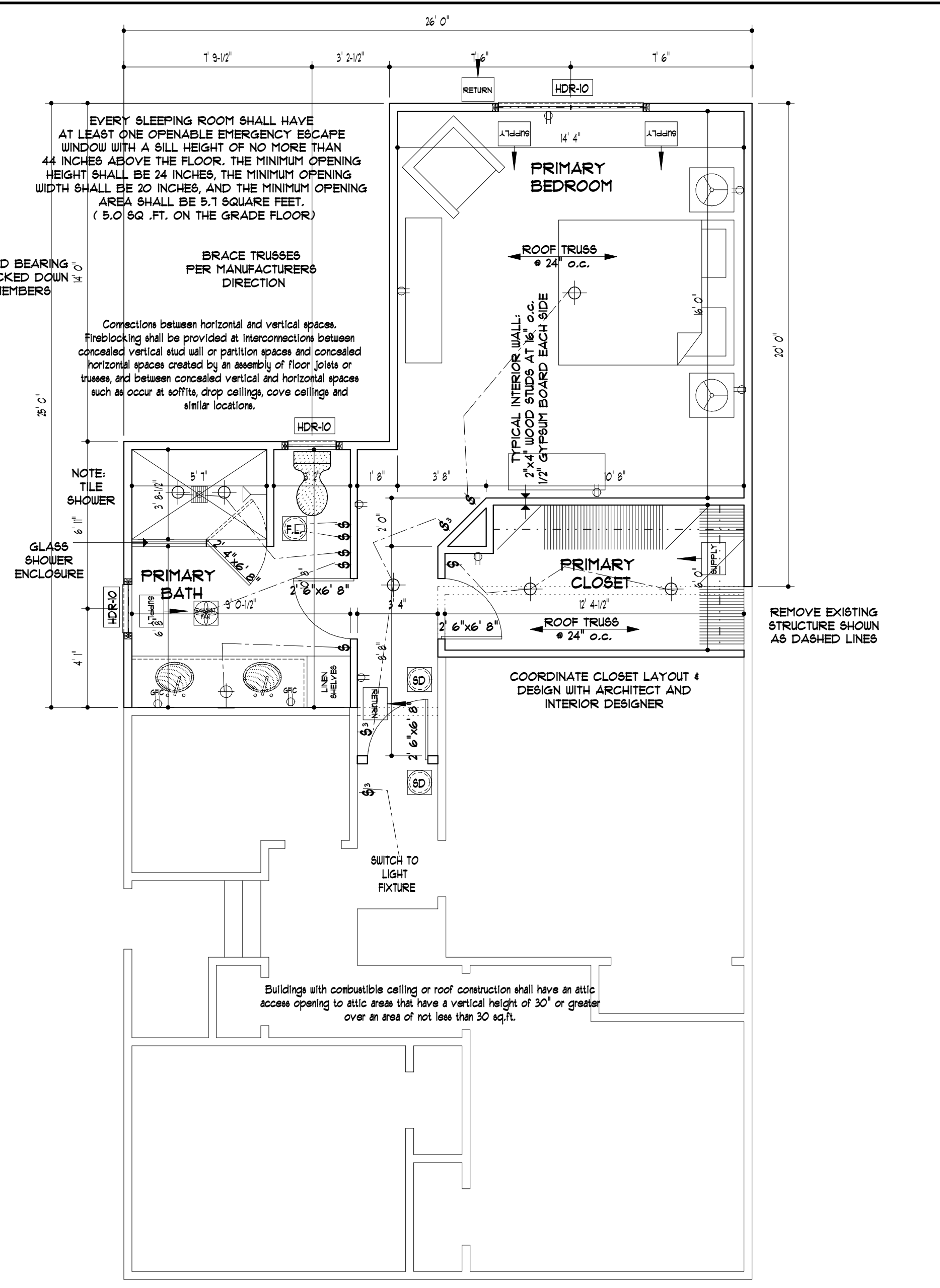
DATE: 15 JANUARY 2026
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STEPHEN M. SCHILL, LICENSE # 8871
 EXPIRATION DATE: 03/31/2021

A-1

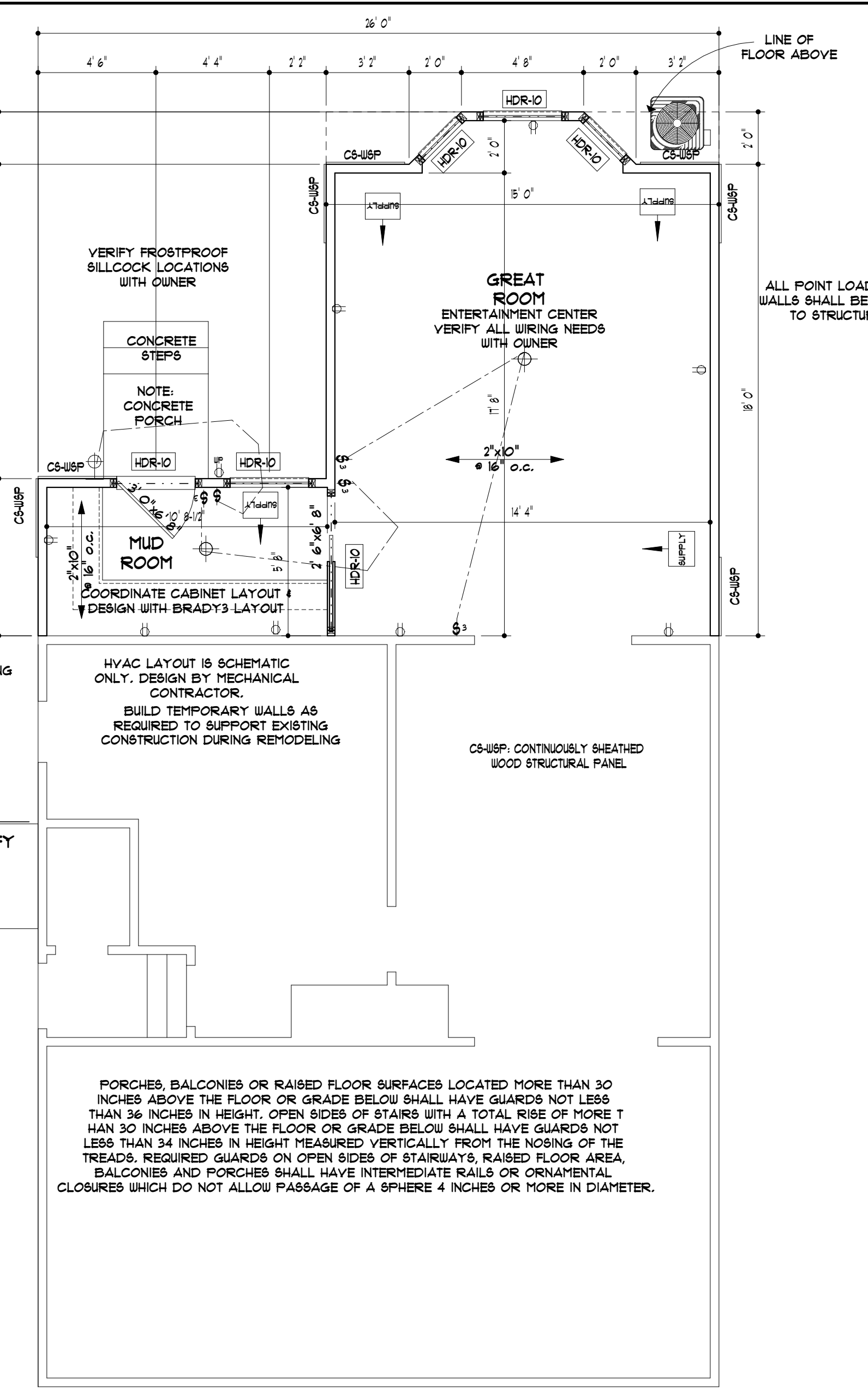
DRAWING NUMBER



UPPER FLOOR PLAN

SCALE: 1/4" = 1' 0"

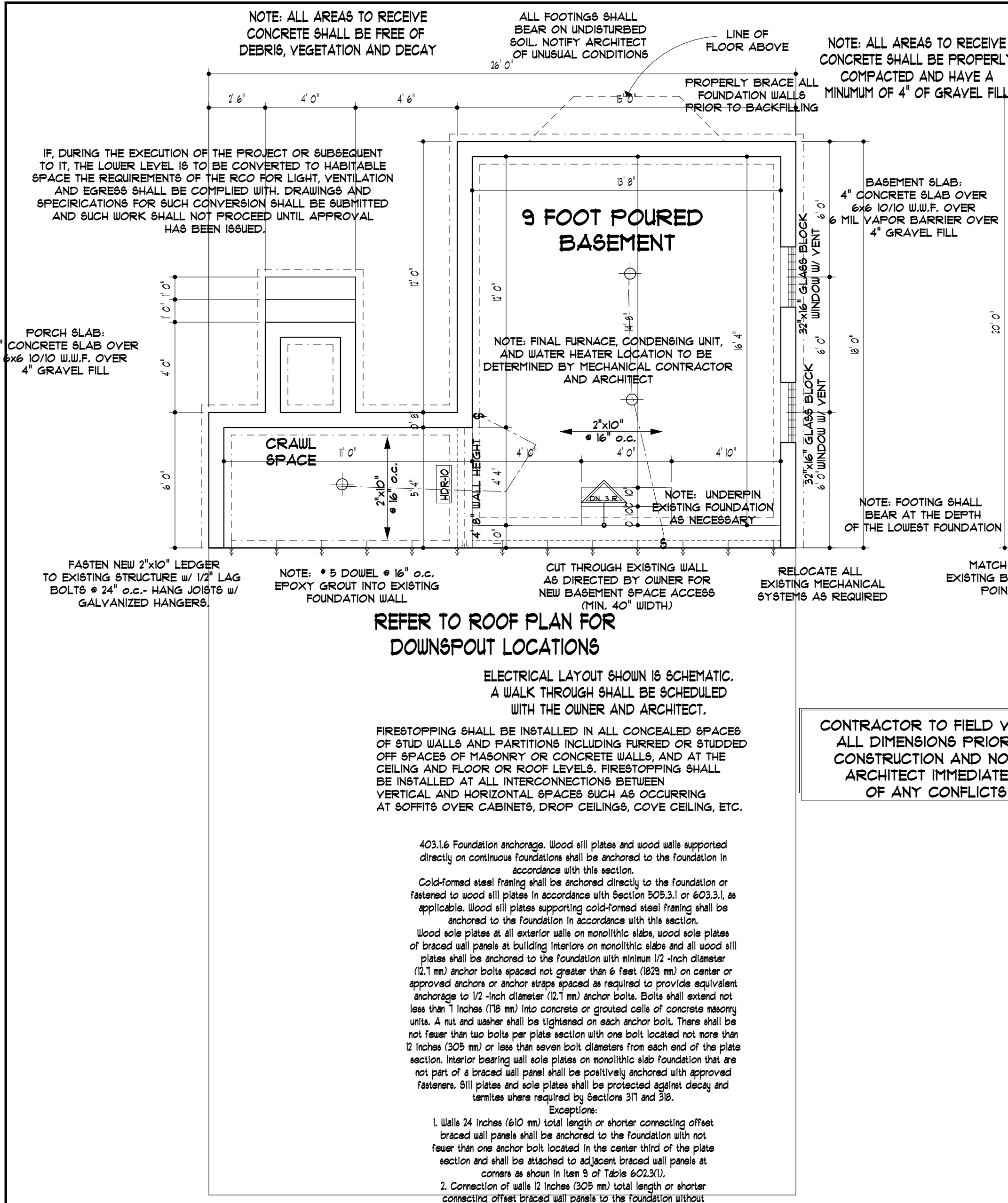
CONTRACTOR TO RETROFIT SMOKE DETECTORS INSIDE EACH SLEEPING ROOM AND BOTH SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS OUTSIDE EACH SLEEPING ROOM IN ACCORDANCE WITH THE 2019 OHIO RESIDENTIAL BUILDING CODE IF NOT PRESENT



