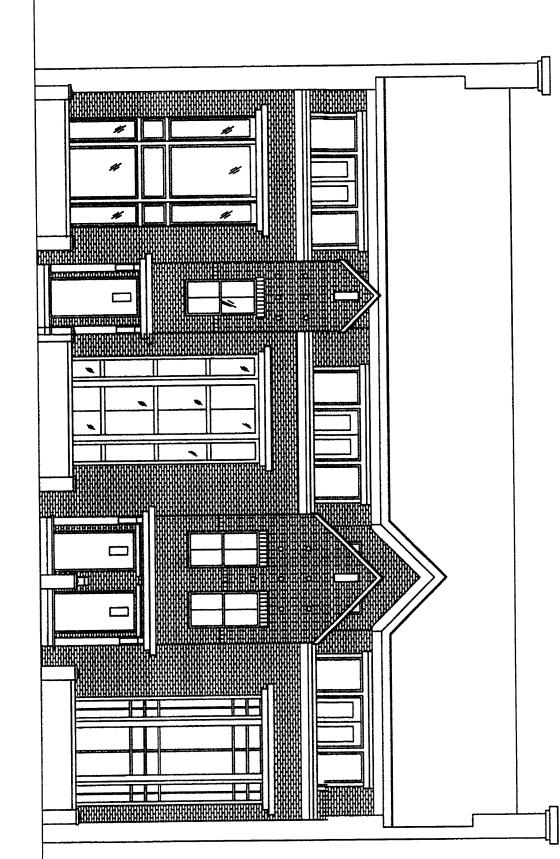
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## FRONT ELEVATION (NORTH)



MATERIALS LEGEND

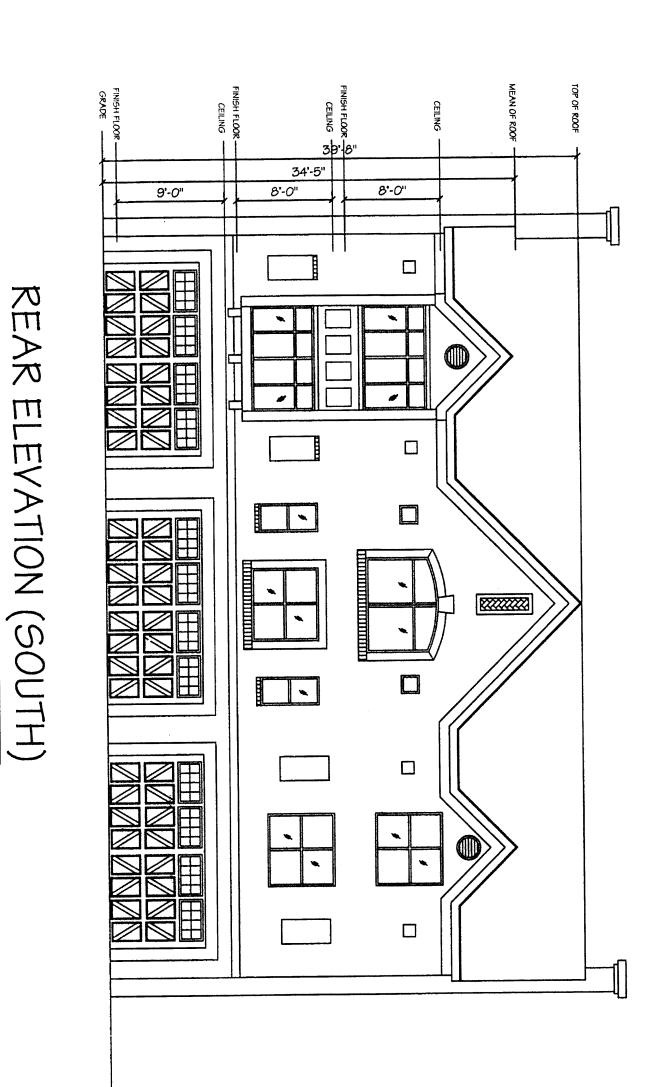
FACE BRICK - GLEN GARY ABERDEEN

PRECAST ACCENT & WALL CAP- NATIRAL STONE

CLASS "C" ASPHALT ROOFING SHINGLES -

WINDOWS & FRAMES - PELLA PROLINE SERIES TAN

E TRIM - FYPON PAINTED TAN



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PROJECT ADDRESS

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LINDA & LAKE ROCKY RIVER, OHIO

PROJECT NUMBER

ALLOWABLE WINDOW AREA PER OBC SECTION 704.8 1,567 TOTAL SF OF BUILDING FACE 18'-6" SEPARATION BETWEEN BLDGS 25% ALLOWED = 391.75 S.F. 151.3 SF WINDOW AREA SHOWN

SCALE: 1/8" = 1'-0" SIDE ELEVATION (WEST)

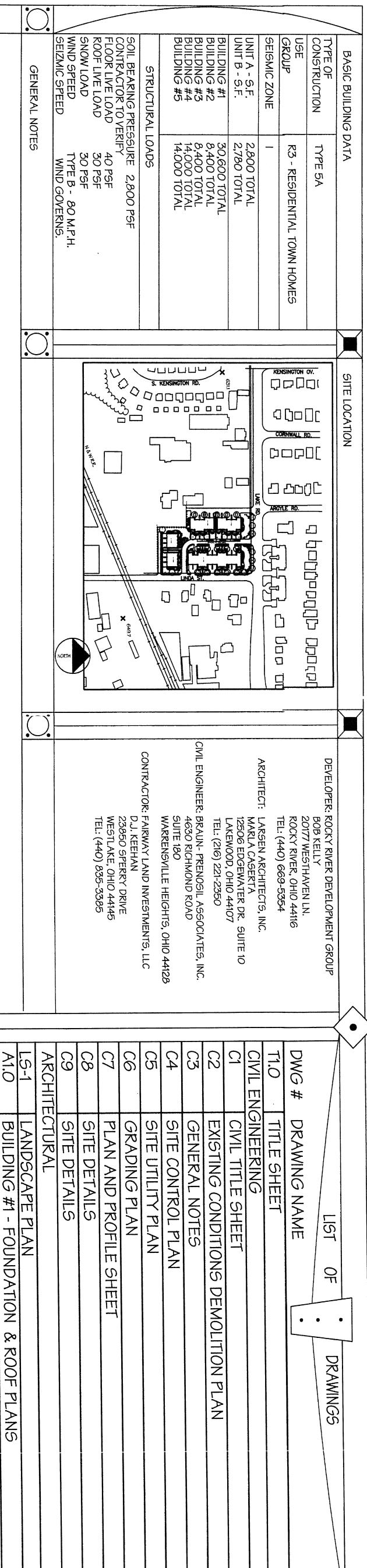
BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO ROCKY RIVER, OHIO

