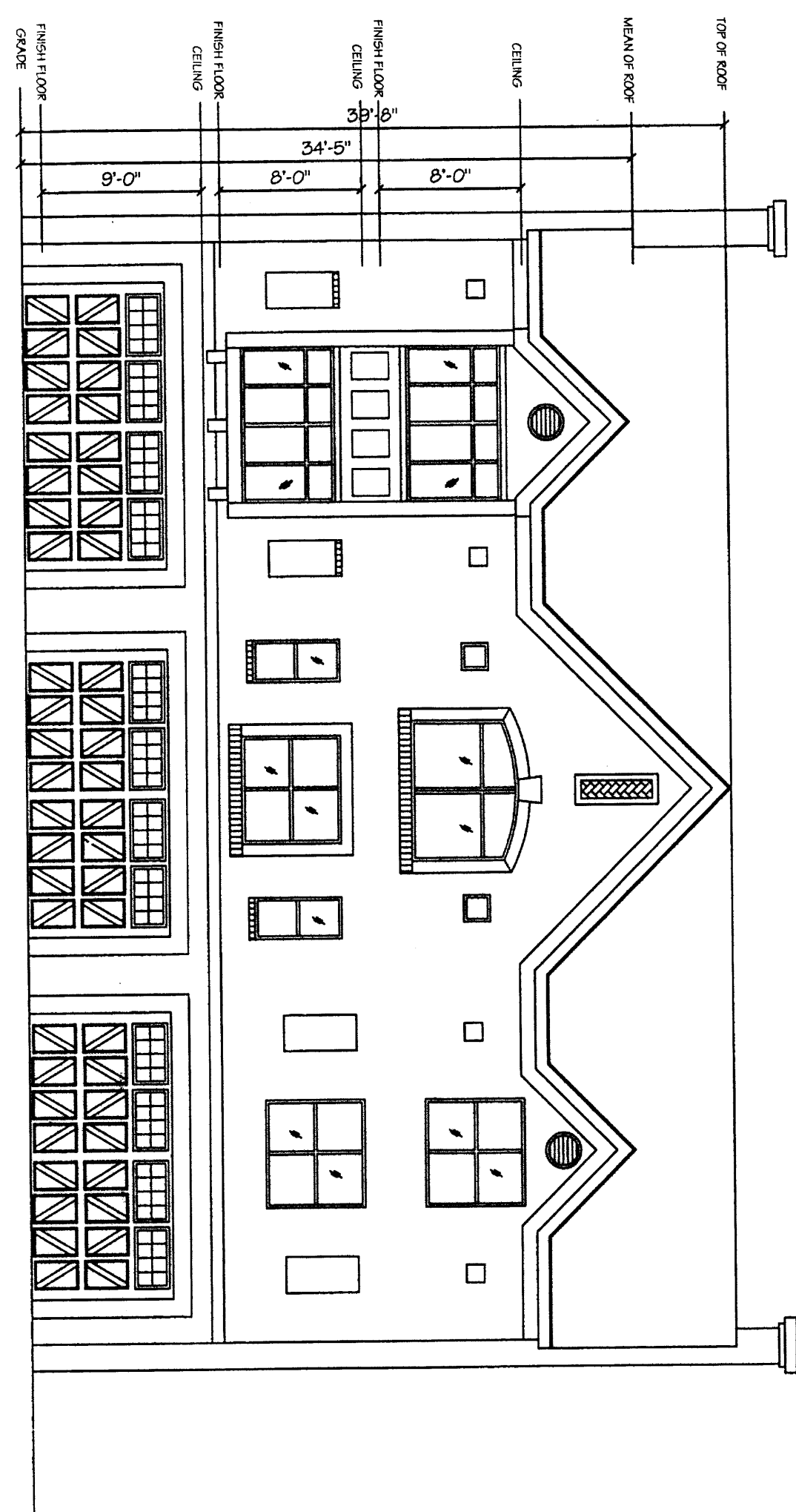


A circular professional engineer seal for Jason M. Smith, State of Florida, License No. 12517, Mechanical Engineering. The seal features the text "JASON M. SMITH", "12517", "MECHANICAL ENGINEERING", and "STATE OF FLORIDA" around the perimeter, with "REGISTERED ARCHITECT" at the bottom.