MAIN FLOOR PLAN

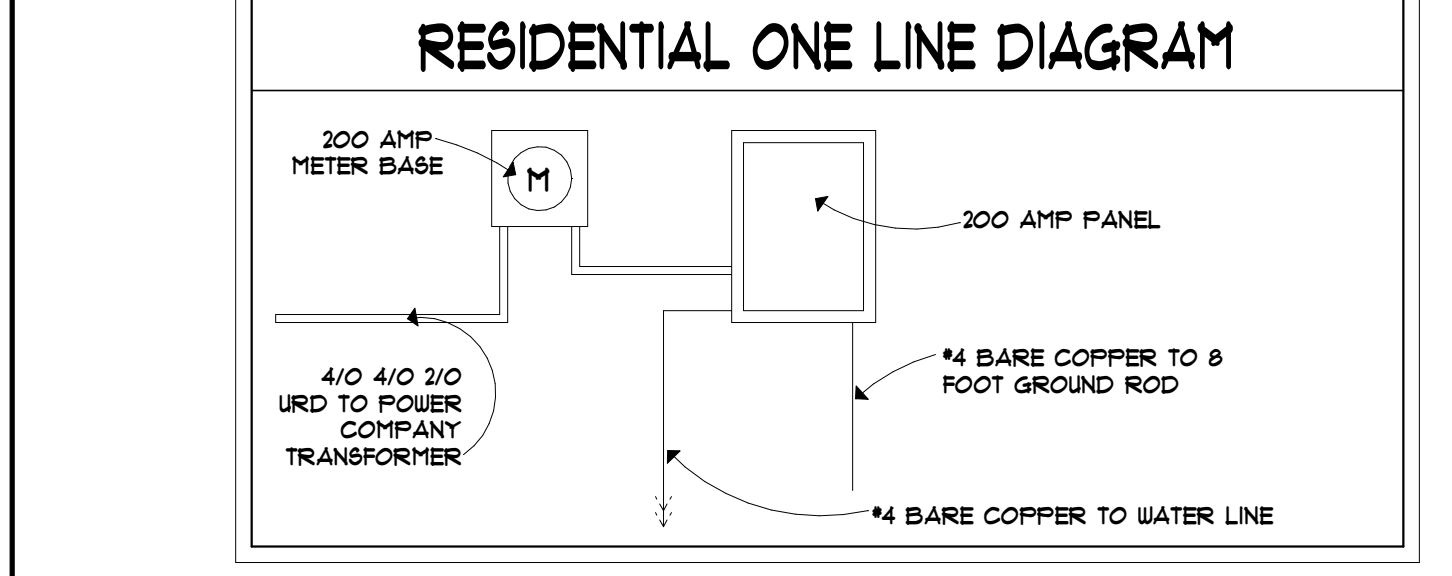
SCALE: 1/4" = 1' 0"

Section 210.12 requires that for dwelling units, all 120-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, patios, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas shall be protected by AFCIs.



FOUNDATION PLAN

SCALE: 1/4" = 1' 0"



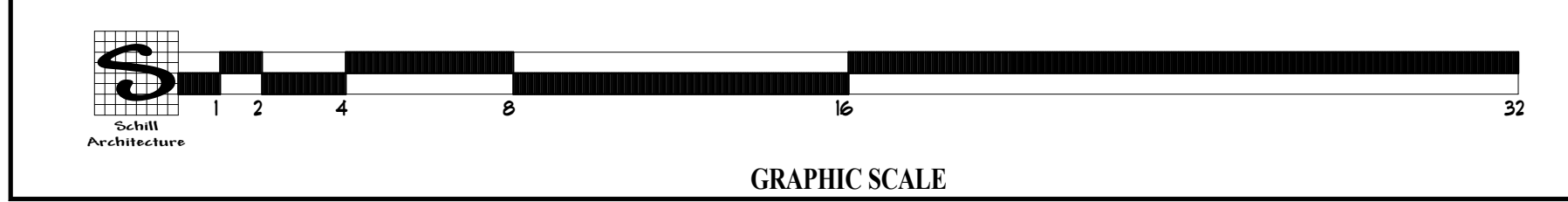
NOTE: ALL STAIRS SHALL COMPLY WITH SECTION R 311.5 OF THE RCO. ALL CONSTRUCTION SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- ALL EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE OF THE DOOR. SEE EXCEPTIONS OF SECTION R 311.4.3. WHEN THESE LANDINGS MAY BE OMITTED.
- GUARDS SHALL BE INSTALLED AS REQUIRED BY SECTION R 312.1 OF THE RCO.
- HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. THE HANDRAIL SHALL BE LOCATED NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES FROM THE SLOPED PLANE OF THE TREAD NOSING

HEADER SCHEDULE

TAG	SIZE	NOTES
HDR-1	(2) 1-3/4"x8-1/4" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-2	(2) 1-3/4"x11-1/4" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-3	(2) 1-3/4"x14" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-4	(2) 1-3/4"x16" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-5	(2) 1-3/4"x18" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-6	(2) 1-3/4"x20" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-7	(2) 1-3/4"x24" L.V.L.	BOISE CASCADE 2.IE 3100 LVL
HDR-8	(2) 2"x8's	DF-LARCH #2 w 1/2" PLYWOOD SPACER
HDR-9	(2) 2"x10's	DF-LARCH #2 w 1/2" PLYWOOD SPACER
HDR-10	(2) 2"x12's	DF-LARCH #2 w 1/2" PLYWOOD SPACER
HDR-11		

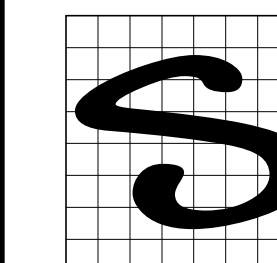
Bearing: The ends of each joist, beam or girder shall have not less than 1 1/2 inches of bearing on wood or metal, have not less than 3 inches of bearing on masonry or concrete or be supported by approved joist hangers. Alternatively, the ends of joists shall be supported on a 1-inch by 4-inch ribbon strip and shall be nailed to the adjacent stud. The bearing on masonry or concrete shall be direct, or a sill plate of 2-inch-minimum nominal thickness shall be provided under the joist, beam or girder. The sill plate shall provide a minimum nominal bearing area of 48 square inches.



MISCELLANEOUS PLANS

SCALE: 1/4" = 1' 0"

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 RESIDENTIAL CODE OF OHIO



Schill Architecture

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OFFICE ADDRESS: 180 CROSSINGS PARKWAY SUITE E WESTLAKE, OHIO 44145
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DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
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EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:
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3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD-2"x4"	MATCH EXISTING
UPPER FLOOR	WOOD-2"x4"	MATCH EXISTING

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	296 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	349 SQ.FT.
UPPER LEVEL	431 SQ.FT.
UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	0,000 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
TOTAL AREA UNDER ROOF	1,076 SQ.FT.
REAR PORCH (NOT COVERED)	24 SQ.FT.
TOTAL PROJECT AREA	1,100 SQ.FT.

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ISSUED FOR PERMIT 15 JAN 2026

