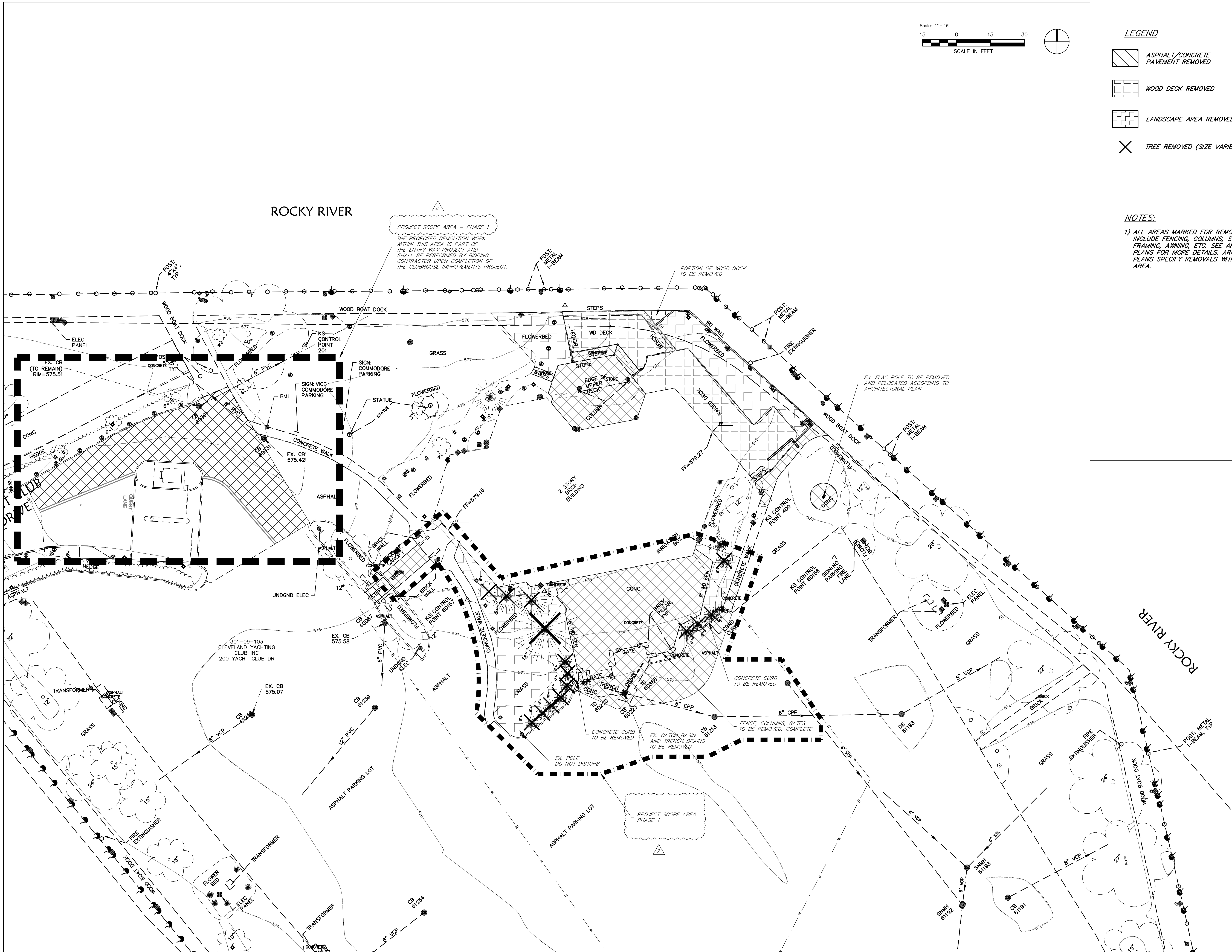




LEGEND

ASPHALT/CONCRETE PAVEMENT REMOVED

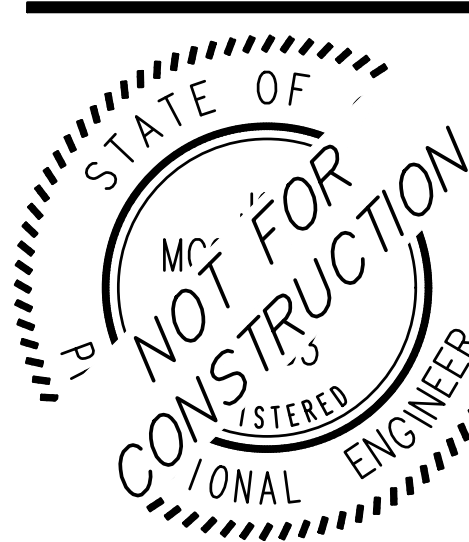
WOOD DECK REMOVED

LANDSCAPE AREA REMOVED

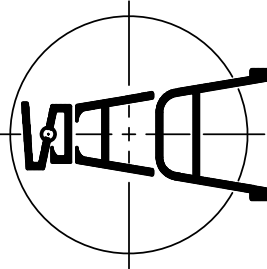
TREE REMOVED (SIZE VARIES 4"-18")

NOTES:

1) ALL AREAS MARKED FOR REMOVAL SHALL INCLUDE FENCING, COLUMNS, STEPS, FRAMING, AWNING, ETC. SEE ARCHITECTURAL PLANS FOR MORE DETAILS. ARCHITECTURAL PLANS SPECIFY REMOVALS WITHIN FENCED AREA.



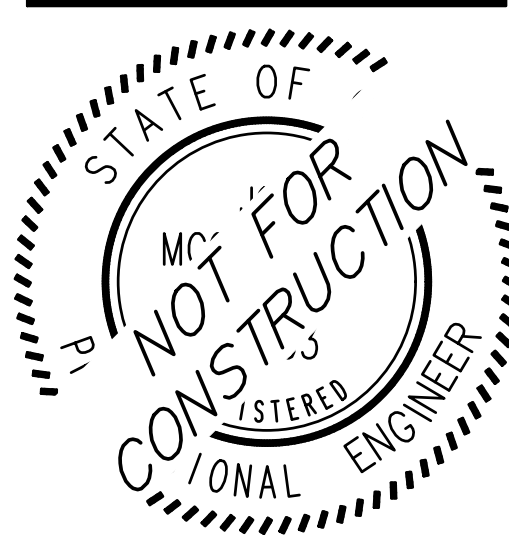
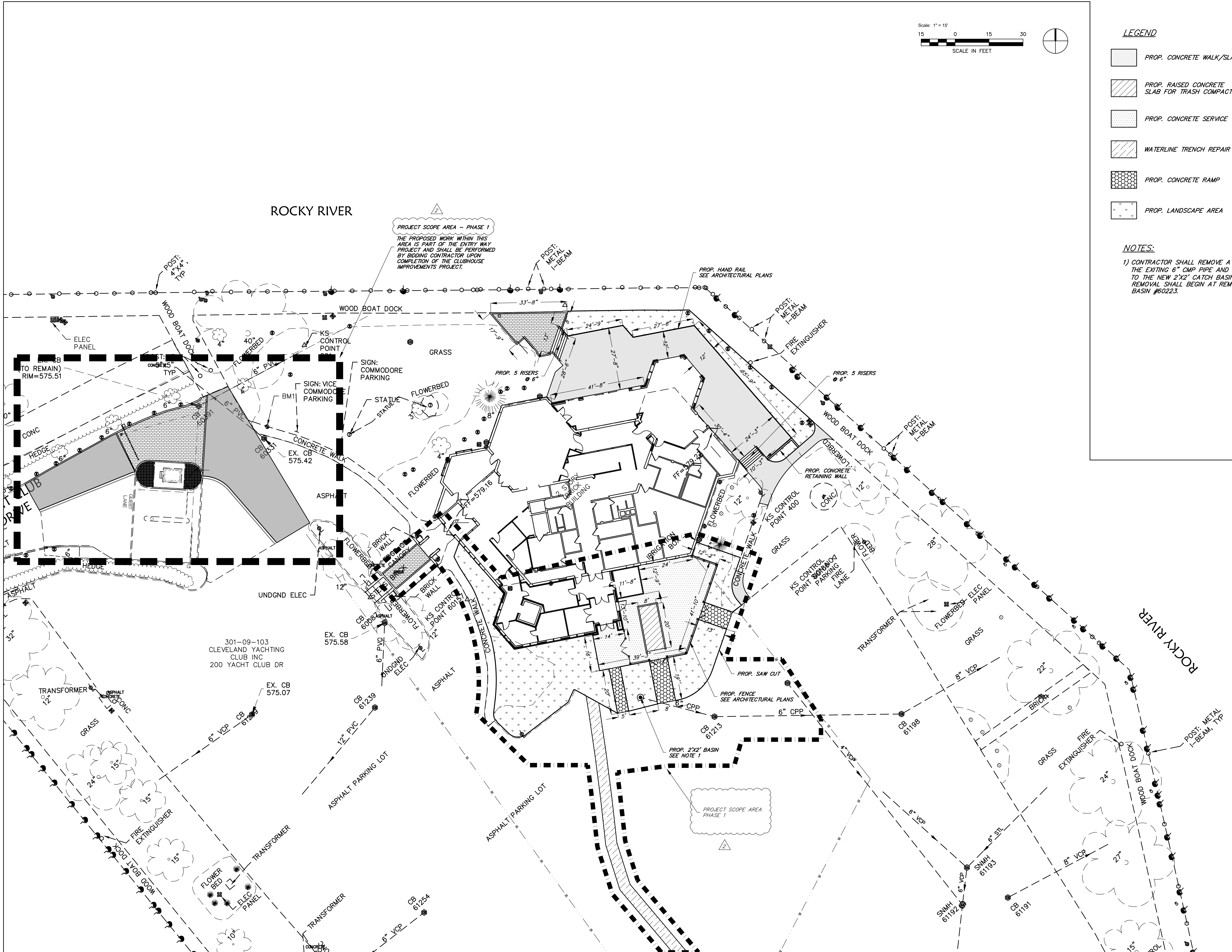
STEPHEN HOVANCSEK & ASSOCIATES, INC.
CONSULTING ENGINEERS AND PLANNERS
TWO MERIT DRIVE
RICHMOND HEIGHTS, OHIO 44143
216-731-6255 (FAX)



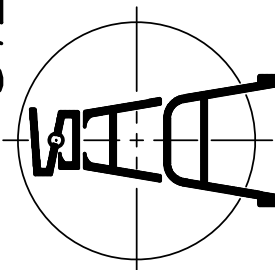
25-073
2025 CLUBHOUSE IMPROVEMENTS
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
100% CD	04-08-2026
1 Addendum No. 01	04-28-2026
2 Addendum No. 02	07-10-2026

EXISTING SITE AND DEMOLITION PLAN



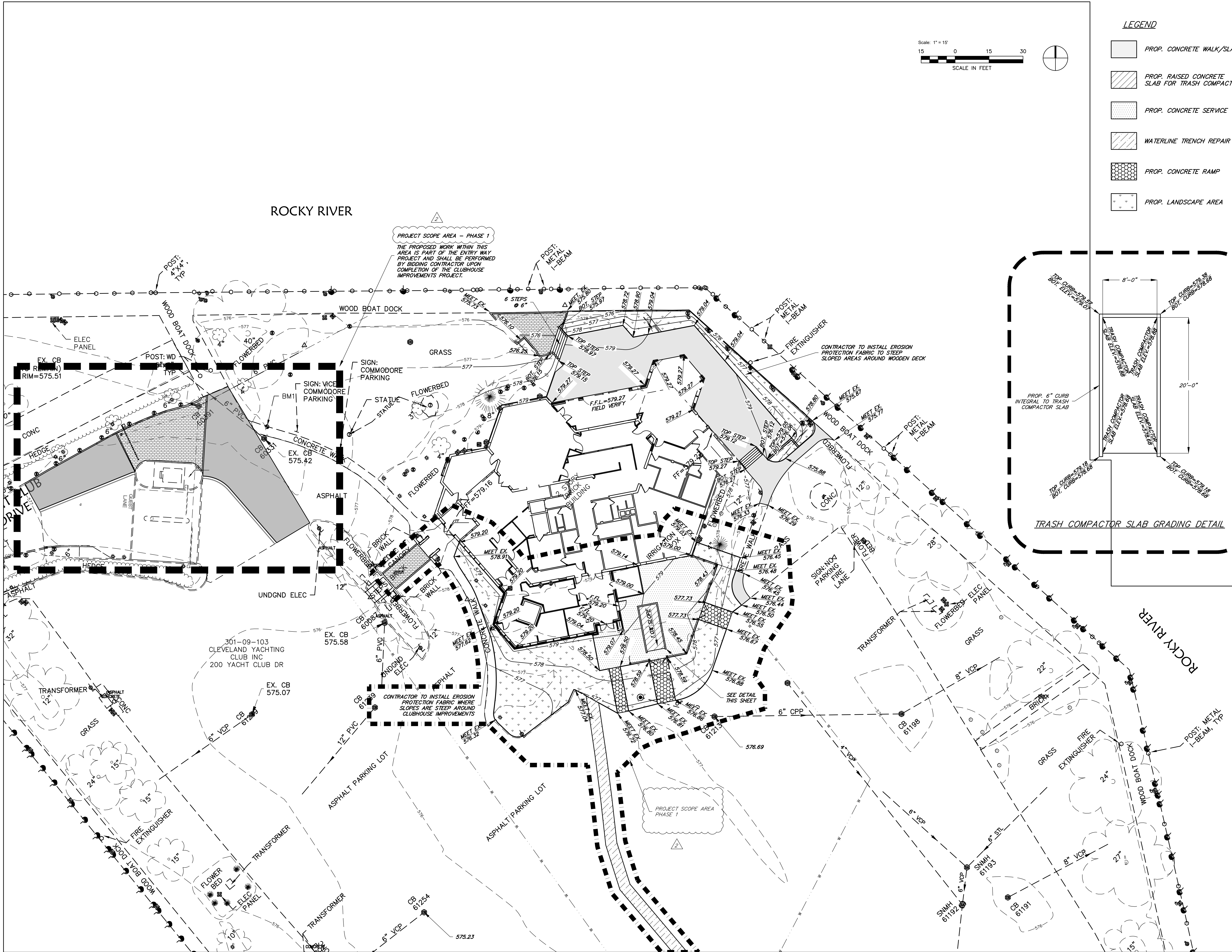
STEPHEN HOVANCSEK & ASSOCIATES, INC.
CONSULTING ENGINEERS AND PLANNERS
TWO MERIT DRIVE
RICHMOND HEIGHTS, OHIO 44143
216-731-6255
216-731-4483 (FAX)



2025 CLUBHOUSE IMPROVEMENTS
Cleveland Yachting Club
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Rocky River, Ohio 44116

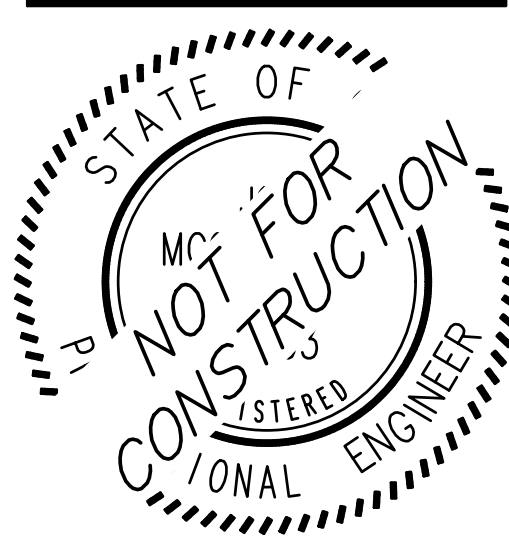
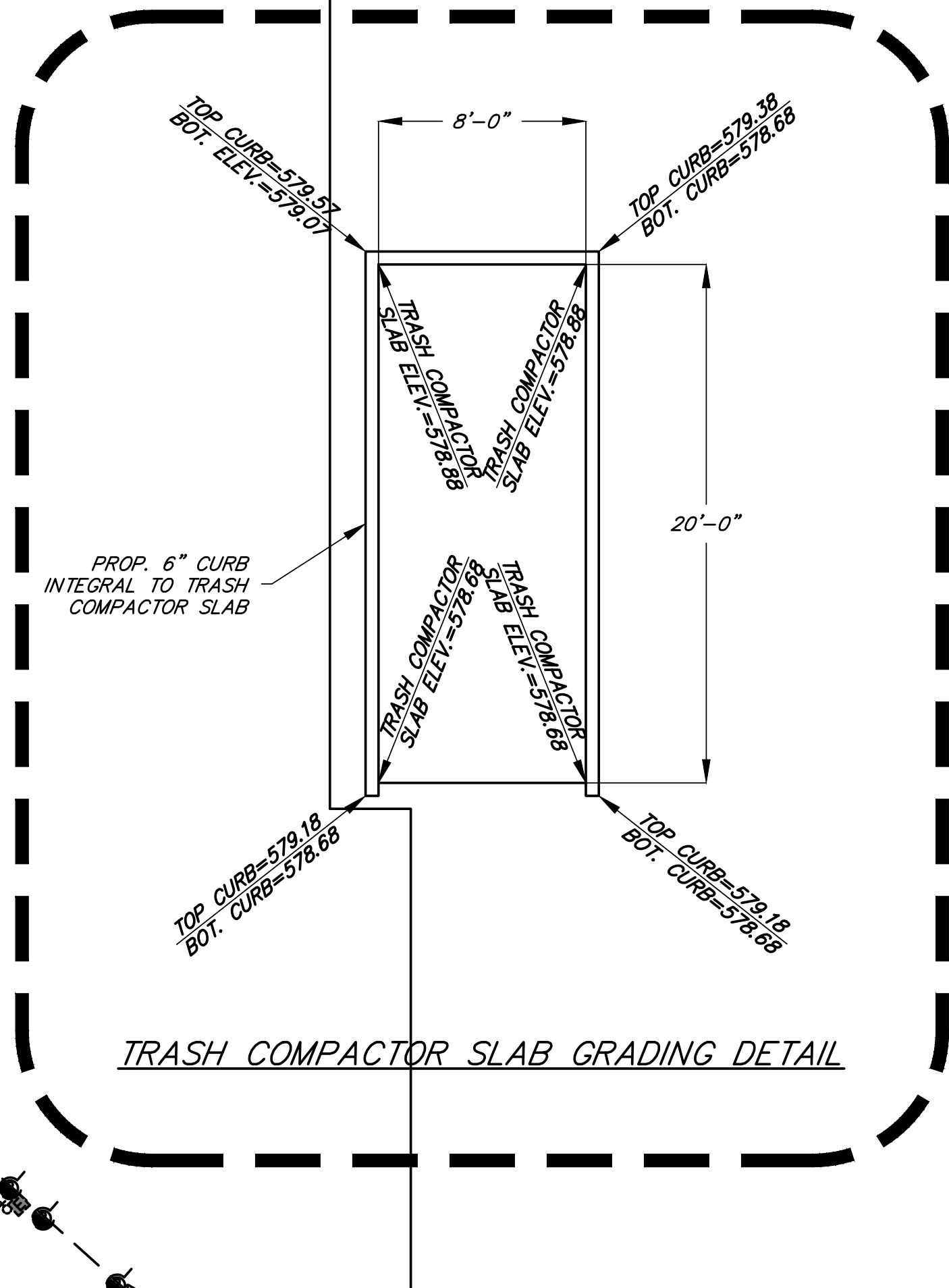
ISSUE	DATE
100% CD	04-08-2026
1 Addendum No. 01	04-28-2026
2 Addendum No. 02	07-10-2026

SITE AND

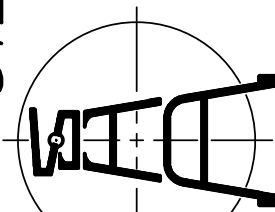


LEGEND

- PROP. CONCRETE WALK/SLAB ON GRADE PATIO
- PROP. RAISED CONCRETE SLAB FOR TRASH COMPACTOR
- PROP. CONCRETE SERVICE YARD
- WATERLINE TRENCH REPAIR
- PROP. CONCRETE RAMP
- PROP. LANDSCAPE AREA



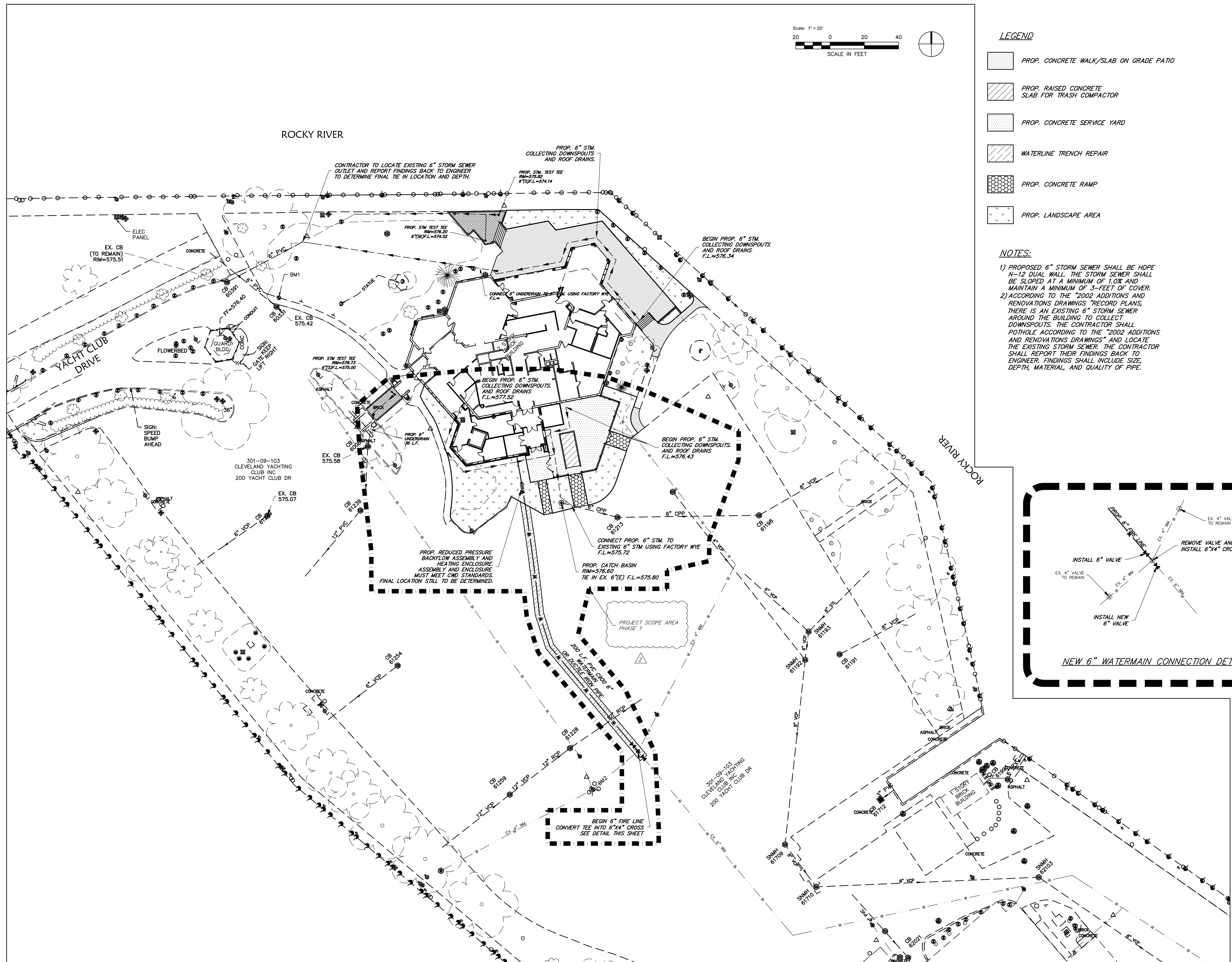
STEPHEN HOVANCSEK & ASSOCIATES, INC.
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TWO MERIT DRIVE
RICHMOND HEIGHTS, OHIO 44143
216-731-6255 216-731-4483 (FAX)