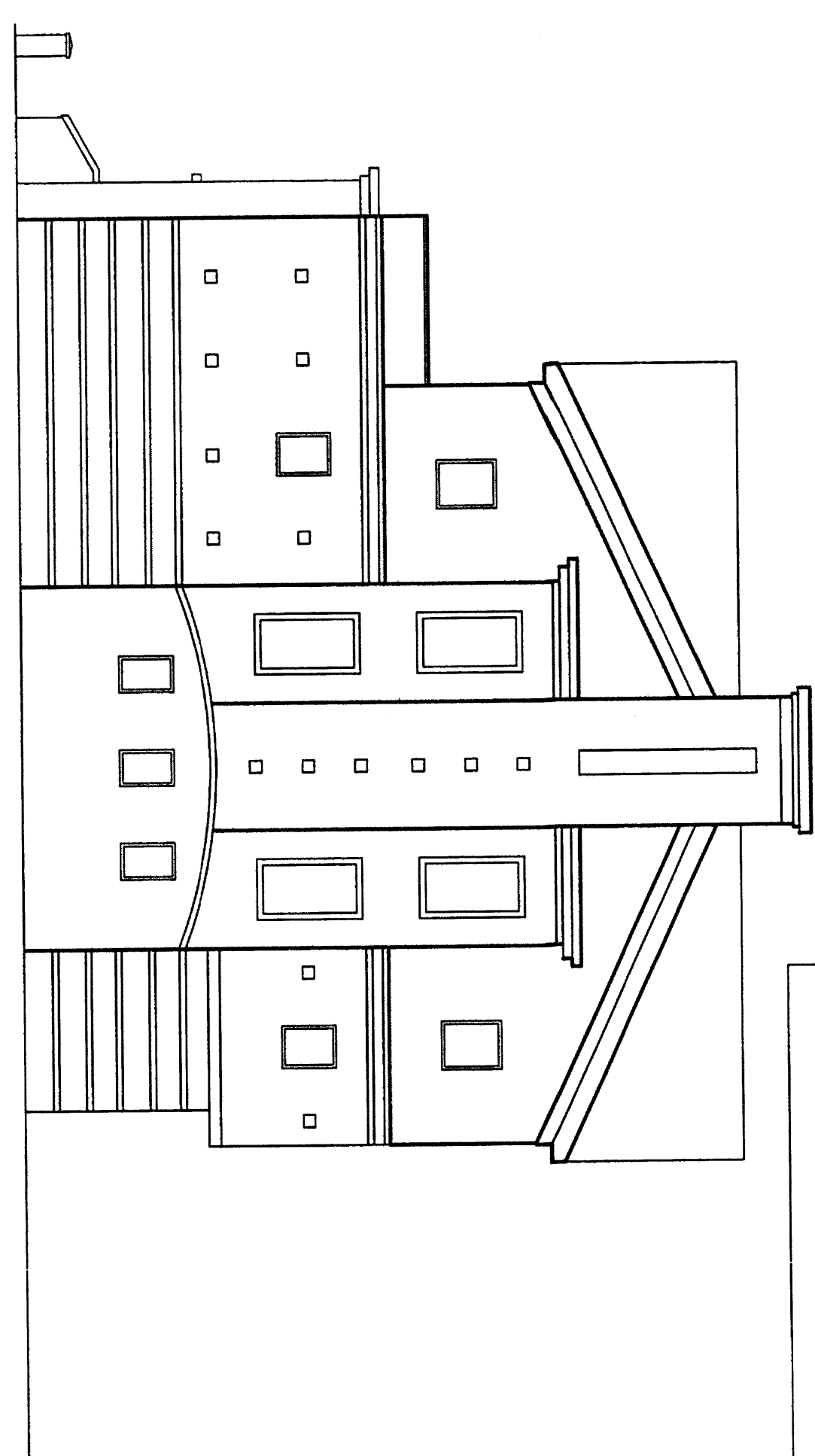
PERMIT - SEPTEMBER 15, 2004
CITY REVIEW- NOVEMBER 10, 2004



SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

- A FACE BRICK - GLEN GARY, ABERDEEN
- B PRECAST AGENT & WALL CAP - NATURAL STONE
- C CLASS "C" ASPHALT ROOFING SHINGLES -
TIMBERLINE WEATHERED WOOD
- D WINDOWS & FRAMES - FELLA PROLINE SERIES TAN
FINISH
- E TRIM - PPON PAINTED TAN
- F RAILING - 3-1/2" HIGH
- G SURFACE MOUNTED LIGHT FIXTURE



ALLOWABLE WINDOW AREA PER OBC SECTION 704.2
1,567 TOTAL SF OF BUILDING FACE
18'-6" SEPARATION BETWEEN BLDGS
25% ALLOWED = 391.75 S.F.
151.3 SF WINDOW AREA SHOWN

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS. ANY DUPLICATION OR MODIFICATION IS FORBIDDEN WITHOUT PRIOR WRITTEN PERMISSION FROM LARSEN ARCHITECTS ©

• — •
LINDA & LAKE
ROCKY RIVER, OHIO

02073

吳

A2.1

Beachcliff Row - Townhomes

DRAWING #		DRAWING NAME
T1.0		TITLE SHEET
CIVIL ENGINEERING		
C1		CIVIL TITLE SHEET
C2		EXISTING CONDITIONS DEMOLITION PLAN
C3		GENERAL NOTES
C4		SITE CONTROL PLAN
C5		SITE UTILITY PLAN
C6		GRADING PLAN
C7		PLAN AND PROFILE SHEET
C8		SITE DETAILS
C9		SITE DETAILS
ARCHITECTURAL		

DATE ISSUED
• _____ •
PERMIT - SEPTEMBER 15, 2004
CITY REVIEW - NOVEMBER 10, 2004




PROJECT ADDRESS
• LINDA & LAKE •
ROCKY RIVER, OHIO

PROJECT NUMBER
• •
02073

12506 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107
216-221-2350

SHEET NUMBER

10.

[illegible]

PERMIT - SEPTEMBER 15, 2004
CITY REVIEW- NOVEMBER 10, 2004

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TYPICAL PATIO DETAIL

CONCRETE PATIO

CONCRETE WALLWAY

3' HIGH BRICK WALL WITH PRECAST CAP

3' HIGH BRICK WALL WITH PRECAST CAP

CONCRETE PATIO—

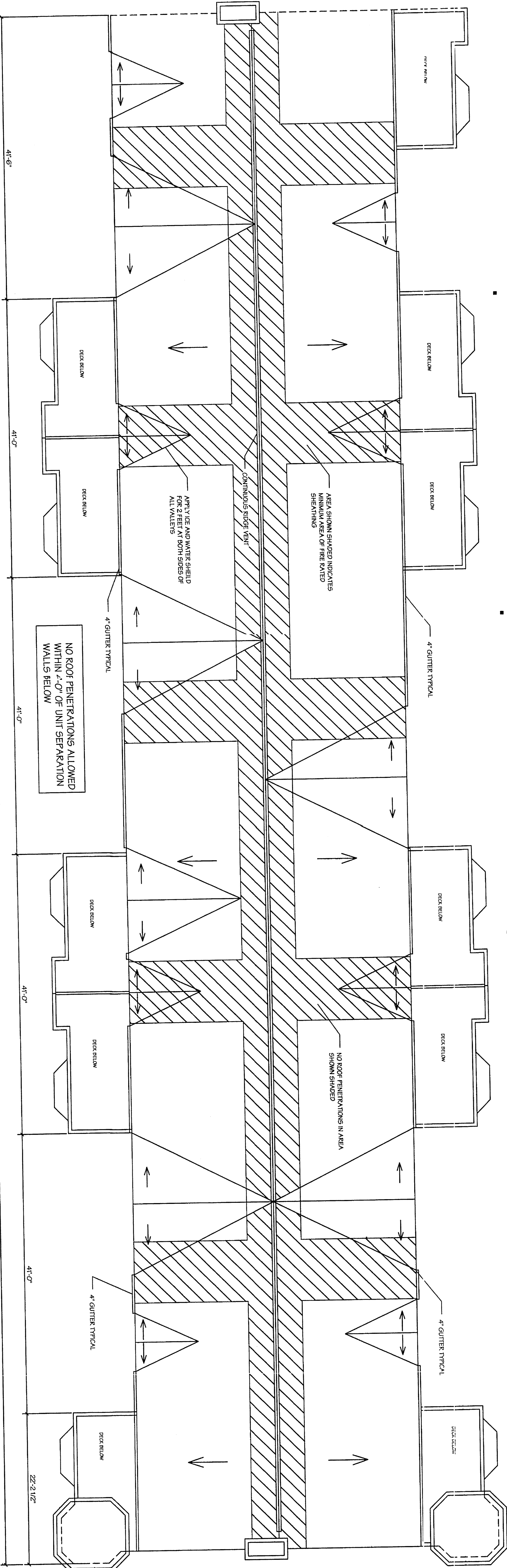
DATE ISSUE
PERMIT - SEPTEMBER 15, 2004
CITY REVIEW - NOVEMBER 10, 2004