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## LINDA &

ROCKY RIVER, OHIO



THE GENERAL CONTRACTOR SHALL TAKE CARE IN PREPARING AND COMMENCING WORK ON THE EXISTING PERIMETER DRAINAGE SYSTEM. THE NEW DRAINAGE SYSTEM WILL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR OR THEIR SUB.  THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING SUB-FLOOR AND UNDERLAYMENT, 1/2" GYPSUM BOARD - WALL MAD CEILING; TAPPD, SANDED, AND PRIMED.	STRIP THE WORK SITE OF EXISTING TOPSOIL AND STOCKPILE FOR REUSE IN LANDSCAPING. ALL TREES & LANDSCAPING DESIGNATED BY OWNER SHALL BE PROTECTED FROM DAMAGE OF CONSTRUCTION PROCESSES AND MACHINES.  EXCAVATE, FILL, AND REGRADE DISTURBED SITE TO REFLECT CIVILDRAWINGS. SPREAD UNIFORM LAYER OF EXISTING TOPSOIL OVER ENTIRE REGRADED AREA. PROVIDE FENCES, BARRICADES LIGHTS AROUND ALL OPEN TRENCHES, EXCAVATIONS, AND OTHER HAZARDS.  BACKFILLING OPERATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. FOUNDATIONS WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILING. ALL BACKFILL MATERIALS SHALL BE APPROVED GRANULAR MATERIALS COMPACTED TO 90 PER CENT TROCTOR DENSITY.	WINTER PROTECTION, HEAT, AND SNOW REMOVAL SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL SPACE HEATING SHALL BE DONE IN A SAFE, SENSIBLE MANNER, WITH PERIODIC CHECKS ON THE SYSTEMS, AND SHALL COMPLY WITH STATE INDUSTRIAL COMMISSIONS AND O.S.H.A. REGULATIONS.  COSTS FOR BUILDING PERMITS, LANDFILL TAXES, USE TAX, SALESTAX AND OTHER CHARGES RELATIVE TO CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE CONTRACT PRICE.  THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY, IS AND SHALL BE, HE CONTRACTOR'S RESPONSIBILITY.	PREMISES AND THE WORK IN PERFECT ORDER AND REPAIR, AND THE WORK SITE BROOM CLEAN AND READY TO USE.  THE CONTRACTOR SHALL PRESENT THE BUILDING TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEPT BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED, WITH ALL LABELS REMOVED, AND EXTERIOR HAND RAKED FREE OF TRASH AND DEBRIS.	THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE AND INFLAMMABLE MATERIAL OR RUBSISH CAUSED BY HIS EMPLOYEES AND OTHERS DURING THE PROGRESS OF THE WORK. AT THE COMPLETION OF THE WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, CLEAN AWAY AND REMOVE FROM THE PREMISES ALL DEBRIS, RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS, AND EXCESS DEMOLISHED MATERIAL DUE TO HIS OPERATION, AND SHALL LEAVE THE	CORRECTION OF WARRANTED WORK AT CONTRACTORS EXPENSE.  MANUFACTURER'S DISCLAIMERS AND LIMITATIONS ON PRODUCT WARRANTIES  DO NOT RELIEVE THE CONTRACTOR OF THE WARRANTY ON THE WORK THAT INCORPORATES THE PRODUCTS, NOR DOES IT RELIEVE THE SUPPLIERS, MANUFACTURERS AND SUBCONTRACTORS REQUIRED TO COUNTERSIGN SPECIAL WARRANTIES WITH THE CONTRACTOR.	SUBMIT EVIDENCE OF CONTINUING INSURANCE COVERAGE COMPLYING WITH INSURANCE REQUIREMENTS.  WARRANTIES: THE CONTRACTOR GUARANTEES ALL WORK FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. WHEN CORRECTING WARRANTED WORK THAT HAS FAILED, REMOVE AND REPLACE OTHER WORK THAT HAS BEEN DAMAGED AS A RESULT OF SUCH FAILURE OR THAT MUST BE REMOVED AND REPLACED TO PROVIDE ACCESS FOR	SUBMIT FINAL PAYMENT REQUEST WITH WAIVERS OF LIEN. SUBMIT A FINAL STATEMENT, ACCOUNTING FOR CHANGES TO THE CONTRACT SUM.	NORTH	X 649.7 X 649.7 X CONTROLOR: FAIRWAIL LAND INVESTIGATION CONTROLOR: FAIRWAIL LAND FAIRWAIL	CIVIL ENGINEER: BRAUN- PRENOSIL ASSOCIATE 4630 RICHMOND ROAD SUITE 180 WARRENSVILLE HEIGHTS, OHIC	DEVELOPER: ROCKY RIVER DEVELOPMENT GROUP BOB KELLY 20177 WESTHAVEN LN. ROCKY RIVER, OHIO 44116 TEL: (440) 669-5354 ARCHITECT: LARSEN ARCHITECTS, INC. MARLA CASERTA 12506 EDGEWATER DR. SUITE 10 LAKEWOOD, OHIO 44107
			S1.1 UNIT B TYPICAL FLOOR FRAMING PLANS	O TYPICAL BUILDING SECTION & DETAILS  1 DETAILS & DIAGRAMS  1 UNIT A TYPICAL FLOOR FRAMING PLANS	S   S	BUILDINGS 2 & 3 - FLOOR PLANS  BUILDINGS 4 & 5 - FLOOR PLANS	BUILDING #1 - FOUNDATION & ROOF PLANS BUILDING #1 - MAIN FLOOR PLAN UNIT A - TYPICAL FLOOR PLANS		GRADING PLAN  PLAN AND PROFILE SHEET  SITE DETAILS		DWG # DRAWING NAME  T1.0   TITLE SHEET  CIVIL ENGINEERING  CI   CIVIL TITLE SHEET

BEACHCLIFF ROW GATEWAY NEIGHBORHOOD TO ROCKY RIVER, OHIO

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OF DISCREPANCIES REFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

OJECT ADDRES

A. CONTRACTOR SHALL STATE IN THE BID PROPOSAL THE ANDUNT TO BE ADDED OR DEDUCTED FROM THE BASE BID FOR EACH OF THE ALTERNATES IF ACCEPTED BY THE OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE CERTAIN HIS SUBCONTRACTORS UNDERSTAND THE SCOPE OF EACH ALTERNATE AND TO ASSEMBLE VARIOUS SUBMISSIONS, SUBSTITUTIONS AND ADDITIONS IN SUCH A MANNER THAT THE ADDITION FOR EACH ALTERNATE TYPES ACCOUNT ALL THE TIME AFFECTED, INCLUDING ADDITIONAL WORK IN ONE TRADE NECESSITATED BY ADDITIONS, DEDUCTIONS SUBSTITUTIONS IN ANOTHER'S WORK. NO CONSIDERATION WILL BE GIVEN TO ANY CLAIM FOR EXTRA MONEY ARISING FROM THE CONTRACTOR'S FAILURE TO PROPERLY EXERCISE HIS RESPONSIBILITIES.

THESE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE A FINISHED PIECE OF WORK. THE COMPLETE IN EVERY DETAIL, NOT WITHSTANDING THAT EVERY ITEM NECESSARILY INVOLVED, IS NOT SPECIFICALLY MENTIONED. THE CONTRACTOR WILL BE HELD TO PROVIDE ALL LABOR AND MATERIALS

NECESSARY FOR THE ENTIRE COMPLETION OF THE WORK INTENDED AND DESIRED, AND SHALL NOT AVAIL THEMSELVES OF ANY MANIFESTLY UNINTENTIONAL ERRORS OR OMISSION SHOULD SUCH EXIST. SHOULD ANY ERROR OR INCONSISTENCY APPEAR IN THE DRAWINGS, THE CONTRACTOR, BEFORE PROCEEDING WITH THE WORK, SHALL MAKE THEM KNOWN TO LARSEN ARCHITECTS, IN WRITING, FOR PROPER ADJUSTMENT, AND IN NO CASE, SHALL PROCEED WITH THE WORK IN UNCERTAINTY. SHOULD ANY DISPUTE ARISE AS TO THE QUALITY OR FITNESS OF MATERIALS OR WORKMANSHIP OR INTERPRETATION OF THE PLANS, THE DECISION WILL REST WITH THE OWNER AND LARSEN ARCHITECTS.

2. TYPE OF CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE BUILDING CODES (STATE AND LOCAL) INCLUDING AMENDMENTS AND HEALTH DEPARTMENT REGULATIONS.

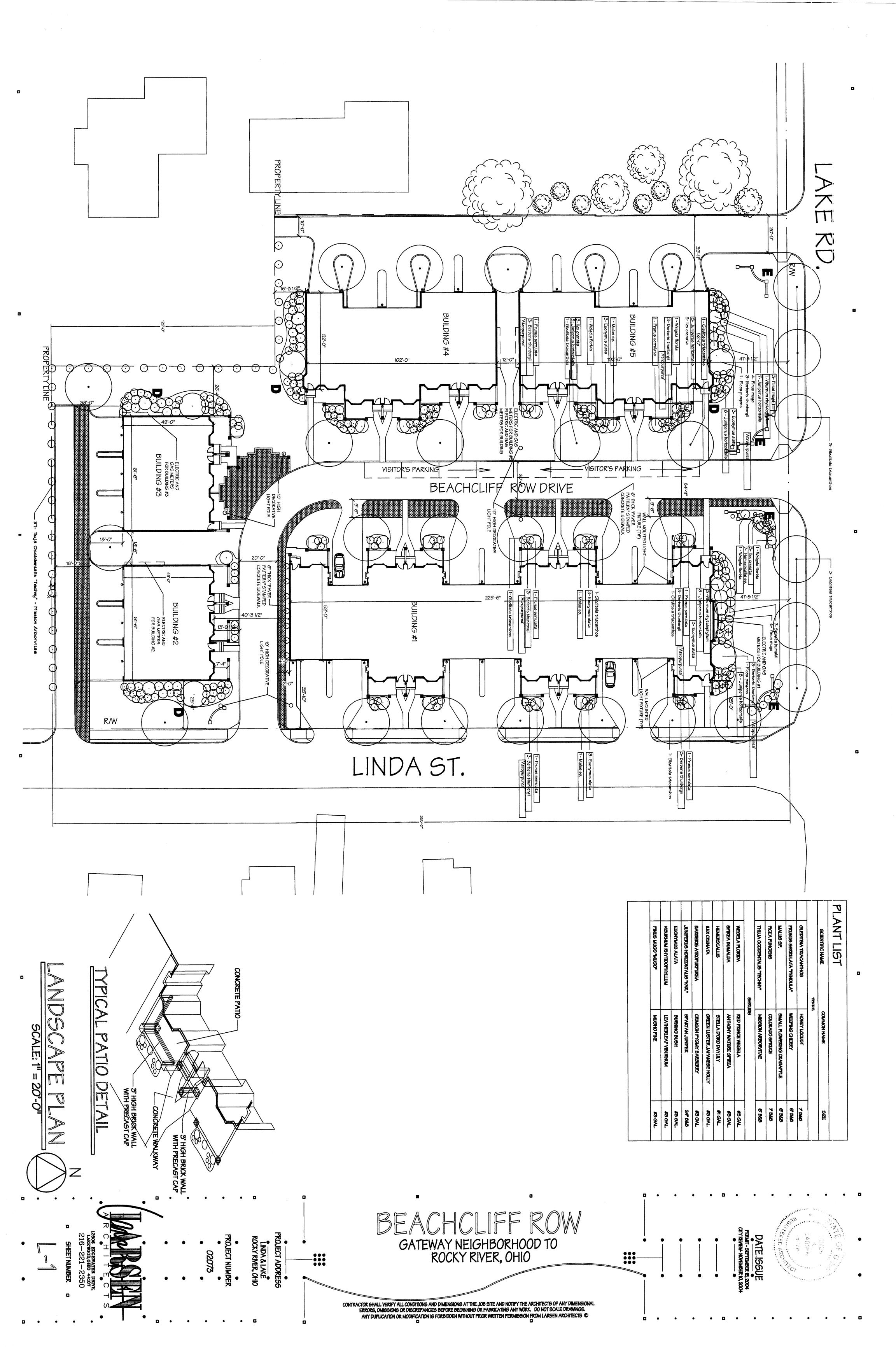
CHECK DIMENSIONS AND CONDITIONS IN THE FIELD
ALL DIMENSIONS AND CONDITIONS OF THIS JOB SHALL BE FIELD CHECKED BY THE CONTRACTOR DOING THE WORK, ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
COSTS DUE TO FAILURE OF REPORTING THESE DISCREPANCIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