REV. NO.	DESCRIPTION	DATE

PROJECT: ADDITION TO: A PRIVATE RESIDENCE

LOCATION: 20623 BEACHWOOD DRIVE
ROCKY RIVER, OHIO 44116
CUYAHOGA COUNTY
PERMANENT PARCEL NUMBER: 30114-011

ADDITION PLANS

SCALE: AS NOTED JOB NUMBER: 268NEYARG

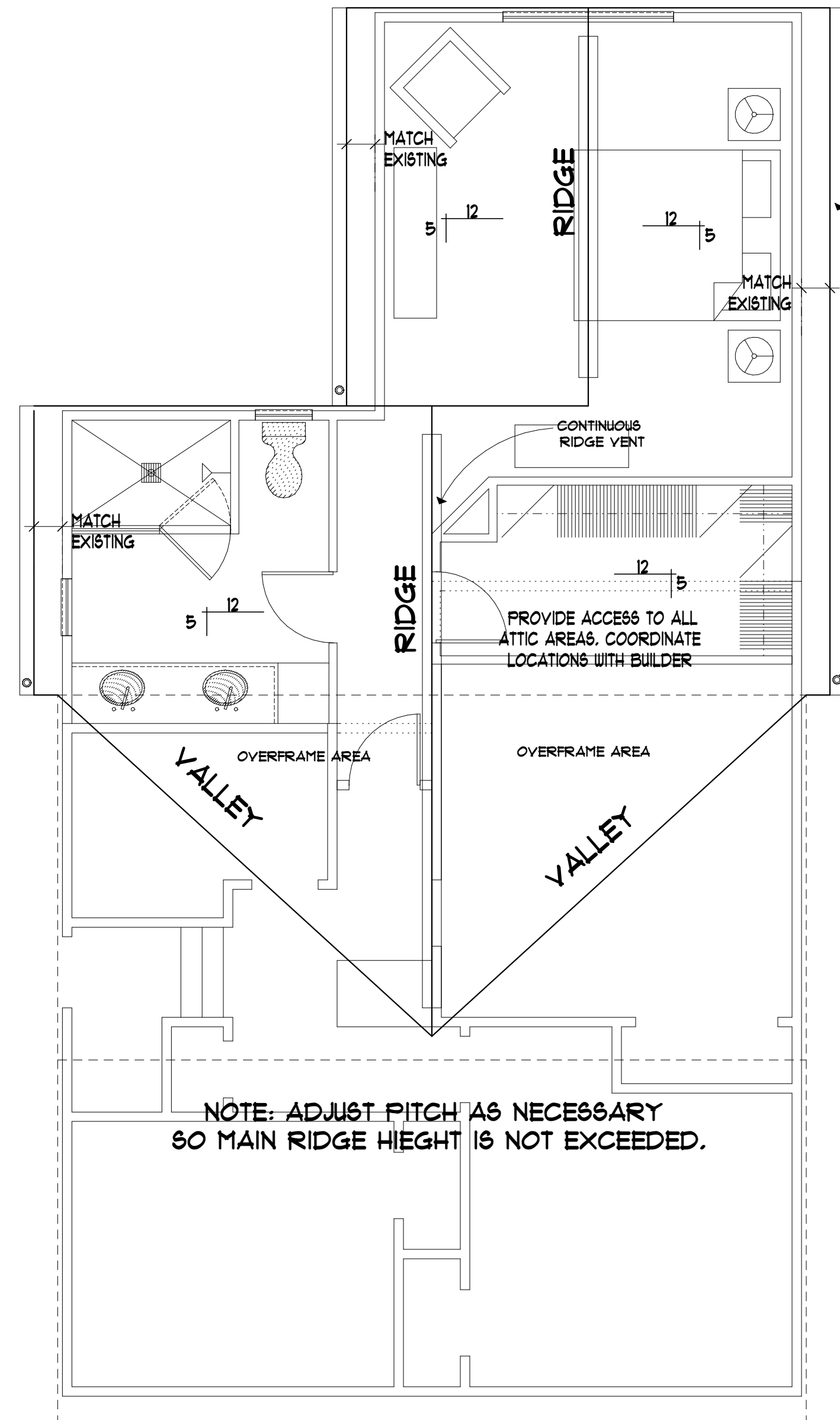
DATE: 15 JANUARY 2026

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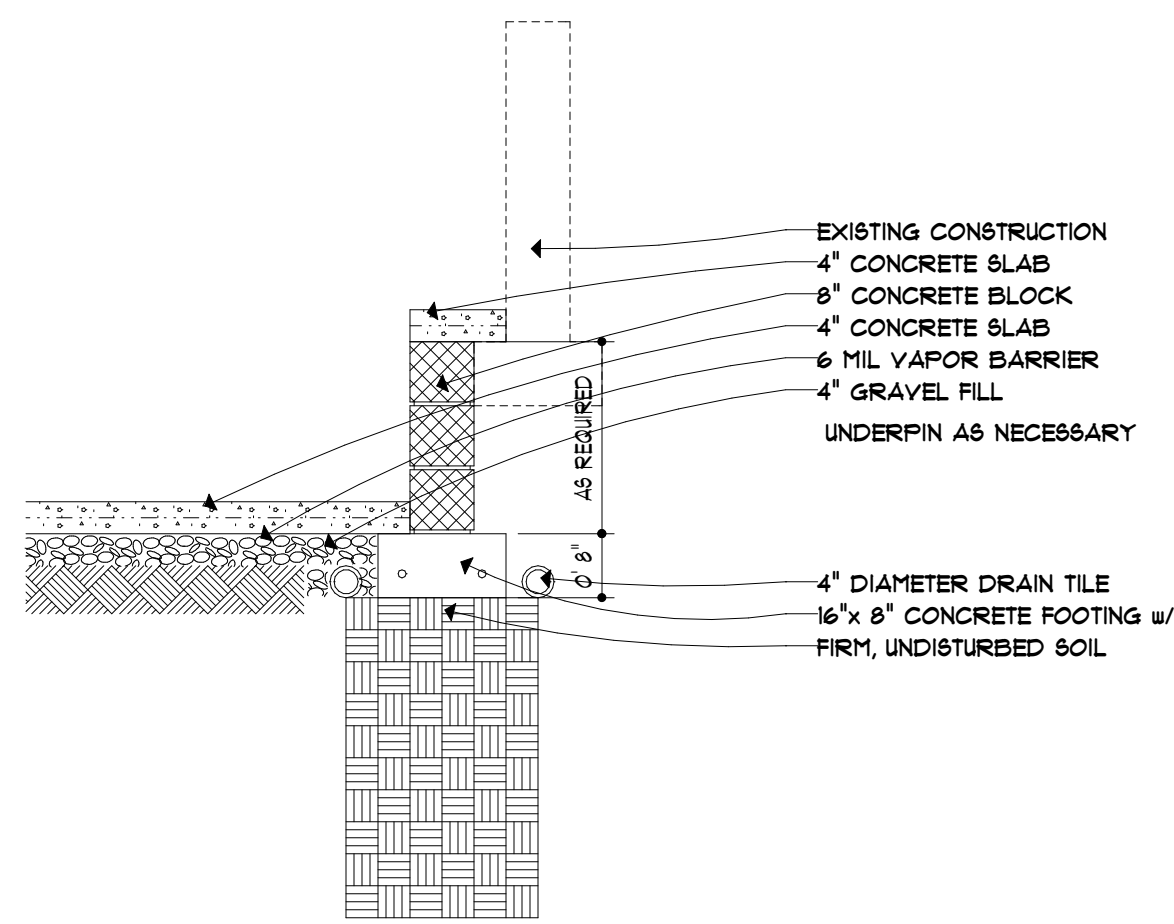
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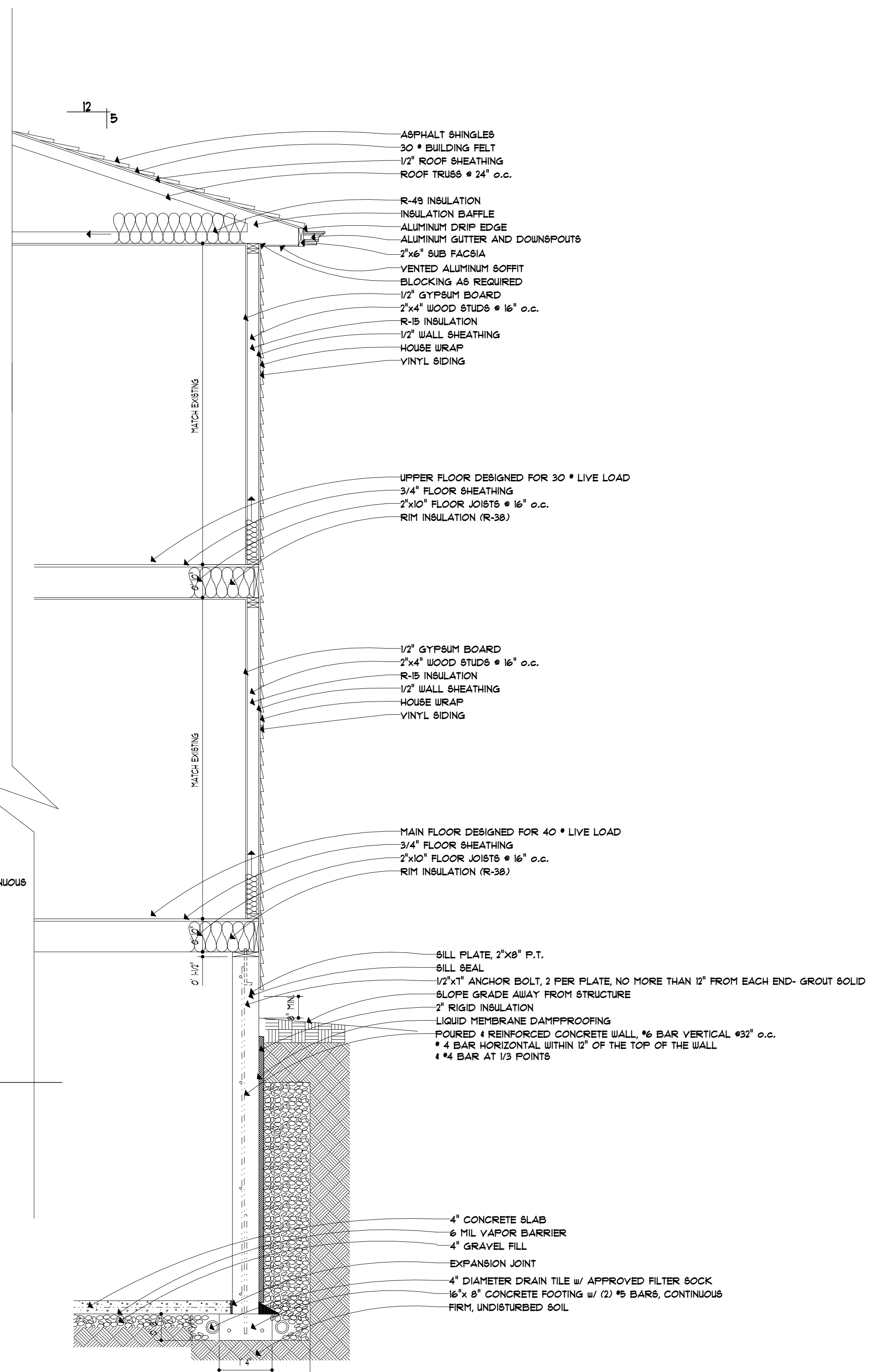
STEPHEN M. SCHILL LICENSE # 8971 EXPIRATION DATE: 03/31/2021



UPPER FLOOR PLAN SCALE: 1/4" = 1' 0"



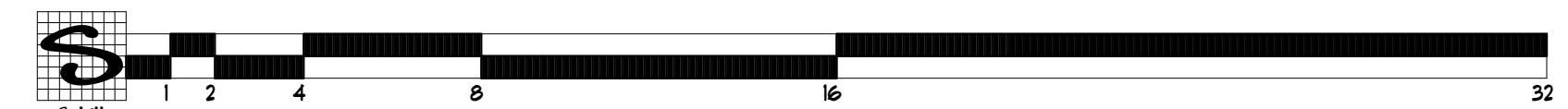
DETAIL SCALE: NONE



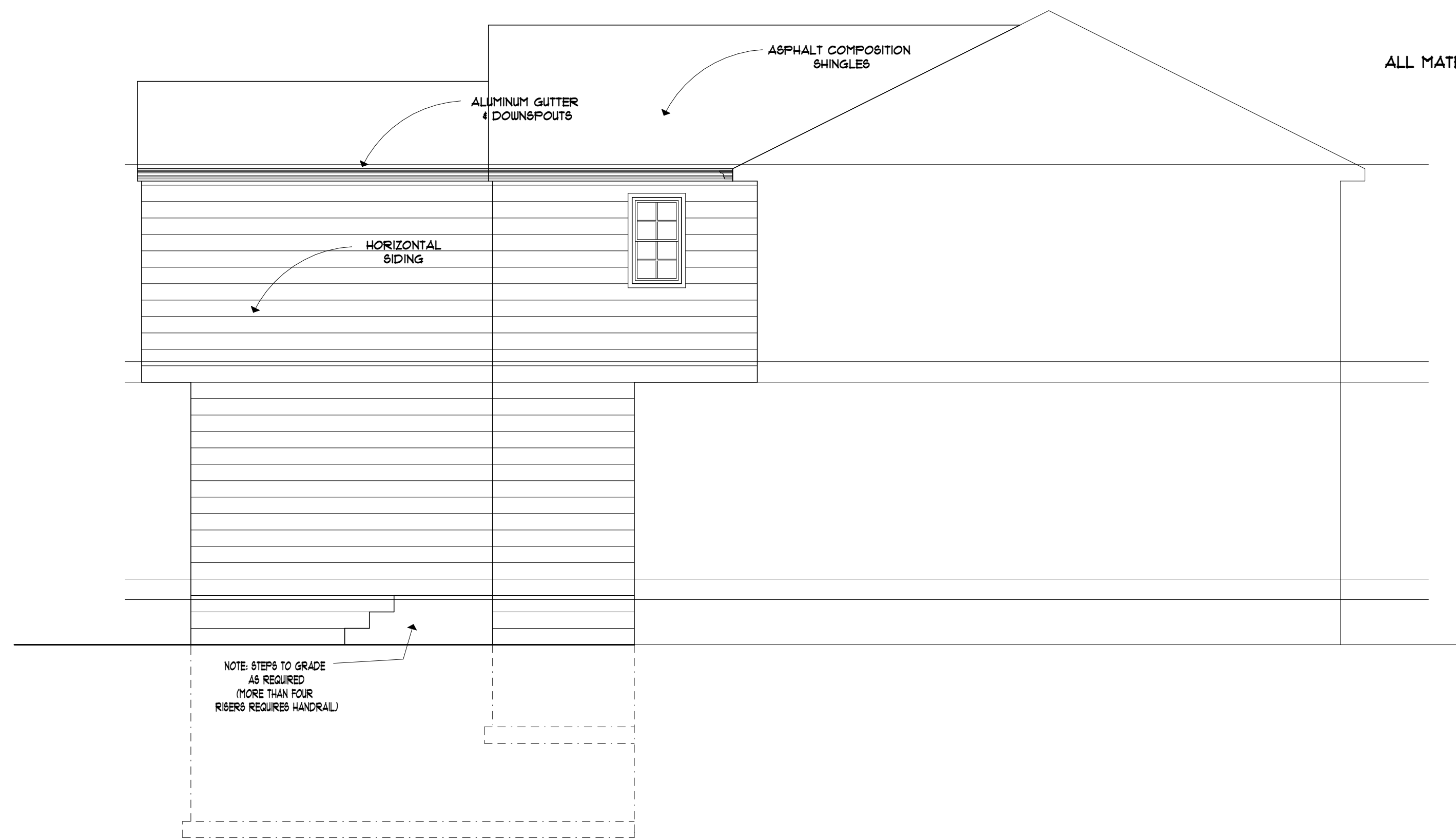
WALL SECTION SCALE: 1/2" = 1' 0"