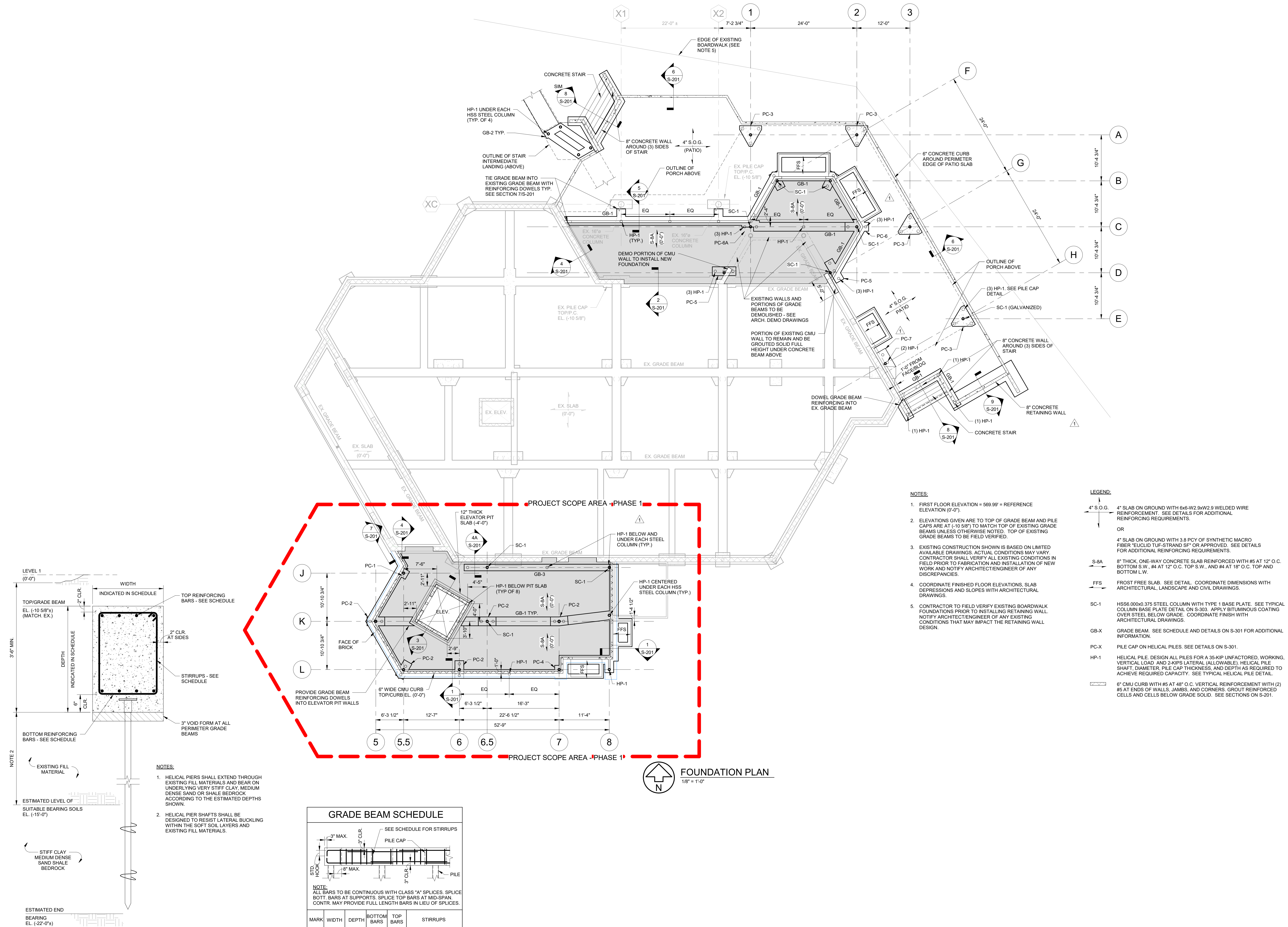


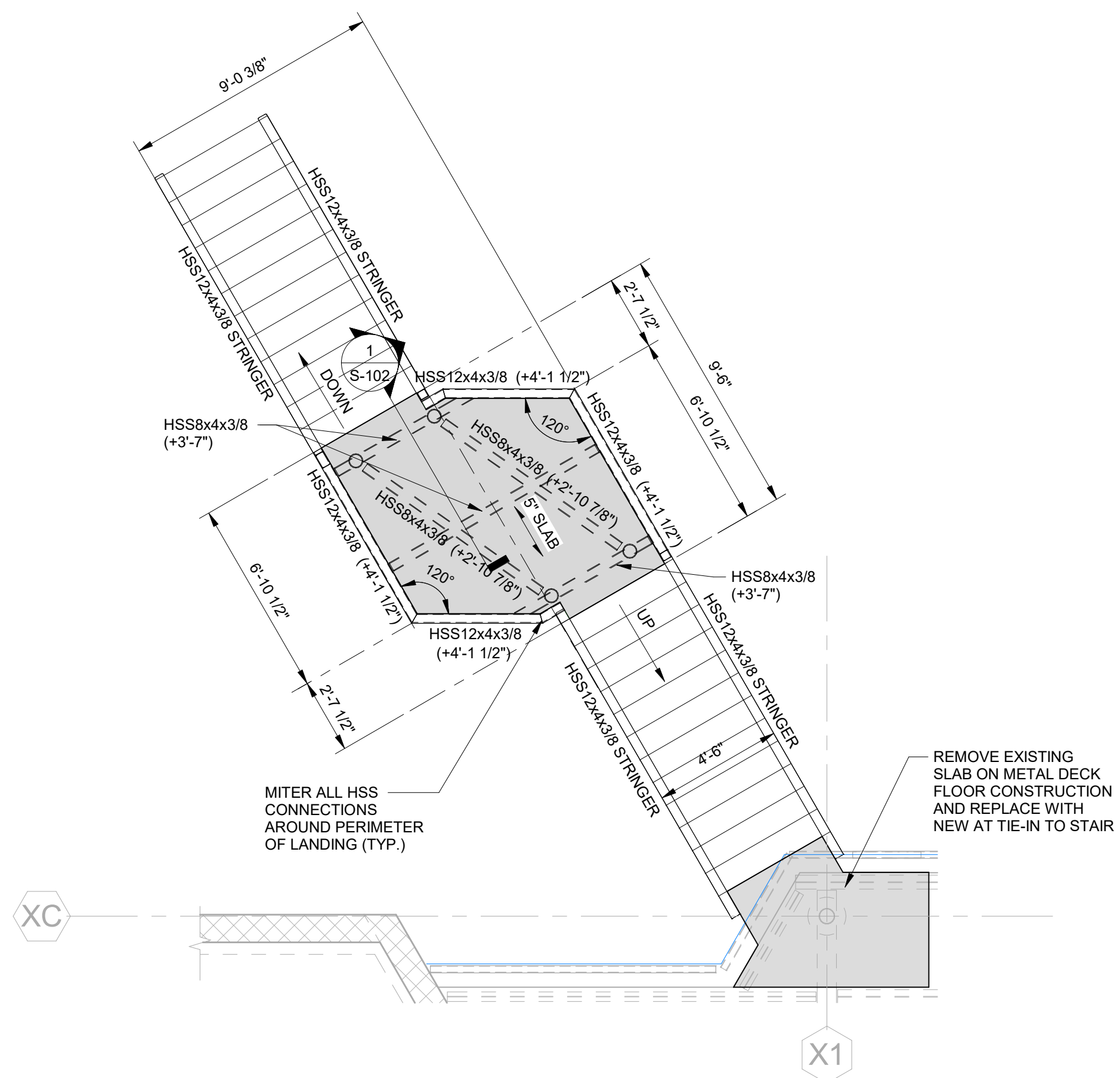
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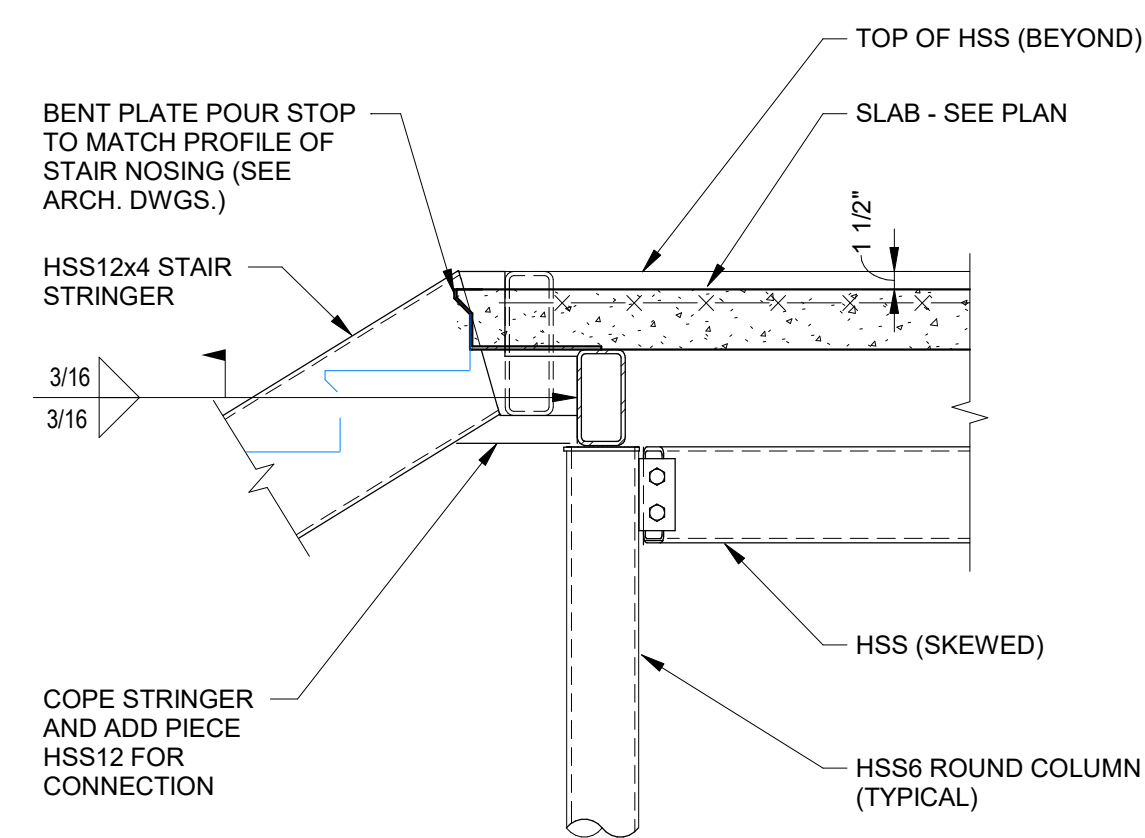
GRADING PLAN



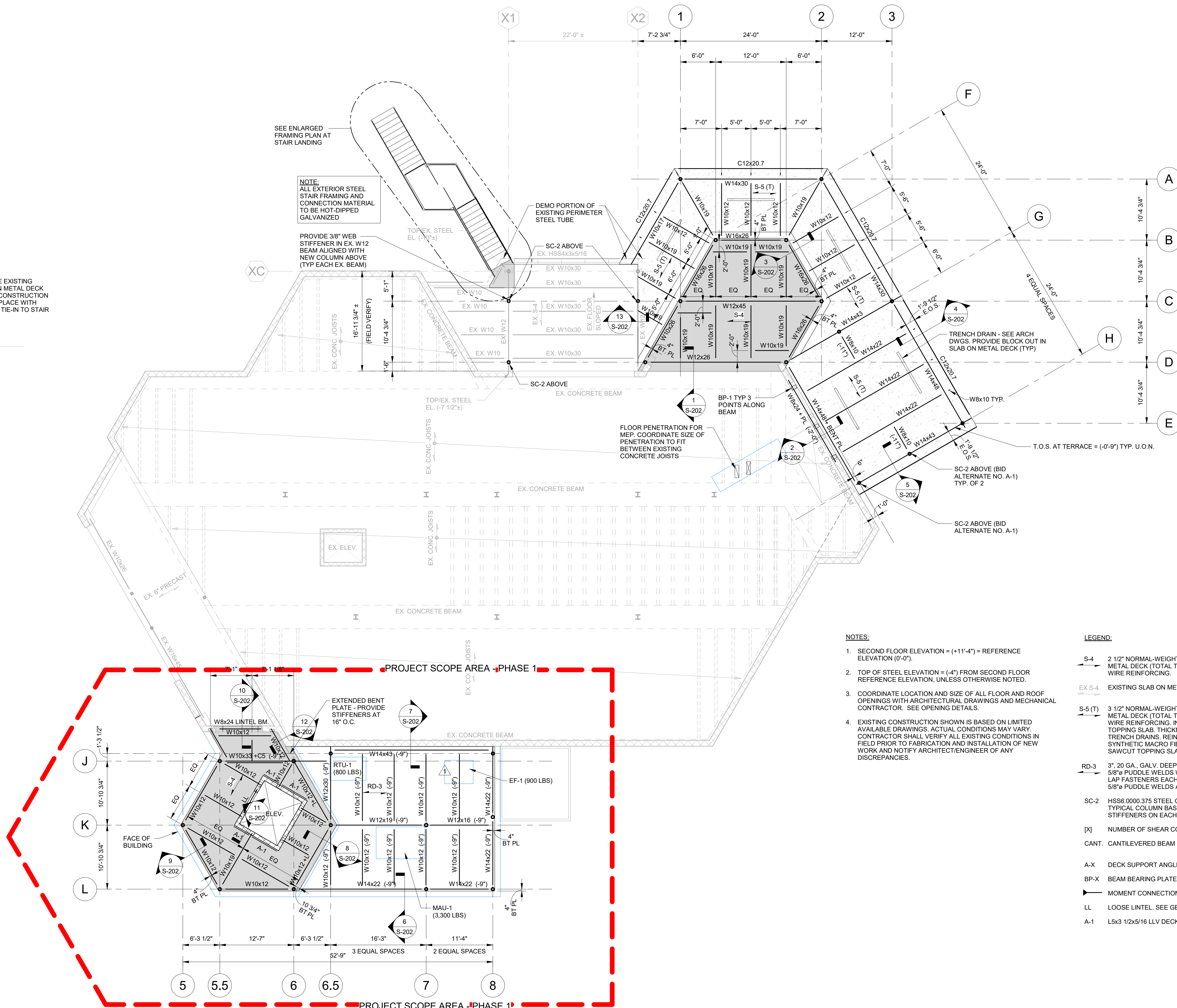


 FRAMING PLAN AT STAIR LANDING

- NOTES:
1. STAIR LANDING SLAB ELEVATION = (+4'-0") = REFERENCE ELEVATION (0'-0").



SECTION 1
3/4" = 1'-0"

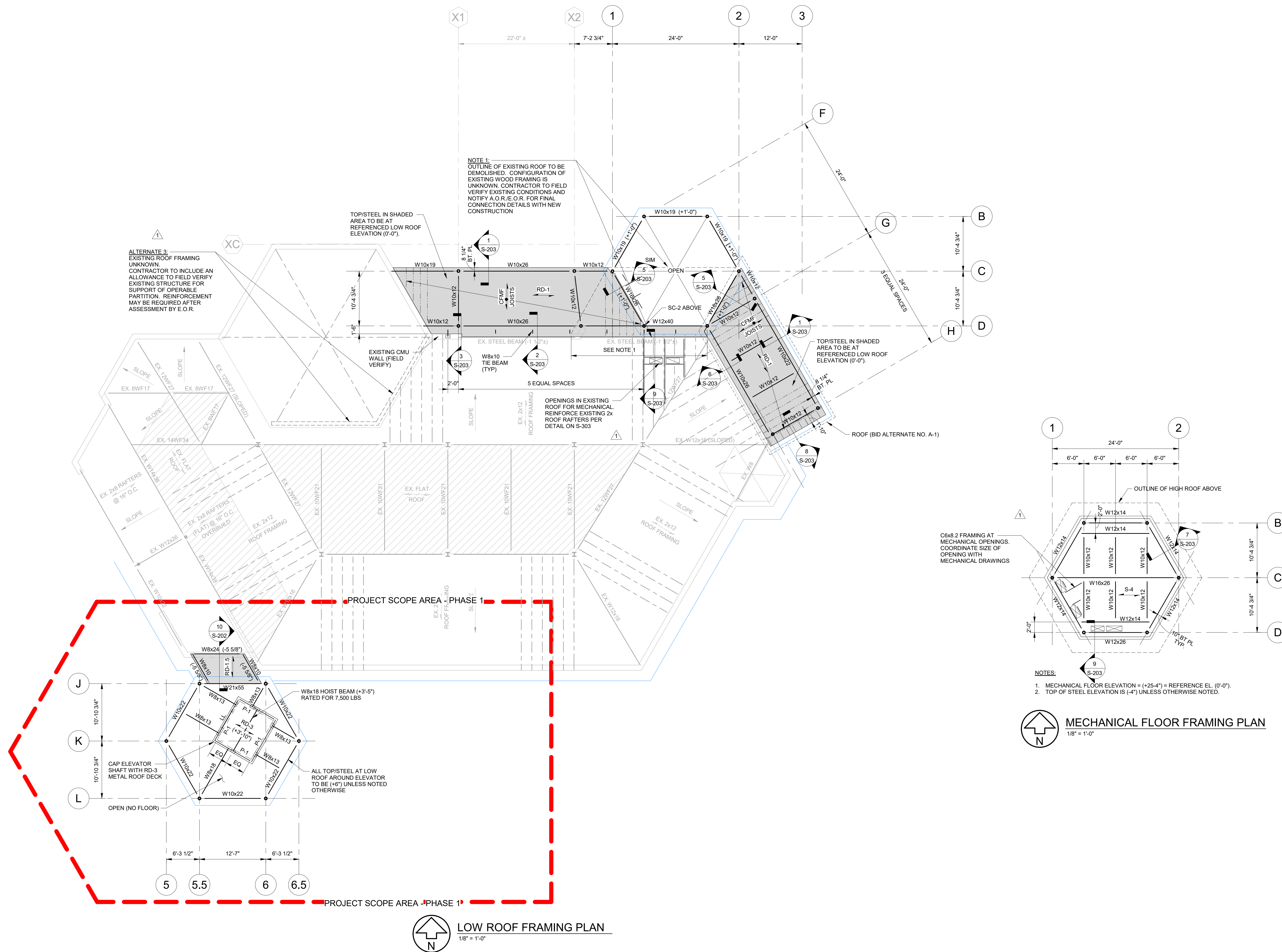


- NOTES:**
1. SECOND FLOOR ELEVATION = (+11'-4") = REFERENCE ELEVATION (0'-0").
 2. TOP OF STEEL ELEVATION = (-4") FROM SECOND FLOOR REFERENCE ELEVATION, UNLESS OTHERWISE NOTED.
 3. COORDINATE LOCATION AND SIZE OF ALL FLOOR AND ROOF OPENINGS WITH ARCHITECTURAL DRAWINGS AND MECHANICAL CONTRACTOR. SEE OPENING DETAILS.
 4. EXISTING CONSTRUCTION SHOWN IS BASED ON LIMITED AVAILABLE DRAWINGS. ACTUAL CONDITIONS MAY VARY. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO FABRICATION AND INSTALLATION OF NEW WORK AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

LEGEND:

- | | |
|---------|---|
| S-4 | 2 1/2" NORMAL-WEIGHT CONCRETE SLAB ON 1 1/2" COMPOSITE METAL DECK (TOTAL THICKNESS = 4") WITH 6x6-2W 1x2W1 WELDED WIRE REINFORCING. |
| EX S-4 | EXISTING SLAB ON METAL DECK WITH OVERALL THICKNESS OF 4". |
| S-5 (T) | 3 1/2" NORMAL-WEIGHT CONCRETE SLAB ON 1 1/2" COMPOSITE METAL DECK (TOTAL THICKNESS = 5") WITH 6x6-2W 1x2W1 WELDED WIRE REINFORCING. INSTALL A WATERPROOF MEMBRANE AND TOPPING SLAB. THICKNESS VARIES FROM 4" (MAX.) TO 2 1/2" (MIN.) AT TRENCH DRAINS. REINFORCE TOPPING SLAB WITH 3 PCY OF SYNTHETIC MACRO FIBER FLECE AND 1/8" STRAND STIFF OR APPROVED SAWCUT TOPPING SLAB AT 6'-0" O.C. EACH WAY. |
| RD-3 | 3" 20 GA. GALV. DEEP RIB METAL ROOF DECK ATTACH WITH 5/8" PUDDLE WELDS WITH 2x4 PATTERN AND (#1) 40 SCREW SLIP LAP FASTENERS EACH SPAN AT EDGE CONNECTION. PROVIDE 3/8" WELD 5/8" PUDDLE WELDS AT 8' O.C. |
| SC-2 | H586.000.375 STEEL COLUMN WITH TYPE 2 BASE PLATE. SEE TYPE 2 COLUMN-BEAM DETAIL ON S-303. PROVIDE 3/8" WELD STIFFENERS ON EACH SIDE OF BEAM WELD BELOW. |
| [X] | NUMBER OF SHEAR CONNECTORS. SEE COMPOSITE BEAM DETAIL. |
| CANT. | CANTILEVERED BEAM TO MATCH SIZE OF BACK SPAN MEMBER. |
| A-X | DECK SUPPORT ANGLE. SEE DETAIL. |
| B-X | BEAM BEARING PLATE. SEE SCHEDULE AND DETAILS. |
| ► | MOMENT CONNECTION. SEE NOTES AND DETAILS. |
| LL | LOOSE LINTEL. SEE GENERAL NOTES ON SHEET S-XXXX. |
| A-1 | L5x3 1/2x5 1/8 LLV DECK SUPPORT ANGLE. SEE SECTION 105-202. |

 SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"



25-073

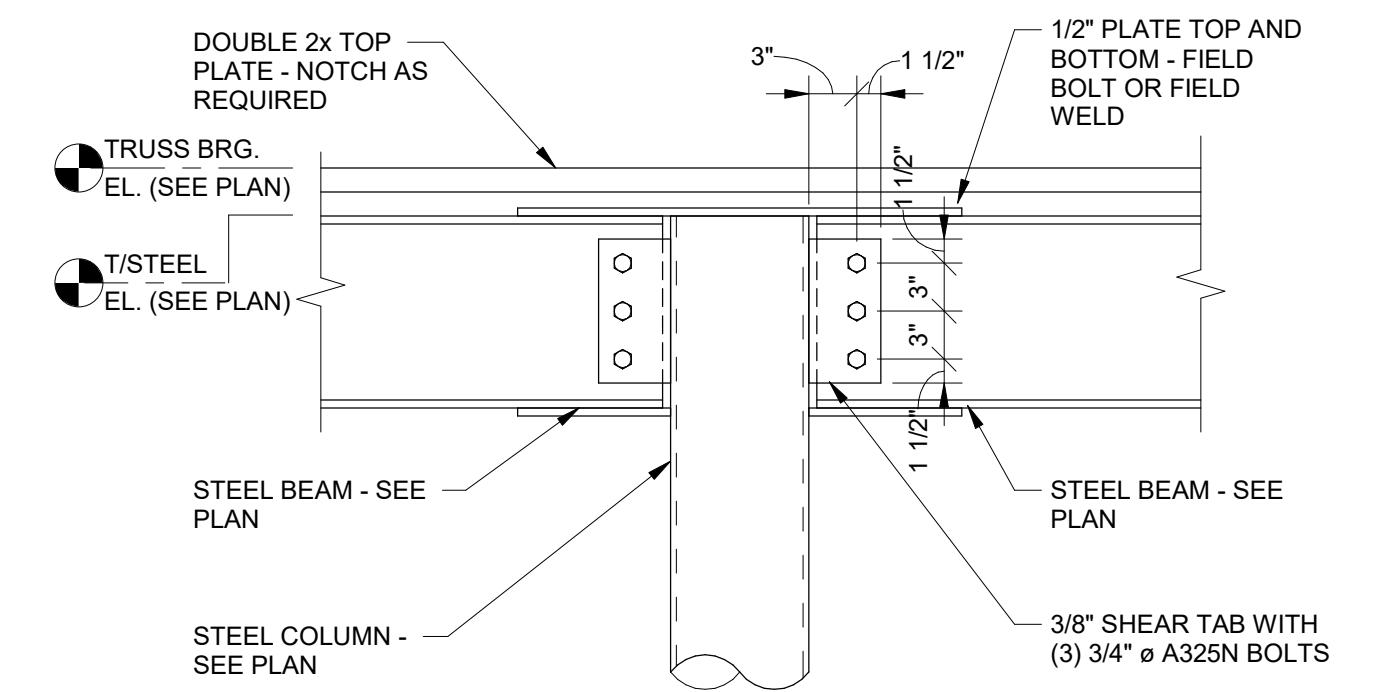
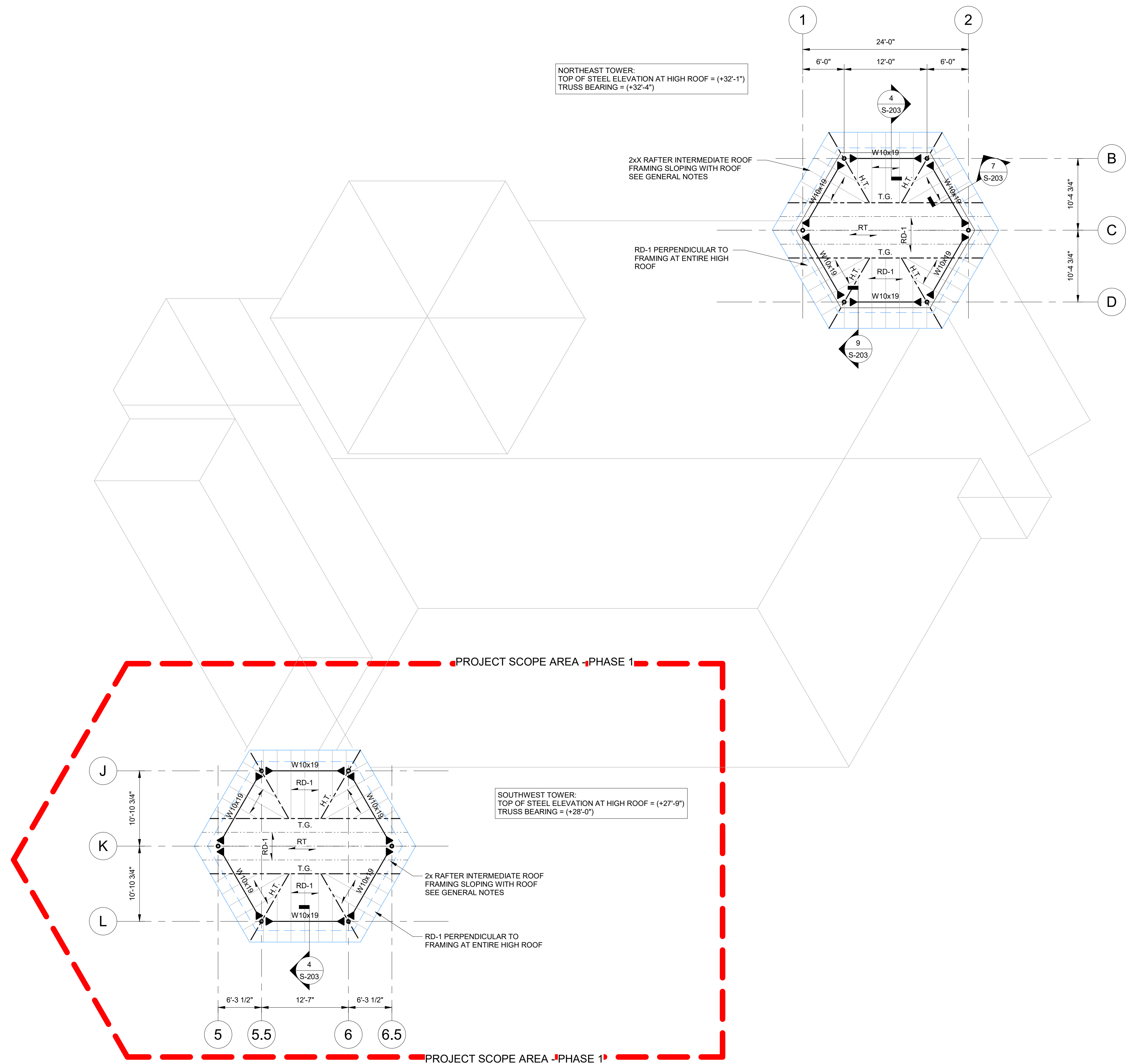
2025 CLUBHOUSE IMPROVEMENTS

Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
DD Review	06-29-2025
GMP Set	09-26-2025
90% CD	03-26-2026
100% CD	04-09-2026
1 Addendum No. 1	04-28-2026
2 Addendum No. 2	07-10-2026

LOW ROOF FRAMING
PLAN

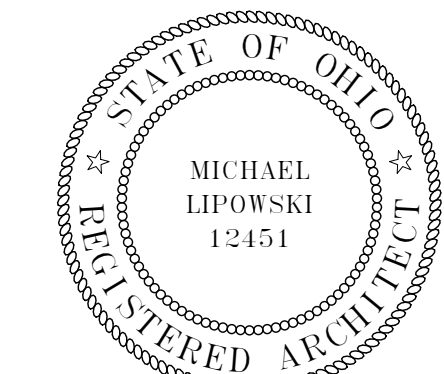
S-103



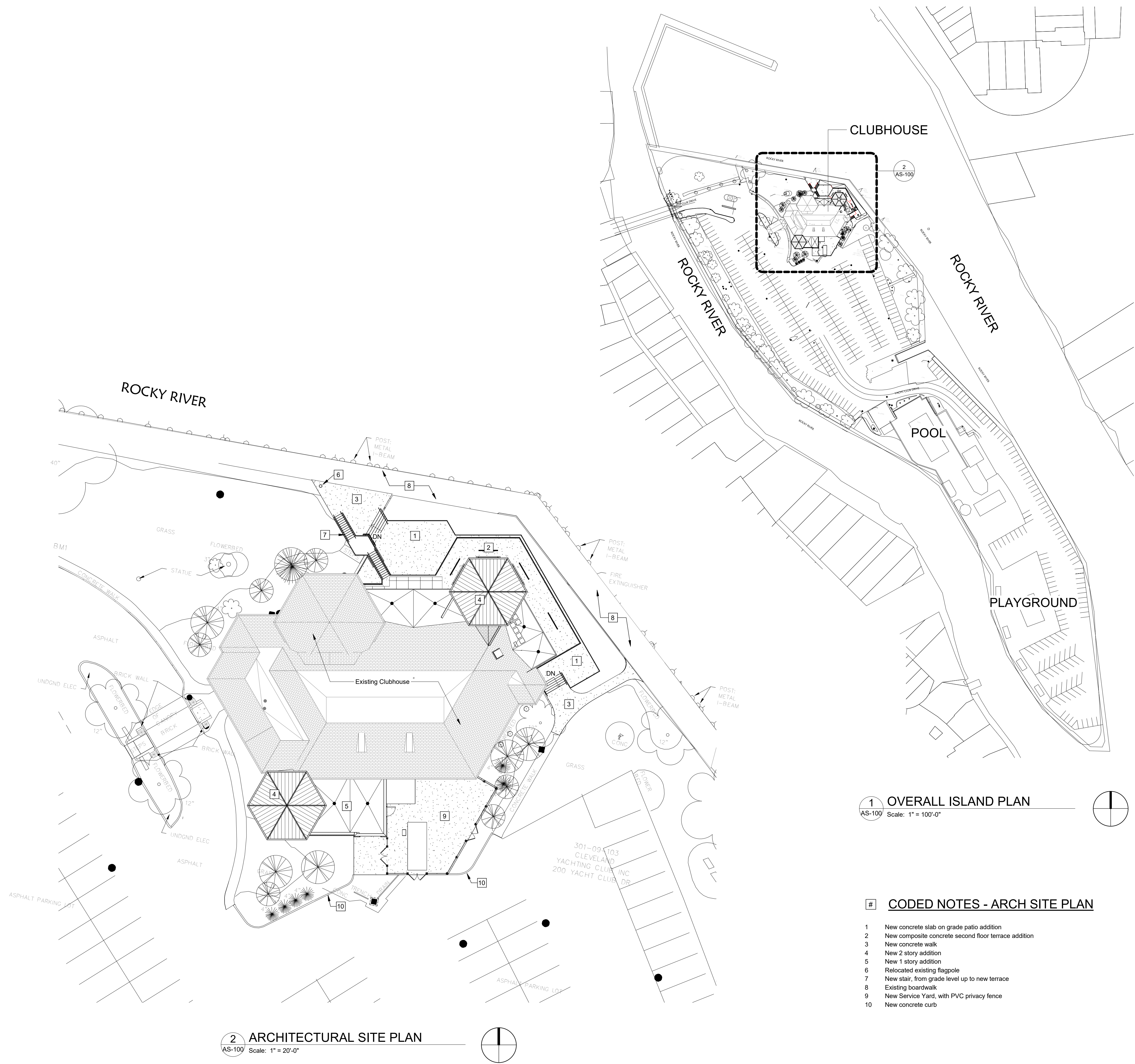
TYPICAL MOMENT CONNECTION AT HIGH ROOF

HIGH ROOF FRAMING PLAN
1/16" = 1'-0"

- LEGEND:
- RD-1 5/8" THICK, EXTERNAL GRADE, APA-RATED ROOF SHEATHING.
 - RT 24" DEEP METAL PLATE CONNECTED WOOD TRUSSES AT 2'-0" O.C. (MAX.).
SEE GENERAL NOTES ON S-001 FOR ADDITIONAL INFORMATION.
 - H.T. HIP TRUSS.
 - T.G. TRUSS GIRDER.
 - MOMENT CONNECTION SEE DETAIL THIS SHEET.