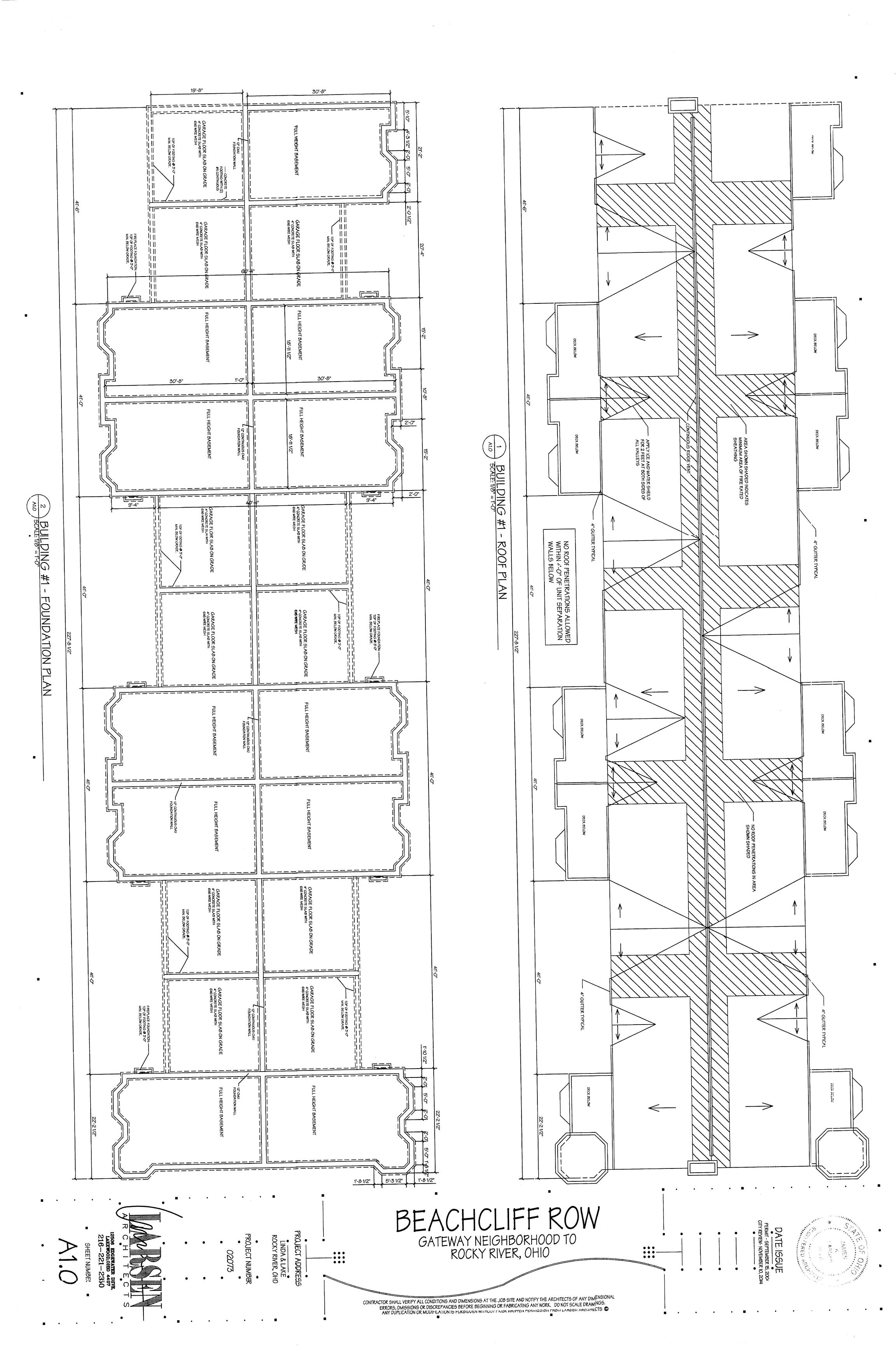
1. BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING SITE AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL BE AS REQUIRED BY STATE AND LOCAL CODES, WHETHER INDICATED OR NOT ON PROJECT DOCUMENTS. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE.

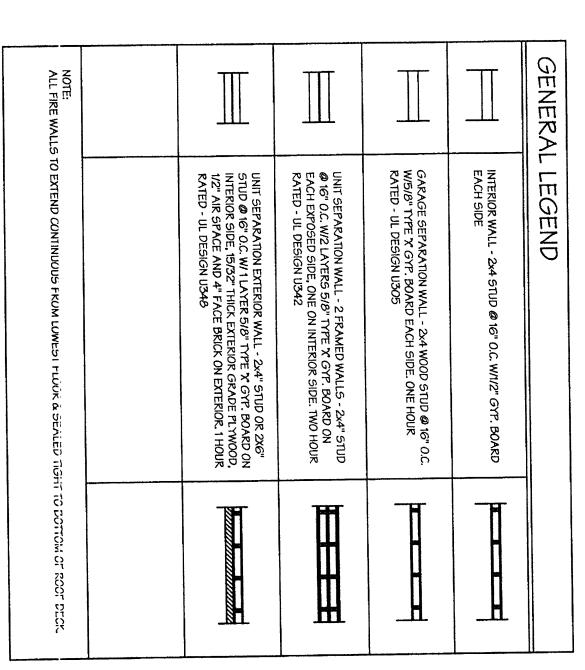
LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD A EXAMINATION AND CODE REQUIREMENTS/REVIEW BEEN MADE, WILL NOT BE ALLOWED.