MISCELLANEOUS PLANS SCALE: 1/4" = 1' 0"

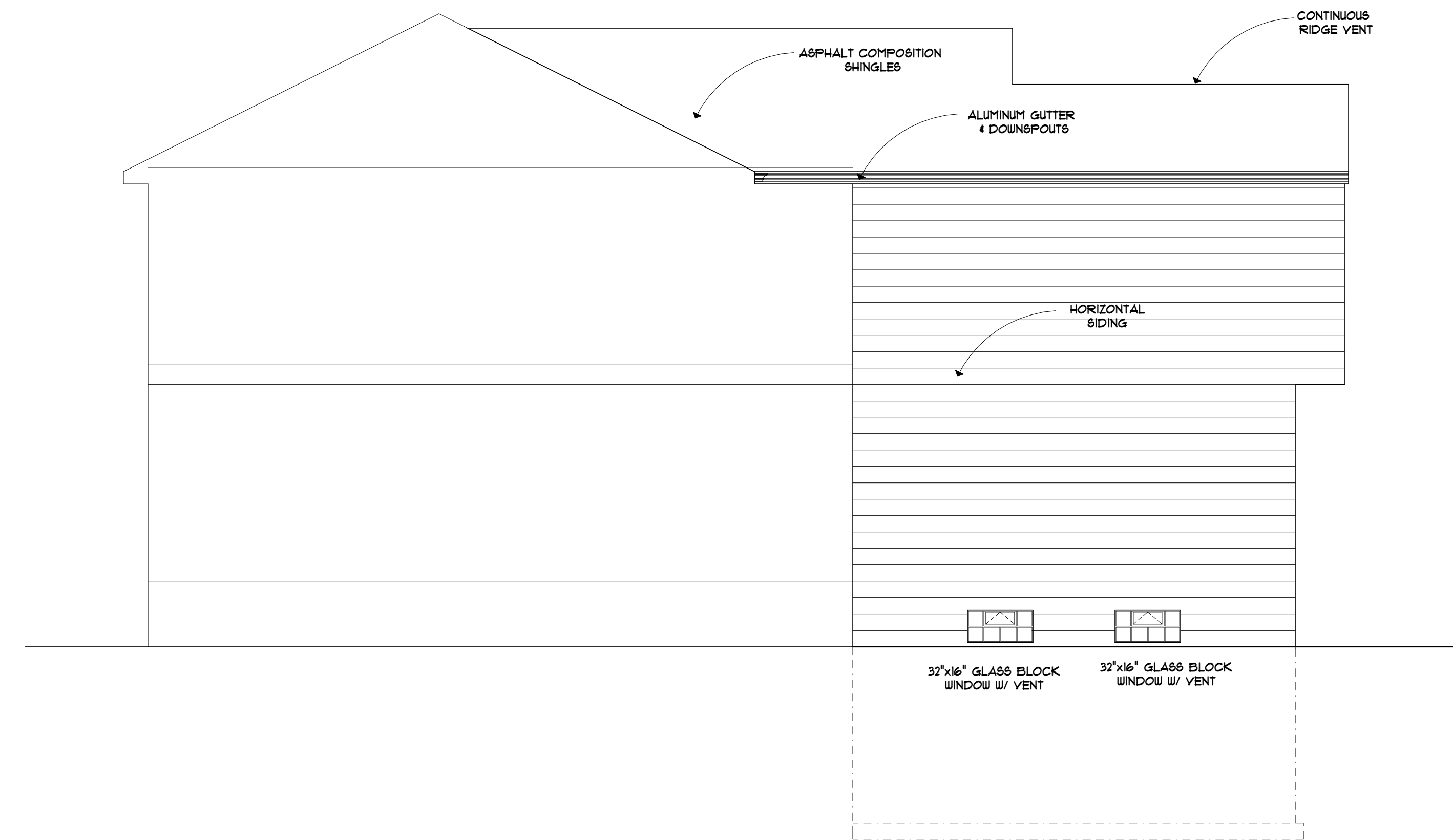
ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO



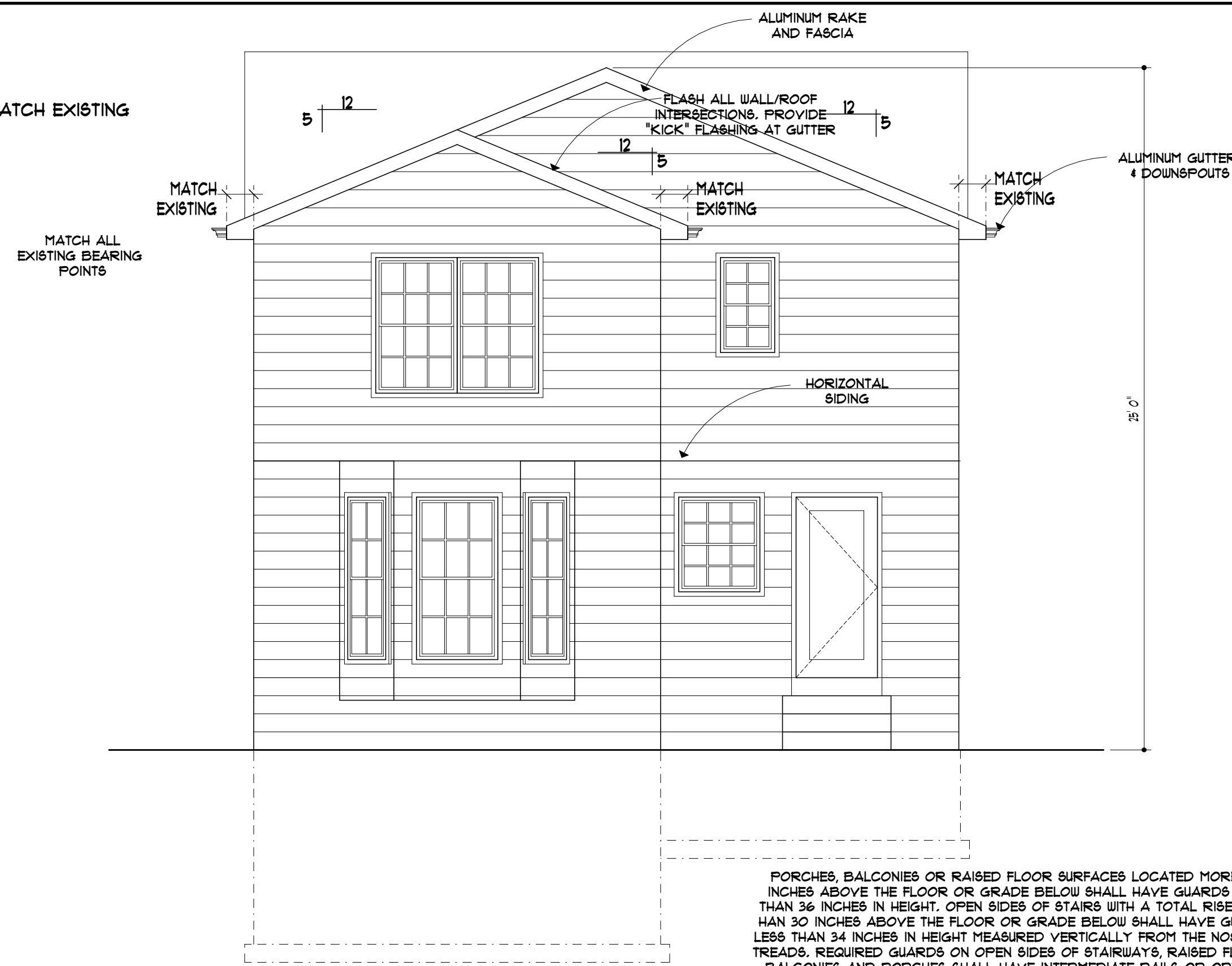
GRAPHIC SCALE



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' 0"

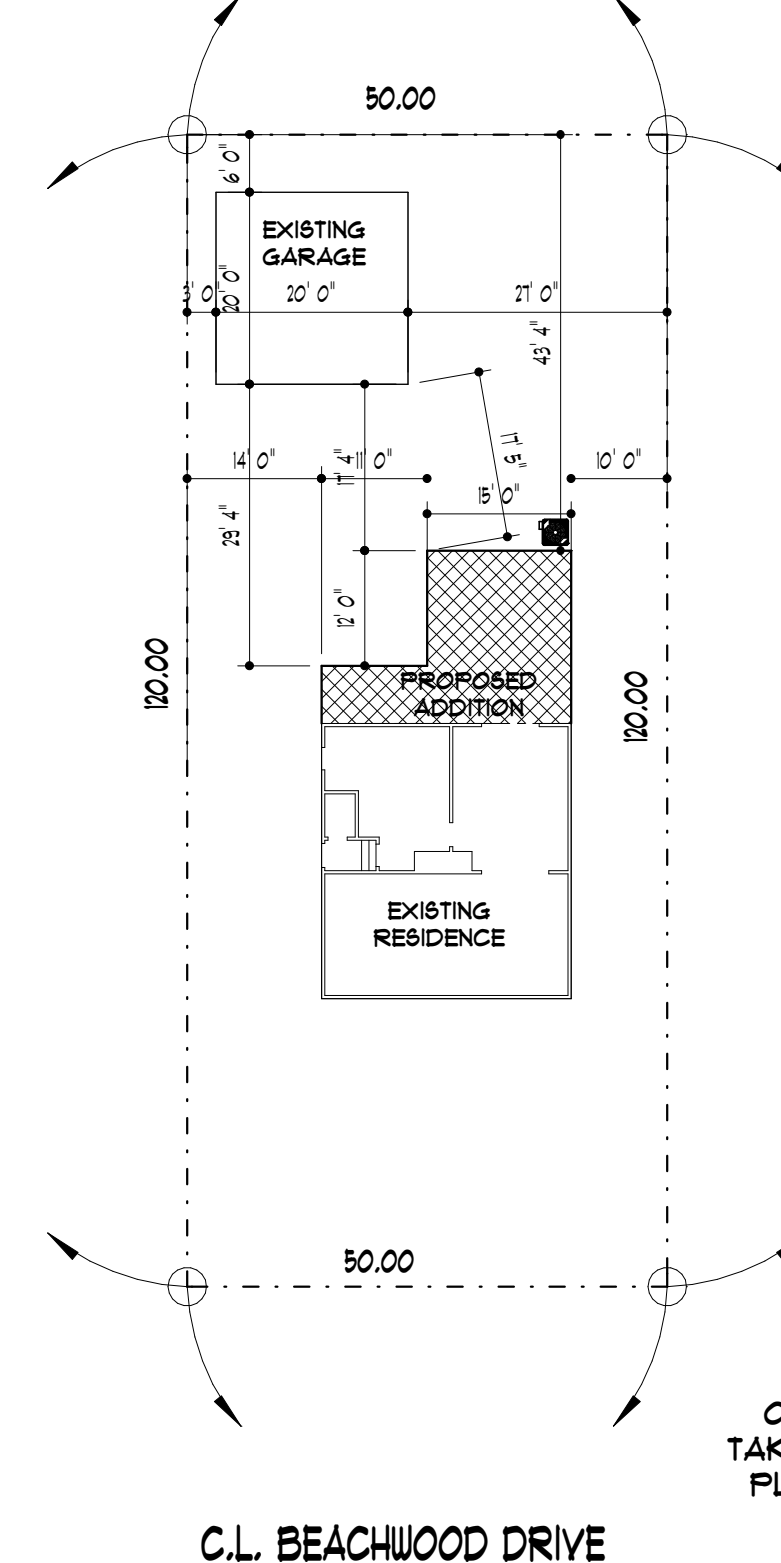


RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' 0"