Michael Lipowski, License #12451
Expiration Date 12/31/2027

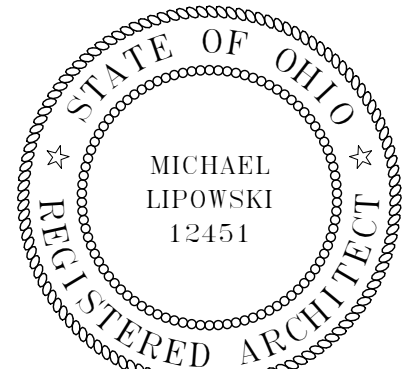


1 OVERALL ISLAND PLAN
AS-100 Scale: 1" = 100'-0"

2 ARCHITECTURAL SITE PLAN
AS-100 Scale: 1" = 20'-0"

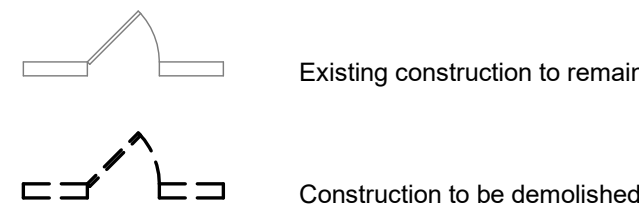
25-073
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DO Review	08-29-2025
GMP Set	09-26-2025
90% CD	03-26-2026
100% CD	04-09-2026
2 Addendum No. 02	07-10-2026



Michael Lipowski, License #12451
Expiration Date 12/31/2027

LEGEND - DEMOLITION PLAN

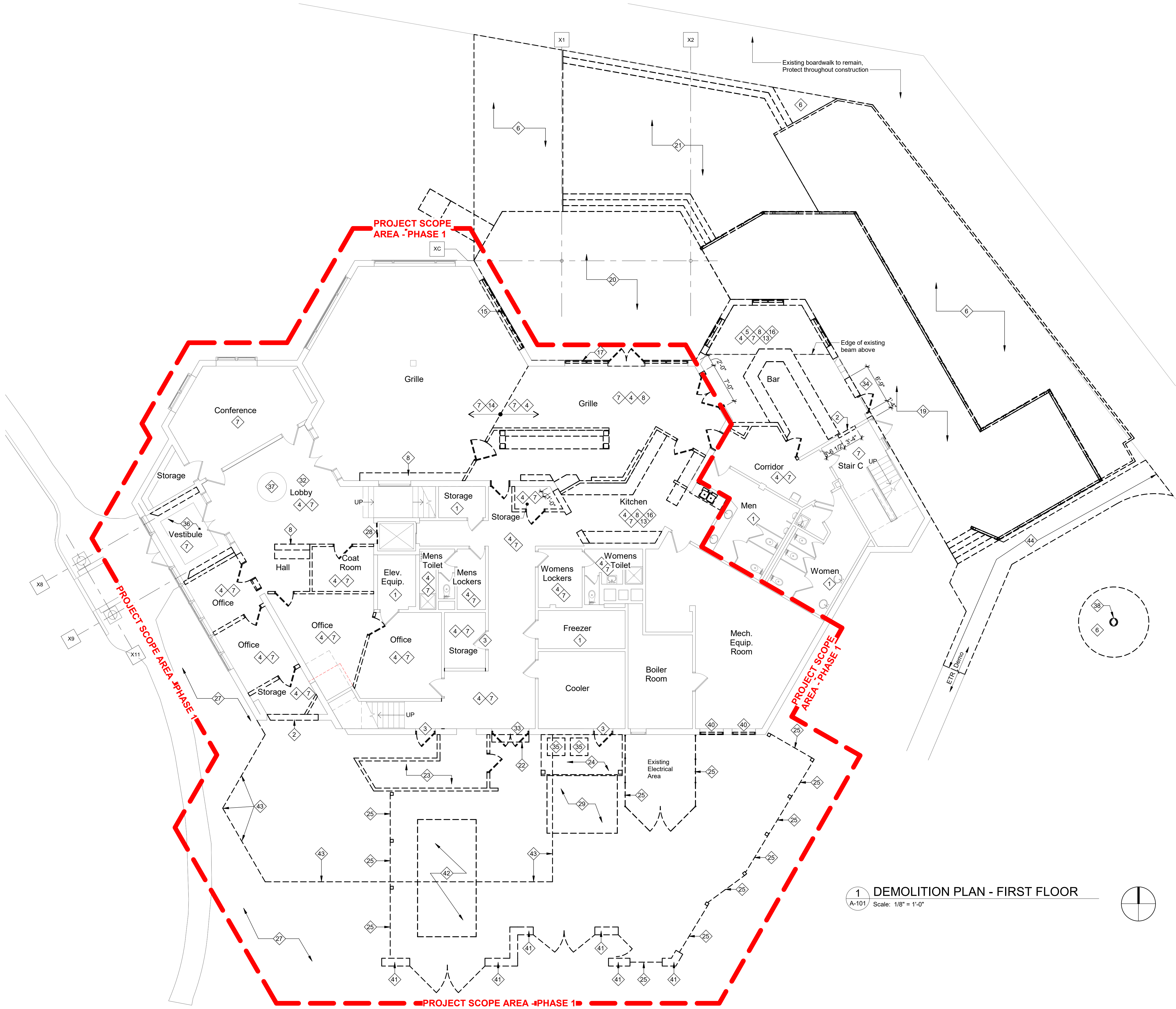


GENERAL NOTES - DEMOLITION

- A Refer to specifications section 017320 - Selective Demolition for additional requirements and information.
- B Project Scope line is indicated for general intent only. Additional demolition will be required outside of this line. Architectural demolition drawings are for schematic purposes. Contractor shall coordinate all demolition with the entire set of contract documents for full scope of demolition work required for the project.
- C Existing conditions shown on these drawings are not guaranteed to be complete. The contractor shall verify all existing conditions, dimensions, and materials required for the contracted work. Report all discrepancies to architect prior to fabrication, erect
- D Coordinate all new penetrations and/or openings with other associated trades.
- E The Owner may select and tag items for demolition to be salvaged. The contractor shall remove selected items from the scope of work and deliver to the Owner's requested location within the existing facility.
- F Contractor shall provide HEPA filtered negative air machine(s) to maintain negative pressure to scope of work area ensuring no dust will be transferred to occupied areas. Provide visual pressure monitoring device at dust proof barricade to confirm pressure.
- G The Facility's existing smoke and fire alarm system shall remain in operation during the entire construction phase.
- H All demolition work being done outside of temporary partitions is to be appropriately sealed off to prevent the transmission of dust and debris and minimize disruption to visitors, residents, and staff. Coordinate location of barriers with Owner.
- J Remove partitions indicated to the underside of the structure above. Prepare all adjacent surfaces to receive new construction and scheduled finish. Existing walls shown to be removed shall be demolished complete. This includes the removal of reinforcement, soffits, doors, windows, frames, and overhead bracing. Coordinate with Mechanical and Electrical for disconnection and removal of existing utilities and devices located within areas scheduled to be demolished.
- K Some items may be indicated in the demolition drawings and demolition notes which are not necessarily demolition work but are included to describe the overall scope of the project and to aid in the demolition coordination. The contractor is responsible for all work required to complete the intended work of the overall project.
- L Flooring demolition includes the removal of existing floor finishes, including vct, sheet vinyl, ceramic tile, quarry tile, carpet and other finishes, grouts, mastics, and setting beds complete to existing concrete floor slab or other substrate ready for new floor finishes. Floor preparation shall be by the installing contractor.
- M Remove miscellaneous items within limits of demolition. Coordinate with Owner any items to be salvaged.
- N Demolition of ceilings includes, grid, tile, supports, soffits, and related items as well as any ceiling mounted electrical and mechanical fixtures contained therein.
- O Plug abandoned floor openings with new concrete. Plug shall match existing slab depth and be structurally sound to carry floor load of 100 lbs./sq. ft. unless noted otherwise.
- P All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/ patched. Match existing fire rating unless noted otherwise.
- Q Where new doors are indicated, cut openings in existing wall. Prepare openings for new door. Patch adjacent walls to match existing. Provide lintels as required for new openings.

CODED NOTES - DEMOLITION

- 1 No work this area. Protect as required during demolition and construction
- 2 Remove portion of wall as required for new opening. Patch/repair adjacent surfaces to match existing. Prepare opening as required for new door and frame - see Floor Plan and Door Schedule
- 3 Remove existing door, frame, anchors, thresholds, and hardware as indicated. Infill wall to match existing adjacent construction to remain. Owner shall have the right to salvage any and all doors and hardware. Contractor shall verify doors for salvage or relocation prior to commencing demolition.
- 4 Remove existing ceiling system, supports, ties, and related equipment within limits of construction (unless noted otherwise). Coordinate with electrical work on removal and/or relocation of lights, conduit, ties, supports, and related wiring. Coordinate with mechanical on removal of diffusers, grills and related ductwork and equipment. Contractor shall verify fixtures for salvage or relocation prior to commencing demolition.
- 5 Remove portion of existing building structure over this area as indicated. Prepare area to receive new infill construction as indicated.
- 6 Remove existing landscaped pavers, planter and timber planter box where required, prepare area to receive new infill construction as indicated.
- 7 Remove existing floor finish and base from entire room to top of structural slab or subfloor as required for new construction. Patch and level existing floor to receive new finish as scheduled. Level per new floor finish manuif recommendations. Patch exist walls as reqd to receive new finish as scheduled.
- 8 Remove existing millwork as indicated within limits of construction. Coordinate removal of plumbing fixtures, diffusers, and devices with mep. drawings. Cabinets and counter tops may be required to be salvaged. Coord. with owner.
- 9 Remove existing terrace railing and terrace edge structure
- 10 Remove portion of existing wall as indicated. Patch/repair wall and floor and prep to receive scheduled finishes
- 11 Existing flooring this area to remain - protect as required
- 12 Remove existing roof pavers and roof system below
- 13 Remove existing appliances as indicated within limits of construction. Cap all plumbing and gas lines not required by new construction. Coordinate with plumbing and mechanical plans for additional information.
- 14 Existing ceiling this area to remain - replace tiles to match existing where existing ceiling meets new construction
- 15 Remove existing window system and related blocking as indicated. Prepare opening as required to receive new window system - see Floor Plan and Exterior Frame Types
- 16 Remove existing kitchen equipment within limits of construction. Salvage and re-install as indicated in the construction documents. Coordinate items to be salvaged and re-installed with the Food service/Equipment documents. Properly dispose of all items not to be relocated or turned over to the owner. Cap all mep. lines not required by new construction. See mep drawings for additional information.
- 17 Remove existing window system and related blocking as indicated. Prepare opening as required new wall infill.
- 19 Remove existing wood deck, steps, railing and canvas on metal frame awning system, prepare area to receive new infill construction as indicated.
- 20 Remove existing concrete slab patio, stairs and metal railing, prepare area to receive new infill construction as indicated.
- 21 Remove existing wood deck and steps, prepare area to receive new infill construction as indicated.
- 22 Carefully remove existing overhead wall mounted air curtain, salvage for reinstallation as indicated
- 23 Remove existing storage shed in it's entirety, prepare area to receive new infill construction as indicated.
- 24 Remove existing wood roof and support columns, prepare area for new infill construction as indicated.
- 25 Remove existing fence / wood screen wall including footers.
- 27 Remove existing landscaping this area
- 28 Carefully cut hole in existing floor, ceiling and roof for new HVAC and kitchen ductwork. See HVAC drawings
- 29 Existing beer cooler - remove and dispose. New beer cooler being provided by Kitchen Equipment Vendor. Prior to removal of existing beer cooler, coordinate timing of removal and temporary accommodations with Owner prior to removal
- 32 Vestibule and Lobby to remain open during construction - Coordinate closure of space as required for new work with Owner and provide containment as required to separate areas of construction
- 33 Remove existing door, frame, anchors, thresholds, and hardware as indicated. Prep opening as required to receive new door and frame. Owner shall have the right to salvage any and all doors and hardware. Contractor shall verify doors for salvage or relocation prior to commencing demolition.
- 34 Remove portion of existing wall as indicated - prep as required to receive new clad wood windows. See Floor Plan and Exterior Frame Types
- 35 Remove existing cooler HVAC units, salvage for relocation, coordinate with MEP
- 36 Existing walk-off matt to remain.
- 37 Existing terrazzo medallion in floor to remain - protect as required
- 38 Carefully remove existing faggole, salvage for reinstallation.
- 40 Remove existing buvers, infill wall opening
- 41 Remove existing brick screen wall and associated wood gates including foundations/footings.
- 42 Location of existing trash compactor. Owner's Vendor to temporarily remove during construction and relocated once new pad and containment curb and electrical infrastructure have been installed.
- 43 Location line of new addition perimeter. Prepare site and grade for new construction including foundation, walls, etc. Refer to Civil and Structural
- 44 Remove existing sidewalk. Prepare for new construction. Refer to Civil.
- ADD ALTERNATE NO. A-3, Operable partition - Remove existing ceiling soffit and soffit framing required to install new overhead support and new operable partition alternate. Prepare soffit for operable partition track. Patch ceilings as reqd to receive new finish as scheduled.



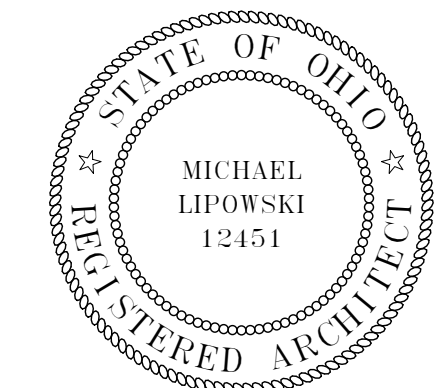
1 DEMOLITION PLAN - FIRST FLOOR
A-101 Scale: 1/8" = 1'-0"

25-073
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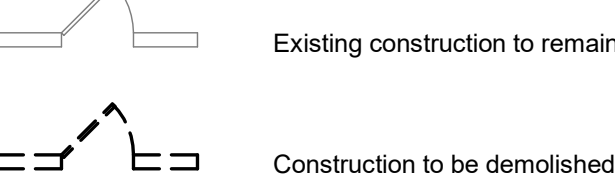
DEMOLITION PLAN -
FIRST FLOOR

A-101



Michael Lipowski, License #12451
Expiration Date 12/31/2027

LEGEND - DEMOLITION PLAN

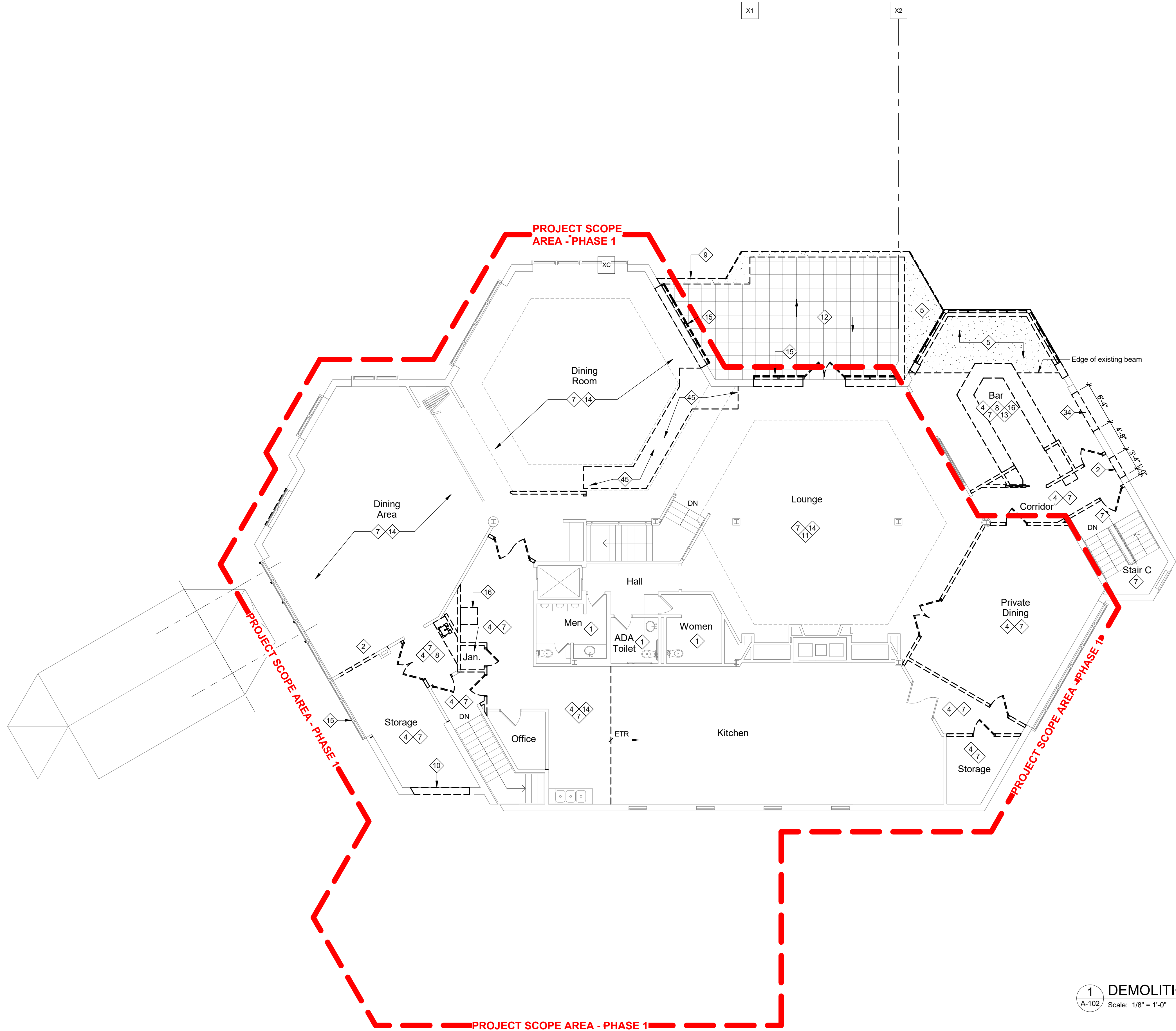


GENERAL NOTES - DEMOLITION

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- N Demolition of ceilings includes, grid, tile, supports, soffits, and related items as well as any ceiling mounted electrical and mechanical fixtures contained therein.
- O Plug abandoned floor openings with new concrete. Plug shall match existing slab depth and be structurally sound to carry floor load of 100 lbs./ sq. ft. unless noted otherwise.
- P All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/ patched. Match existing fire rating unless noted otherwise.
- Q Where new doors are indicated, cut openings in existing wall. Prepare openings for new door. Patch adjacent walls to match existing. Provide lintels as required for new openings.

CODED NOTES - DEMOLITION

- 1 No work this area. Protect as required during demolition and construction
- 2 Remove portion of wall as required for new opening. Patch/repair adjacent surfaces to match existing. Prepare opening as required for new door and frame - see Door Plan and Door Schedule.
- 3 Remove existing door, frame, anchors, thresholds, and hardware as indicated. Infill wall to match existing adjacent construction to remain. Owner shall have the right to salvage any and all doors and hardware. Contractor shall verify doors for salvage or relocation prior to commencing demolition.
- 4 Remove existing ceiling system, supports, ties, and related equipment within limits of construction (unless noted otherwise). Coordinate with electrical work on removal and/ or relocation of lights, conduit, ties, supports, and related wiring. Coordinate with mechanical on removal of diffusers, grills and related ductwork and equipment. Contractor shall verify fixtures for salvage or relocation prior to commencing demolition.
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- 6 Remove existing landscaped pavers, planter and timber planter box where required, prepare area to receive new infill construction as indicated.
- 7 Remove existing floor finish and base from entire room to top of structural slab or subfloor as required for new construction. Patch and level existing floor to receive new finish as scheduled. Level per new floor finish manuf recommendations. Patch exist walls as req'd to receive new finish as scheduled.
- 8 Remove existing millwork as indicated within limits of construction. Coordinate removal of plumbing fixtures, diffusers, and devices with mep drawings. Cabinets and counter tops may be required to be salvaged. Coord. with owner.
- 9 Remove existing terrace railing and terrace edge structure
- 10 Remove portion of existing wall as indicated. Patch/repair wall and floor and prep to receive scheduled finishes
- 11 Existing flooring this area to remain - protect as required
- 12 Remove existing roof pavers and roof system below
- 13 Remove existing appliances as indicated within limits of construction. Cap all plumbing and gas lines not required by new construction. Coordinate with plumbing and mechanical plans for additional information.
- 14 Existing ceiling this area to remain - replace tiles to match existing where existing ceiling meets new construction
- 15 Remove existing window system and related blocking as indicated. Prepare opening as required to receive new window system - see Floor Plan and Exterior Frame Types
- 16 Remove existing kitchen equipment within limits of construction. Salvage and re-install as indicated in the construction documents. Coordinate items to be salvaged and re-installed with the Food service/Equipment documents. Properly dispose of all items not to be relocated or turned over to the owner. Cap all mep. lines not required by new construction. See mep drawings for additional information.
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- 18 Remove existing wood deck, steps, railing and canvas on metal frame awning system, prepare area to receive new infill construction as indicated.
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- 20 Remove existing wood deck and steps, prepare area to receive new infill construction as indicated.
- 21 Carefully remove existing overhead wall mounted air curtain, salvage for reinstallation as indicated
- 22 Remove existing storage shed in it's entirety, prepare area to receive new infill construction as indicated.
- 23 Remove existing wood roof and support columns, prepare area for new infill construction as indicated.
- 24 Remove existing fence / wood screen wall including footers.
- 25 Remove existing landscaping this area
- 26 Carefully cut hole in existing floor, ceiling and roof for new HVAC and kitchen ductwork. See HVAC drawings
- 27 Existing beer cooler - remove and dispose. New beer cooler being provided by Kitchen Equipment Vendor. Prior to removal of existing beer cooler, coordinate timing of removal and temporary accommodations with Owner prior to removal
- 28 Vestibule and Lobby to remain open during construction - Coordinate closure of space as required for new work with Owner and provide containment as required to separate areas of construction
- 29 Remove existing door, frame, anchors, thresholds, and hardware as indicated. Prep opening as required to receive new door and frame. Owner shall have the right to salvage any and all doors and hardware. Contractor shall verify doors for salvage or relocation prior to commencing demolition.
- 30 Remove portion of existing wall as indicated - prep as required to receive new clad wood windows. See Floor Plan and Exterior Frame Types
- 31 Remove existing cooler HVAC units, salvage for relocation, coordinate with MEP
- 32 Existing walk-off mat to remain.
- 33 Existing terrace medallion in floor to remain - protect as required
- 34 Carefully remove existing flagpole, salvage for reinstallation.
- 35 Remove existing louvers. Infill wall opening.
- 36 Remove existing brick screen wall and associated wood gates including foundations/footings.
- 37 Location of existing trash compactor. Owner's Vendor to temporarily remove during construction and relocated once new pad and containment curb and electrical infrastructure have been installed.
- 38 Location line of new addition perimeter. Prepare site and grade for new construction including foundation, walls, etc. Refer to Civil and Structural.
- 39 Remove existing sidewalk. Prepare for new construction. Refer to Civil.
- 40 ADD ALTERNATE NO. A-3, Operable partition - Remove existing ceiling soffit and soffit framing required to install new overhead support and new operable partition alternate. Prepare soffit for operable partition track. Patch ceilings as req'd to receive new finish as scheduled.