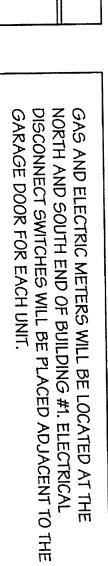
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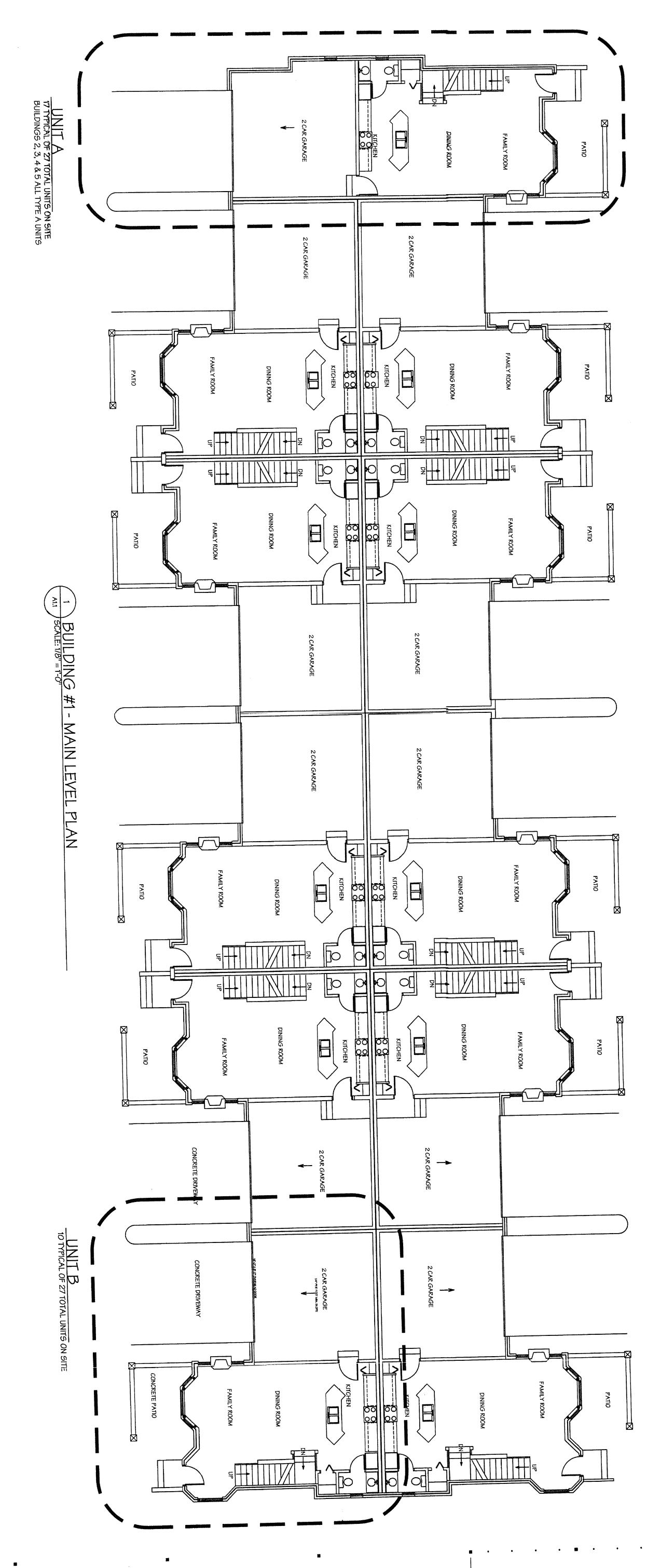
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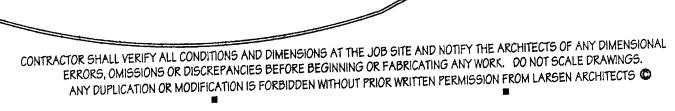








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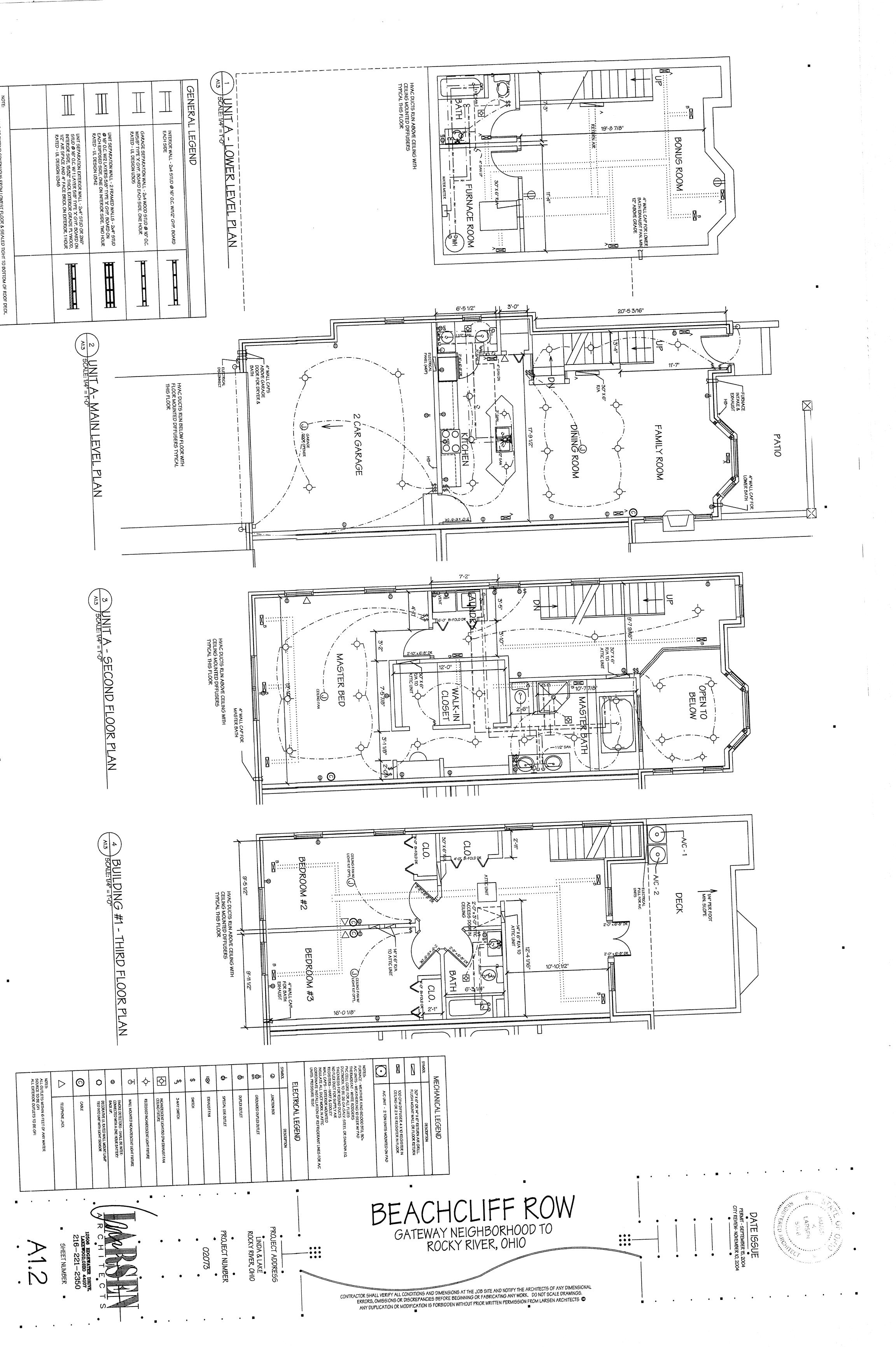