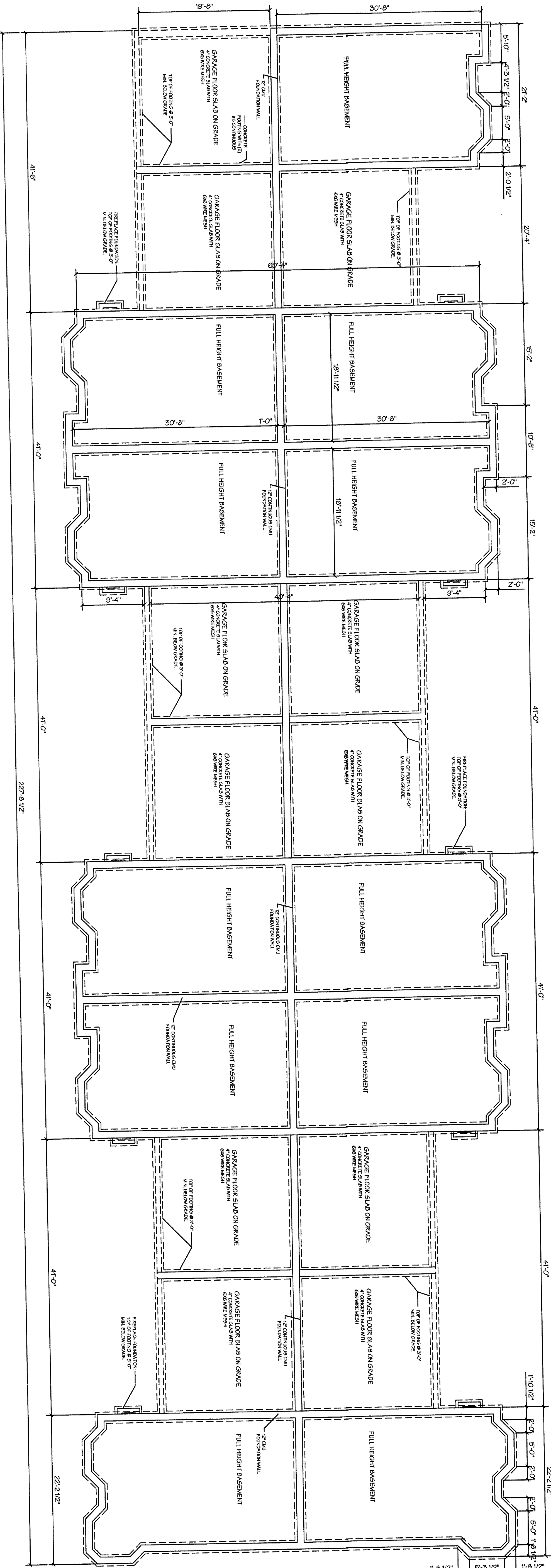
BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.
ANY DUPLICATION OR MODIFICATION IS FURTHER GIVEN WITHOUT FURTHER WRITTEN PERMISSION FROM JAMES ROSEN ARCHITECTS ©