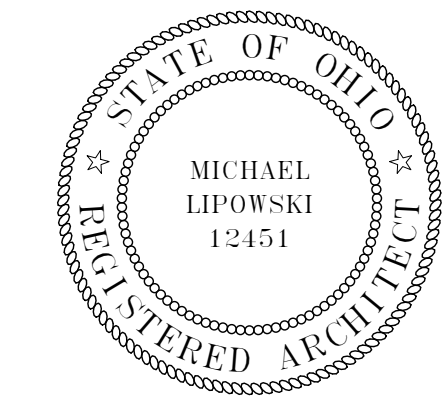
1 DEMOLITION PLAN - SECOND FLOOR
A-102 Scale: 1/8" = 1'-0"

25-073
2025 CLUBHOUSE IMPROVEMENTS
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
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90% CD	03-26-2026
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1 Addendum No. 01	04-28-2026
2 Addendum No. 02	07-10-2026

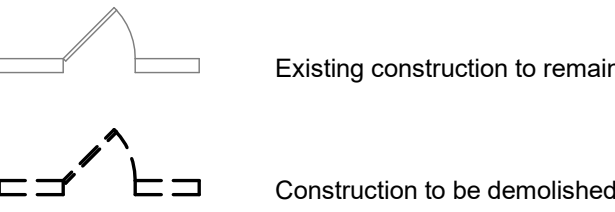
DEMOLITION PLAN -
SECOND FLOOR

A-102



Michael Lipowski, License #12451
Expiration Date 12/31/2027

LEGEND - DEMOLITION PLAN

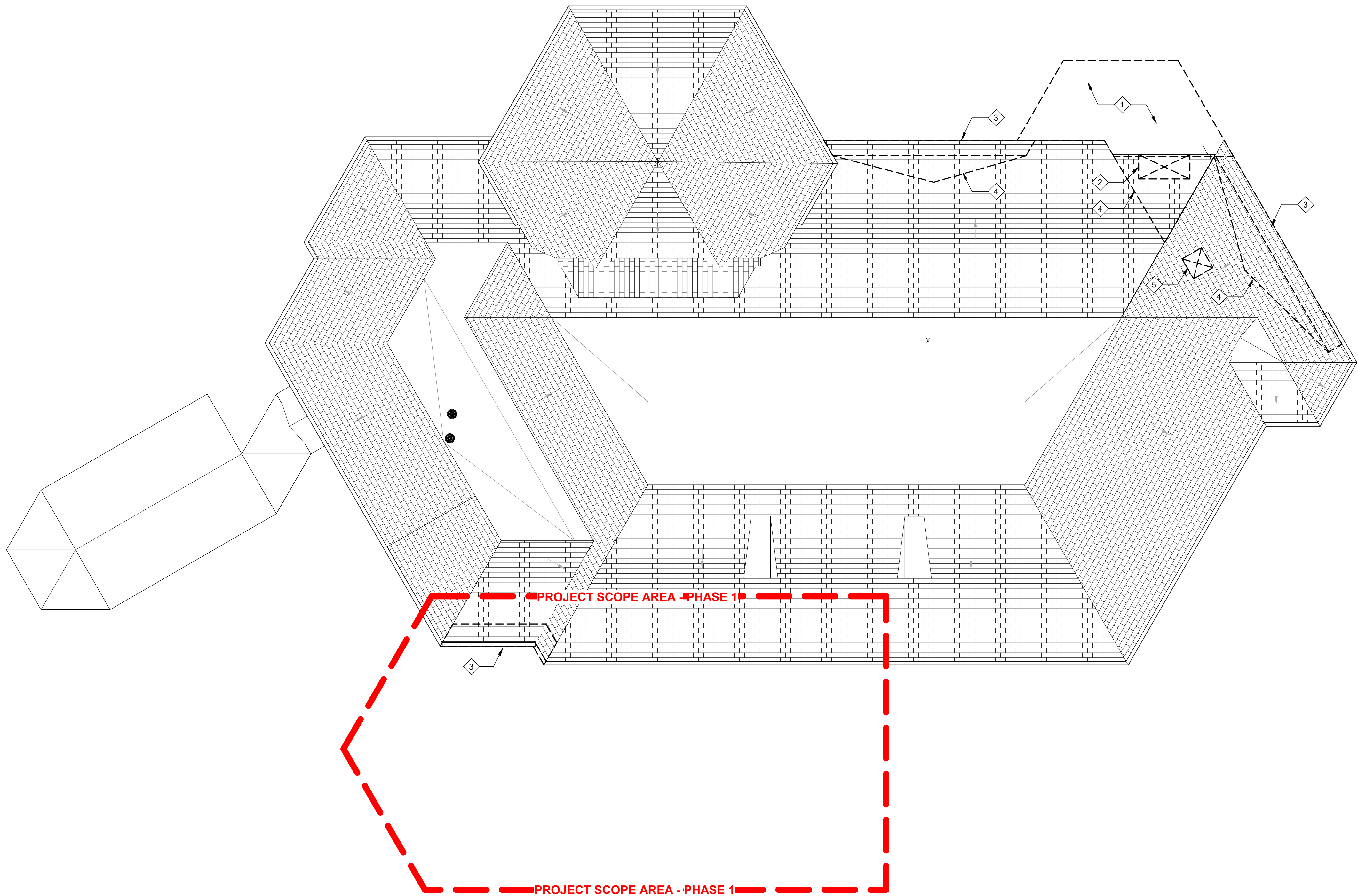


GENERAL NOTES - DEMOLITION

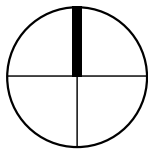
- A Refer to specifications section 017320 - Selective Demolition for additional requirements and information.
- B Project Scope line is indicated for general intent only. Additional demolition will be required outside of this line. Architectural demolition drawings are for schematic purposes. Contractor shall coordinate all demolition with the entire set of contract documents for full scope of demolition work required for the project.
- C Existing conditions shown on these drawings are not guaranteed to be complete. The contractor shall verify all existing conditions, dimensions, and materials required for the contracted work. Report all discrepancies to architect prior to fabrication, erect
- D Coordinate all new penetrations and/or openings with other associated trades.
- E The Owner may select and tag items for demolition to be salvaged. The contractor shall remove selected items from the scope of work and deliver to the Owner's requested location within the existing facility.
- F Contractor shall provide HEPA filtered negative air machine(s) to maintain negative pressure to scope of work area ensuring no dust will be transferred to occupied areas. Provide visual pressure monitoring device at dust proof barricade to confirm pressure.
- G The Facility's existing smoke and fire alarm system shall remain in operation during the entire construction phase.
- H All demolition work being done outside of temporary partitions is to be appropriately sealed off to prevent the transmission of dust and debris and minimize disruption to visitors, residents, and staff. Coordinate location of barriers with Owner.
- J Remove partitions indicated to the underside of the structure above. Prepare all adjacent surfaces to receive new construction and scheduled finish. Existing walls shown to be removed shall be demolished complete. This includes the removal of reinforcement, soffits, doors, windows, frames, and overhead bracing. Coordinate with Mechanical and Electrical for disconnection and removal of existing utilities and devices located within areas scheduled to be demolished.
- K Some items may be indicated in the demolition drawings and demolition notes which are not necessarily demolition work but are included to describe the overall scope of the project and to aid in the demolition coordination. The contractor is responsible for all work required to complete the intended work of the overall project.
- L Flooring demolition includes the removal of existing floor finishes, including vct, sheet vinyl, ceramic tile, quarry tile, carpet and other finishes, grouts, mastics, and setting beds complete to existing concrete floor slab or other substrate ready for new floor finishes. Floor preparation shall be by the installing contractor.
- M Remove miscellaneous items within limits of demolition. Coordinate with Owner any items to be salvaged.
- N Demolition of ceilings includes, grid, tile, supports, soffits, and related items as well as any ceiling mounted electrical and mechanical fixtures contained therein.
- O Plug abandoned floor openings with new concrete. Plug shall match existing slab depth and be structurally sound to carry floor load of 100 lbs./sq. ft. unless noted otherwise.
- P All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/patched. Match existing fire rating unless noted otherwise.
- Q Where new doors are indicated, cut openings in existing wall. Prepare openings for new door. Patch adjacent walls to match existing. Provide lintels as required for new openings.

CODED NOTES - ROOF DEMOLITION

- 1 Remove portion of existing roof structure as indicated.
- 2 Location of new duct drop. Coordinate with HVAC and Structural drawings, and existing roof framing spacing, modify existing as required by new construction.
- 3 Remove portion of existing roof overhang, as required by new construction.
- 4 Remove portion of existing roof shingles, felt, etc. down to sheathing, as required by new construction.
- 5 Location of new roof hatch. Coordinate location with existing roof framing spacing and modify existing as required by new construction.

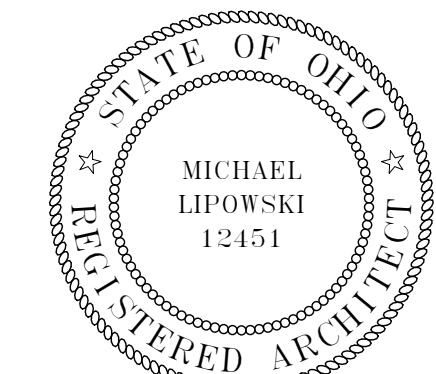


1 DEMOLITION PLAN - ROOF
A-103 Scale: 1/8" = 1'-0"



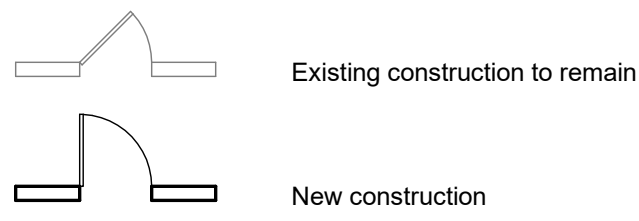
25-073
2025 CLUBHOUSE IMPROVEMENTS
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
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Expiration Date 12/31/2027

LEGEND - FLOOR PLAN

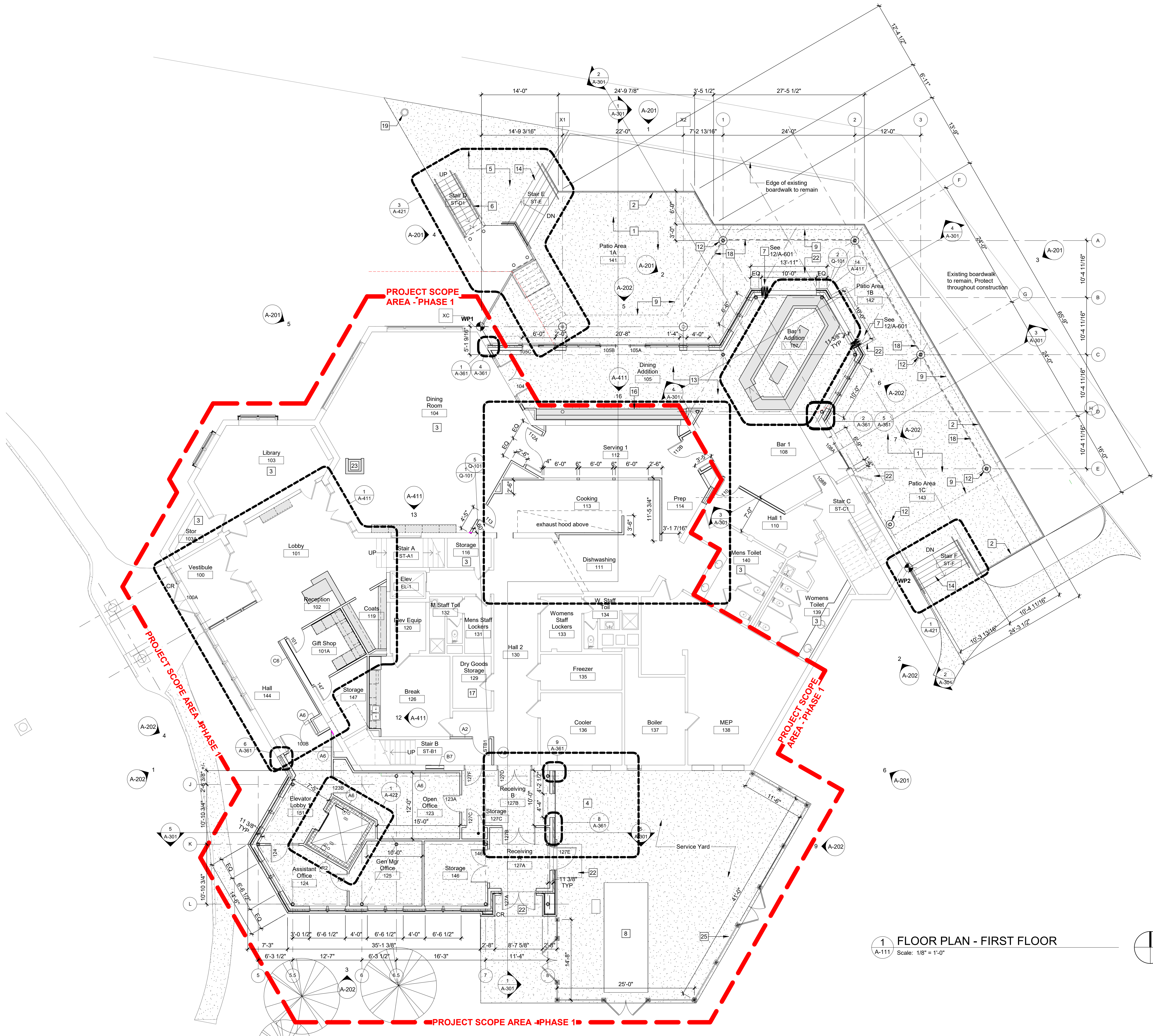


GENERAL NOTES - FLOOR PLAN

- A All partitions to be Type 'A1' unless noted otherwise. Refer to A6 series drawings for partition information.
B Contractor to verify all dimensions and conditions in the field prior to commencement of work. If drawings conflict with actual field conditions, contact Architect prior to proceeding with work.
C Refer to Life Safety Plans for rated wall locations.
D Dashed furniture and equipment items shown for reference only and is not part of the General Contract. These items will be provided and installed by Owner. Contractor may need to coordinate specific fixture and equipment requirements if noted.
E Provide concealed in-wall reinforcing/blocking for attachment of all millwork, casework, and/or accessories as required.
F All dimensions are to finish face of wall unless noted otherwise.
G Verify in field with designer final locations of all light switches, strobes, fire extinguisher cabinets, fire alarm pulls and other devices on walls.
H All interior wood framing, including exterior wall sheathing, blocking, etc. to be fire retardant treated wood.

CODED NOTES - FLOOR PLAN

- 1 Concrete slab on grade patio
2 055213 - Stainless steel pipe and cable railing system
3 No work this area - protect as required
4 New walk-in beer cooler with cooler door, interior cooler floor with internal ramp, and cooler roof to be provided and installed by Food Service Equipment vendor.
5 Concrete slab on grade walk
6 Metal stair with decorative metal post and horizontal cabling railing system
7 081476.13 - Bifolding wood patio door
8 Relocated existing trash compactor and hydraulic controls. Provide electrical service as required.
9 Dashed line indicates line of terrace above
10 Existing pedestal deck system on composite concrete and structural steel framing to remain.
11 Existing flooring this area to remain - protect as required
12 Steel tube with pre-finished composite metal column cover - see Structural drawings
13 New floor construction - prep as required to receive scheduled finish
14 Cast-in-place concrete stair with decorative metal railing system
15 Steel pipe column, painted. See Structural drawings
16 Built in banquet seating
17 Food service (bar/kitchen) equipment and/or shelving units by owner
18 122400 - Motorized clear vinyl wind screen in recessed pocket
19 Relocated existing flagpole
20 ADD ALTERNATE NO. A-3, Operable partition
21 107316.16 - 10'-0" x 3'-0" x 1'-7" Louvered aluminum sunshade
22 033000 - Frost free slab, see Structural drawings
23 064100 Custom hostess stand
24 089000 - 4'-6" x 5'-0" French Door Hinged frame aluminum louver
25 6'-0" PVC privacy fence with (3) pairs of 4'-0" matching gates.
26 Composite concrete deck on steel framing
27 Trench drain, see Plumbing drawing
28 Wall mounted roof access ladder with safety cage, up to roof hatch.
29 083344 - Overhead Coiling Fire Curtain - concealed 8'-0" x 7'-0"
30 HVAC duct openings in composite concrete floor, coordinate size and location with HVAC and Structural drawings
31 HVAC duct openings in existing roof framing, coordinate size and location with HVAC and Structural drawings. Infill and patch after duct installation, provide tapered insulation sloping to water scupper at bottom center of mechanical screenwall Area to be water tight



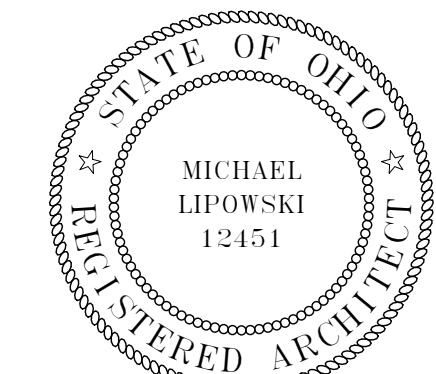
1 FLOOR PLAN - FIRST FLOOR
A-111 Scale: 1/8" = 1'-0"

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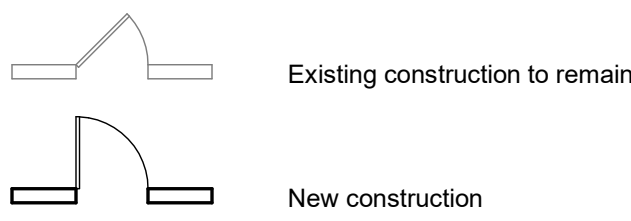
FLOOR PLAN - FIRST FLOOR

A-111



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Expiration Date 12/31/2027

LEGEND - FLOOR PLAN

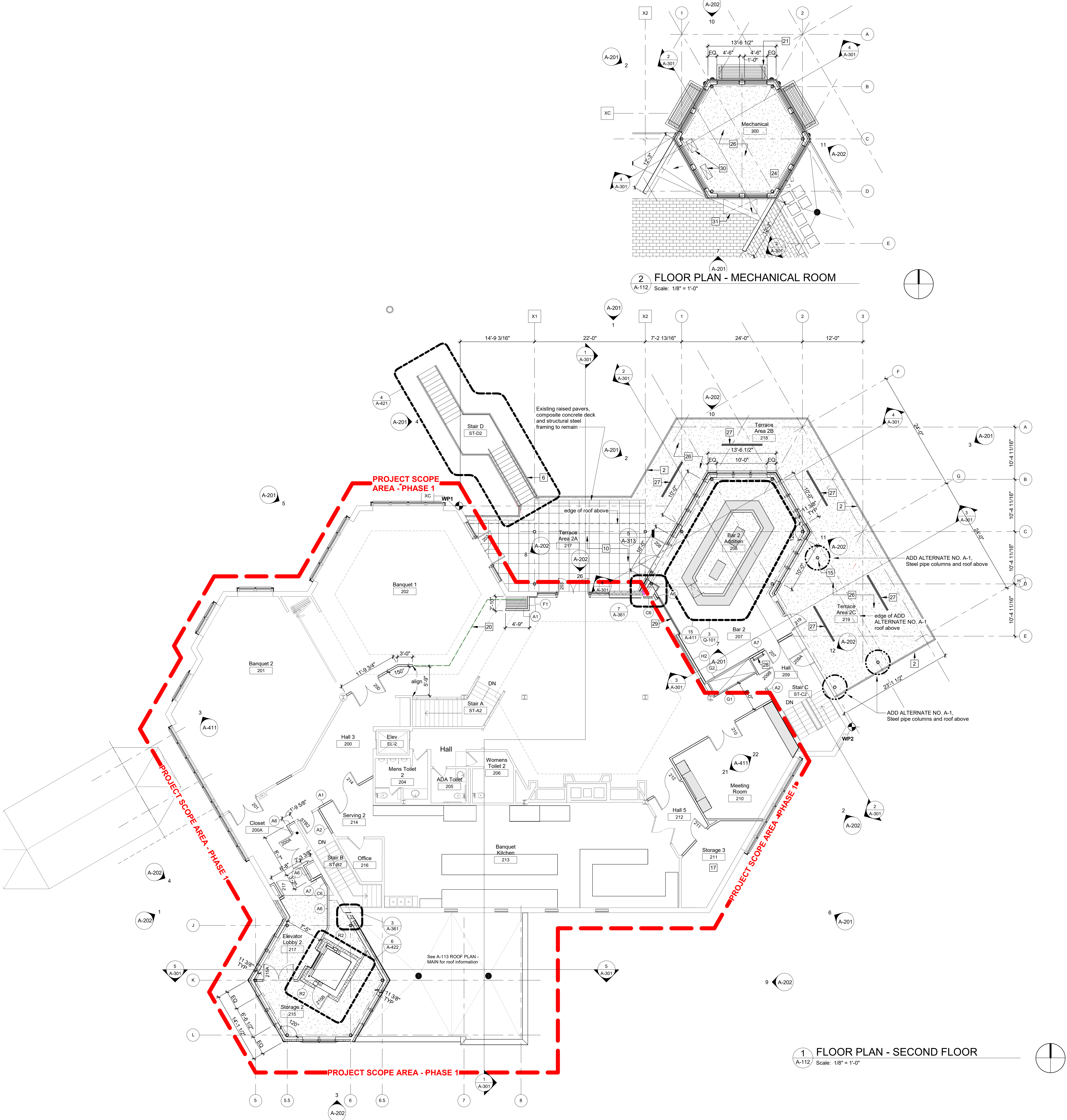


GENERAL NOTES - FLOOR PLAN

- A All partitions to be Type 'A1' unless noted otherwise. Refer to A6 series drawings for partition information.
B Contractor to verify all dimensions and conditions in the field prior to commencement of work. If drawings conflict with actual field conditions, contact Architect prior to proceeding with work.
C Refer to Life Safety Plans for rated wall locations.
D Dashed furniture and equipment items shown for reference only and is not part of the General Contract. These items will be provided and installed by Owner. Contractor may need to coordinate specific fixture and equipment requirements if noted.
E Provide concealed in-wall reinforcing/blocking for attachment of all millwork, casework, and/or accessories as required.
F All dimensions are to finish face of wall unless noted otherwise.
G Verify in field with designer final locations of all light switches, strobes, fire extinguisher cabinets, fire alarm pulls and other devices on walls.
H All interior wood framing, including exterior wall sheathing, blocking, etc. to be fire retardant treated wood.

CODED NOTES - FLOOR PLAN

- 1 Concrete slab on grade patio
2 055213 - Stainless steel pipe and cable railing system
3 No work this area - protect as required
4 New walk-in beer cooler with cooler door, interior cooler floor with internal ramp, and cooler roof to be provided and installed by Food Service Equipment vendor.
5 Concrete slab on grade walk
6 Metal stair with decorative metal post and horizontal cabling railing system
7 081476.13 - Bifolding wood patio door
8 Relocated existing trash compactor and hydraulic controls. Provide electrical service as required.
9 Dashed line indicates line of terrace above
10 Existing pedestal deck system on composite concrete and structural steel framing to remain.
11 Existing flooring this area to remain - protect as required
12 Steel tube with pre-finished composite metal column cover - see Structural drawings
13 New floor construction - prep as required to receive scheduled finish
14 Cast-in-place concrete stair with decorative metal railing system
15 Steel pipe column, painted. See Structural drawings
16 Built in banquet seating
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23 064100 Custom hostess stand
24 089000 - 4'-6" x 5'-0" French Door Hinged frame aluminum louver
25 6'-0" PVC privacy fence with (3) pairs of 4'-0" matching gates.
26 Composite concrete deck on steel framing.
27 Trench drain, see Plumbing drawing
28 Wall mounted roof access ladder with safety cage, up to roof hatch.
29 083344 - Overhead Colling Fire Curtain - concealed 8'-0" x 7'-0"
30 HVAC duct openings in composite concrete floor, coordinate size and location with HVAC and Structural drawings
31 HVAC duct openings in existing roof framing, coordinate size and location with HVAC and Structural drawings. Infill and patch after duct installation, provide tapered insulation sloping to water scupper at bottom corner of mechanical screenwall Area to be water tight



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FLOOR PLAN - SECOND FLOOR

A-112

	Asphalt shingle roof system
	Standing seam metal roof system
	Membrane roofing

P Refer to mechanical, plumbing, and electrical drawings for indications of openings and penetrations required in roof. Contractor shall coordinate final extent, number, and location of all penetrations and openings with mechanical, plumbing, and electrical contractor.

Q Units labeled or noted otherwise, positive slope roof for drains is achieved by the use of tapered insulation. Minimum roof slope is 1/4" per foot unless noted otherwise

R Base roof insulation four (4) inches unless noted otherwise. Add tapered insulation to base insulation to achieve proper drainage. Minimum tapered slope is 1/4" per foot unless noted otherwise

S Coordinate installation of equipment curbs with MEP contractors

E Flash and terminate roofing at penetrations, edges, parapets, etc. per NRCA and manufacturer's written recommendations. Flashings and terminations shall occur eight (8) inches above roof membrane, minimum

F Provide roof insulation saddles at all supports, equipment, and penetrations to facilitate roof drainage

G Tapered insulation to be at 30 degrees minimum

H Extend membrane roofing system up and over all parapets. Membrane shall cover entire top (horizontal) surface of parapet and extend beyond and 1" below nailer and fasten to front face unless noted otherwise

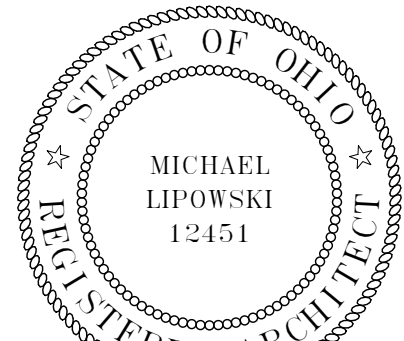
- 1 075323 - Membrane roof system with tapered insulation as required
- 2 BASE BID: 075313 - Asphalt shingles / ADD ALTERNATE NO. A-4, 074113.16 -
- 3 Standing seam metal roof system
- 4 Roof drain - See Plumbing drawings
- 5 076200 - Metal coping
- 6 076200 - Aluminum gutter and downspout system
- 7 073113 - Snow guards
- 8 077233 - 3'-0" x 3'-0" Roof hatch
- 9 Existing roof to remain
- 10 Roof cricket
- 11 073113 - Asphalt roof shingles
- 12 075323 - Roof walk pads
- 13 073113 - Ice guard protection
- 14 074604, 064000 - Fiber cement shake siding and trim on cold formed metal
- 15 mechanical system. See 2/A-12 for additional information

A-113 Scale: 1 1/2" = 1'-0"

A-113 Scale: 1/8" = 1'-0"

A-113 Scale: 1 1/2" = 1'-0"

A-113 Scale: 1/8" = 1'-0"



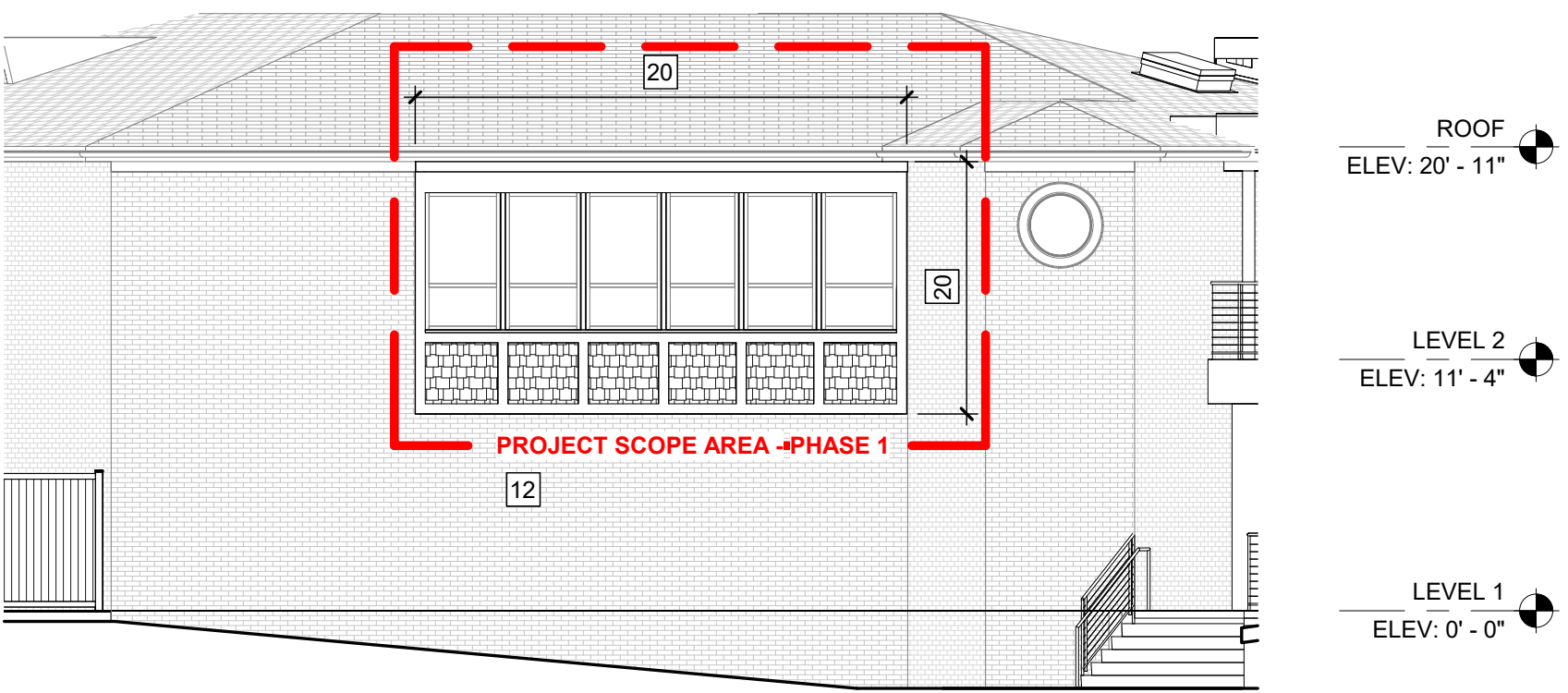
Michael Lipowski, License #12451
Expiration Date 12/31/2027