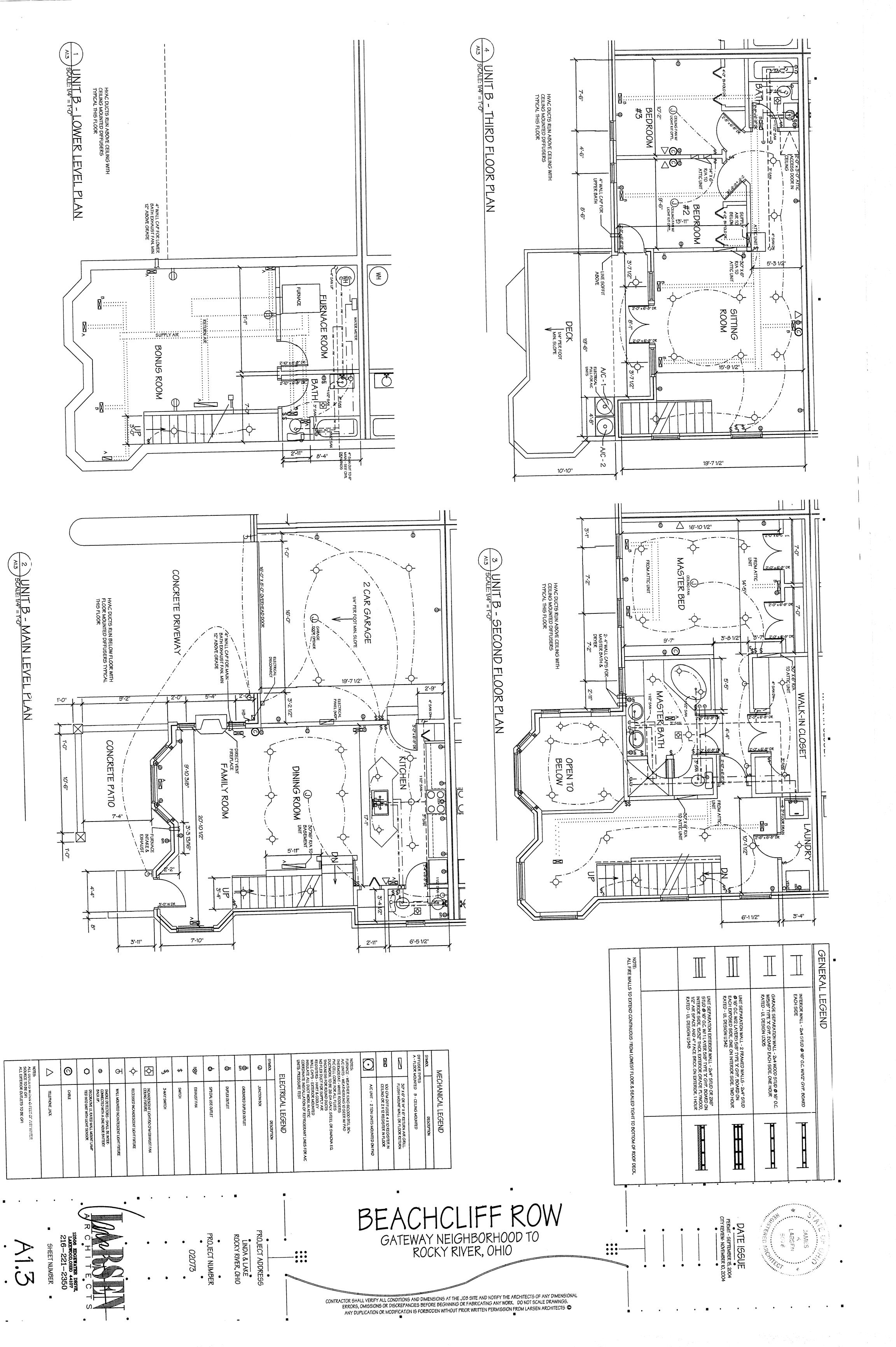
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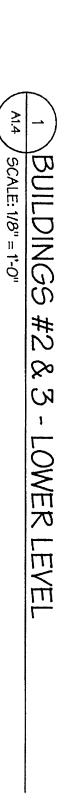
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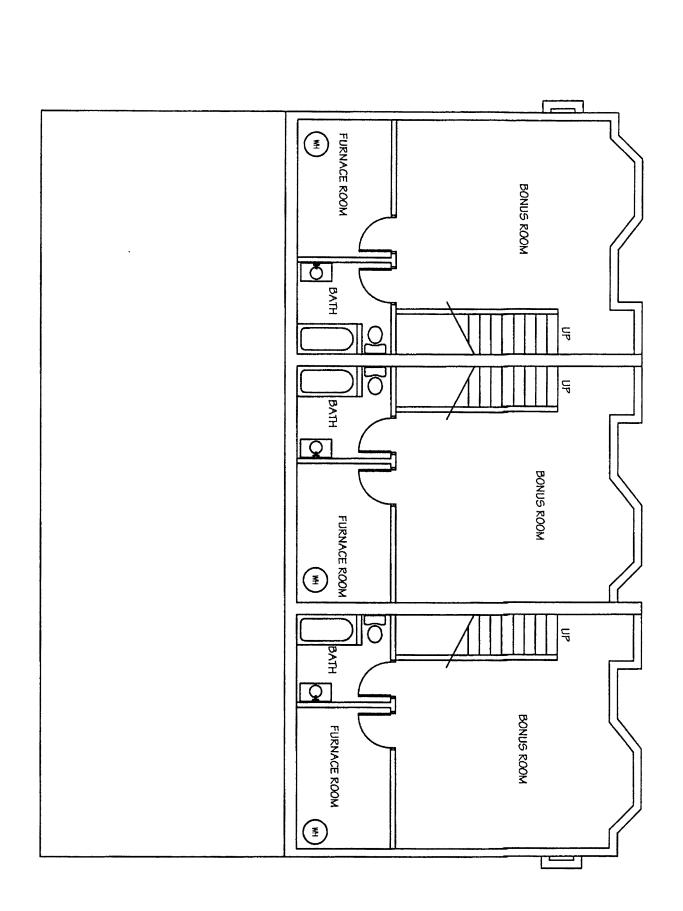
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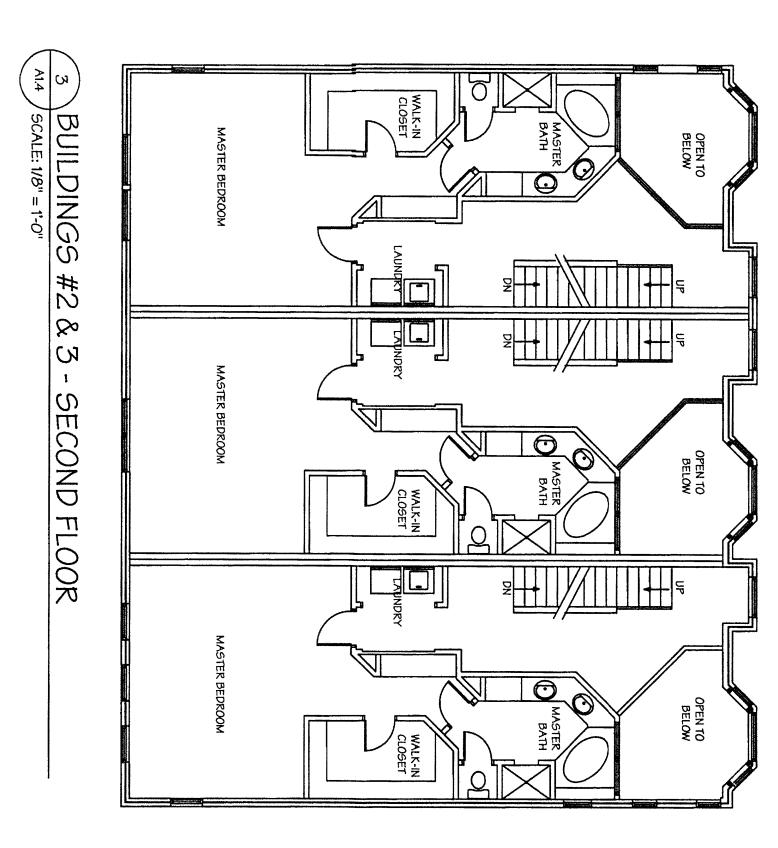