1 BUILDING #1 - ROOF PLAN
A1.0 SCALE 1/8\"/>



2 BUILDING #1 - FOUNDATION PLAN
A1.0 SCALE 1/8\"/>

JAMES ROSEN
ARCHITECTS

15906 DEXTER AVE. DIRK
LAKESIDE, OHIO 44077

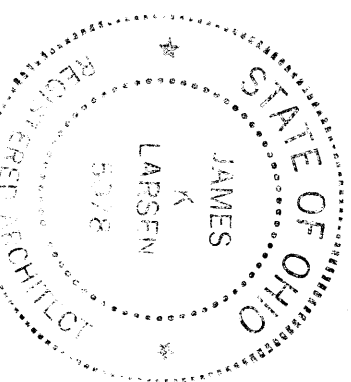
216-221-2350

SHEET NUMBER

A1.0

PROJECT ADDRESS
LINDA & LAKE
ROCKY RIVER, OHIO

PROJECT NUMBER
02075

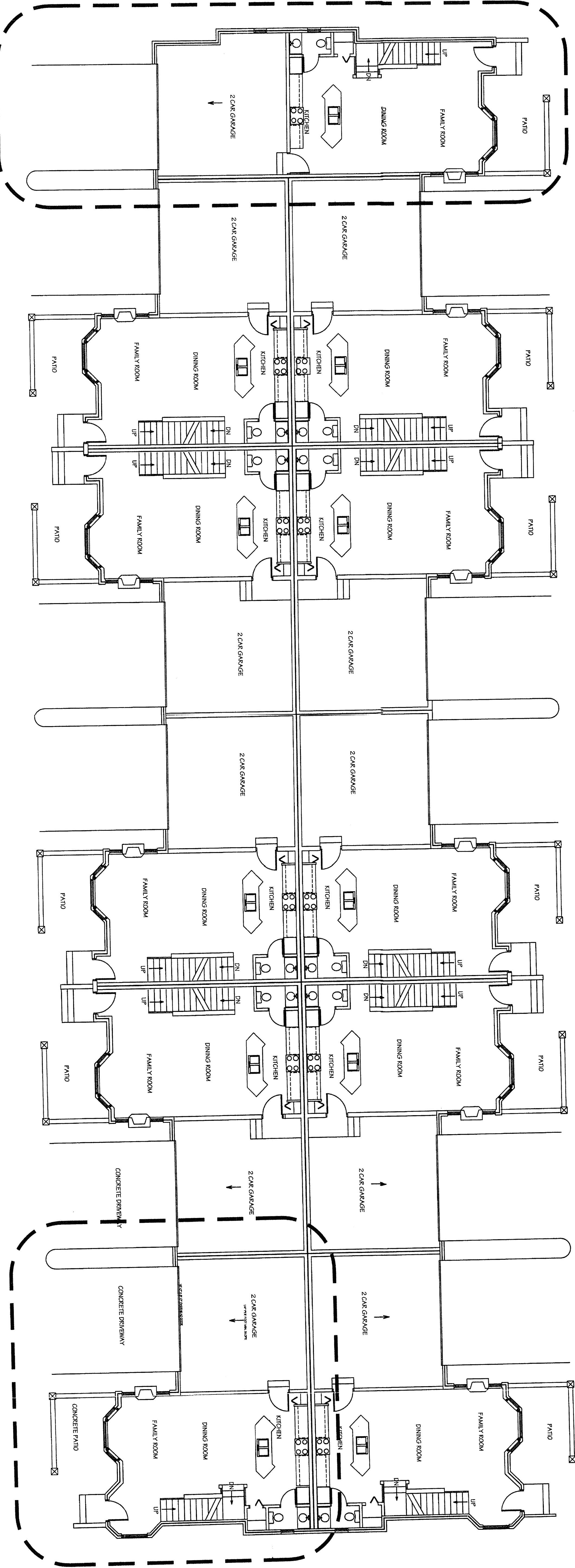


DATE ISSUED
PERMIT - SEPTEMBER 15, 2004
CITY REVIEW - NOVEMBER 10, 2004

BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

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1 BUILDING #1 - MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"

UNIT A
1/7 TYPICAL OF 27 TOTAL UNITS ON SITE
BUILDINGS 2, 3, 4 & 5 ALL TYPE A UNITS

GENERAL LEGEND

	INTERIOR WALL - 2x4 STUD @ 16" O.C. WITH 7/8" GYP. BOARD EACH SIDE
	GARAGE SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. WITH 5/8" TYPE X GYP. BOARD EACH SIDE ONE HOUR RATED - UL DESIGN 1042
	UNIT SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. WITH 5/8" TYPE X GYP. BOARD ON EACH EXPOSED SIDE, ONE ON INTERIOR SIDE, TWO HOUR RATED - UL DESIGN 1042
	UNIT SEPARATION EXTERIOR WALL - 2x4" STUD OR 2x6" STUD @ 16" O.C. WITH 1/2" LAYER 5/8" TYPE X GYP. BOARD ON INTERIOR SIDE, 2" POLYSTYRENE INSULATION ON EXTERIOR SIDE AND 2" FACE BRICK ON EXTERIOR. 1 HOUR RATED - UL DESIGN 1046
	NOTE: ALL FINE WALLS TO EXTEND CONTINUOUS FROM LUMBER FLOOR & SEALED TIGHT TO BOTTOM OF FOOT CICK.

GAS AND ELECTRIC METERS WILL BE LOCATED AT THE NORTH AND SOUTH END OF BUILDING #1. ELECTRICAL DISCONNECT SWITCHES WILL BE PLACED ADJACENT TO THE GARAGE DOOR FOR EACH UNIT.