CODED NOTES - EXTERIOR ELEVATIONS

- 033000 - Concrete slab on grade patio, slope away from building
- 055213 - 3'-6" Stainless steel pipe and cable railing system
- Raised pavers on pedestal system
- Steel pipe with pre-finished composite metal column cover
- Metal grate stair system with decorative metal railing
- 063219 - Aluminum clad wood sliding glass door
- 042000 - Face brick, to match existing
- 074646 - Fiber-cement panels, and trim
- Reinforced concrete retaining wall
- New first floor patio, second floor terrace and 2 story addition
- 081476.13 - Blending wood patio door
- Existing two story main structure to remain
- 084113 - Aluminum clad wood windows / doors
- 073113 - Asphalt shingles, to match existing to remain
- New 2 story elevator / administration addition
- BASE BID - 073113 - Asphalt shingles / ADD ALTERNATE NO. A-4, 074113.16 - Standing seam metal roof Asystem
- 076200 - Aluminum gutters and downspout
- Existing covered entry drop-off to remain
- New 1 story kitchen staff / support addition
- ADD ALTERNATE NO. A-2, 074646 - Fiber-cement shake siding and 1"x6" trim
- Signage by Owner, provide power.
- 089000 - 4'-6" x 5'-0" Stationary aluminum louver
- 107316.16 - 10'-0" x 3'-0" x 1'-7" Louvered aluminum sunshade
- 077233 - 3'-0" x 3'-0" Roof hatch
- 074113 - Pre-finished composite metal fascia panel
- 089000 - 4'-6" x 5'-0" Access louver with French Door hinged frame, provide door hardware as required
- 074646, 054000 - Fiber cement shake siding and trim on cold formed metal framed mechanical screen wall. Provide water scupper at roof level

LEGEND - EXTERIOR ELEVATIONS

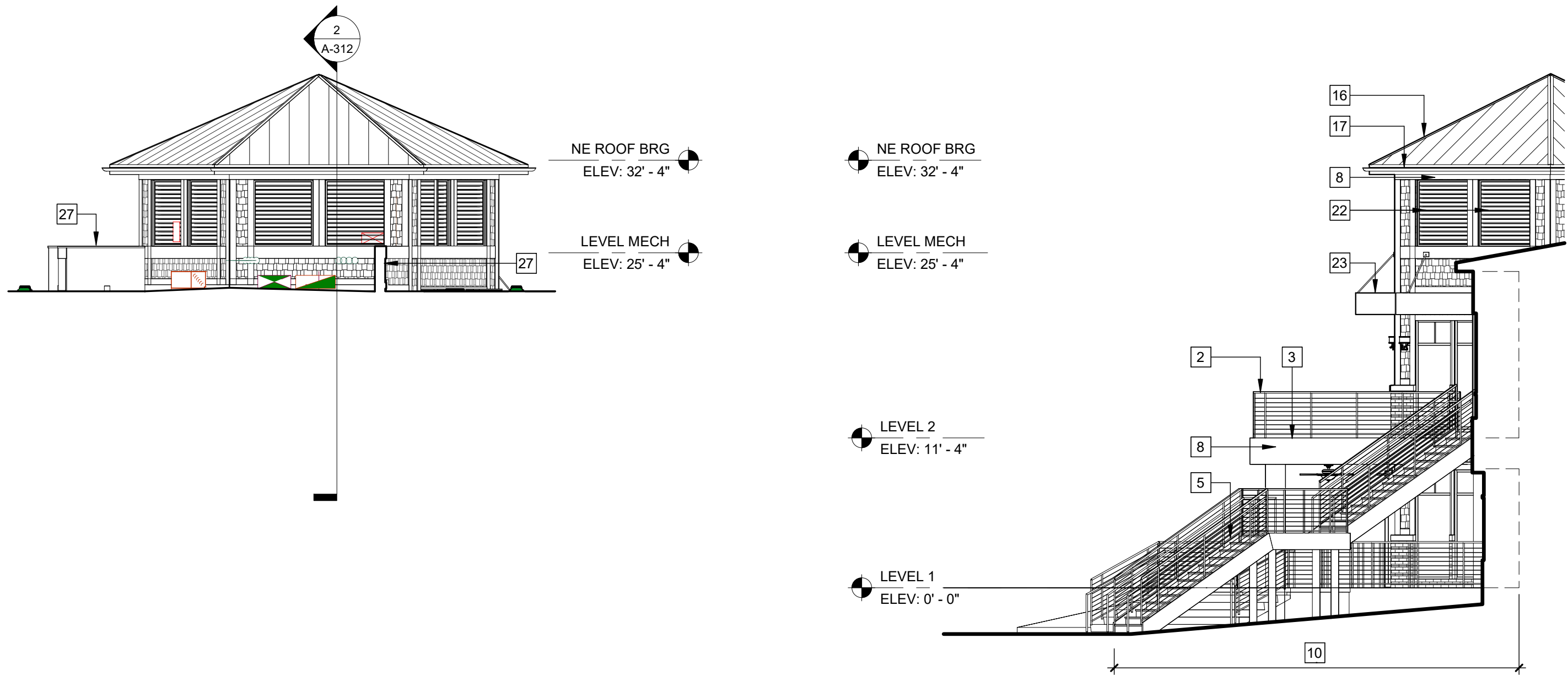
- 088000 - Glazing
- 042000 - Brick
- 074646 - Fiber cement shake siding



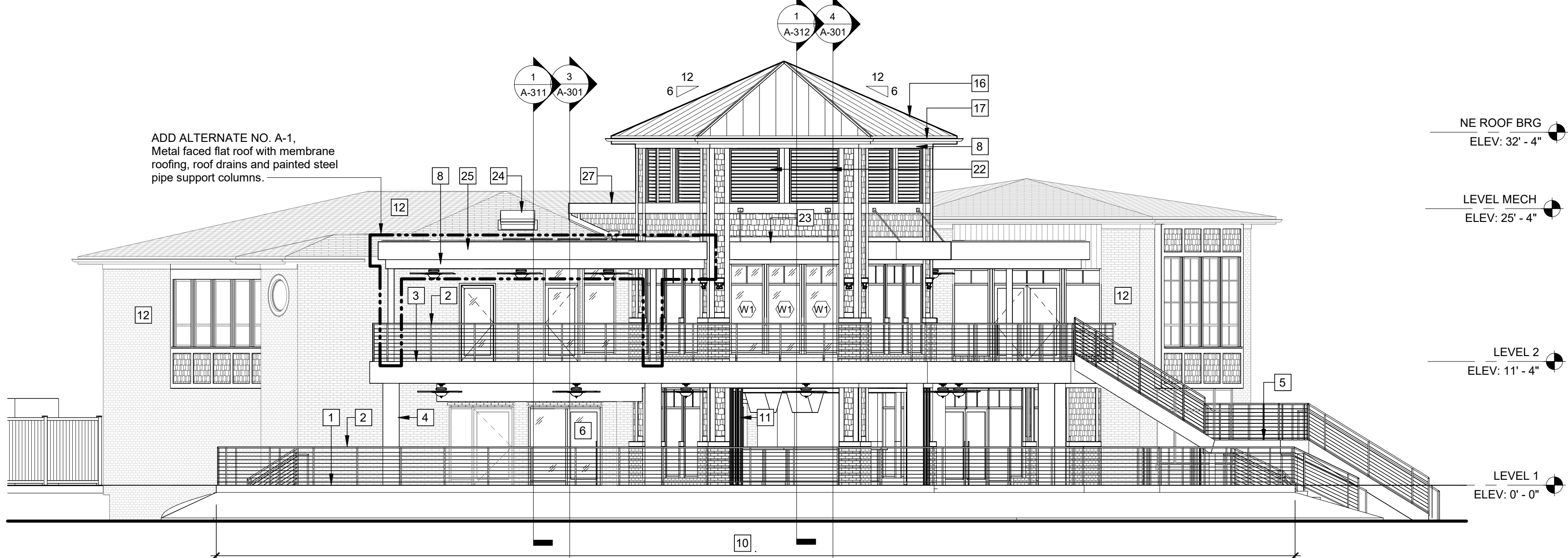
6 SOUTHEAST ELEVATION
A-201 Scale: 1/8" = 1'-0"



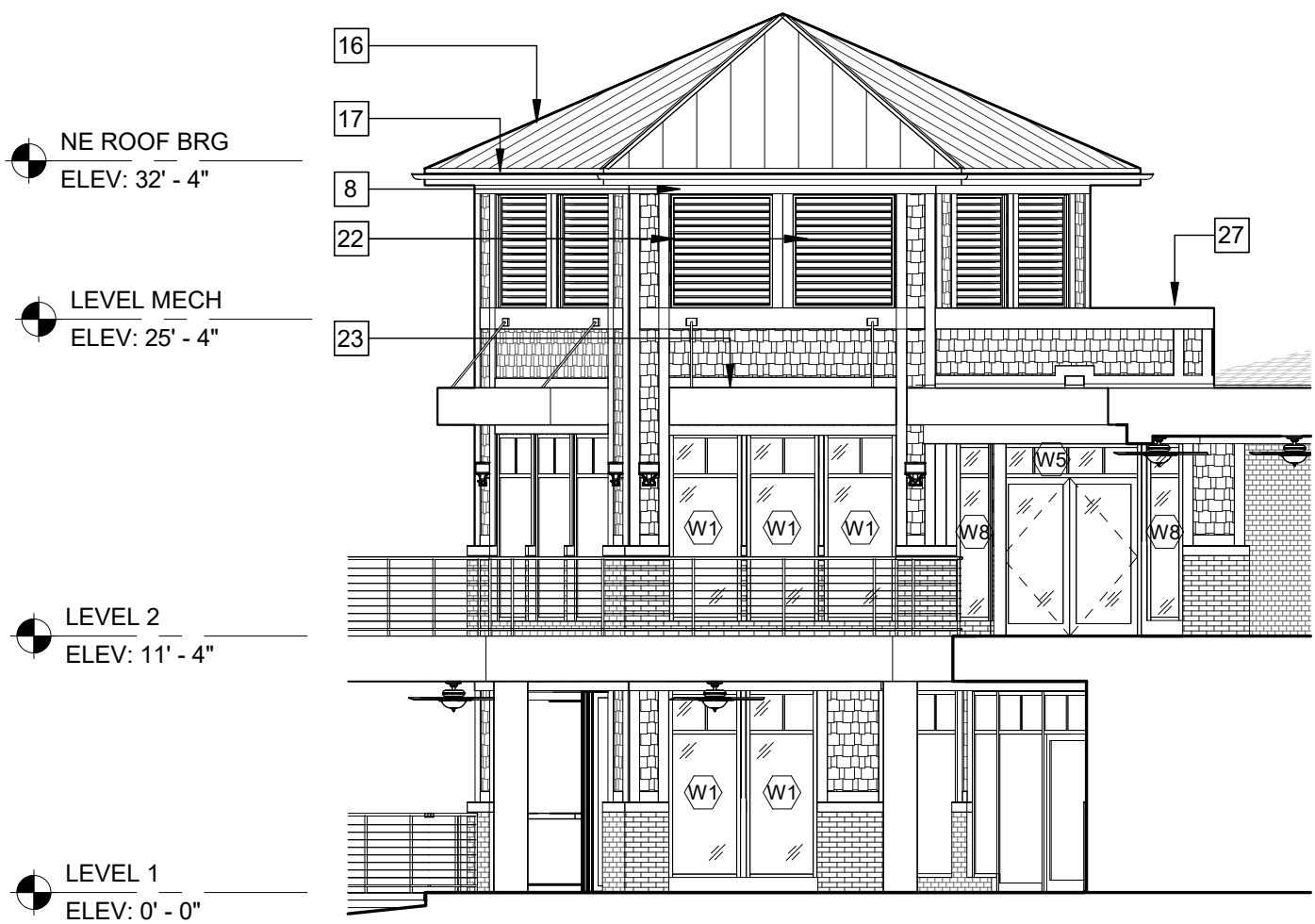
5 NORTHWEST ELEVATION
A-201 Scale: 1/8" = 1'-0"



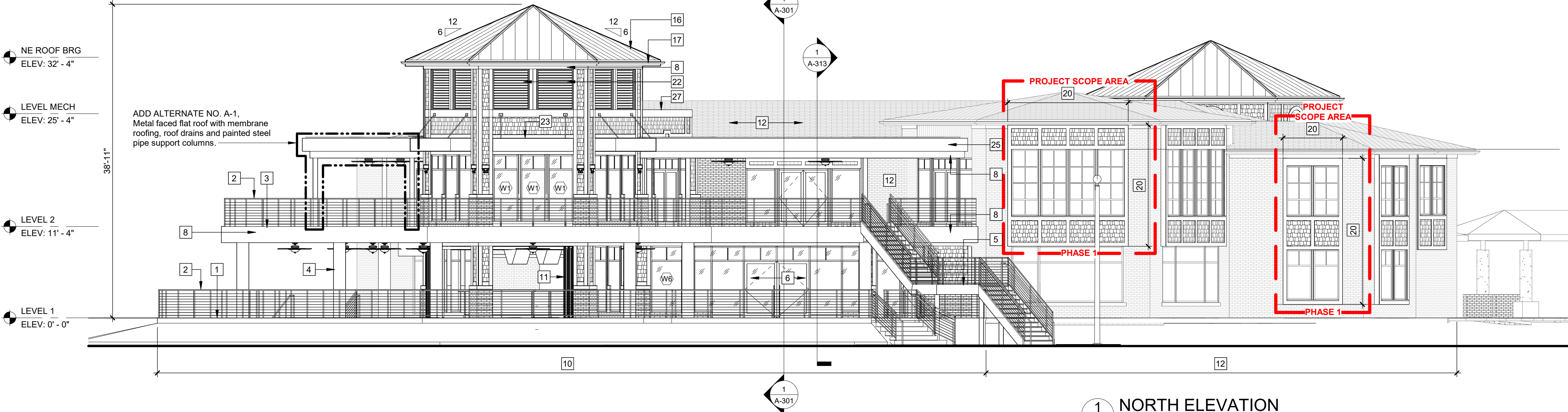
4 WEST ELEVATION
A-201 Scale: 1/8" = 1'-0"



3 EAST ELEVATION
A-201 Scale: 1/8" = 1'-0"



2 NORTHWEST ELEVATION
A-201 Scale: 1/8" = 1'-0"



1 NORTH ELEVATION
A-201 Scale: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A-201



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CODED NOTES - EXTERIOR ELEVATIONS

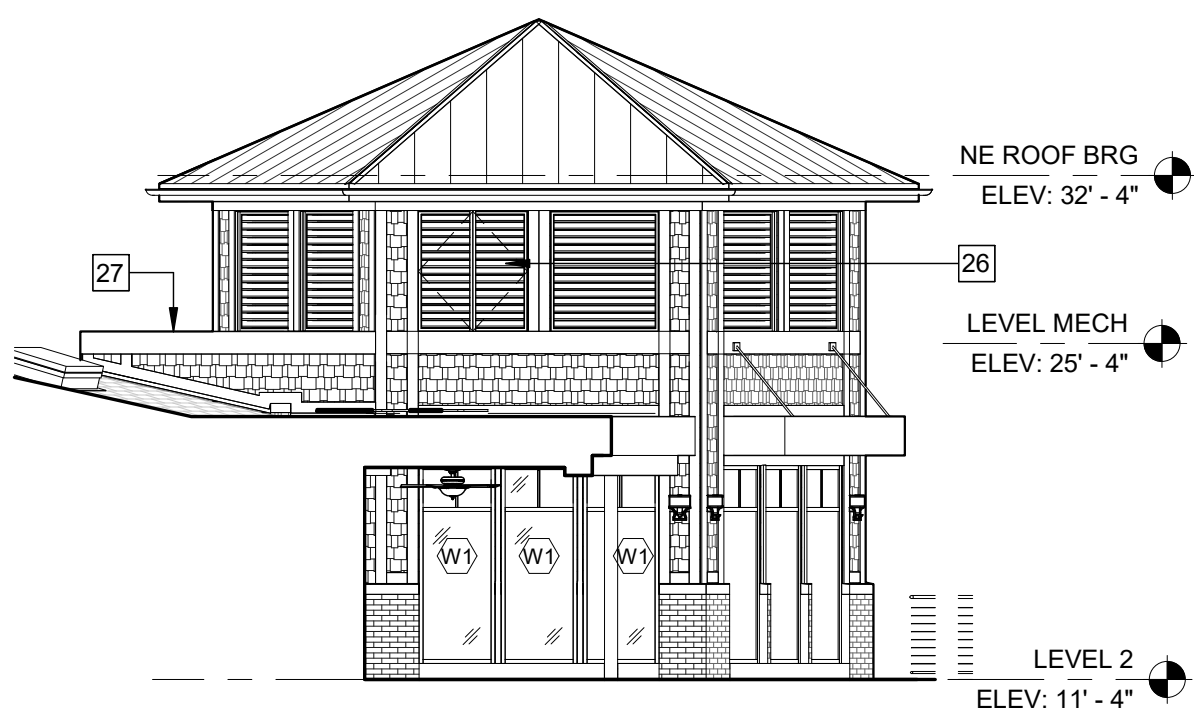
- 033000 - Concrete slab on grade patio, slope away from building
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- Raised pavers on pedestal system
- Steel pipe with pre-finished composite metal column cover
- Metal grate stair system with decorative metal railing
- 053219 - Aluminum clad wood sliding glass door
- 042000 - Face brick, to match existing
- 074646 - Fiber-cement panels, and trim
- Reinforced concrete retaining wall
- New first floor patio, second floor terrace and 2 story addition
- 081476.13 - Bi-folding wood patio door
- Existing two story main structure to remain
- 084113 - Aluminum clad wood windows / doors
- 073113 - Asphalt shingles, to match existing to remain
- New 2 story elevator / administration addition
- BASE BID, 073113 - Asphalt shingles / ADD ALTERNATE NO. A-4, 074113.16 - Standing seam metal roof Asystem
- 076200 - Aluminum gutters and downspout
- Existing covered entry drop-off to remain
- New 1 story kitchen staff / support addition
- ADD ALTERNATE NO. A-2, 074646 - Fiber-cement shake siding and 1"x6" trim
- Signage by Owner, provide power.
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- 074113 - Pre-finished composite metal fascia panel
- 089000 - 4'-0" x 5'-0" Access louver with French Door hinged frame, provide door hardware as required
- 074646, 054000 - Fiber cement shake siding and trim on cold formed metal framed mechanical screen wall. Provide water scupper at roof level

LEGEND - EXTERIOR ELEVATIONS

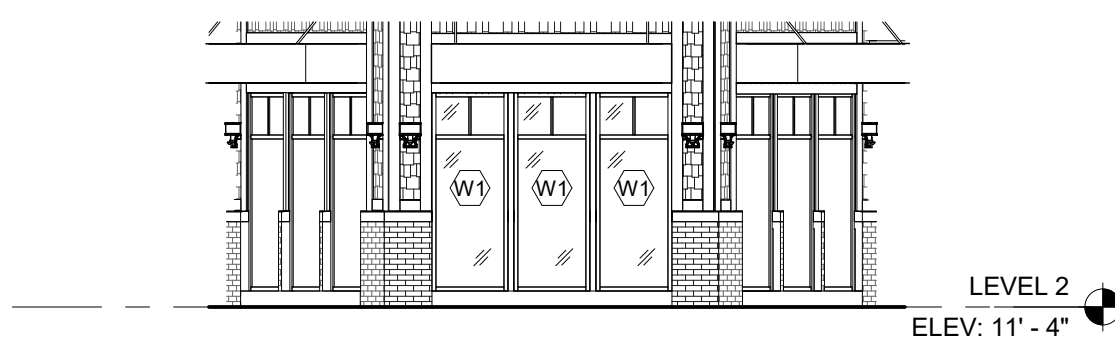
- | | |
|---|------------------------------------|
| # | 088000 - Glazing |
| # | 042000 - Brick |
| # | 074646 - Fiber cement shake siding |



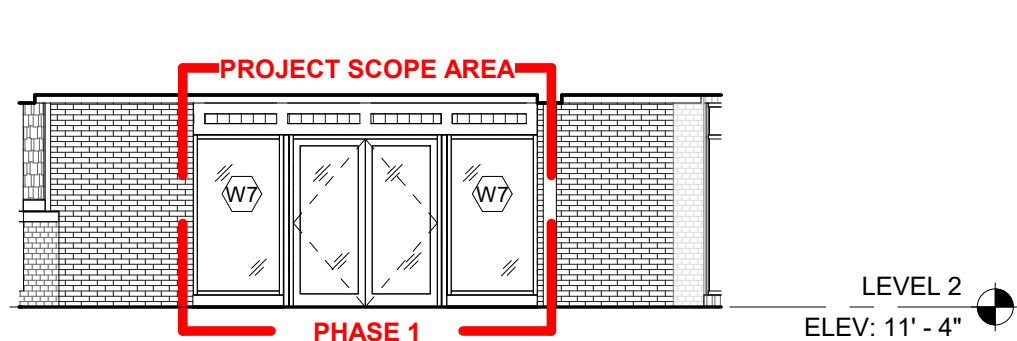
12 TERRACE AREA 2C - SW
A-202 Scale: 1/8" = 1'-0"



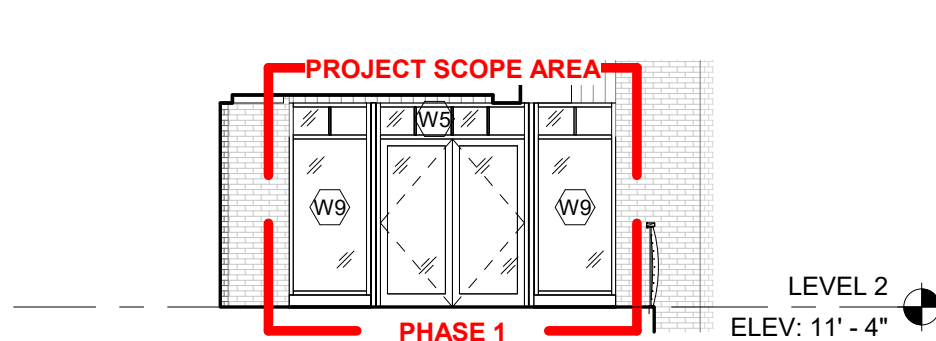
11 TERRACE AREA 2C - NW
A-202 Scale: 1/8" = 1'-0"



10 TERRACE AREA 2B - S
A-202 Scale: 1/8" = 1'-0"



26 TERRACE AREA 2A - S
A-202 Scale: 1/8" = 1'-0"



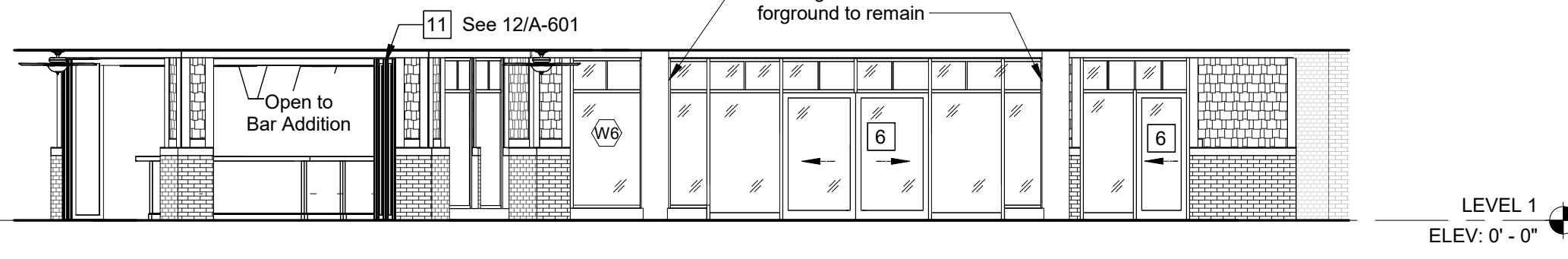
8 TERRACE AREA 2A - W
A-202 Scale: 1/8" = 1'-0"



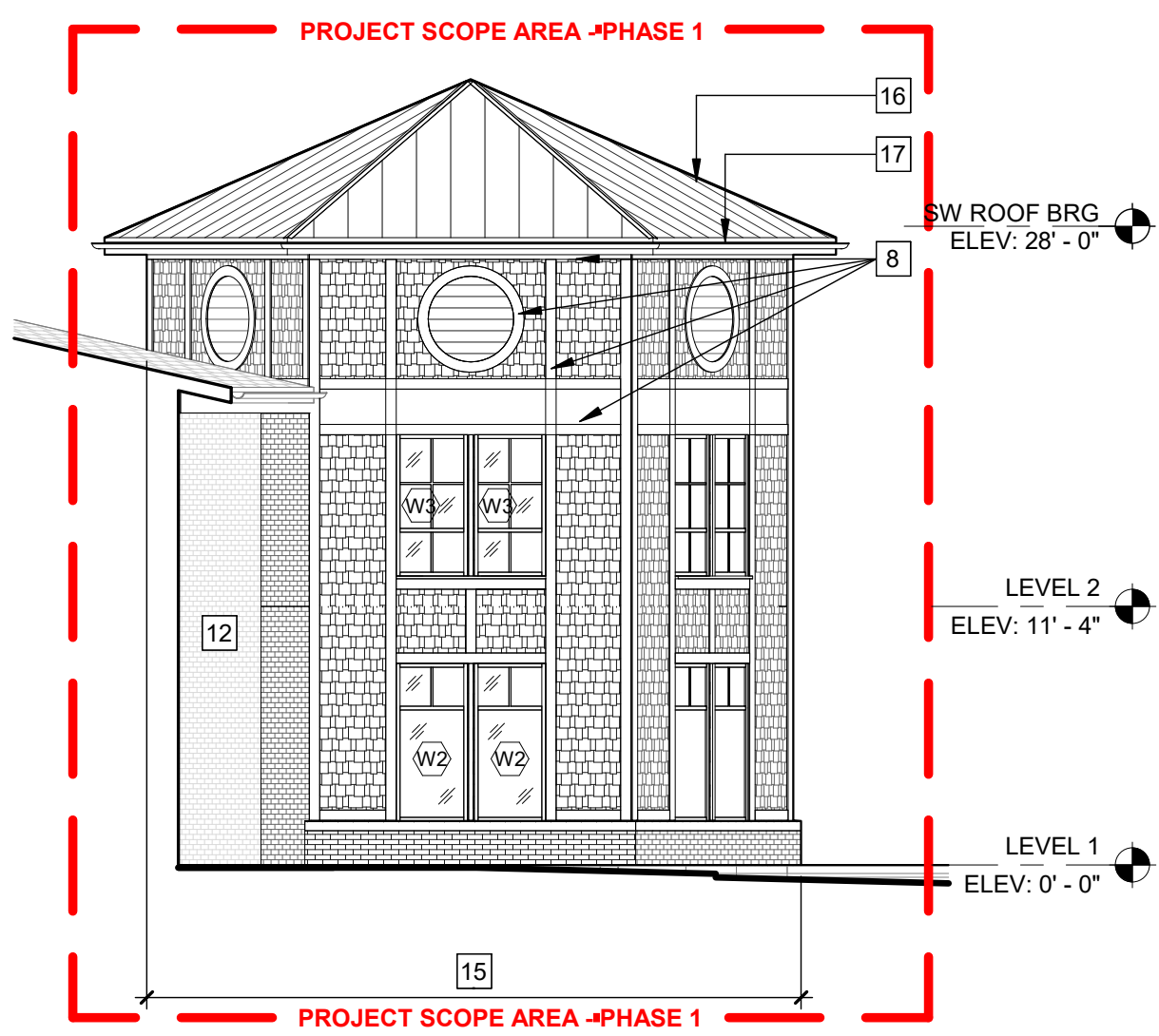
7 PATIO AREA 1B & 1C - SW
A-202 Scale: 1/8" = 1'-0"