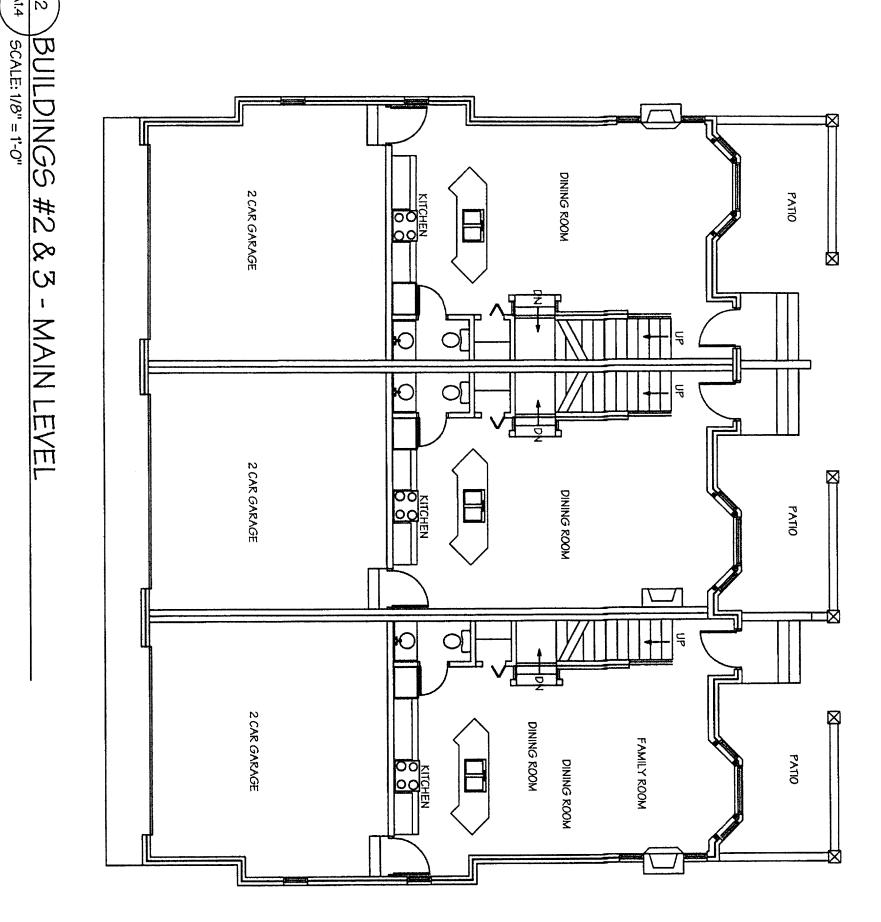






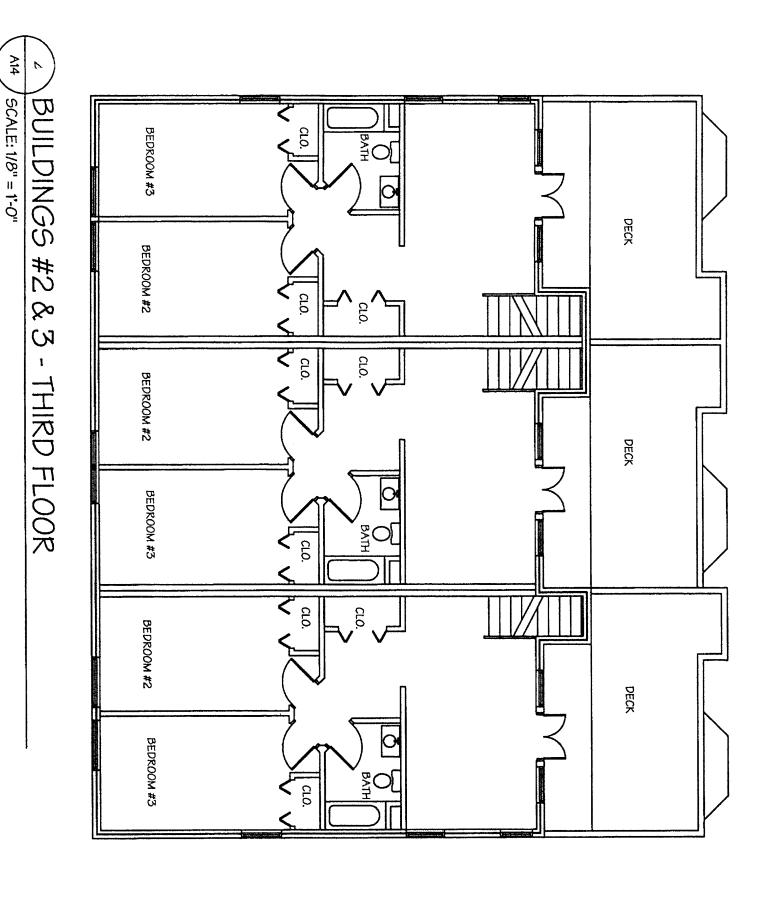






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PROJECT NUMBER



BUILDINGS DIMENSION	NOTE: ALL FIRE WALLS		$\prod$			GENERA
BUILDINGS #2 & 3 CONSIST OF 3 UNIT A TYPE UNITS. FOR DIMENSIONS AND INFORMATION ON UNIT A SEE SHEET A1.1	NOTE: ALL FIRE WALLS TO EXTEND CONTINUOUS FROM LOWEST FLOOR & SEALED TIGHT TO BOTTOM OF ROOF DECK	UNIT SEPARATION EXTERIOR WALL - 2x4" STUD OR 2X6" STUD @ 16" O.C. W/1 LAYER 5/8" TYPE X GYP. BOARD ON INTERIOR SIDE, 15/32" THICK EXTERIOR GRADE PLYWOOD, 1/2" AIR SPACE AND 4" FACE BRICK ON EXTERIOR. 1 HOUR RATED - UL DESIGN U348	UNIT SEPARATION WALL - 2 FRAMED WALLS - 2x4" STUD @ 16" O.C. W/2 LAYERS 5/8" TYPE 'X GYP. BOARD ON EACH EXPOSED SIDE, ONI: ON INTERIOR SIDE. TWO HOUR RATED - UL DESIGN U342:	GARAGE SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. W/5/8" TYPE X GYP. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U305	INTERIOR WALL - 2x4 STUD @ 16" O.C. W/1/2" GYP. BOARD EACH SIDE	GENERAL LEGEND
FOR T A1.1	IT TO BOTTOM OF ROOF DECK					

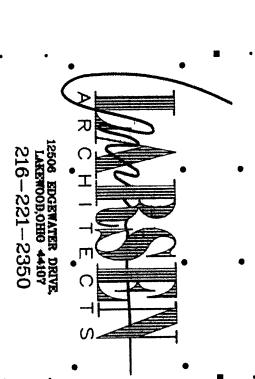
GAS AND ELECTRIC METERS WILL BE LOCATED AT THE WEST END OF BUILDINGS #2 & 3. ELECTRICAL DISCONNECT SWITCHES WILL BE PLACED ADJACENT TO THE GARAGE DOOR FOR EACH UNIT.

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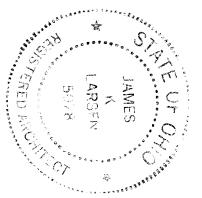
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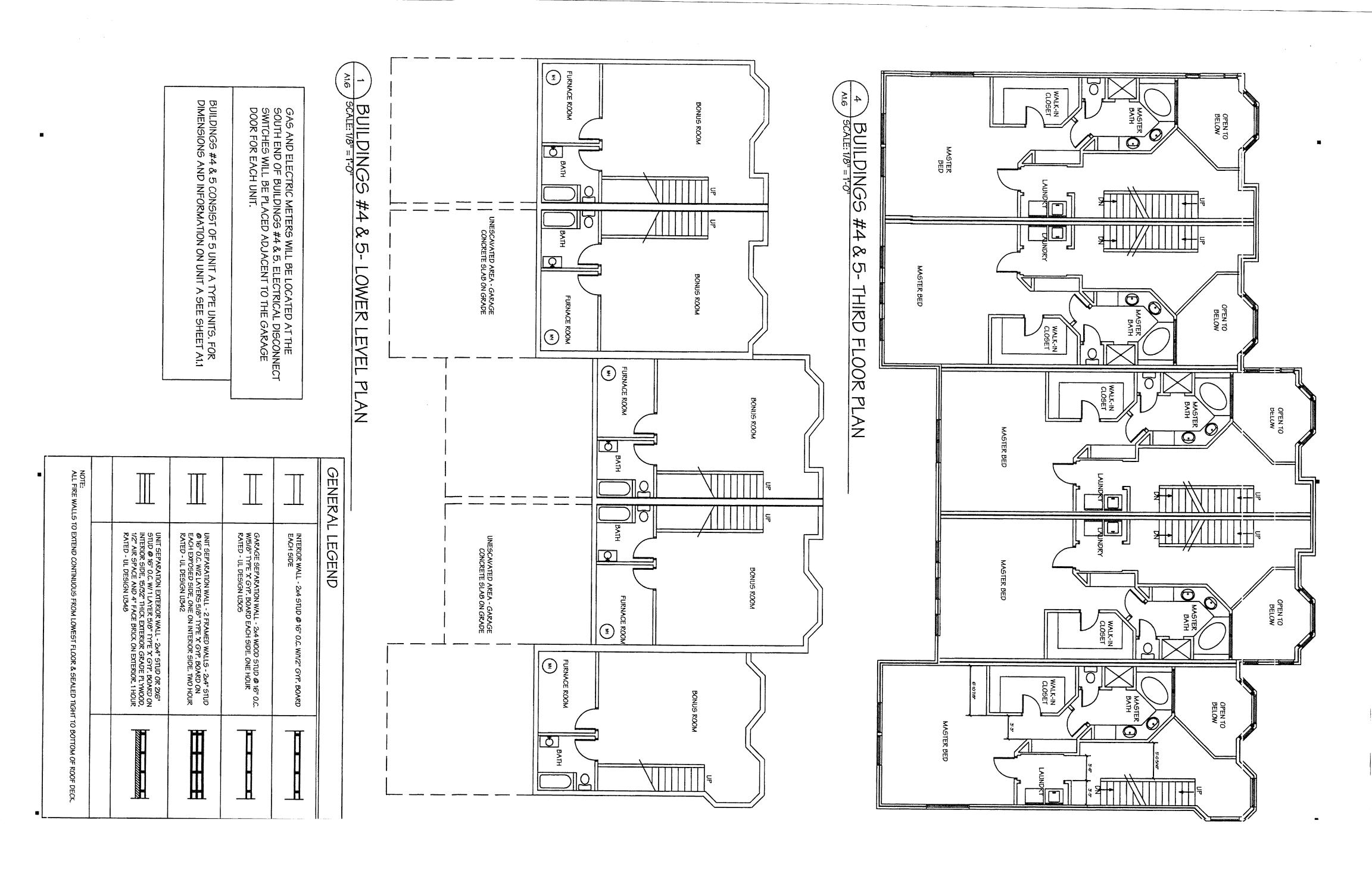