REAR ELEVATION
SCALE: 1/4" = 1' 0"

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREA, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

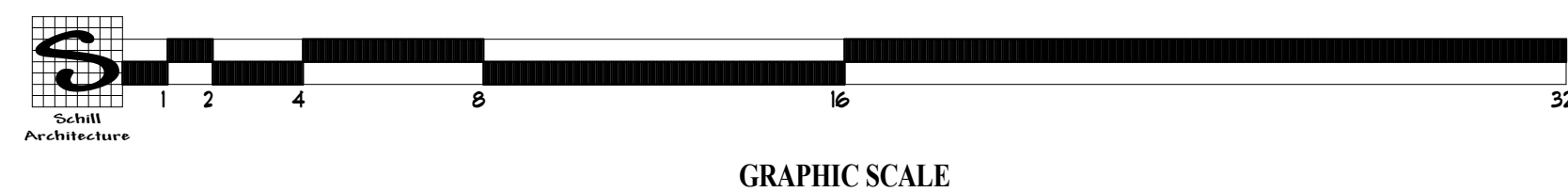


SITE DEVELOPMENT PLAN
SCALE: 1" = 20' 0"

ZONING ANALYSIS

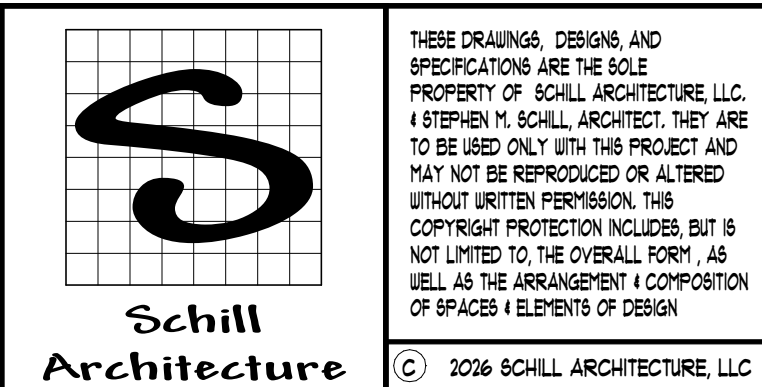
GRAVENS/MELLING RESIDENCE 20623 BEACHWOOD DRIVE, ROCKY RIVER, OHIO

STANDARD	CODE	PLAN	RESULT
ZONING CLASSIFICATION	R-1 SINGLE FAMILY	R-1 SINGLE FAMILY	O.K.
LOT AREA	EXISTING	6,000 EXISTING	O.K.
LOT COVERAGE (28%)	1,680 SQ.FT.	1,481 SQ.FT.	O.K.
BUILDING SETBACK- FRONT	N.A.	N.A.	O.K.
BUILDING SETBACK- REAR	25' 0"	43' 4"	O.K.
BUILDING SETBACK- LEFT SIDE	8' 0"	14' 0"	O.K.
BUILDING SETBACK- RIGHT SIDE	0"	10' 0"	O.K.
BUILDING HEIGHT	25' 0"	25' 0"	O.K.
GARAGE AREA	N.A.	N.A.	O.K.
CONDENSING UNIT LOCATION	SIDE/REAR YARD	REAR YARD	O.K.
GENERATOR LOCATION	N.A.	N.A.	O.K.



MISCELLANEOUS PLANS
SCALE: 1/4" = 1' 0"

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO



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TELEPHONE: 440.808.3485
FACSIMILE: 440.808.3485
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SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:
1. ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.
2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.
3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD-2"x4"	MATCH EXISTING
UPPER FLOOR	WOOD-2"x4"	MATCH EXISTING

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	296 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	349 SQ.FT.
UPPER LEVEL	431 SQ.FT.
UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	0,000 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
TOTAL AREA UNDER ROOF	1,076 SQ.FT.
REAR PORCH (NOT COVERED)	24 SQ.FT.
TOTAL PROJECT AREA	1,100 SQ.FT.

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

ISSUED FOR PERMIT	15 JAN 2026
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REV. NO.	DESCRIPTION	DATE
PROJECT:	ADDITION TO: A PRIVATE RESIDENCE	
LOCATION:	20623 BEACHWOOD DRIVE ROCKY RIVER, OHIO 44116 CUYAHOGA COUNTY PERMANENT PARCEL NUMBER: 30114-011	

SCALE:	AS NOTED	JOB NUMBER:	268NEYARG
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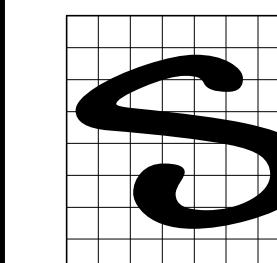
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STEPHEN M. SCHILL
REGISTERED ARCHITECT
1887

A-3

STEPHEN M. SCHILL, LICENSE # 8971
EXPIRATION DATE: 03/31/2021

DRAWING NUMBER



Schill
Architecture

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SCHILL ARCHITECTURE, LLC
TELEPHONE: 440.808.3485
FACSIMILE: 440.808.3485
WWW.SCHILLARCHITECTURE.COM

OFFICE ADDRESS: 180 CROSBY PARKWAY SUITE E WESTLAKE, OHIO 44145
EMAIL ADDRESS: STEVE@SCHILLARCHITECTURE.COM

DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:
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3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD-2"x4"	MATCH EXISTING
UPPER FLOOR	WOOD-2"x4"	MATCH EXISTING

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	296 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	349 SQ.FT.
UPPER LEVEL	431 SQ.FT.
UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	0,000 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
TOTAL AREA UNDER ROOF	1,076 SQ.FT.
REAR PORCH (NOT COVERED)	24 SQ.FT.
TOTAL PROJECT AREA	1,100 SQ.FT.

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND PRELACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

ISSUED FOR PERMIT	15 JAN 2026
-------------------	-------------

REV. NO.	DESCRIPTION	DATE
----------	-------------	------

PROJECT:
**ADDITION TO:
A PRIVATE RESIDENCE**
LOCATION: 20623 BEACHWOOD DRIVE
ROCKY RIVER, OHIO 44116
CUYAHOGA COUNTY
PERMANENT PARCEL NUMBER: 301-14-011

ADDITION PLANS

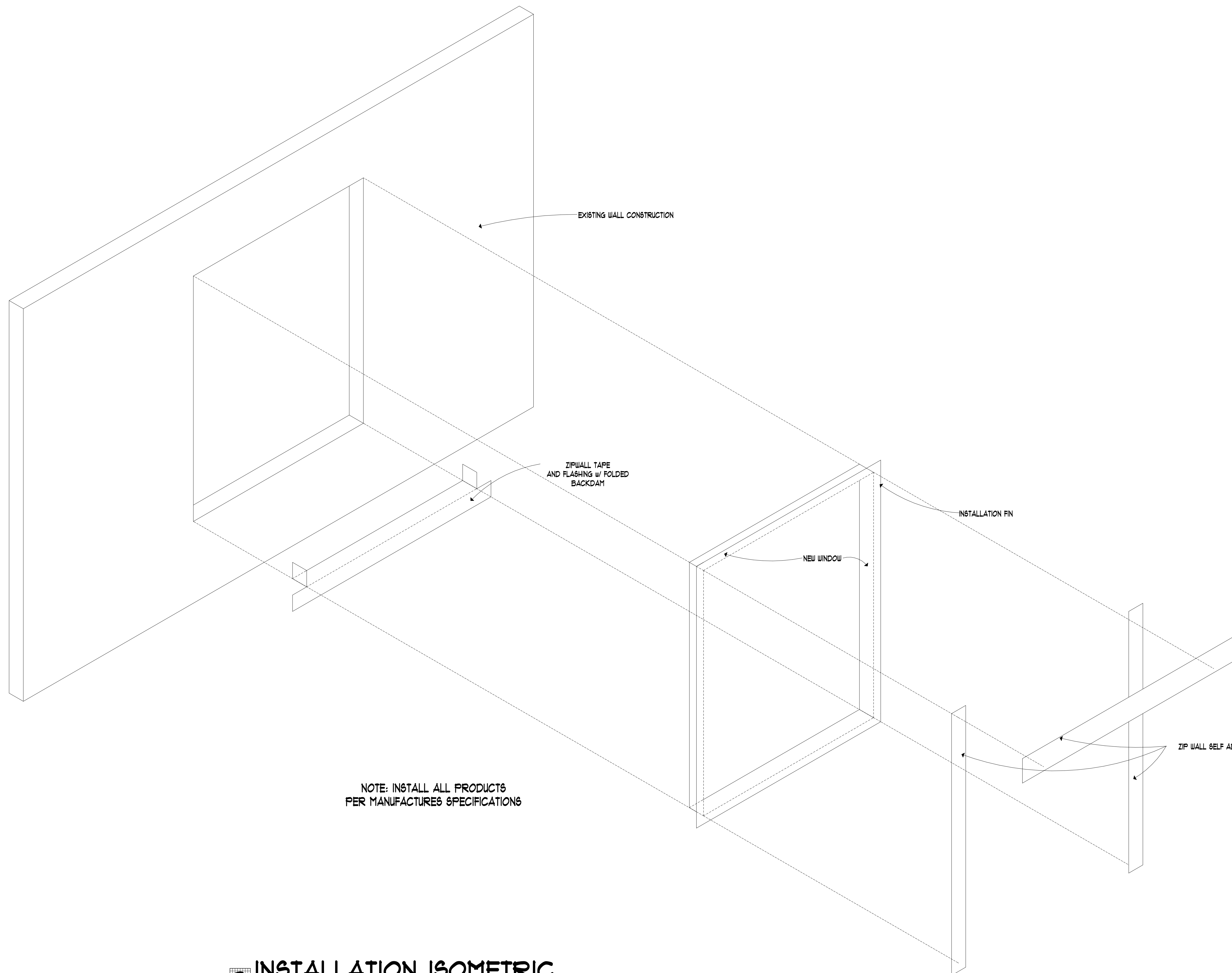
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DATE: 15 JANUARY 2026

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STEPHEN M. SCHILL, LICENSE # 8871
EXPIRATION DATE: 03/31/2021
DRAWING NUMBER

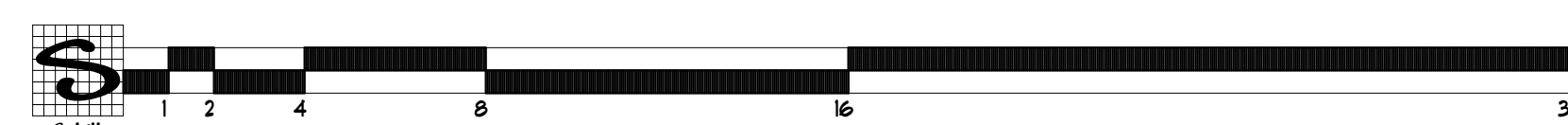


NOTE: INSTALL ALL PRODUCTS PER MANUFACTURERS SPECIFICATIONS

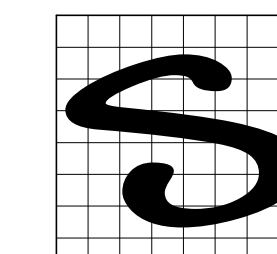
INSTALLATION ISOMETRIC
SCALE: NONE

DETAIL
SCALE: NONE

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 RESIDENTIAL CODE OF OHIO



GRAPHIC SCALE



Schill
Architecture

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SCHILL ARCHITECTURE, LLC
TELEPHONE: 440.808.3483
FACSIMILE: 440.808.3485
WWW.SCHILLARCHITECTURE.COM

OFFICE ADDRESS: 1650 CROSSING PARKWAY SUITE E WESTLAKE, OHIO 44145
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DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
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ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	100 P.S.F.	15 P.S.F.	115 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOFS (OTHER THAN SLEEPING ROOFS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOFS	30 P.S.F.	15 P.S.F.	45 P.S.F.
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ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	1000 P.S.F.	N.A.	1000 P.S.F.