PROJECT ADDRESS

LINDA & LAKE
ROCKY RIVER, OHIO

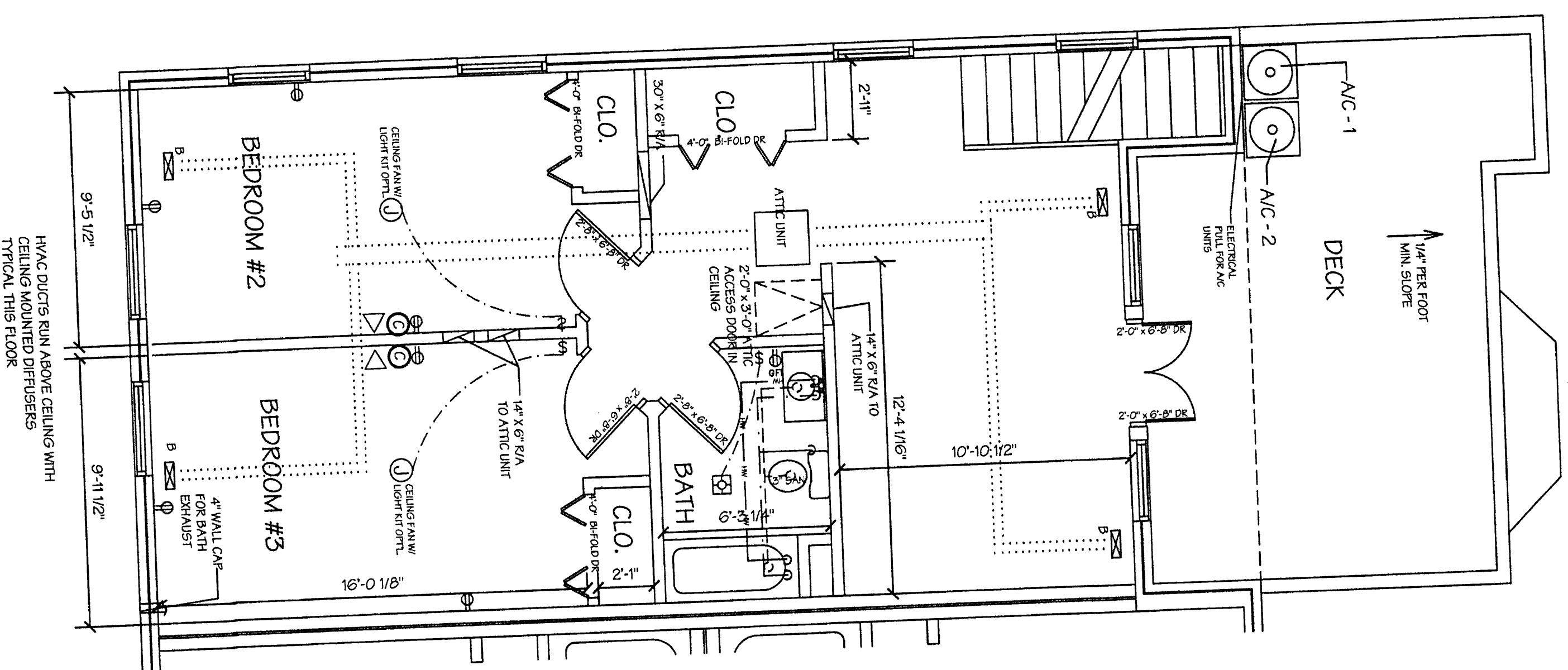
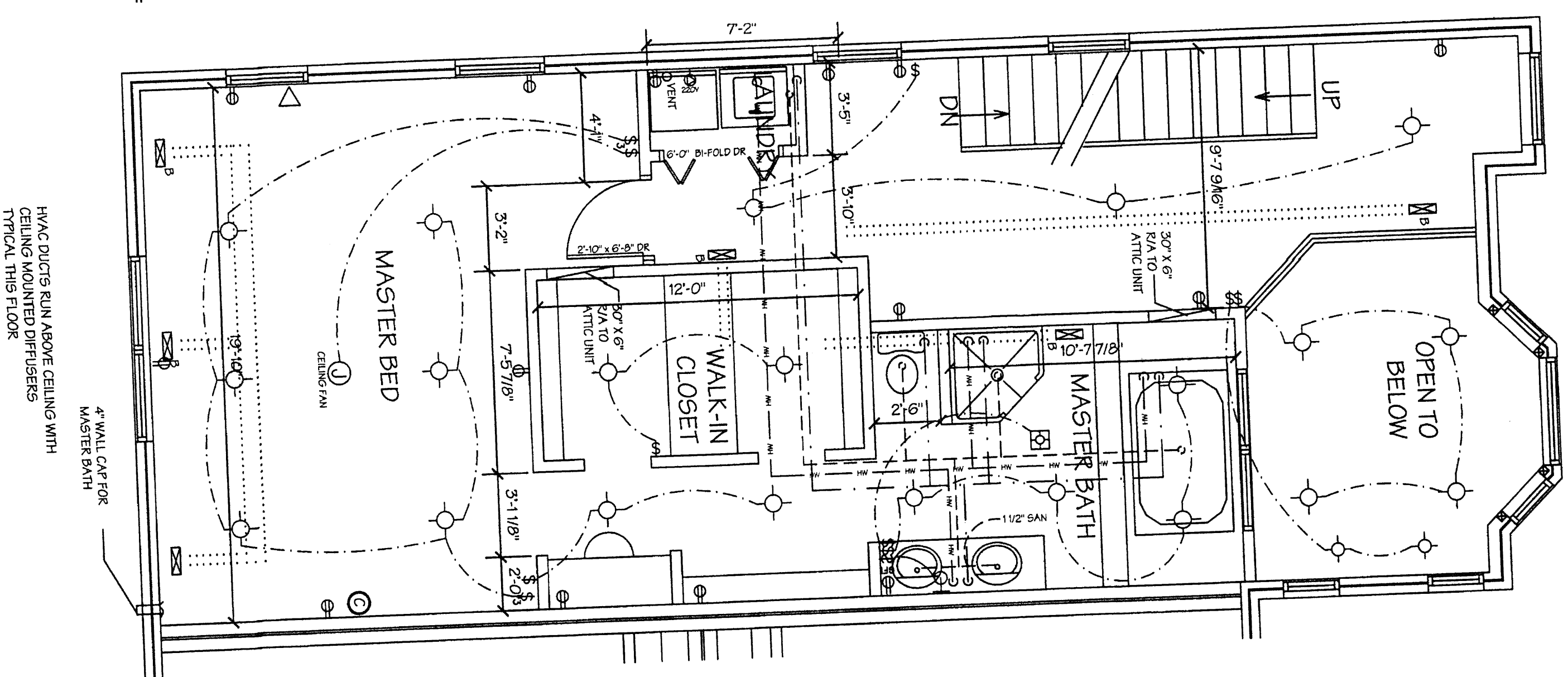