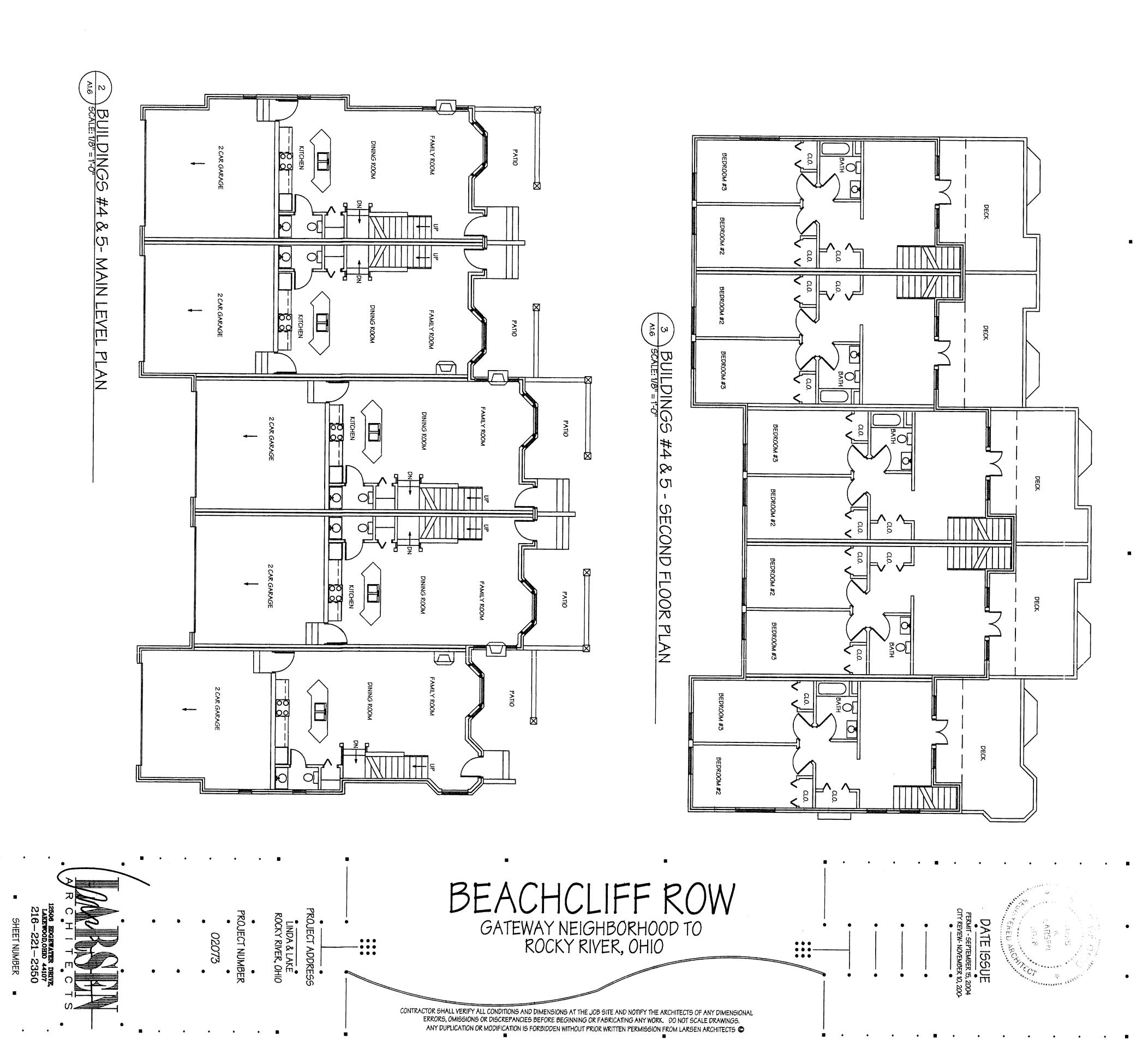
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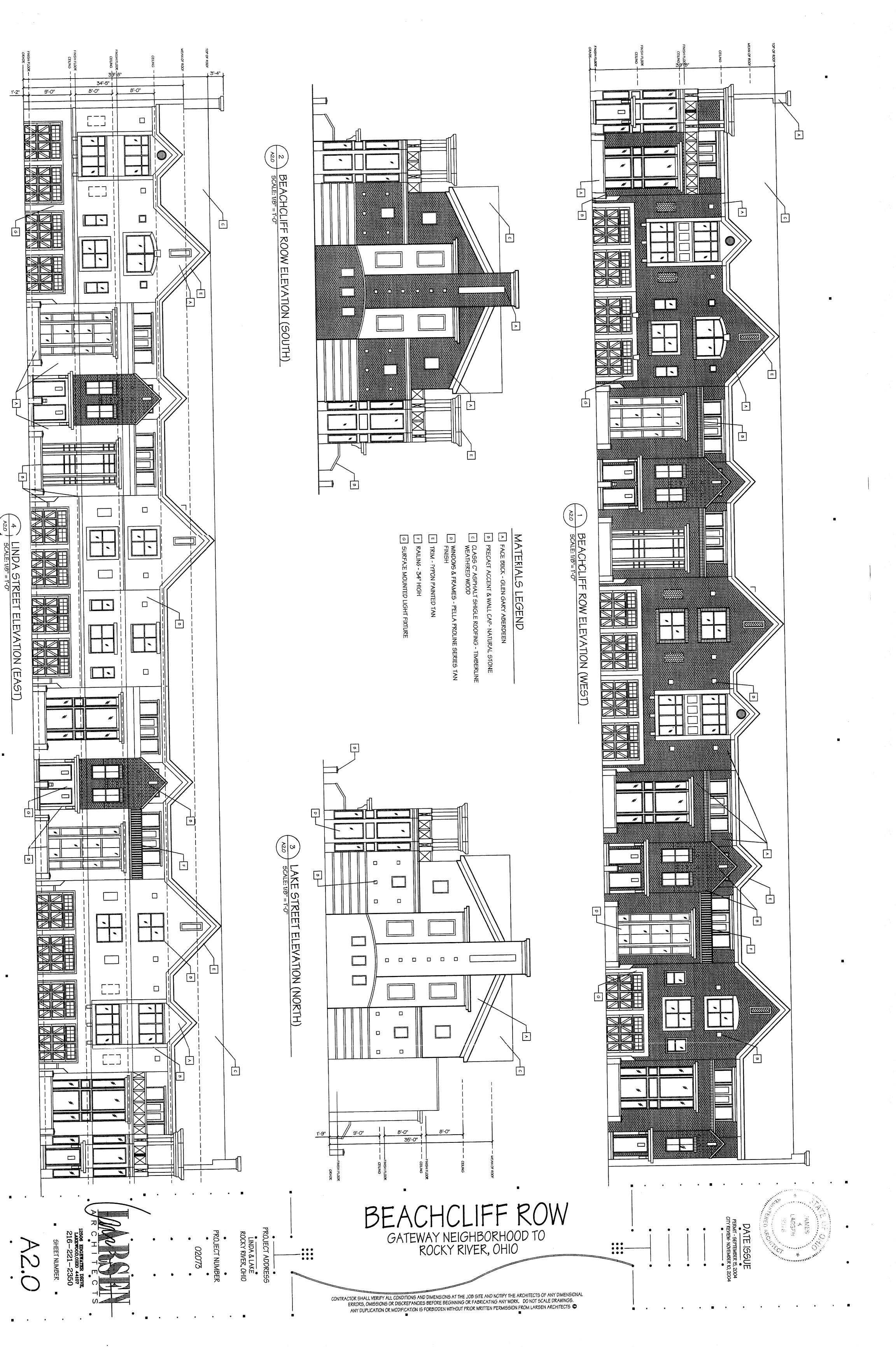