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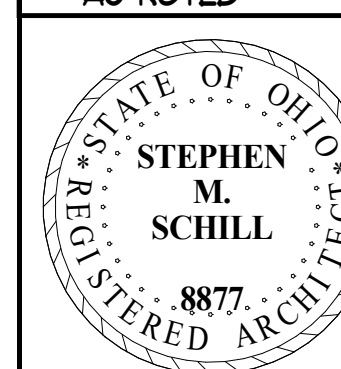
ISSUED FOR PERMIT 15 JAN 2026

REV. NO.	DESCRIPTION	DATE

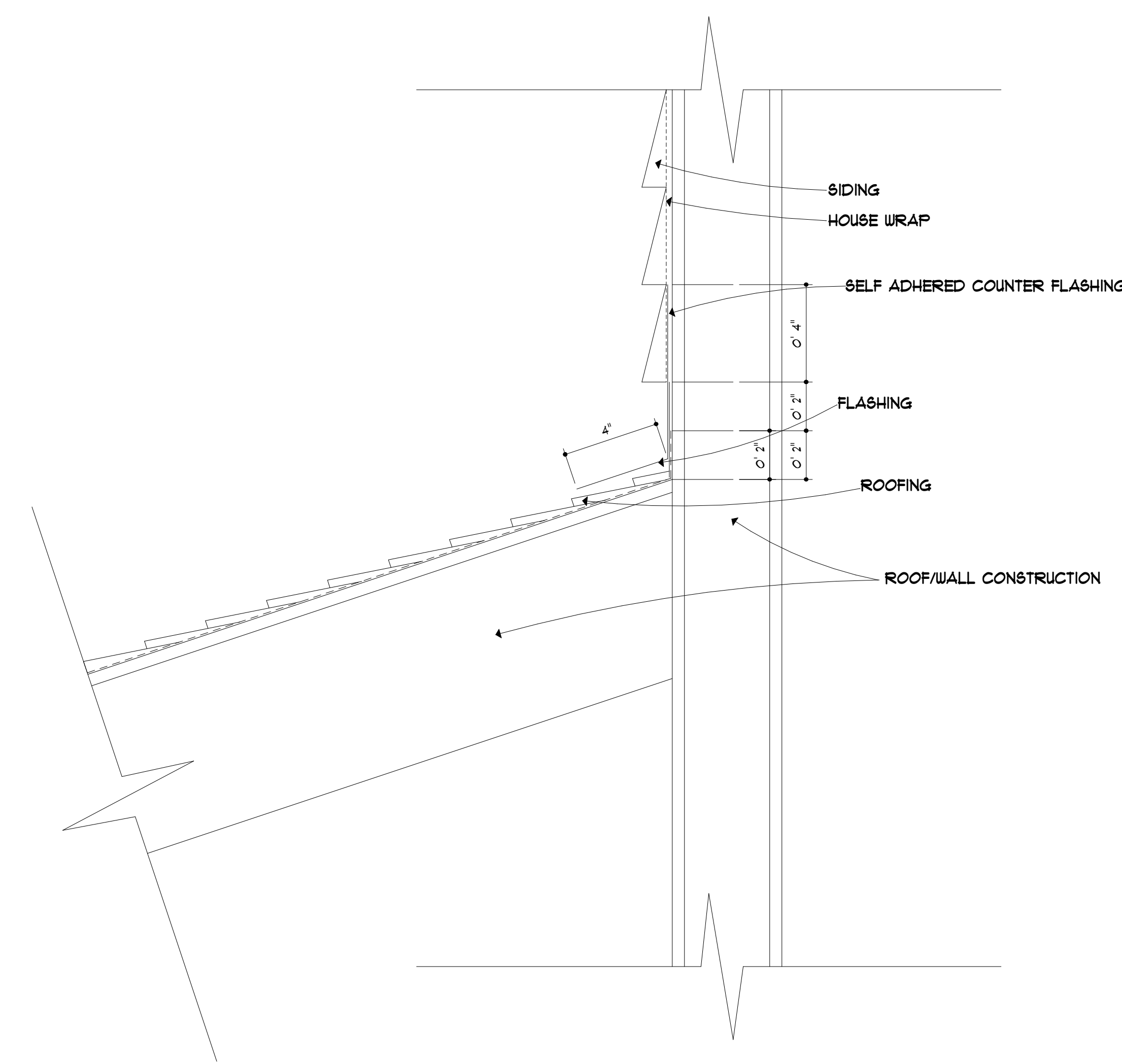
PROJECT: **ADDITION TO:
A PRIVATE RESIDENCE**
LOCATION: 20623 BEACHWOOD DRIVE
ROCKY RIVER, OHIO 44116
CUYAHOGA COUNTY
PERMANENT PARCEL NUMBER: 301-14-011

ADDITION PLANS

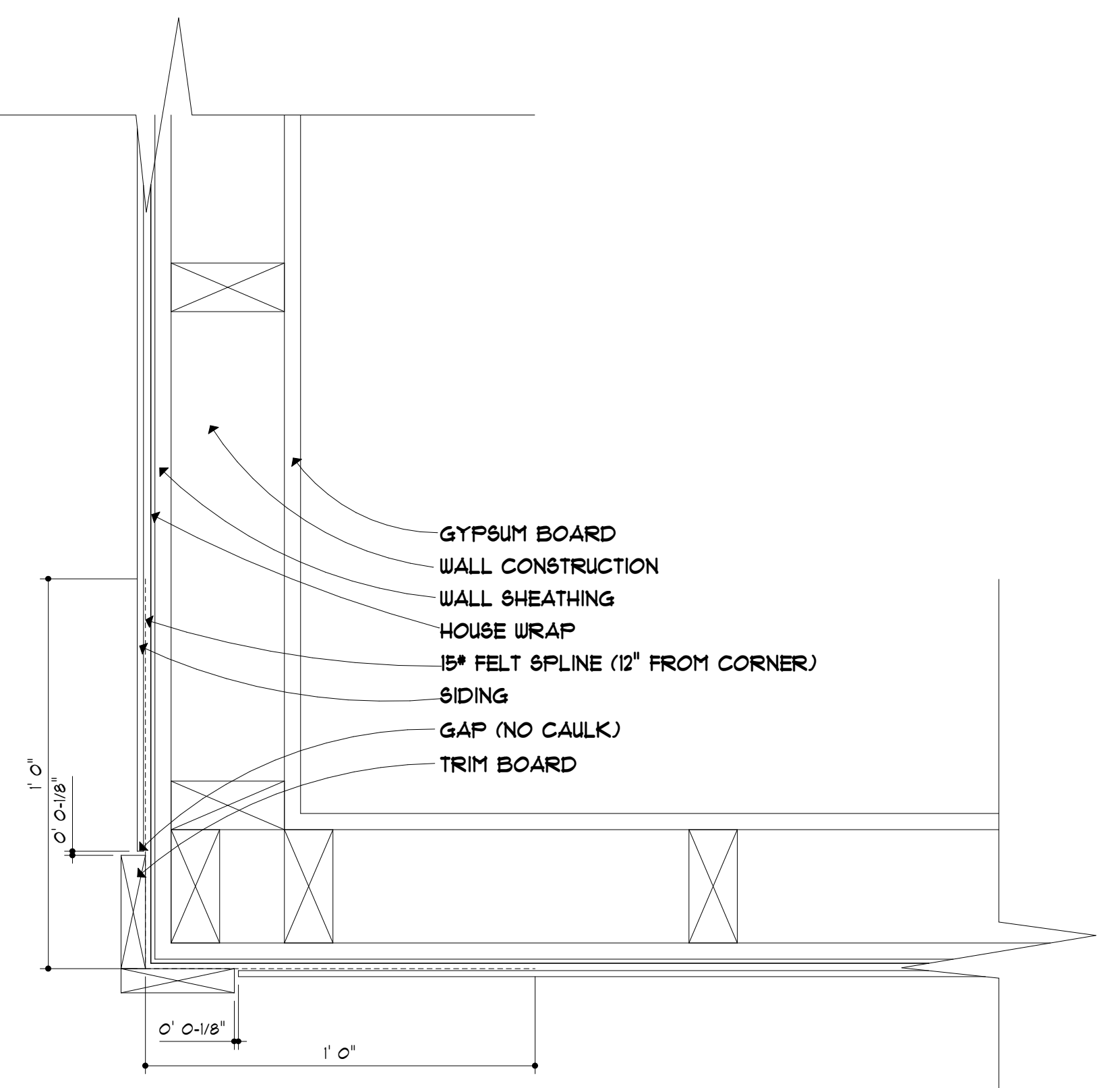
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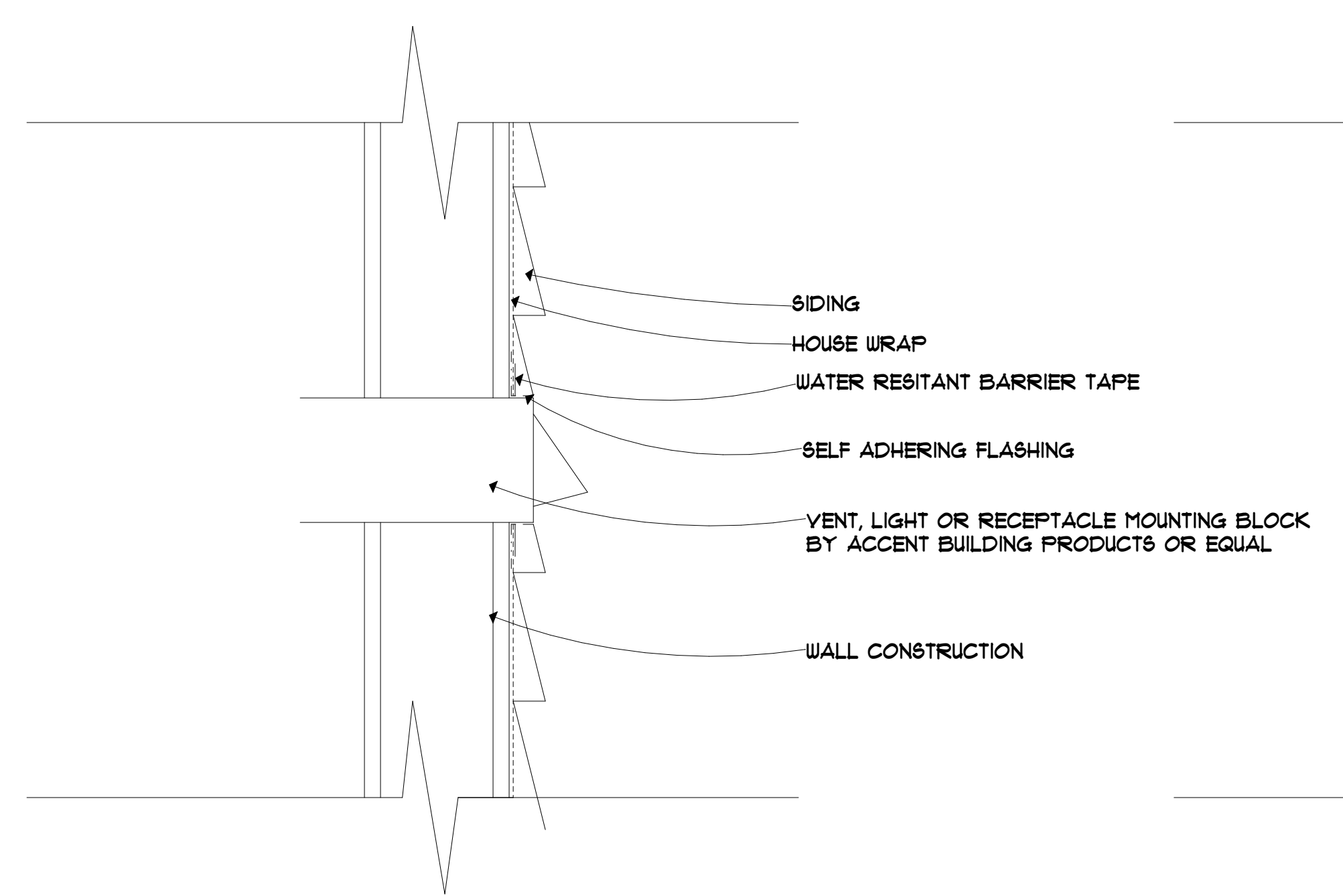
STEPHEN M. SCHILL, LICENSE # 8877
EXPIRATION DATE: 02/29/2021