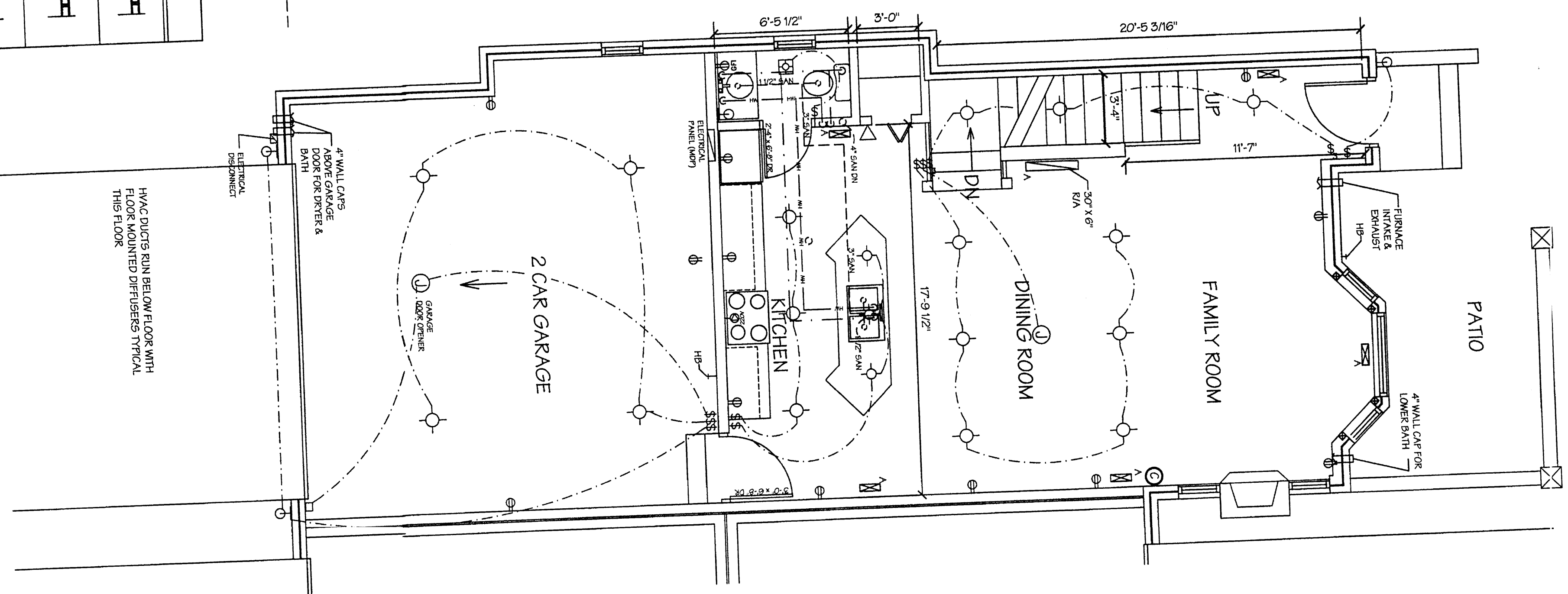
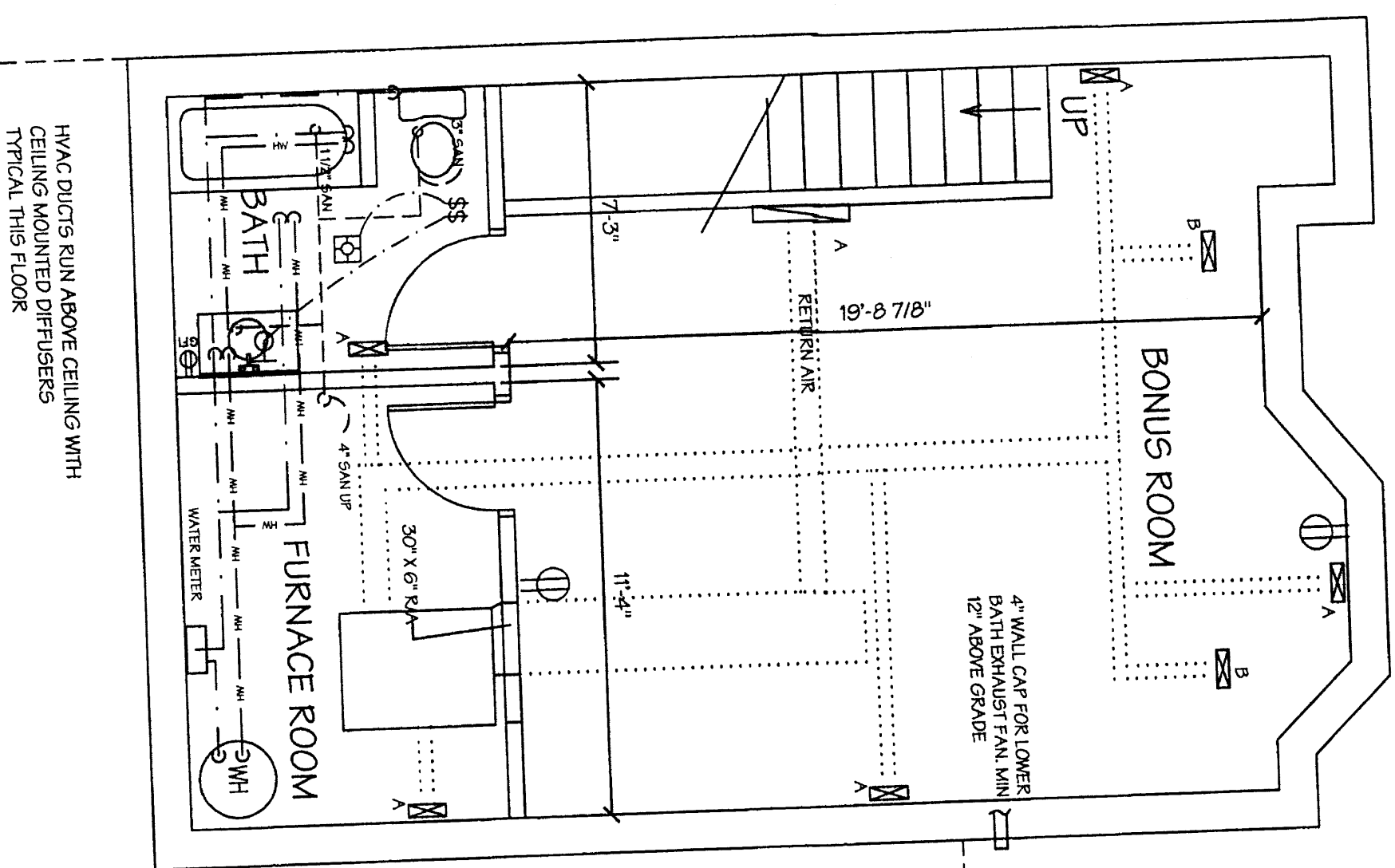
PROJECT NUMBER