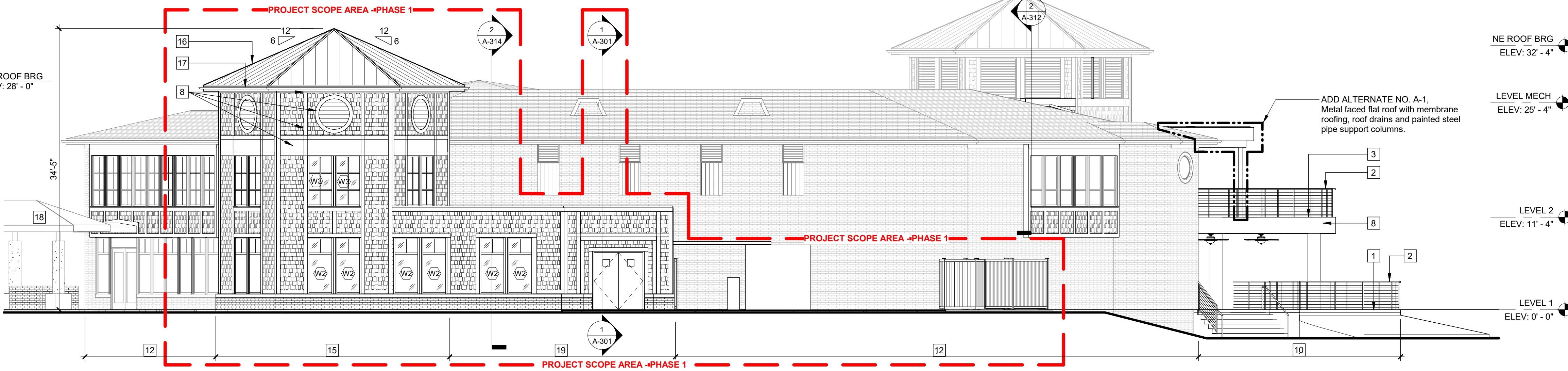
6 PATIO AREA 1C - NW
A-202 Scale: 1/8" = 1'-0"



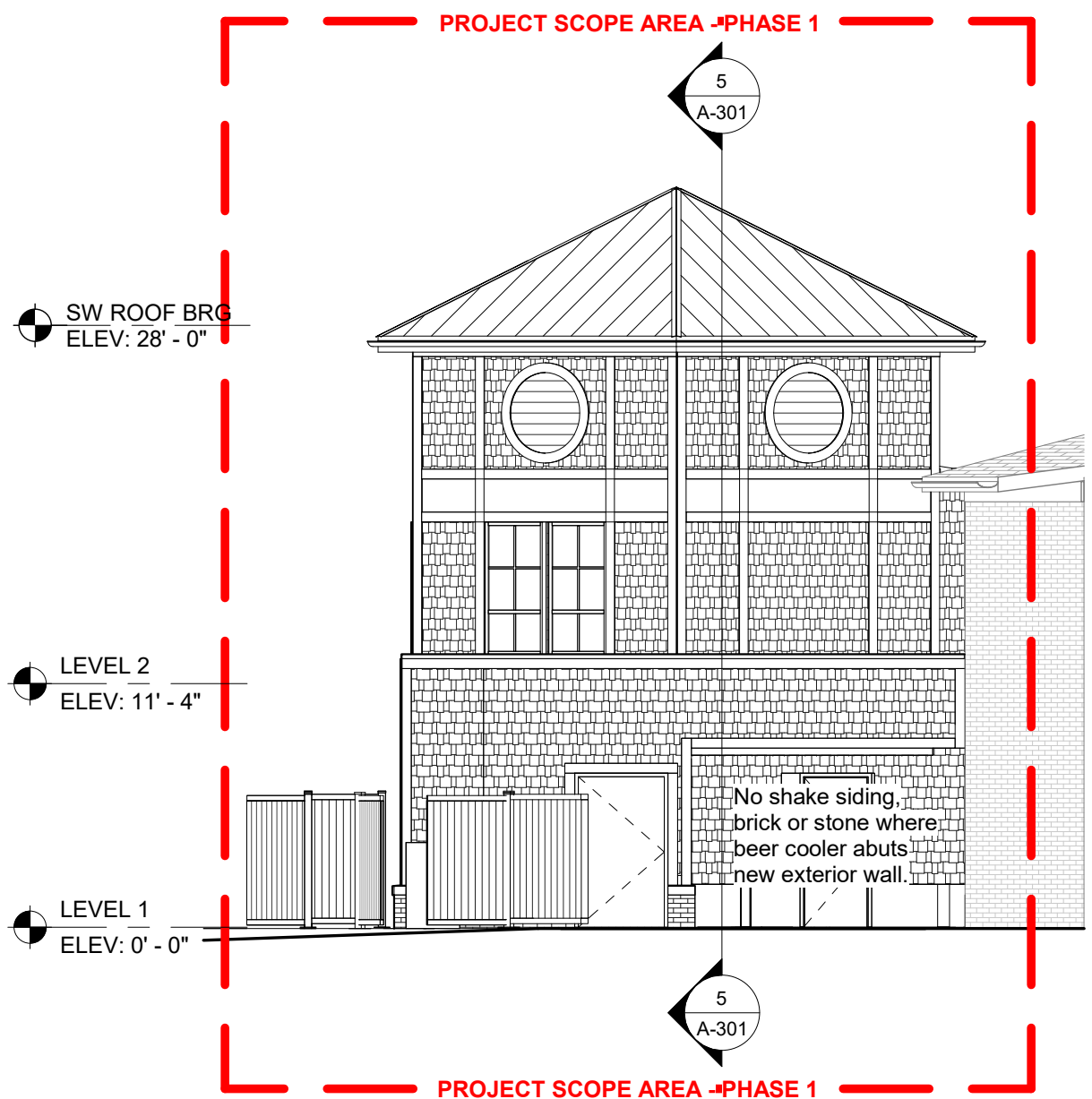
5 PATIO AREA 1A - S
A-202 Scale: 1/8" = 1'-0"



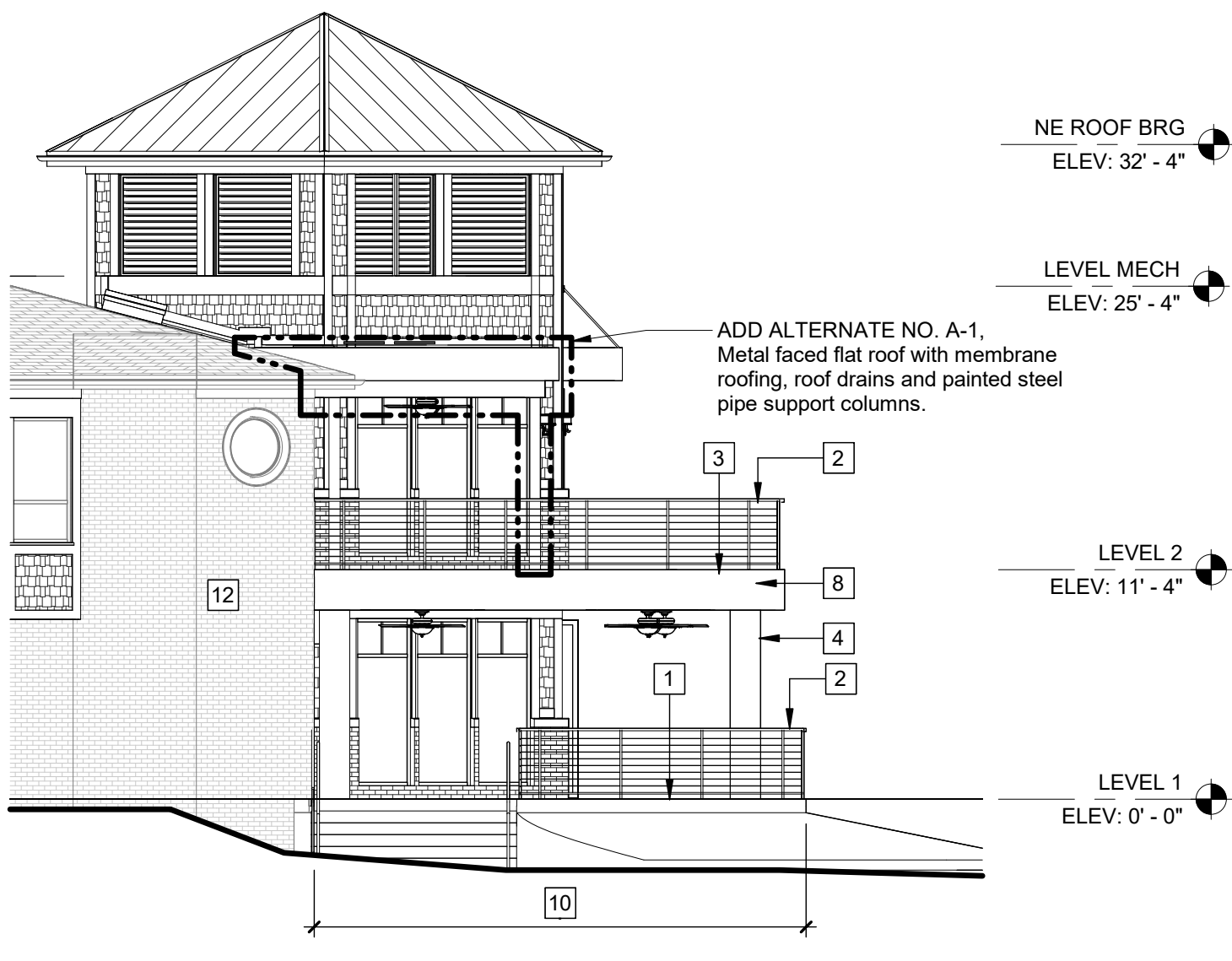
4 NORTHWEST ELEVATION 2
A-202 Scale: 1/8" = 1'-0"



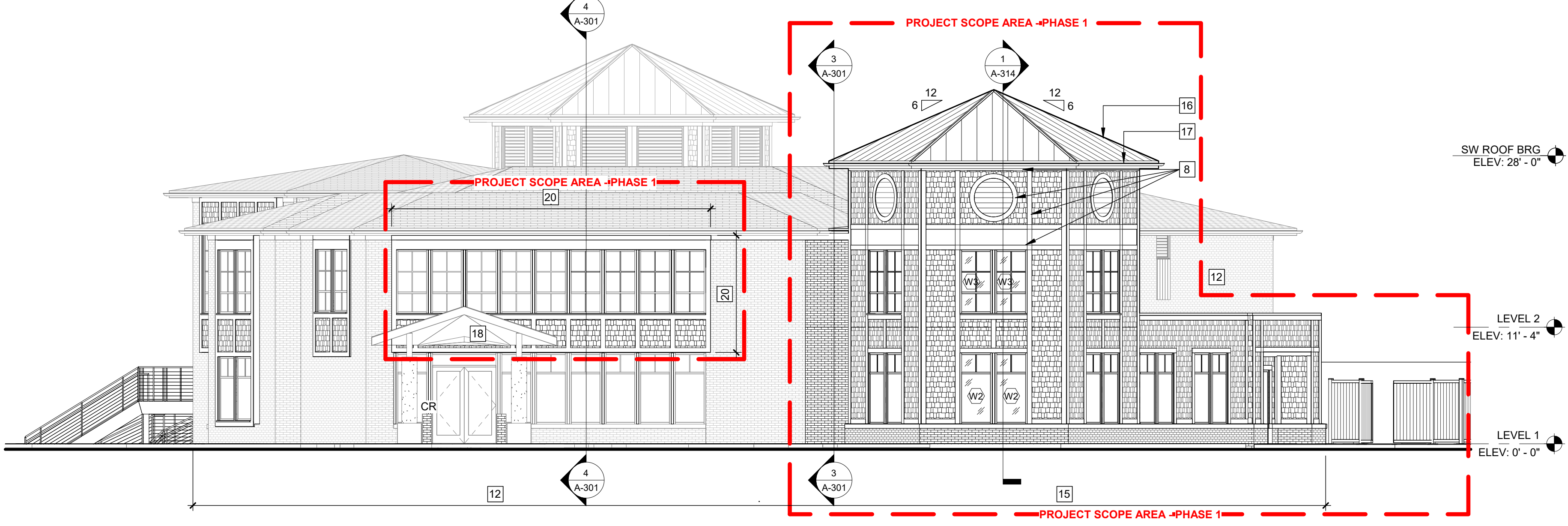
3 SOUTH ELEVATION
A-202 Scale: 1/8" = 1'-0"



9 EAST ELEVATION 2
A-202 Scale: 1/8" = 1'-0"



2 SOUTHEAST ELEVATION
A-202 Scale: 1/8" = 1'-0"



1 SOUTHWEST ELEVATION
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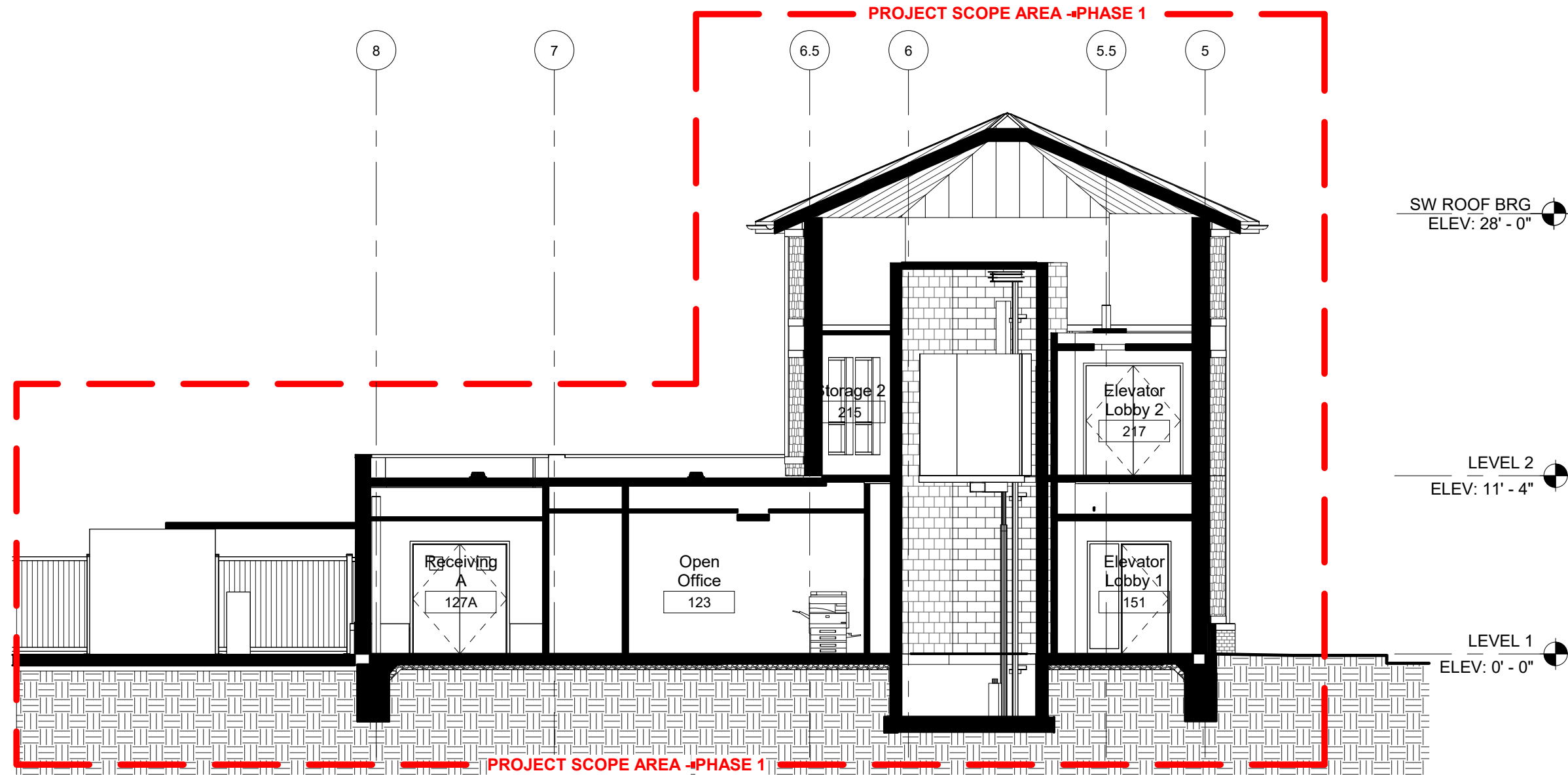
ISSUE	DATE
DD Review	08-29-2025
GMP Set	09-26-2025
90% CD	03-26-2026
100% CD	04-09-2026
Addendum No. 01	04-28-2026
Addendum No. 02	07-10-2026

EXTERIOR ELEVATIONS

A-202

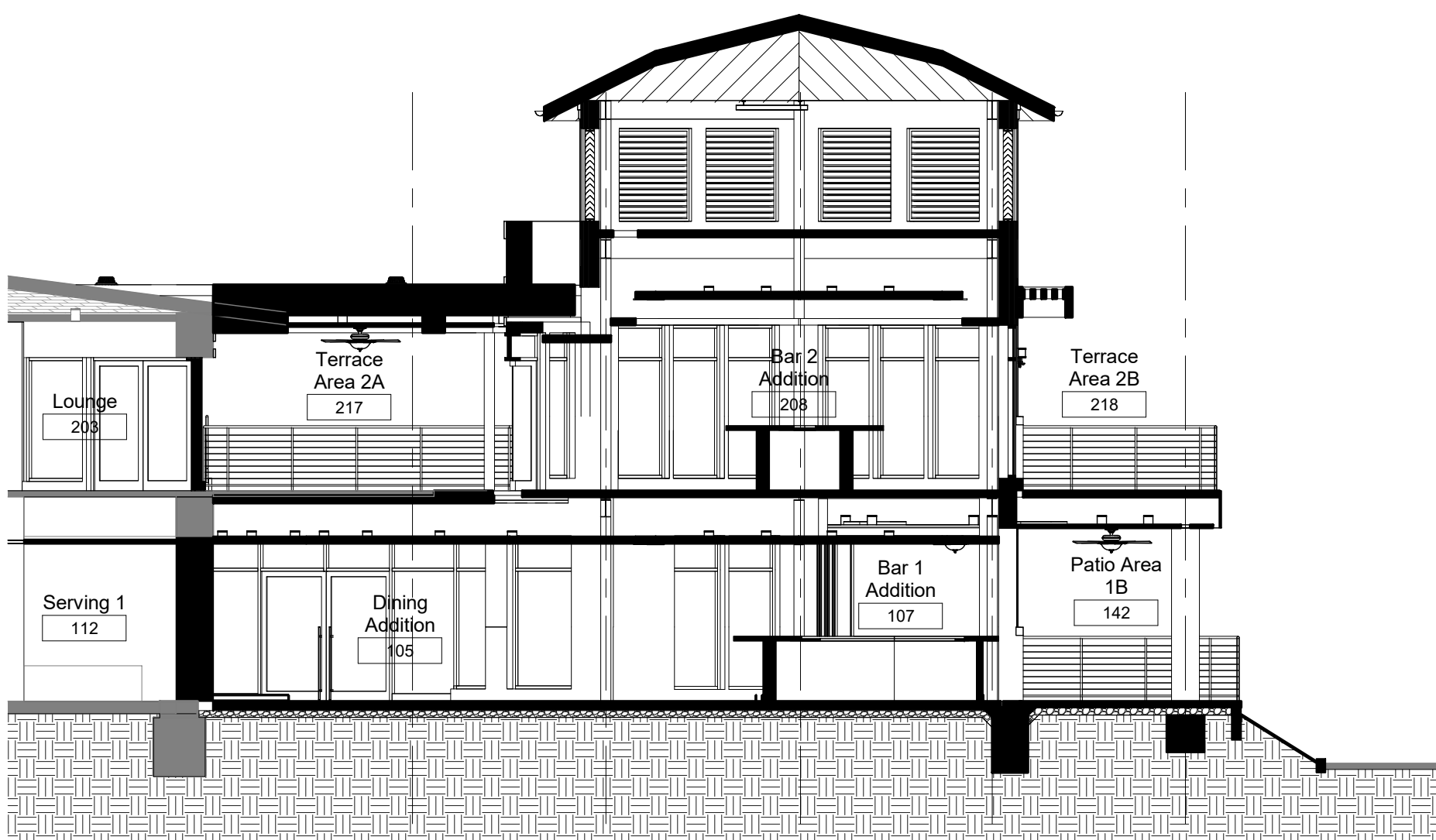


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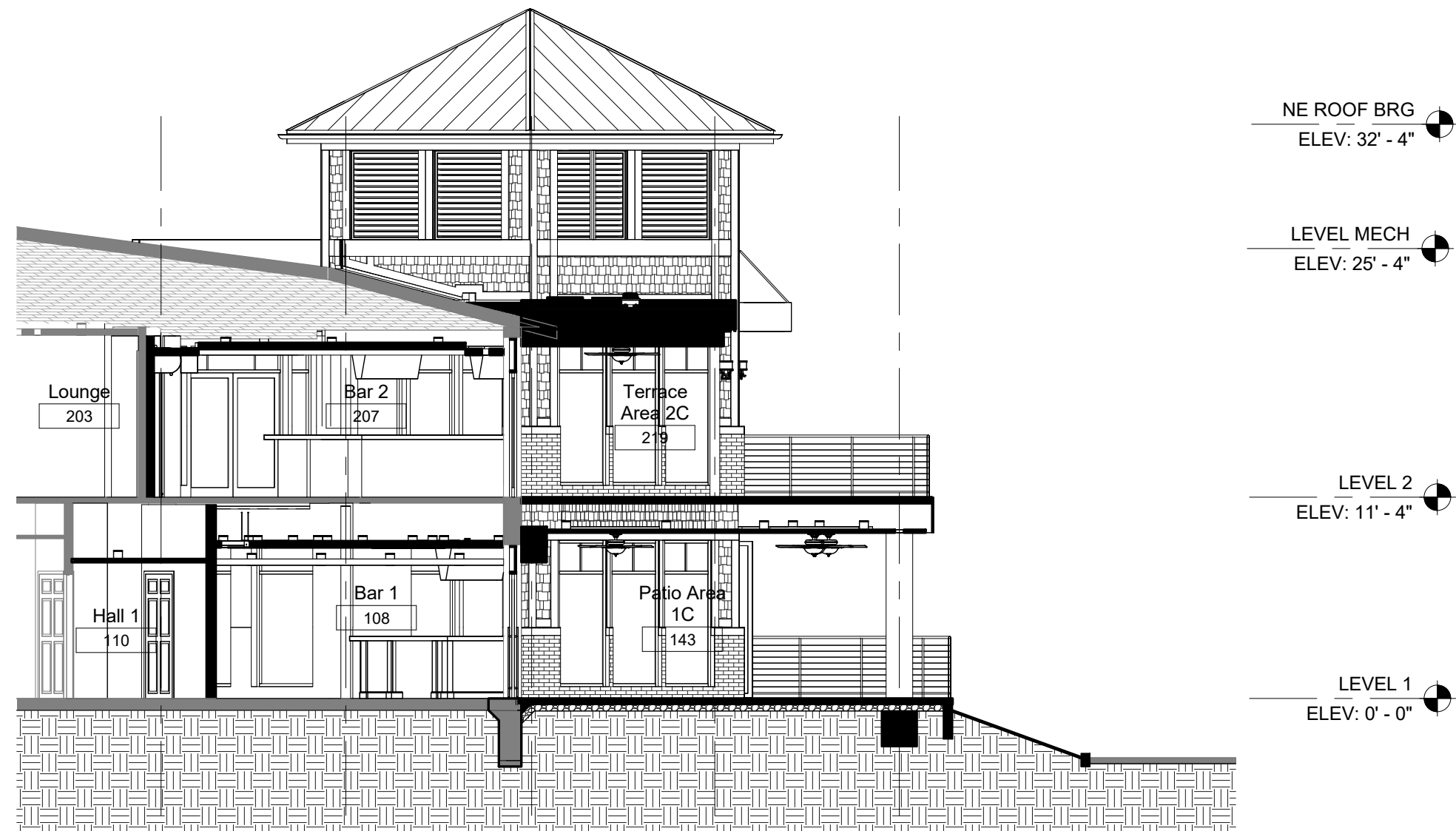
5 BUILDING SECTION E

A-301 Scale: 1/8" = 1'-0"



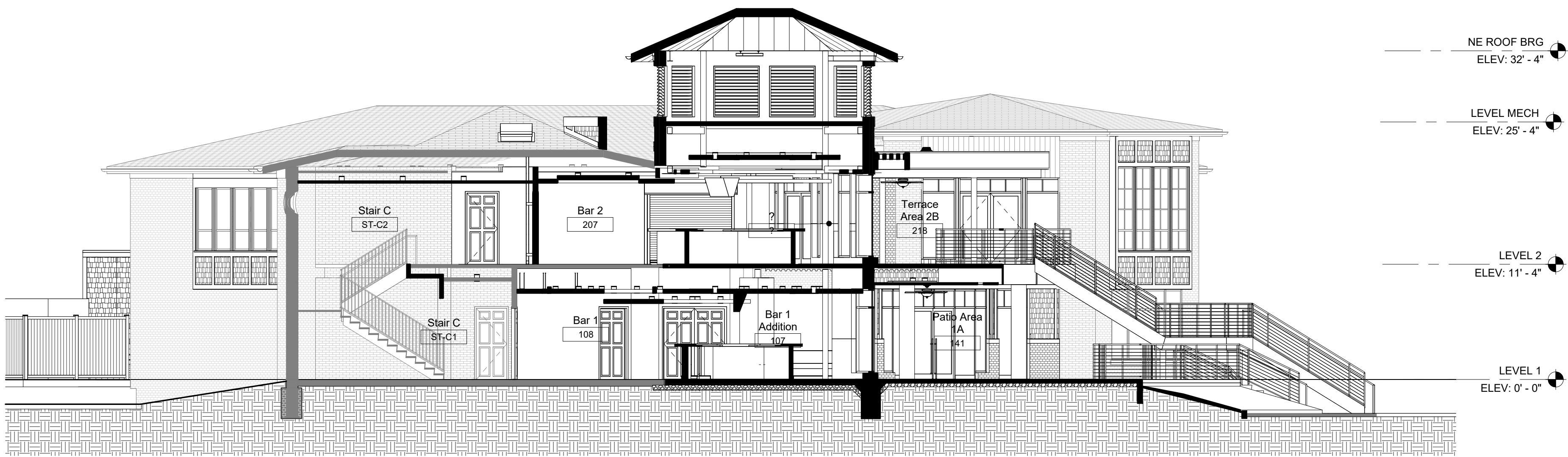
4 BUILDING SECTION D

A-301 Scale: 1/8" = 1'-0"



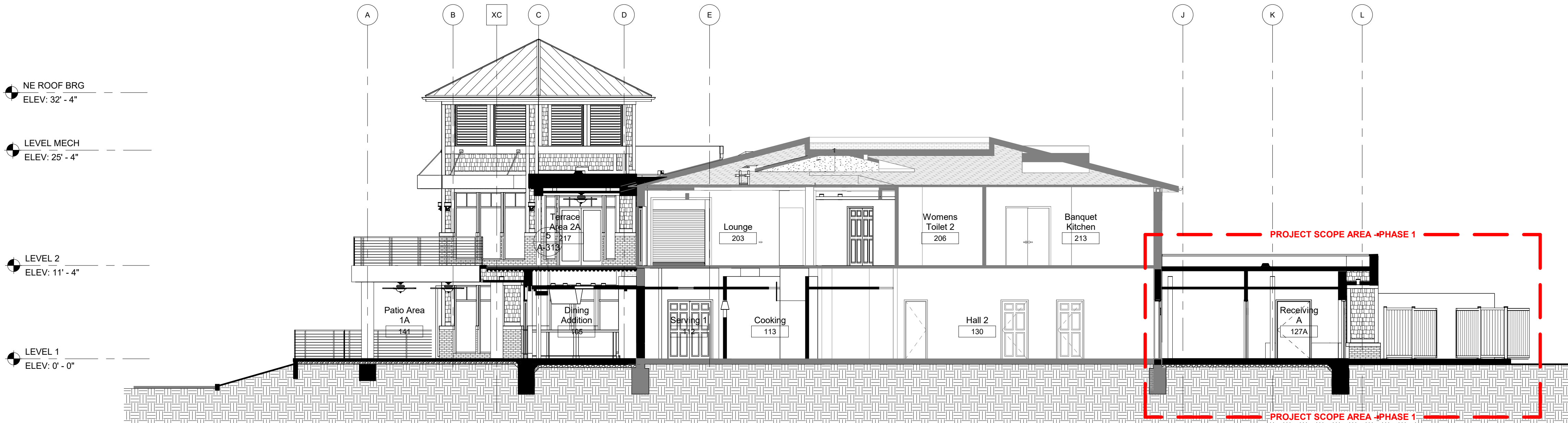
3 BUILDING SECTION C

A-301 Scale: 1/8" = 1'-0"