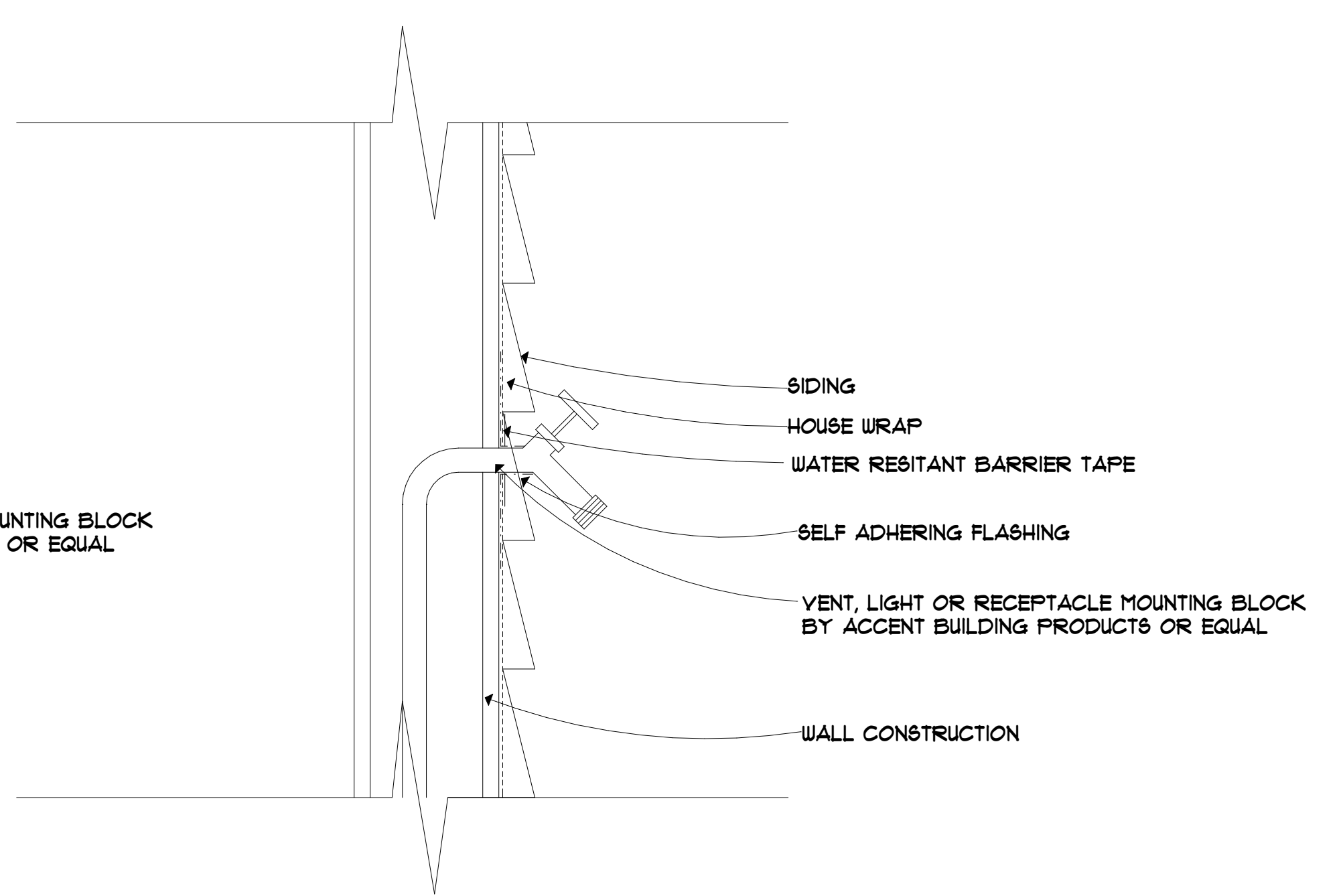
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SCALE: 3" = 1' 0"



DETAIL
SCALE: 3" = 1' 0"



DETAIL
SCALE: 3" = 1' 0"



DETAIL
SCALE: 3" = 1' 0"



DETAIL
SCALE: NONE

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO

FASTENING SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENERS a,b,c	SPACING OF FASTENERS
ROOF			
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" x 0.113")	-----
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" x 0.113")	-----
3	Ceiling joists not attached to parallel rafter, lips over partitions, face nail	3-10d	-----
4	Collar tie rafter, face nail or 1/4"x 20 gauge ridge strap	3-10d (3" x 0.128")	-----
5	Rafter to plate, toe nail	2-16d (3 1/2" x 0.135")	-----
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3 1/2" x 0.135") 3-16d (3 1/2" x 0.135")	-----

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENERS a,b,c	SPACING OF FASTENERS
WALL			
7	Built-up corner studs	10d(3" x 0.128")	24" o.c.
8	Built-up header, two pieces with 1/4" spacer	16d (3 1/2" x 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" x 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" x 0.113")	-----
11	Double studs, face nail	10d(3" x 0.128")	24" o.c.
12	Double top plates, face nail	10d(3" x 0.128")	24" o.c.
13	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" x 0.135")	24" o.c.
14	Sole plate to joist or blocking, face nail	16d (3 1/2" x 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 1/2" x 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	-----
17	Top or sole plate to stud, end nail	2-16d (3 1/2" x 0.135")	-----
18	Top plates, lips at corners and intersections, face nail	2-10d (3" x 0.128")	-----
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	-----
20	1"x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	-----
21	1"x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/2"	-----
22	Wider than 1"x 8" sheathing to each bearing, face nail	3-8d (2 1/2" x 0.113") 4 staples 1 1/2"	-----

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENERS a,b,c	SPACING OF FASTENERS
FLOOR			
23	Joist to sill or girder, toe nail	3-8d (2 1/2" x 0.113")	-----
24	1"x 6" subfloor or less to each joist, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/2"	-----
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" x 0.135")	-----
26	Rite joist to top plate, toe nail (roof applications also)	8d (2 1/2" x 0.113")	6" o.c.
27	2" planks (plank & beam - floor & roof)	2-16d (3 1/2" x 0.135")	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	Nail each layer as follows: 33" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" x 0.135")	At each joist or rafter

ITEM	DESCRIPTION OF BUILDING MATERIALS	NUMBER AND TYPE OF FASTENERS b,c,e	SPACING OF FASTENERS
30	3/8"-1/4"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof?)	6 12 g
31	19/32"-1"	8d common nail (2 1/2" x 0.131")	6 12 g
32	1 1/8"-1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6 12

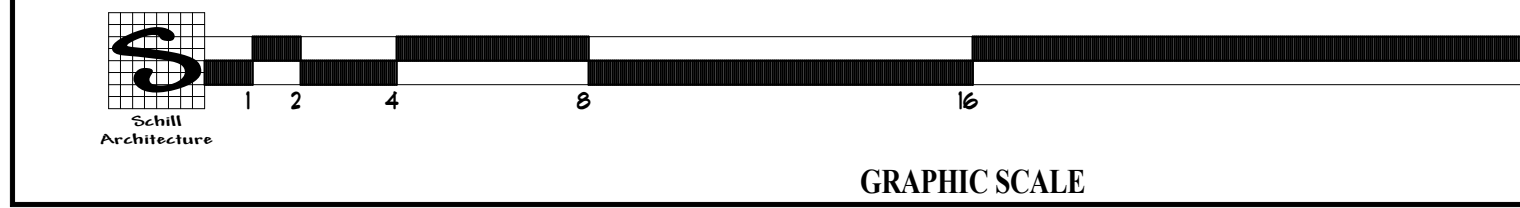
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING AND PARTICLEBOARD WALL SHEATHING TO FRAMING

ITEM	DESCRIPTION OF BUILDING MATERIALS	NUMBER AND TYPE OF FASTENERS b,c,e	SPACING OF FASTENERS
33	1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" crown or 1" crown staple 1/8" ga., 1/4" long	3 6
34	5/8" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" crown or 1" crown staple 1/8" ga., 1/4" long	3 6
35	1/2" gypsum sheathing d	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/8" screws, Type III or S	7 7
36	5/8" gypsum sheathing d	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/8" screws, Type III or S	7 7

WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING

ITEM	DESCRIPTION OF BUILDING MATERIALS	NUMBER AND TYPE OF FASTENERS b,c,e	SPACING OF FASTENERS
37	1/2" and less	6d deformed (2" x 0.130") nail or 8d common (2 1/2" x 0.131") nail	12 12
38	1/2"-1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.130") nail	12 12
39	1 1/8"-1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.130") nail	12 12

For 8d: 1 inch x 25.4 mm, 1 mill per hour x 0.441 m/s, 1 mil x 6.895 MPa.
 a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.132 inch (30d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.171 inch, and 100 ksi for shank diameters of 0.142 inch or less.
 b. Staples are 1/8" gauge wire and have a minimum 7/16-inch on diameter crown width.
 c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
 d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
 e. Spacing of fasteners not included in this table shall be based on Table 602.3(1).
 f. For regions having basic wind speed of 100 mph or greater, 8d deformed (2 1/2" x 0.130") nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gables and walls, if mean roof height is more than 25 feet, up to 35 feet maximum.
 g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable and wall framing shall be spaced 6 inches on center, when basic wind speed is greater than 100 mph nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls and 4 inches on center to gable and wall framing.
 h. Gypsum sheathing shall conform to ASTM C 398 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
 i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.