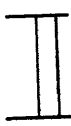







02073

12000 DOWNTOWN DRIVE
LAKESIDE, OHIO 44107
216-221-2350

SHEET NUMBER

A1.1



GENERAL LEGEND	
	INTERIOR WALL - 2x4 STUD @ 16" O.C. WITH GFR BOARD EACH SIDE
	GARAGE SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. W/16" TYPE X GFR BOARD EACH SIDE, ONE HOUR RATED - UL DESIGN U089
	UNIT SEPARATION WALL - 2-PARTED WALLS - 2x4" STUD @ 16" O.C. W/16" TYPE X GFR BOARD ON EACH EXPOSED SIDE, ONE ON INTERIOR SIDE, TWO HOUR RATED - UL DESIGN U032
	UNIT SEPARATION EXTERIOR WALL - 2x4" STUD @ 2x6" STUD @ 16" O.C. W/1 LAYER 5/8" TYPE X GFR BOARD ON INTERIOR SIDE, 15/32" THICK EXTERIOR 1/2" GFR BOARD ON 1/2" AIR SPACER, 1/2" BRICK ON EXTERIOR, 1 HOUR RATED - UL DESIGN U048
	
	
	
	

1 UNIT A - LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

2 UNIT A - MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"

3 UNIT A - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
A1.3

4 BUILDING #1 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
A1.3

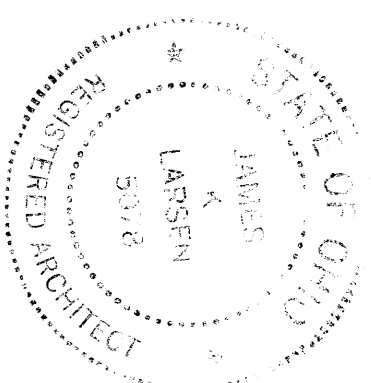
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BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS. ANY DUPLICATION OR MODIFICATION IS FORBIDDEN WITHOUT PRIOR WRITTEN PERMISSION FROM LARSEN ARCHITECTS. (b)

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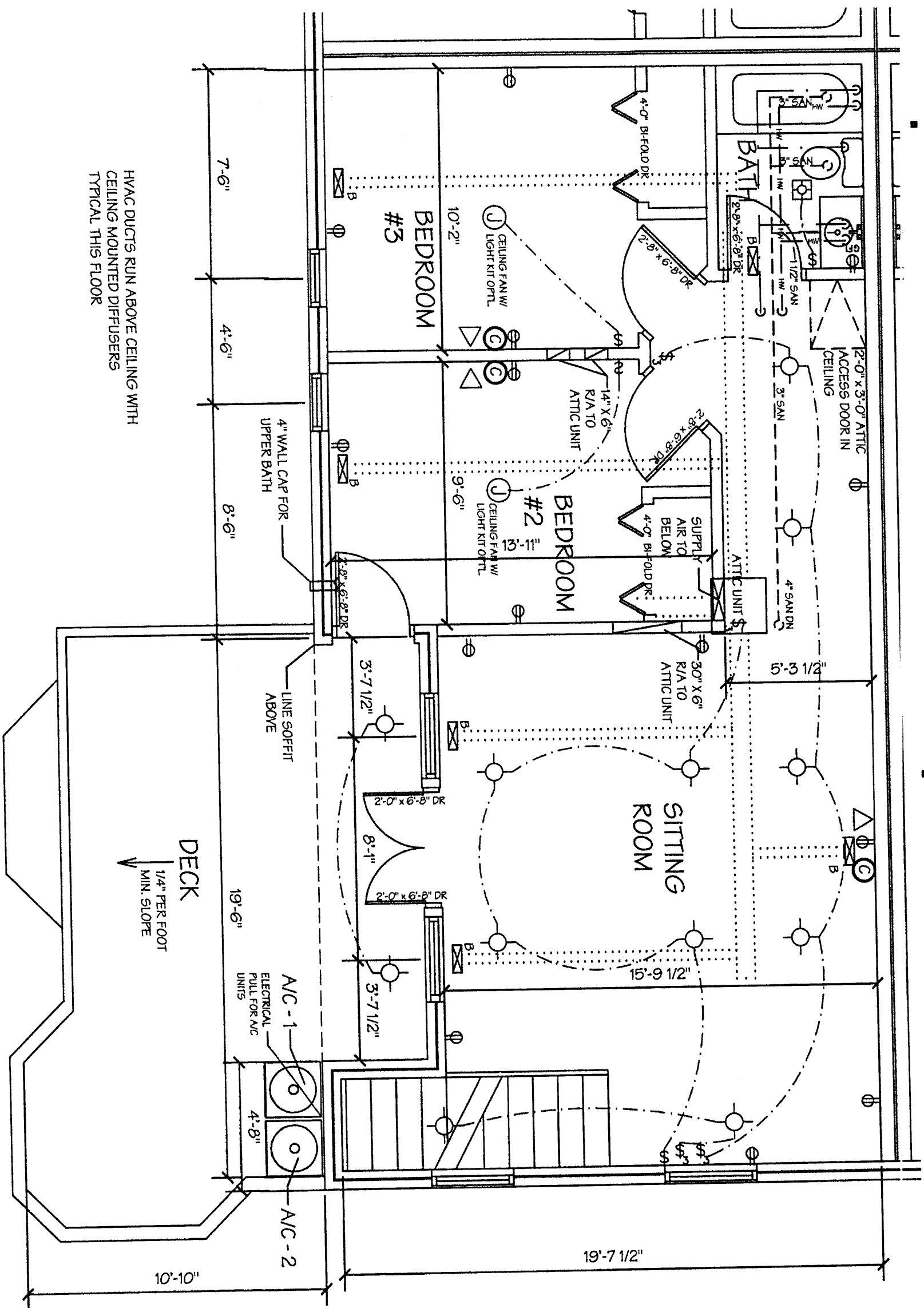
PROJECT ADDRESS
• LINDA & LAKE •
ROCKY RIVER, OHIO