2 BUILDING SECTION B

A-301 Scale: 1/8" = 1'-0"



1 BUILDING SECTION A

A-301 Scale: 1/8" = 1'-0"

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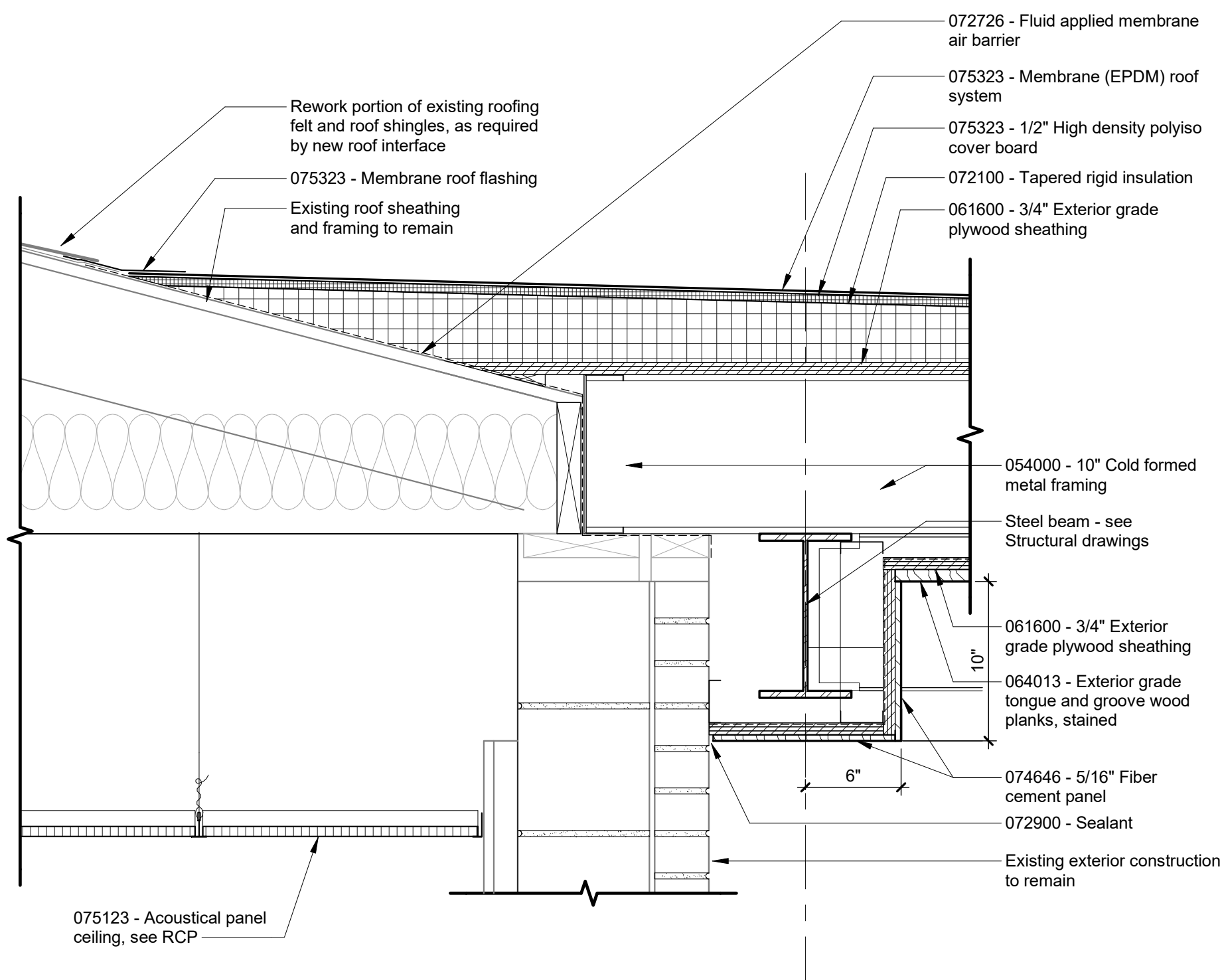
ISSUE	DATE
DO Review	08-29-2025
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100% CD	04-08-2026
2 Addendum No. 02	07-10-2026

BUILDING SECTIONS

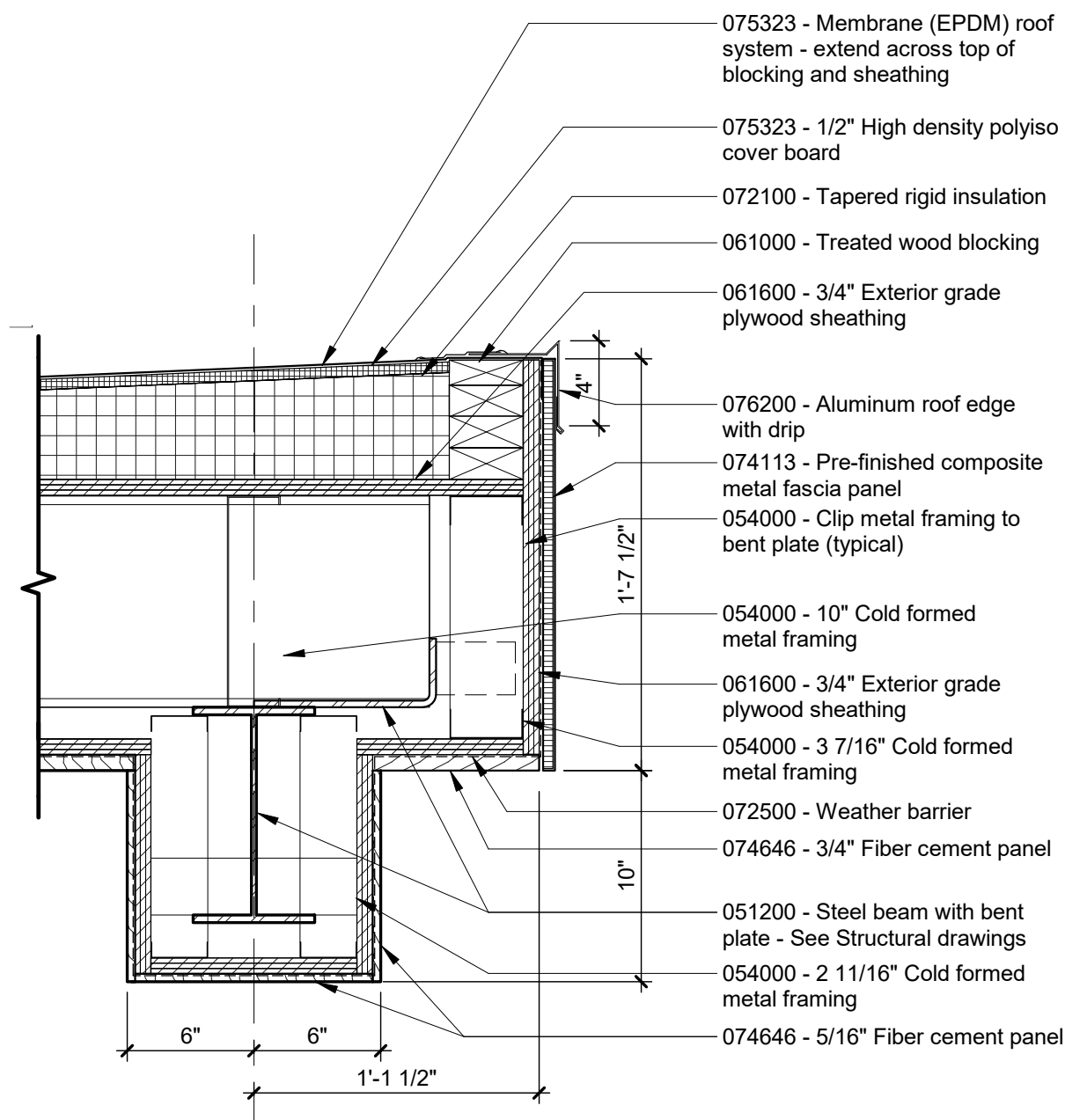
A-301



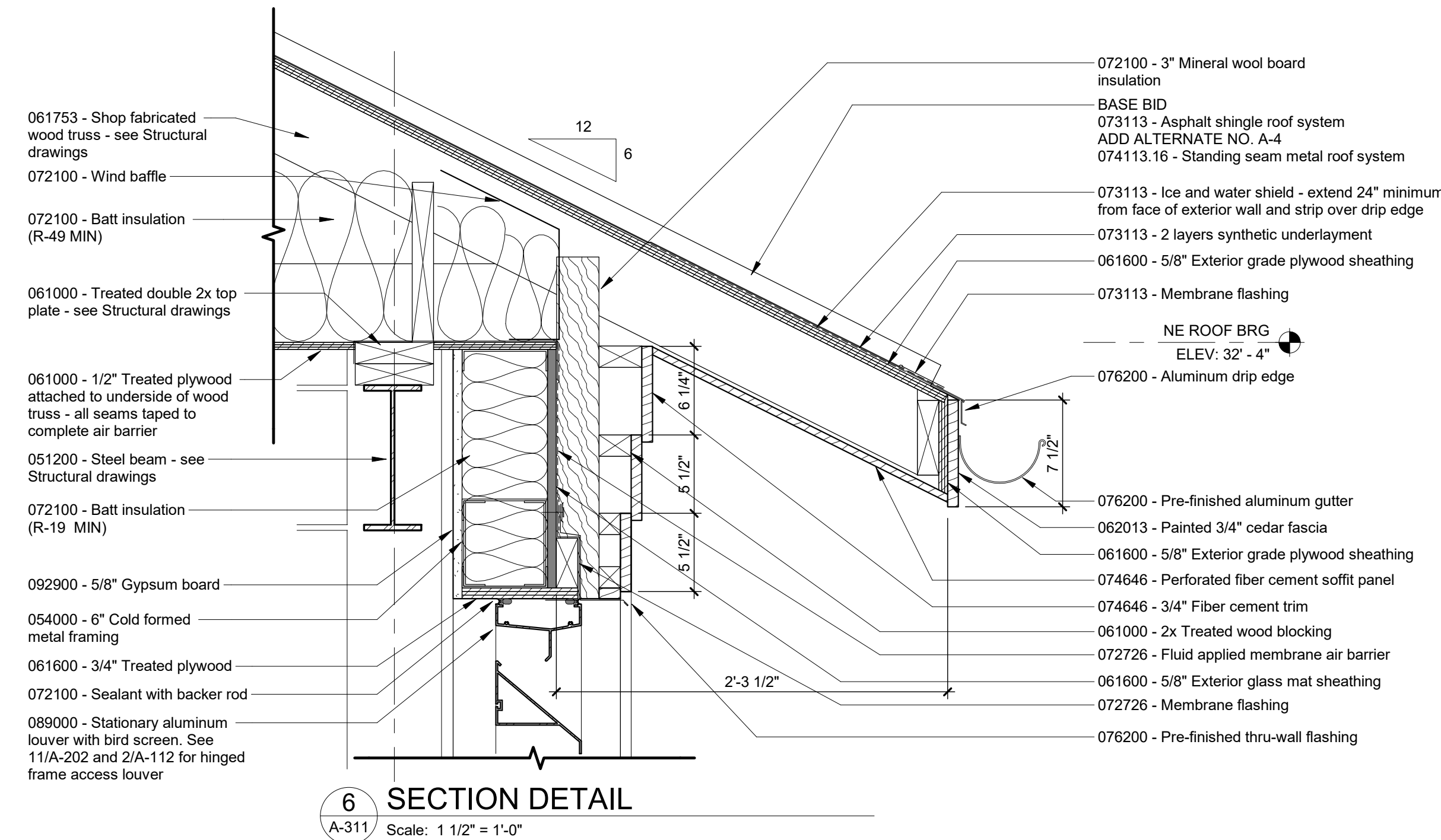
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Expiration Date 12/31/2027



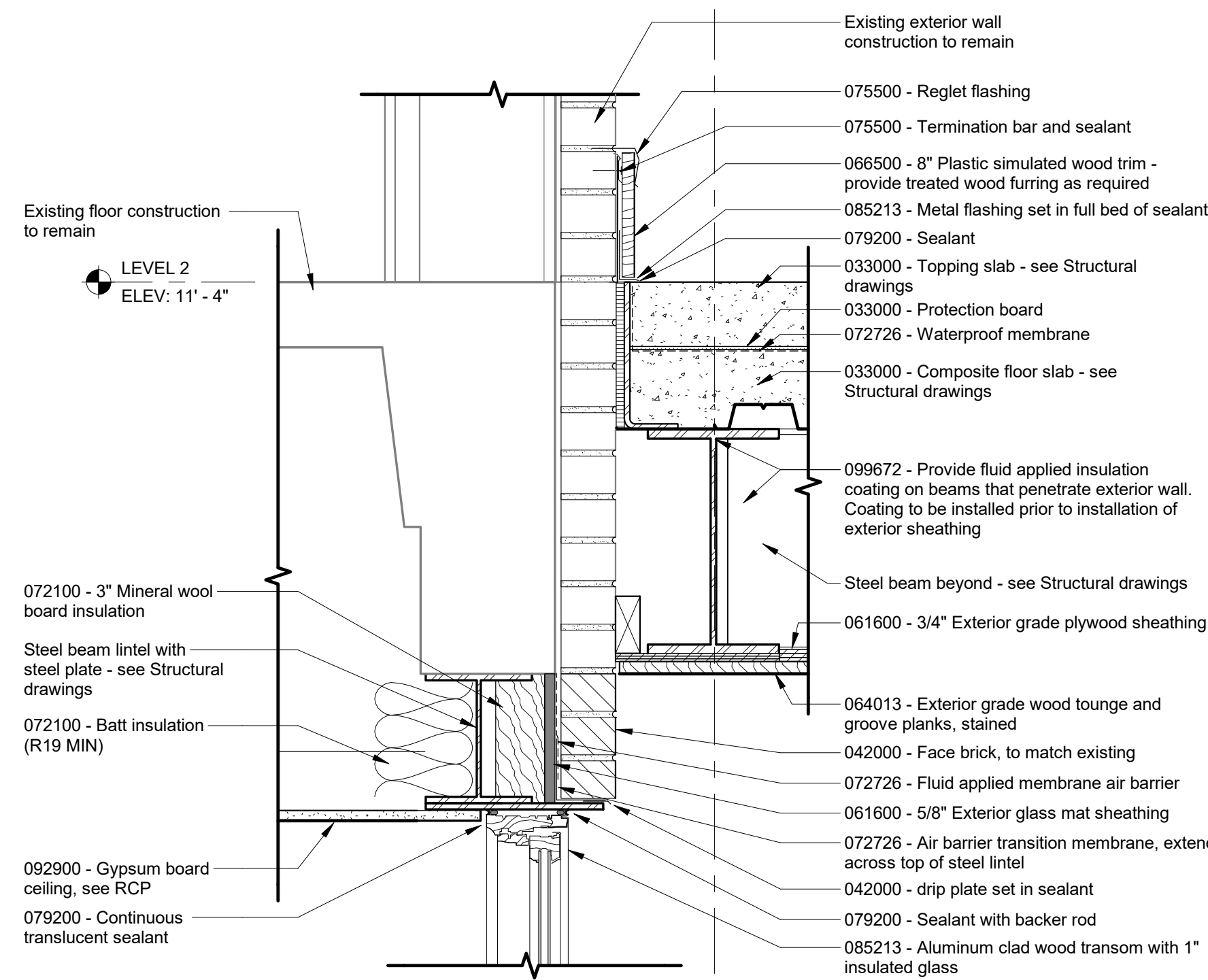
3 TERRACE ROOF TO WALL DETAIL
A-311 Scale: 1 1/2" = 1'-0"



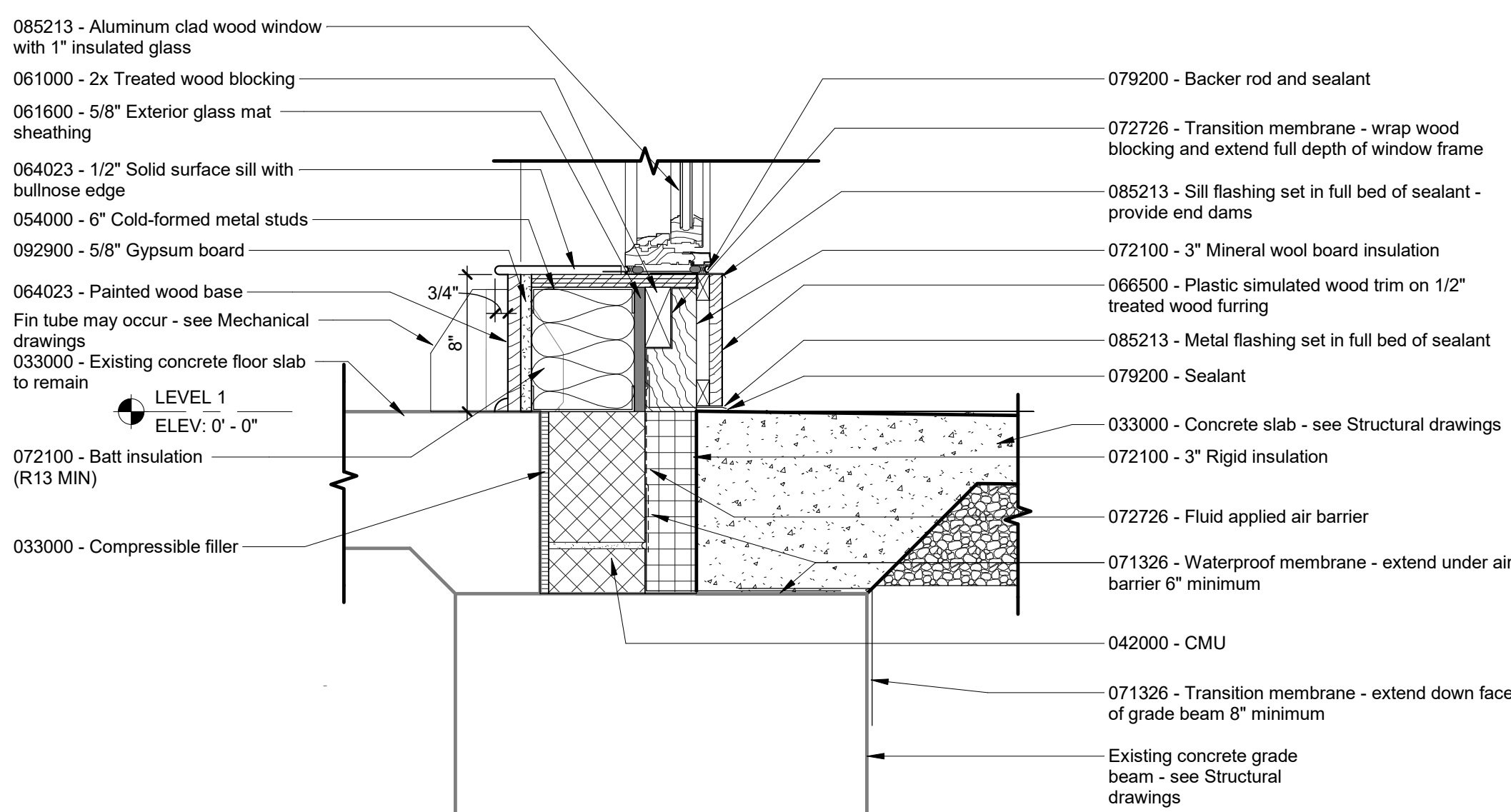
2 TERRACE ROOF EDGE DETAIL
A-311 Scale: 1 1/2" = 1'-0"



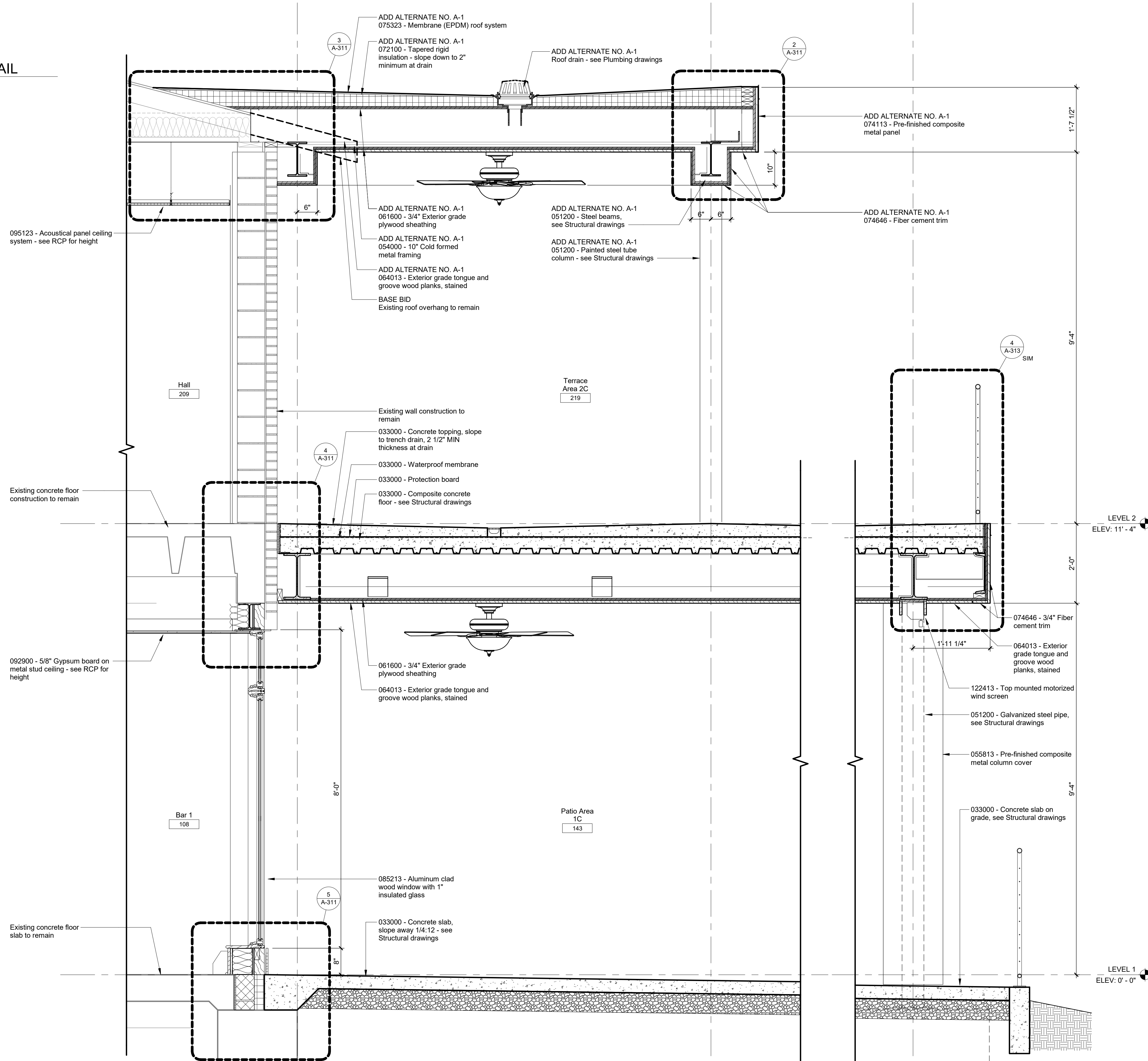
6 SECTION DETAIL
A-311 Scale: 1 1/2" = 1'-0"