ALTERNATE ATTACHMENTS

WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING AND PARTICLEBOARD WALL SHEATHING TO FRAMING

NOMINAL MATERIAL THICKNESS (INCHES)/DESCRIPTION a,b OF FASTENERS (INCHES)	SPACING c OF FASTENERS	
	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
UP TO 1/2"	Staple 15 ga. 1 1/4" 0.091 - 0.099 Nail 2 1/4"	4 3
	Staple 16 ga. 1 1/4" 0.113 Nail 2	3 3
19/32 and 5/8"	Staple 15 and 16 ga. 2 0.091 - 0.099 Nail 2 1/4"	4 4
	Staple 14 ga. 2 Staple 15 ga. 1 1/4" 0.091 - 0.099 Nail 2 1/4"	4 3 4
23/32 and 3/4"	Staple 14 ga. 2 Staple 15 ga. 1 1/4" 0.091 - 0.099 Nail 2 1/4"	4 3 4
	Staple 16 ga. 2 0.113 Nail 2 1/4"	4 3

FLOOR UNDERLAYMENT: PLYWOOD-HARDWOOD-PARTICLEBOARD f

NOMINAL MATERIAL THICKNESS (INCHES)/DESCRIPTION a,b OF FASTENERS (INCHES)	SPACING c OF FASTENERS	
	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
PLYWOOD	1/4 and 5/16"	1/4 ring or screw shank, nail-minimum 1/8" ga. (0.099") shank diameter
	19/32, 3/8, 19/32, and 1/2"	1/4 ring or screw shank, nail-minimum 1/8" ga. (0.099") shank diameter
HARDBOARD f	0.200	1/4 ring or screw shank, nail-minimum 1/8" ga. (0.099") shank diameter
	19/32, 3/8, 30/32 and 3/4"	1/4 ring or screw shank, nail-minimum 1/8" ga. (0.099") shank diameter

PARTICLEBOARD	SPACING c OF FASTENERS	
	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
1/4	1 1/2 long ring-grooved underlayment nail	6
	4d cement-coated sinker nail	6
3/8	Staple 18 ga. 1/8 long (plastic coated)	3
	4d ring-grooved underlayment nail	3
1/2, 5/8	Staple 18 ga. 1/8 long, 3/16" crown	6
	6d ring-grooved underlayment nail	6
3/8	Staple 16 ga. 1/8 long, 3/8 crown	3
	6d ring-grooved underlayment nail	6
1/2, 5/8	Staple 16 ga. 1/8 long, 3/8 crown	3
	6d ring-grooved underlayment nail	6

For 8d: 1 inch x 25.4 mm.
 a. Nail is a general description and may be T-head, modified round head or round head.
 b. Staples shall have a minimum crown width of 3/16-inch on diameter except as noted.
 c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.
 d. Fasteners shall be placed in a grid pattern throughout the body of the panel.
 e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.
 f. Hardboard underlayment shall conform to CPAN/AISI A 135.4.

REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES a,b,c

MINIMUM NAIL SIZE	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)		
				Edges (Inches o.c.)	Field (Inches o.c.)	Wind exposure category		
6d Common (2.0" x 0.113")	15	24/0	3/8	6	12	10	30	85
8d Common (2.5" x 0.131")	17B	24/6	1/2	6	12	130	110	105
			24	6	12	110	90	85

For 8d: 1 inch x 25.4 mm, 1 mill per hour x 0.441 m/s.
 a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
 b. Table is based on wind pressures acting toward and away from building surfaces per Section 301.2. Lateral bracing requirements shall be in accordance with Section 602.10.
 c. Wood Structural Panels with span ratings of 15/16 or 17B/24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 oc or 24 oc shall be permitted as an alternate to panels with a 24/6 span rating. Wall-16 and Plywood siding 16 oc shall be used with studs spaced a maximum of 16 inches on center.

SPECIFICATIONS
 SCALE: NONE
 ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 RESIDENTIAL CODE OF OHIO

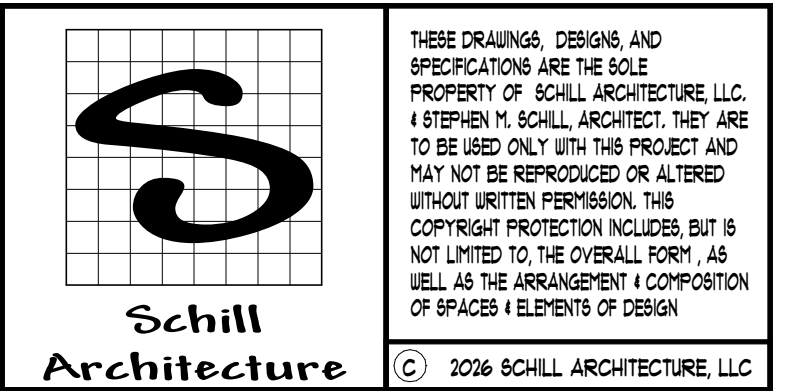
2019 RESIDENTIAL CODE OF OHIO COMPLIANCE PATH OPTIONS

CLIMATE ZONE 5- SELECT ONE OPTION

DESCRIPTION	OPTION 1 2009 IECC	OPTION 2 RCO 110/1004	OPTION 3 RCO 1105 (OHBA) OPTION 3A OHBA PATH 1	OPTION 3B OHBA PATH 2
MINIMUM PENETRATION U-FACTOR (ALL GLAZED PENETRATION EXCEPT SKYLIGHTS)	0.35	0.35	0.32	0.32
SKYLIGHT PENETRATION U-FACTOR	0.60	0.60	0.60	0.60
CEILING R-VALUE	R-38	R-38	R-49	R-49
WOOD FRAMED WALL R-VALUE	20 OR 13 1/2 *	20 OR 13 1/2 *	15 OR 13 1/2 *	13
MASS WALL R-VALUE (ABOVE GRADE WALLS OF CONCRETE BLOCK, ICE, SOLID TIMBER LOGS, ETC.)	13/11	13/11	13/11	13/11
FRAMED FLOOR R-VALUE	30 **	30 **	30 **	30 **
BASEMENT WALL R-VALUE	10/13 ** (FULL)	10/13 ** (FULL)	10/13 ** (MIN. 4 FT.)	10/13 ** (MIN. 4 FT.)
SLAB R-VALUE (A)	R-10 # 2 FT.	R-10 # 2 FT.	R-10 # 2 FT.	R-10 # 2 FT.
CRAWL SPACE WALL R-VALUE	10/13 **	10/13 **	10/13 **	10/13 **
BLOWER DOOR TEST	YES (E)	YES (E)	YES (D)	YES (D)
DUCTS MUST BE TESTED FOR FOR TIGHTNESS (IECC 403.2.2)	YES (C)	YES (C)	YES (C) (D)	YES (C) (D)
SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF (E)	R-8	R-8	R-8	R-8
ALL OTHER DUCTS (OUTSIDE THE BUILDING ENVELOPE) SHALL BE SEALED AND INSULATED TO A MINIMUM OF (E)	R-6	R-6	R-6	R-6
AIR SEALING (IECC 402.4) OF FLUTES, WALLS, WINDOWS, DOORS, UTILITY PENETRATIONS, ATTIC ACCESS, RECESSES	YES	YES	YES	YES
WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR (F)	YES	YES	YES	YES
ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACE SHALL BE WEATHERSTRIPPED	YES	YES	YES	YES
CIRCULATING HOT WATER SYSTEMS PIPING SHALL BE INSULATED TO AT LEAST R- (PER SECTION 1103.4)	R-2 (ALL)	R-2 (ALL)	R-2 (FIRST 5 FT.)	R-2 (FIRST 5 FT.)
MECHANICAL SYSTEM PIPING (ABOVE 105 F OR BELOW 55 F MUST BE INSULATED TO A MINIMUM OF	R-3	R-3	R-3	R-3
MINIMUM PERCENTAGE OF HIGH EFFICIENCY LIGHT FIXTURES	50%	50%	75%	75%
PROGRAMMABLE THERMOSTAT REQUIRED	YES	YES	YES	YES
PERMANENT CERTIFICATE SHALL BE POSTED ON THE ELECTRICAL PANEL	YES	YES	YES	YES
FURNACE EFFICIENCY RATING	EQUIPMENT SIZING SHALL MEET SECTION M140.0 OF THE IRC			
AIR CONDITIONING SEER RATING	EQUIPMENT SIZING SHALL MEET SECTION M140.0 OF THE IRC			

NOTES:
 * 13 1/2 MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING (LIKEWISE FOR 13-3)
 ** OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY
 # 10/13 MEANS R-10 CONTINUOUS INSULATION (ON THE INTERIOR OR EXTERIOR) OR R-13 CAVITY INSULATION ON THE BASEMENT/CRAWL WALL
 (A) FOR HEATED SLABS R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R VALUE
 (B) EXCEPTION: COMPLIANCE MAY BE DETERMINED BY A VISUAL INSPECTION BASED ON THE CRITERIA LISTED IN IECC TABLE 402.4.2 (IN LIEU OF BLOWER DOOR)
 (C) EXCEPTION: DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE
 (D) THIS REQUIREMENT WILL TAKE EFFECT ONE YEAR AFTER THE EFFECTIVE DATE OF THIS RULE (1/1/14)
 (E) BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS
 (F) EXCEPTION: FIRE MANUFACTURED FIREPLACES MUST BE INSTALLED PER MANUFACTURERS INSTRUCTIONS (WHICH MAY OR MAY NOT INCLUDE GASKETED DOORS AND OUTSIDE AIR)

(OHBA) OHIO HOME BUILDERS ASSOCIATION
 (RCO) RESIDENTIAL CODE OF OHIO
 (IECC) INTERNATIONAL ENERGY CONSERVATION CODE



SCHILL ARCHITECTURE, LLC
 TELEPHONE: 440.808.3483
 FACSIMILE: 440.808.3485
 WWW.SCHILLARCHITECTURE.COM

DESIGN LOADS			
COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:
 1. ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.
 2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.
 3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY		
SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	8' 0"
MAIN FLOOR	WOOD-2"x4"	MATCH EXISTING
UPPER FLOOR	WOOD-2"x4"	MATCH EXISTING

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	296 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	349 SQ.FT.
UPPER LEVEL	431 SQ.FT.
UPPER LEVEL (VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
TOTAL HEATED AREA	1,076 SQ.FT.
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	0,000 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
REAR PORCH (NOT COVERED)	24 SQ.FT.
TOTAL AREA UNDER ROOF	1,076 SQ.FT.
TOTAL PROJECT AREA	1,100 SQ.FT.

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

ISSUED FOR PERMIT: 15 JAN 2026

REV. NO. DESCRIPTION DATE

PROJECT: **ADDITION TO: A PRIVATE RESIDENCE**

LOCATION: 20623 BEACHWOOD DRIVE
 ROCKY RIVER, OHIO 44116
 CUYAHOGA COUNTY
 PERMANENT PARCEL NUMBER: 30114-011

ADDITION PLANS

SCALE: AS NOTED

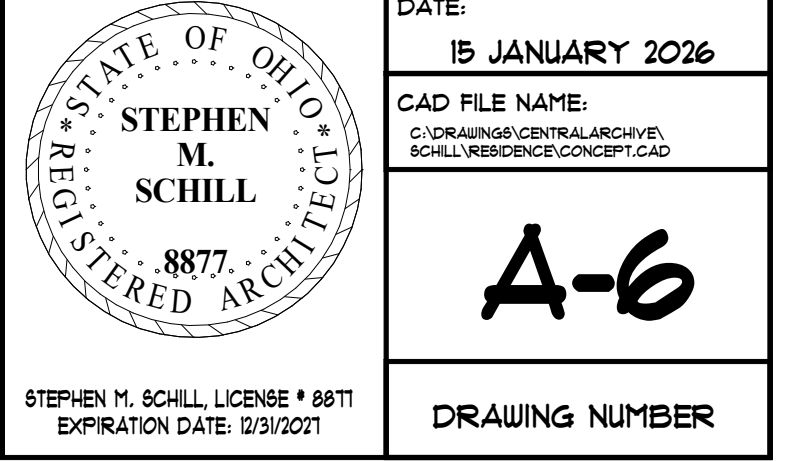
JOB NUMBER: 268NEYARG

DATE: 15 JANUARY 2026

CAD FILE NAME: C:\DRAWING\CENTRAL\ARCH\SCHILL\RESIDENCE\CONCEPT\CAD

A-6

DRAWING NUMBER



STEPHEN M. SCHILL, LICENSE # 8877
 EXPIRATION DATE: 03/31/2021