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BUILDINGS

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NOTE: BUILDING #5 IS "MIRROR" IMAGE OF DRAWINGS SHOWN

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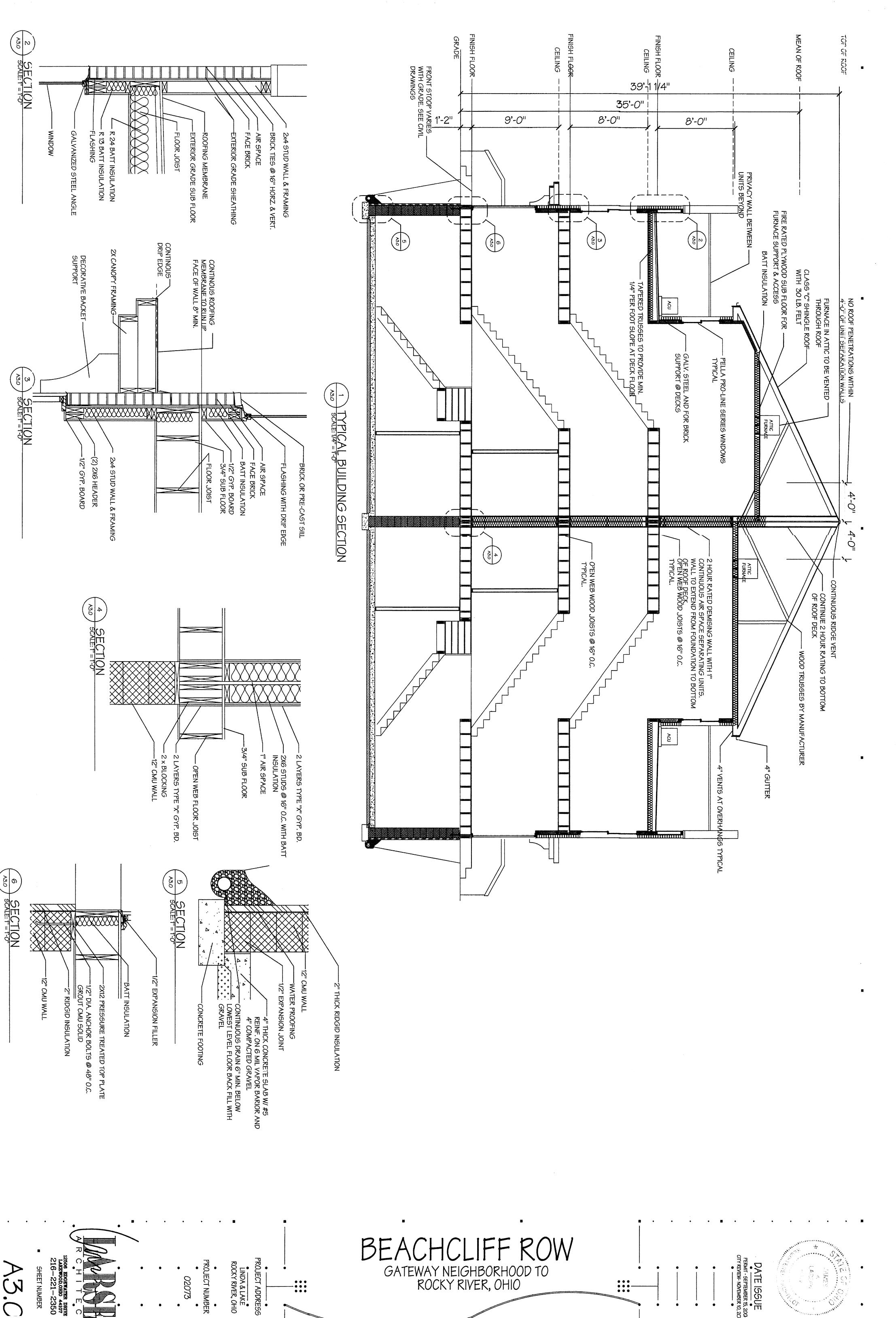
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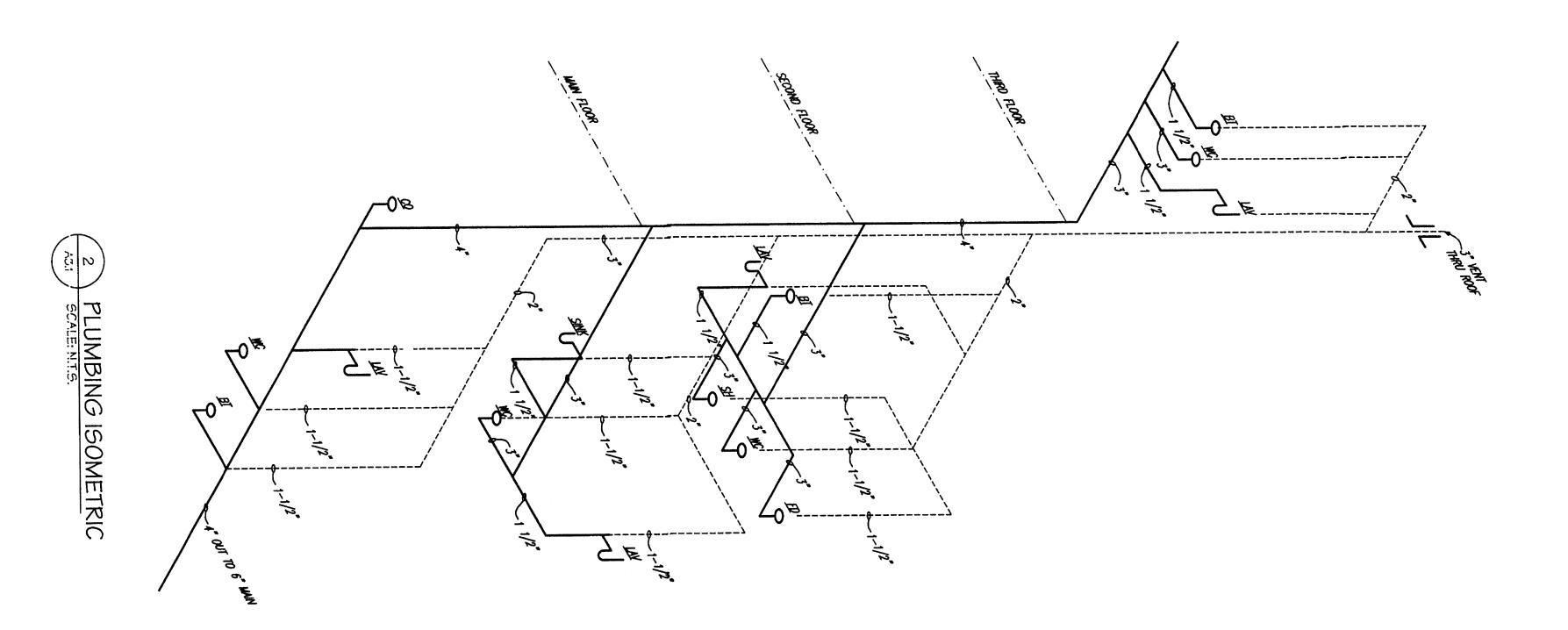
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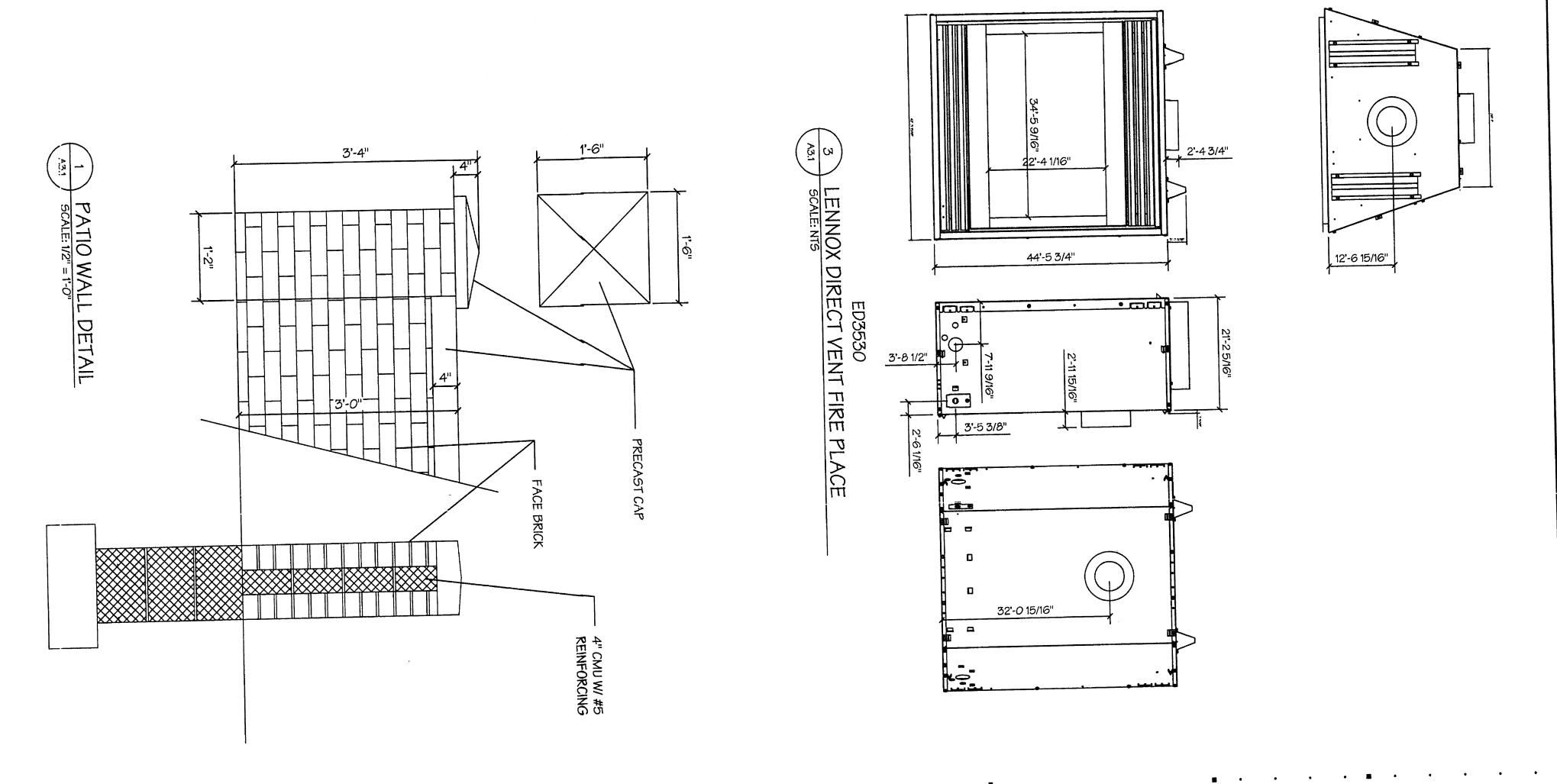
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