4 TERRACE FLOOR TO WALL DETAIL
A-311 Scale: 1 1/2" = 1'-0"



5 SECTION DETAIL
A-311 Scale: 1 1/2" = 1'-0"



1 WALL SECTION
A-311 Scale: 3/4" = 1'-0"

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WALL SECTIONS

A-311



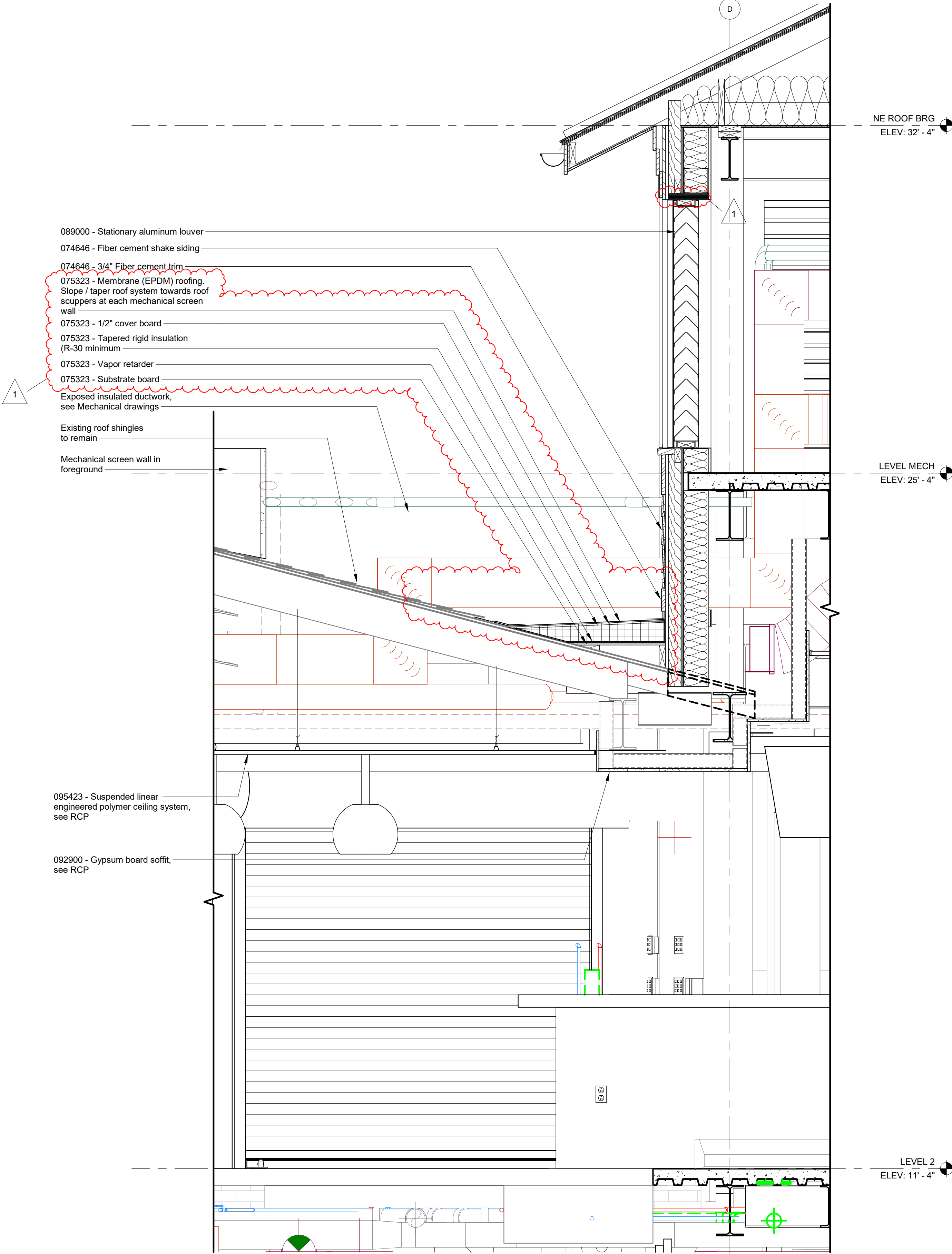
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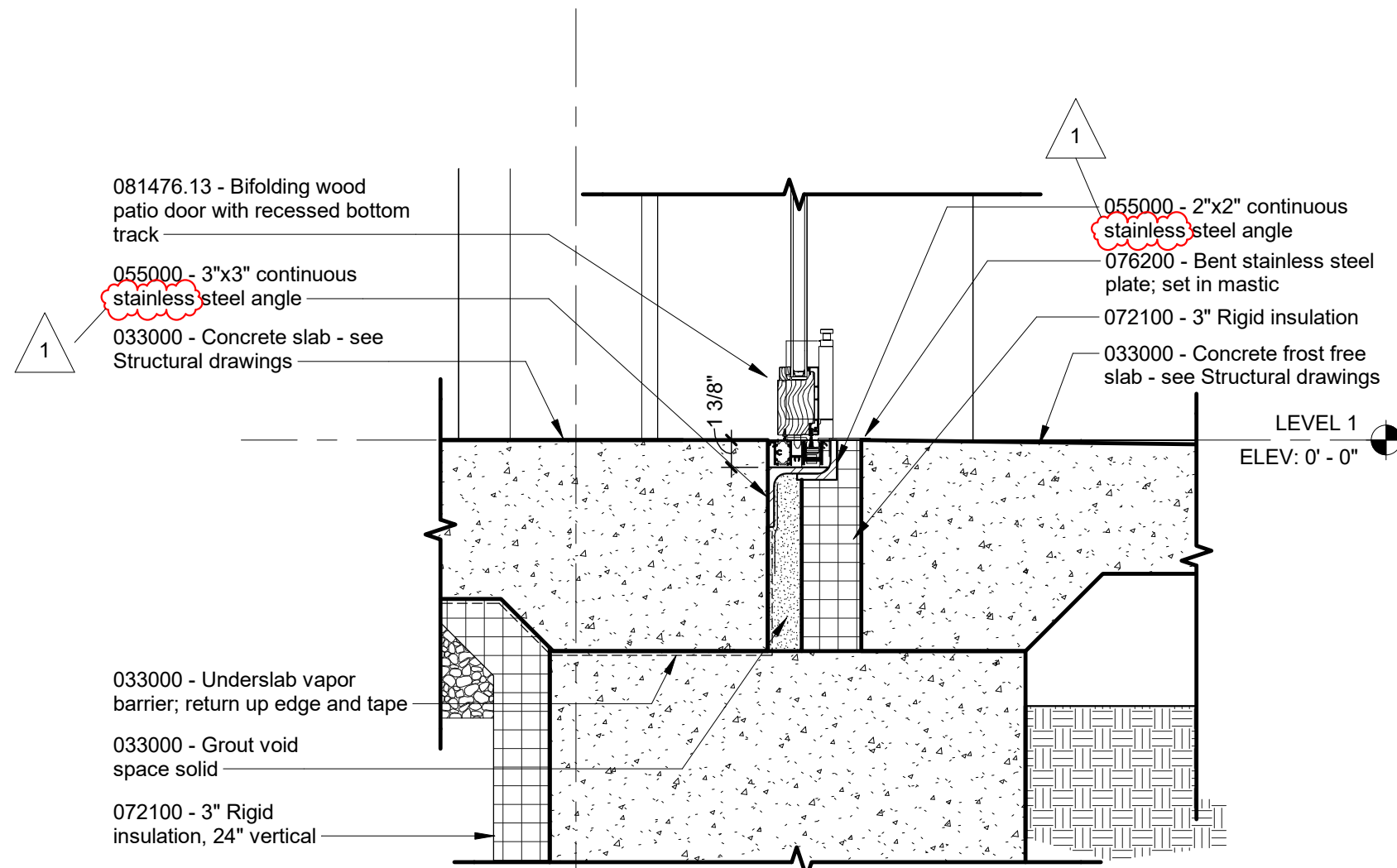
ISSUE	DATE
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1 Addendum No. 01	04-28-2026

WALL SECTIONS

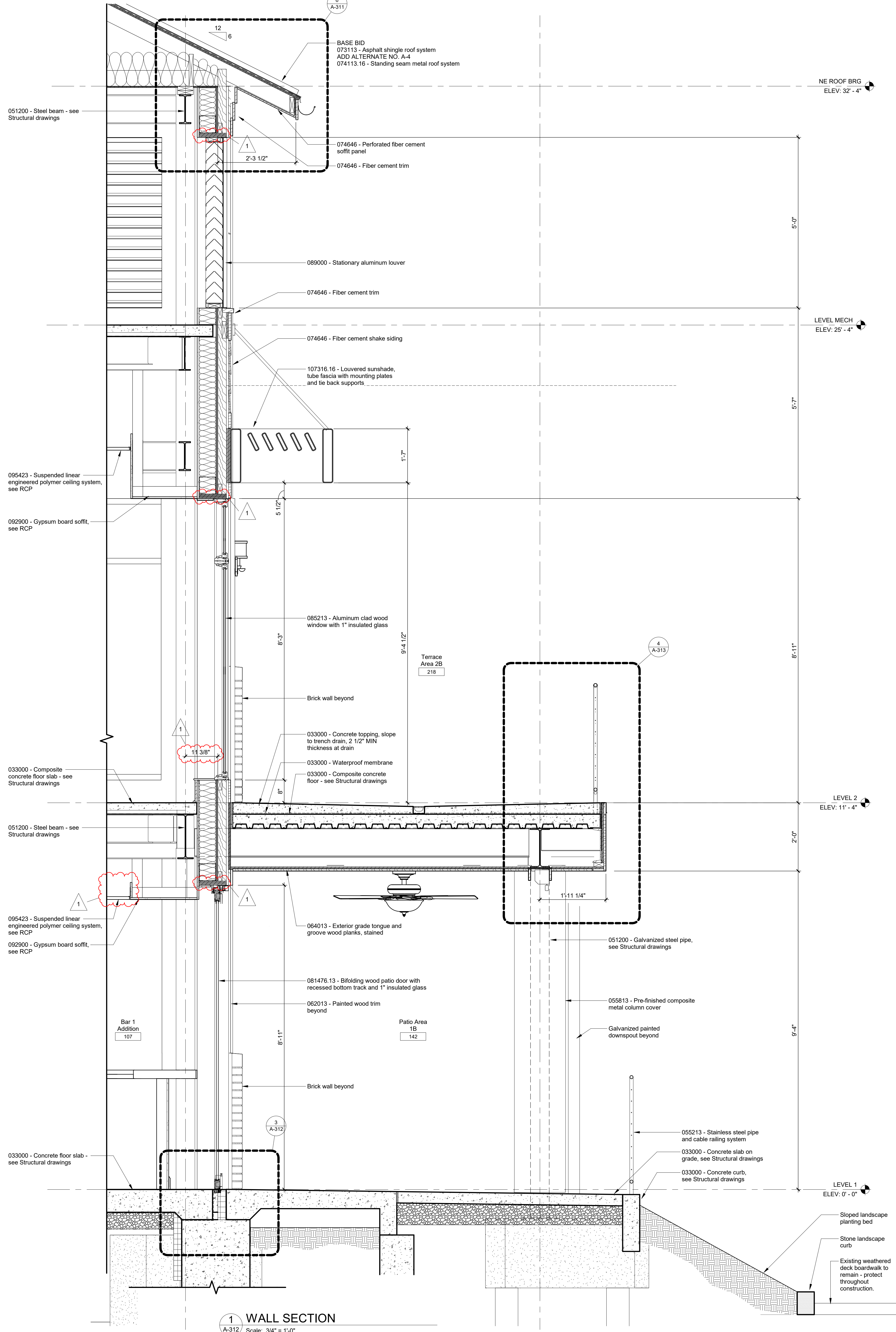
A-312



2 WALL SECTION
A-312 Scale: 3/4" = 1'-0"



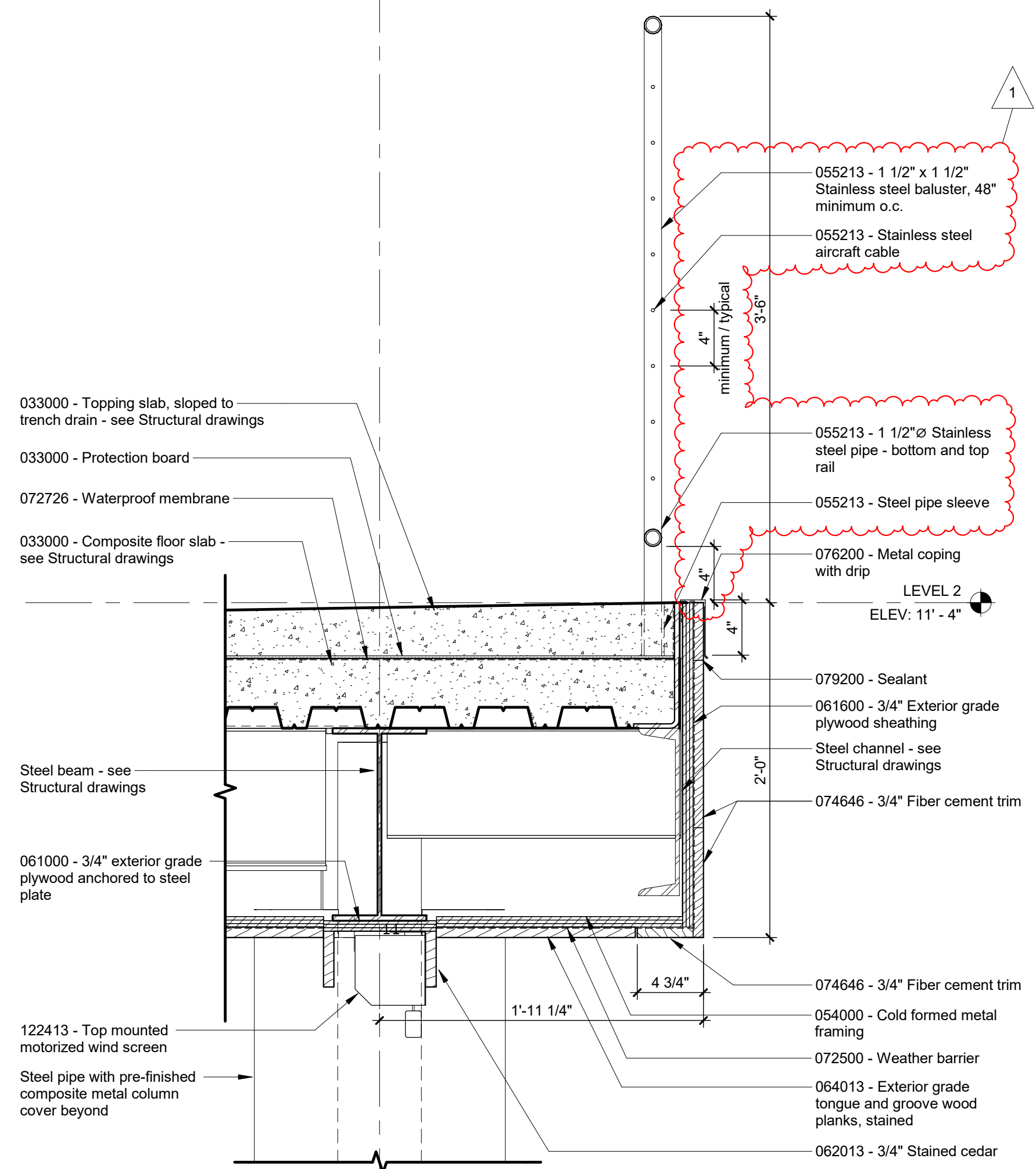
3 SECTION DETAIL
A-312 Scale: 1 1/2" = 1'-0"



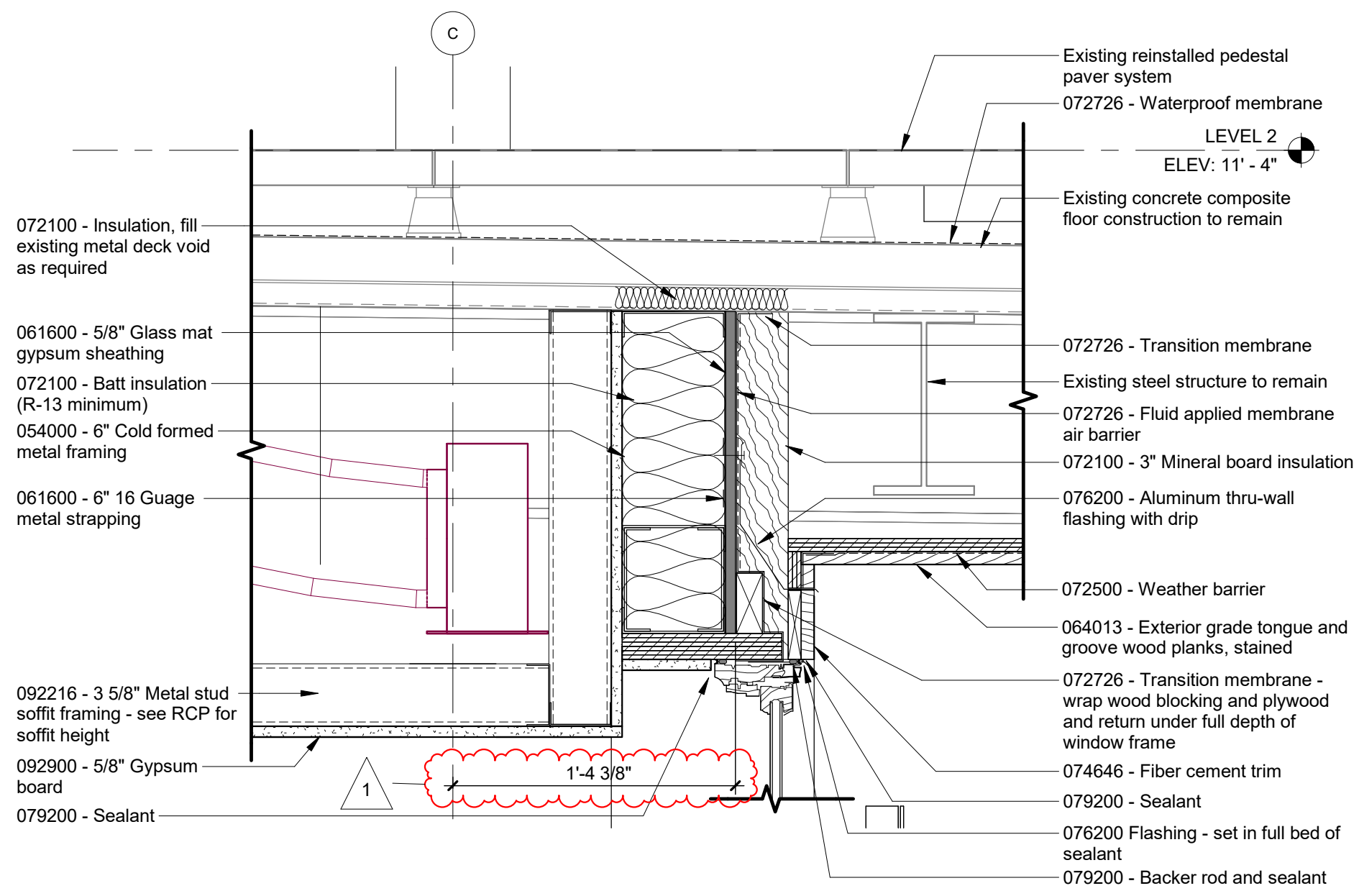
1 WALL SECTION
A-312 Scale: 3/4" = 1'-0"



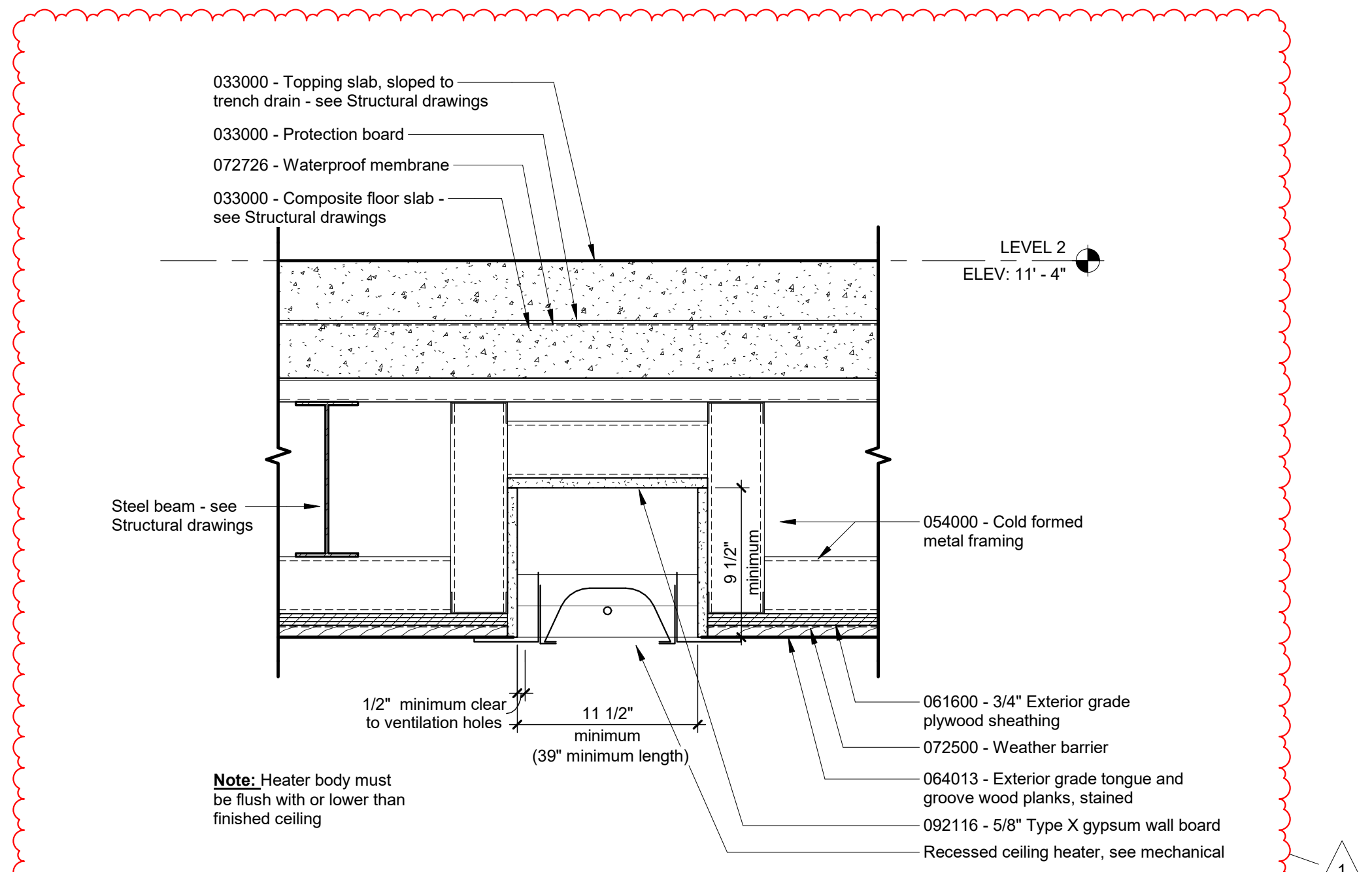
Michael Lipowski, License #12451
Expiration Date 12/31/2027



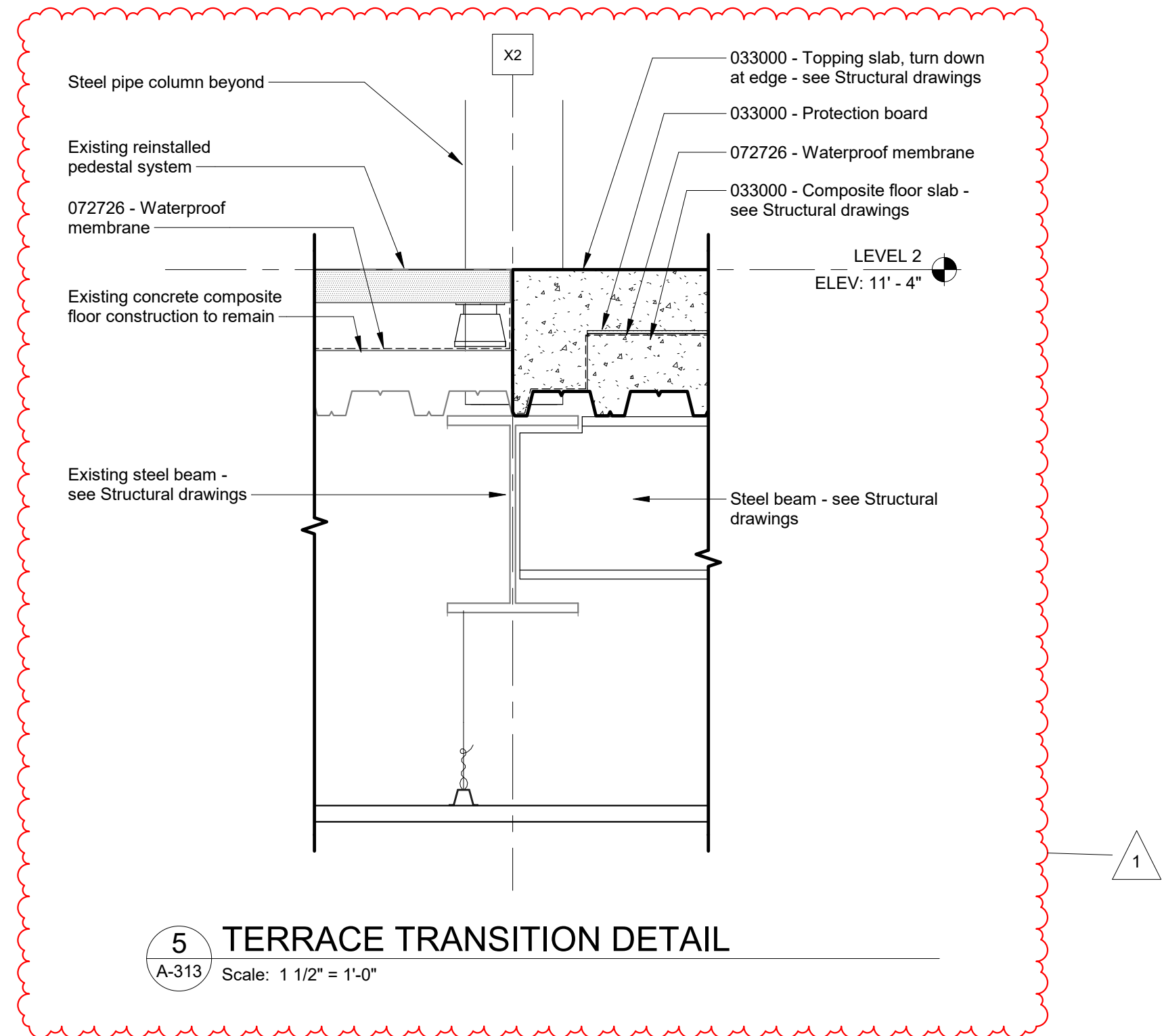
4 TERRACE EDGE DETAIL
A-313 Scale: 1 1/2" = 1'-0"



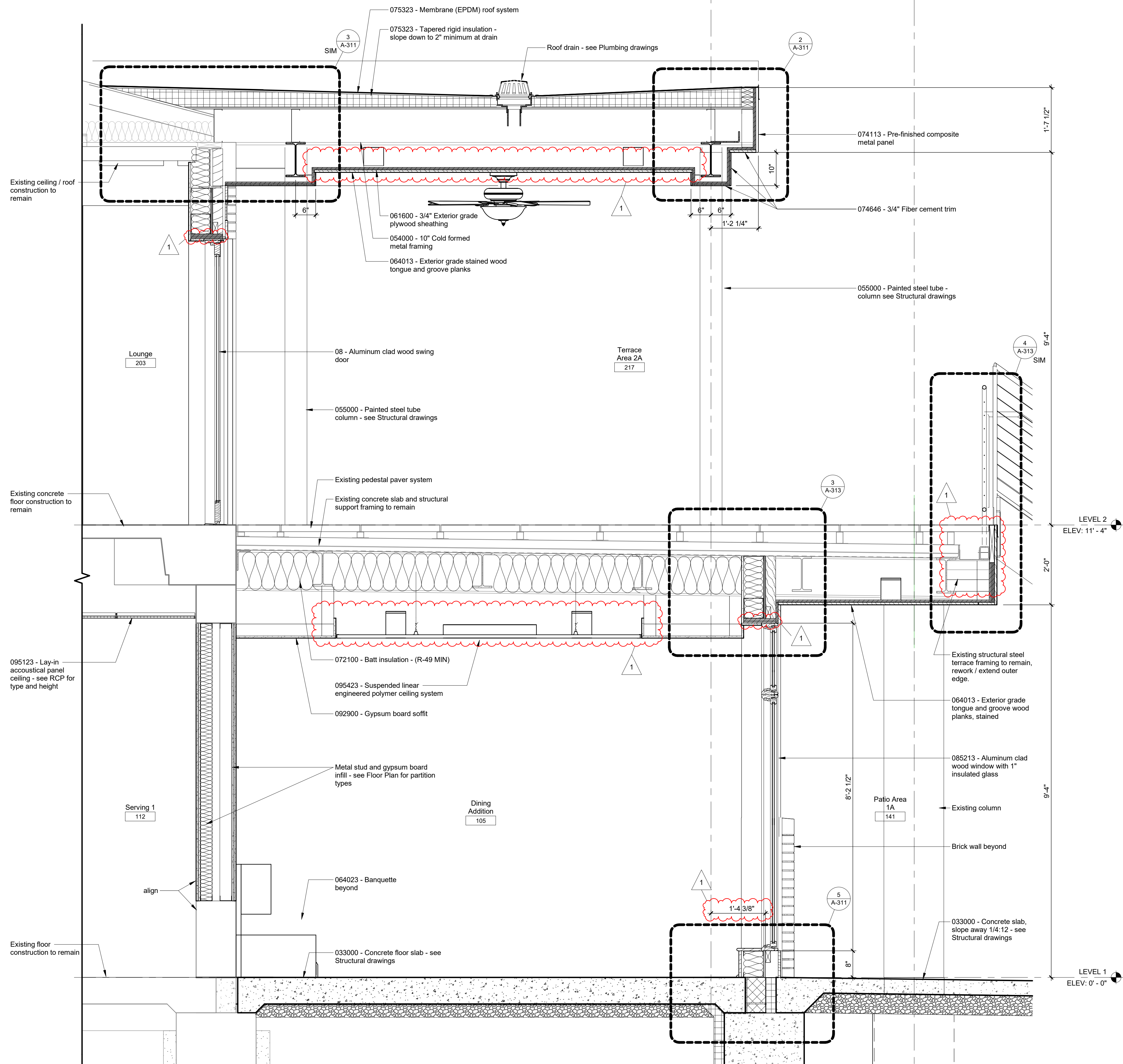
3 HEAD DETAIL BELOW EXISTING TERRACE
A-313 Scale: 1 1/2" = 1'-0"



2 RECESSED RADIANT HEATER BOX DETAIL
A-313 Scale: 1 1/2" = 1'-0"



5 TERRACE TRANSITION DETAIL
A-313 Scale: 1 1/2" = 1'-0"



1 WALL SECTION
A-313 Scale: 3/4" = 1'-0"

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