PROJECT NUMBER
• •
02073

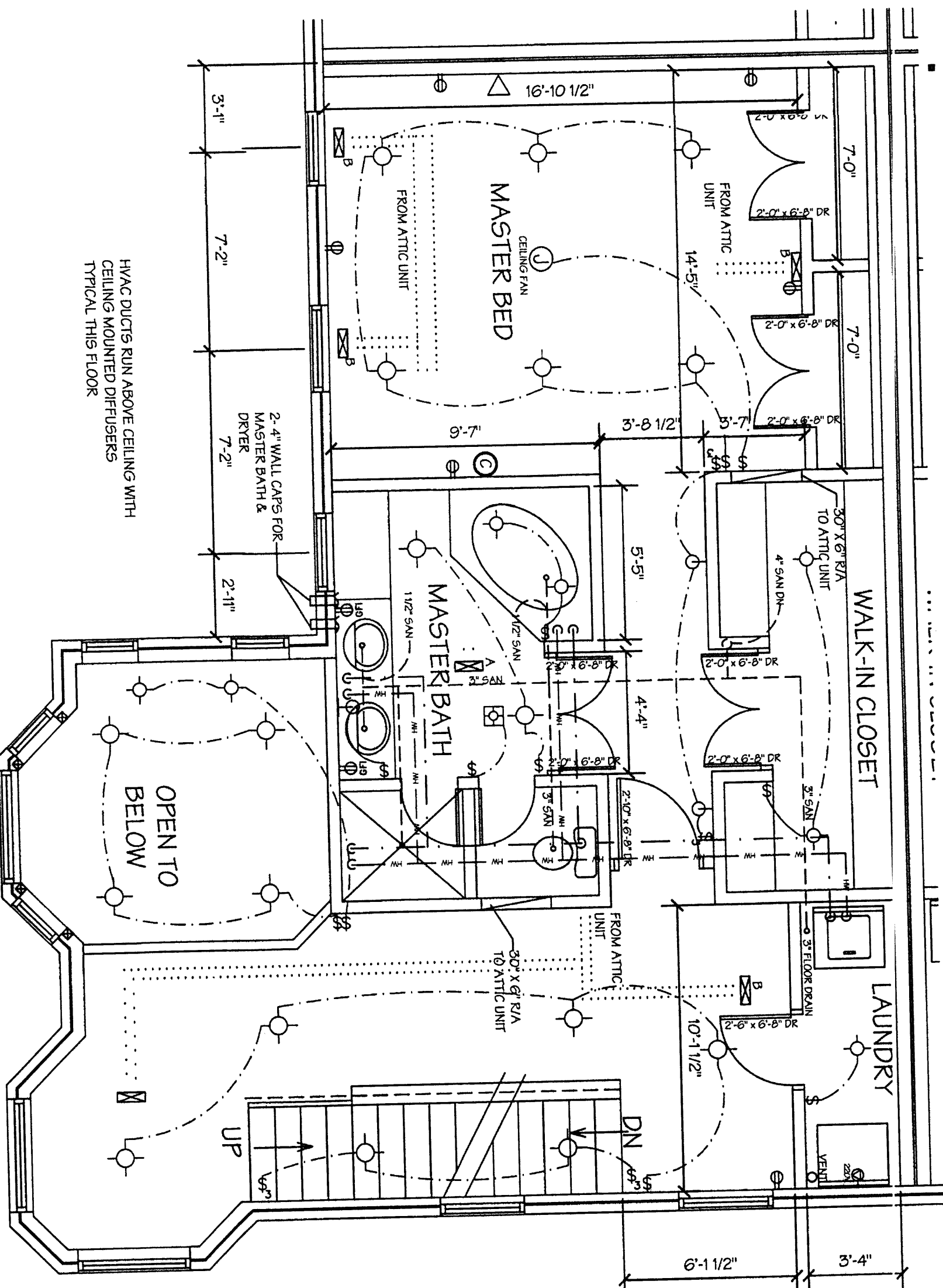
12508 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107
216-221-2350

A12

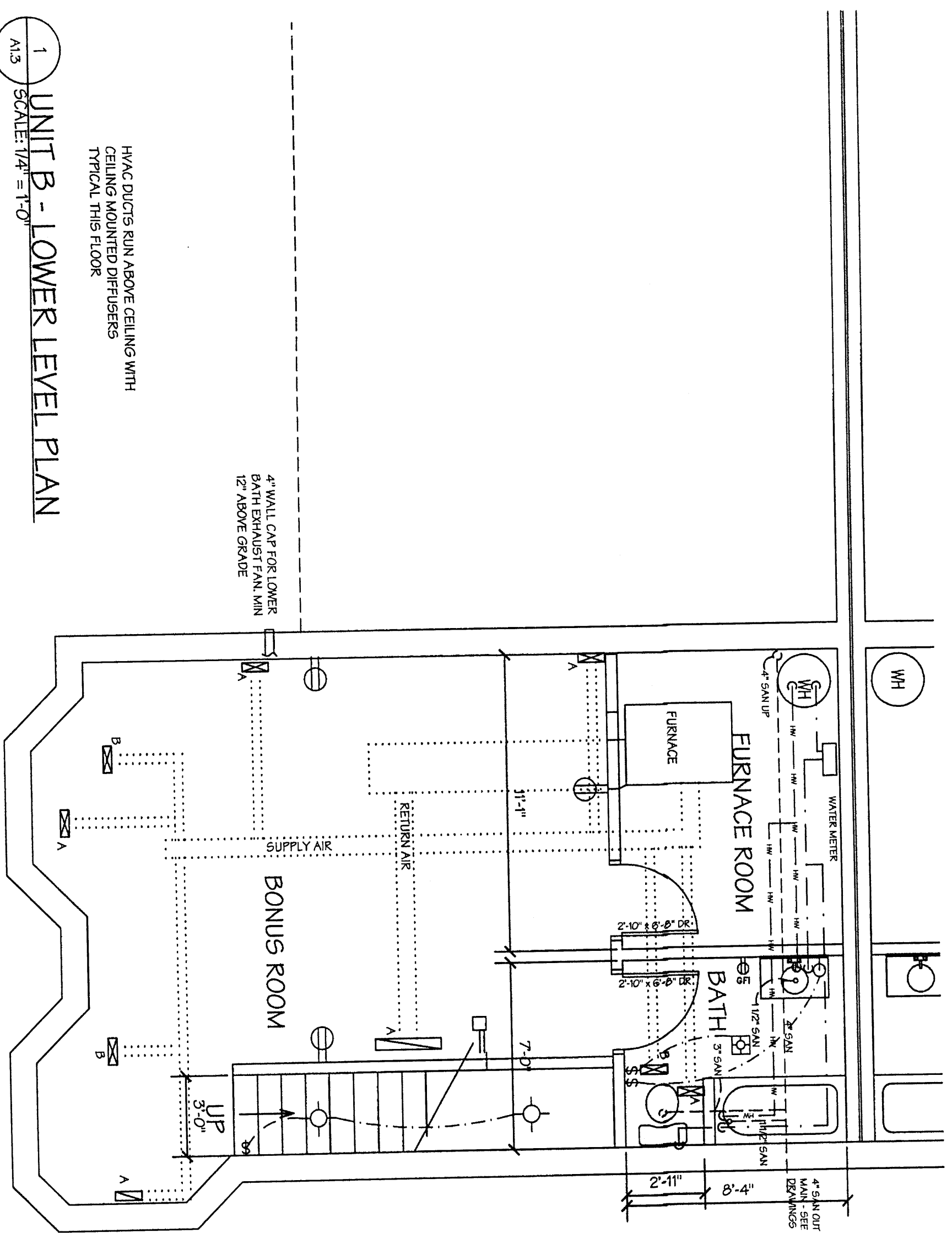
INSPIN ARCHITECTS



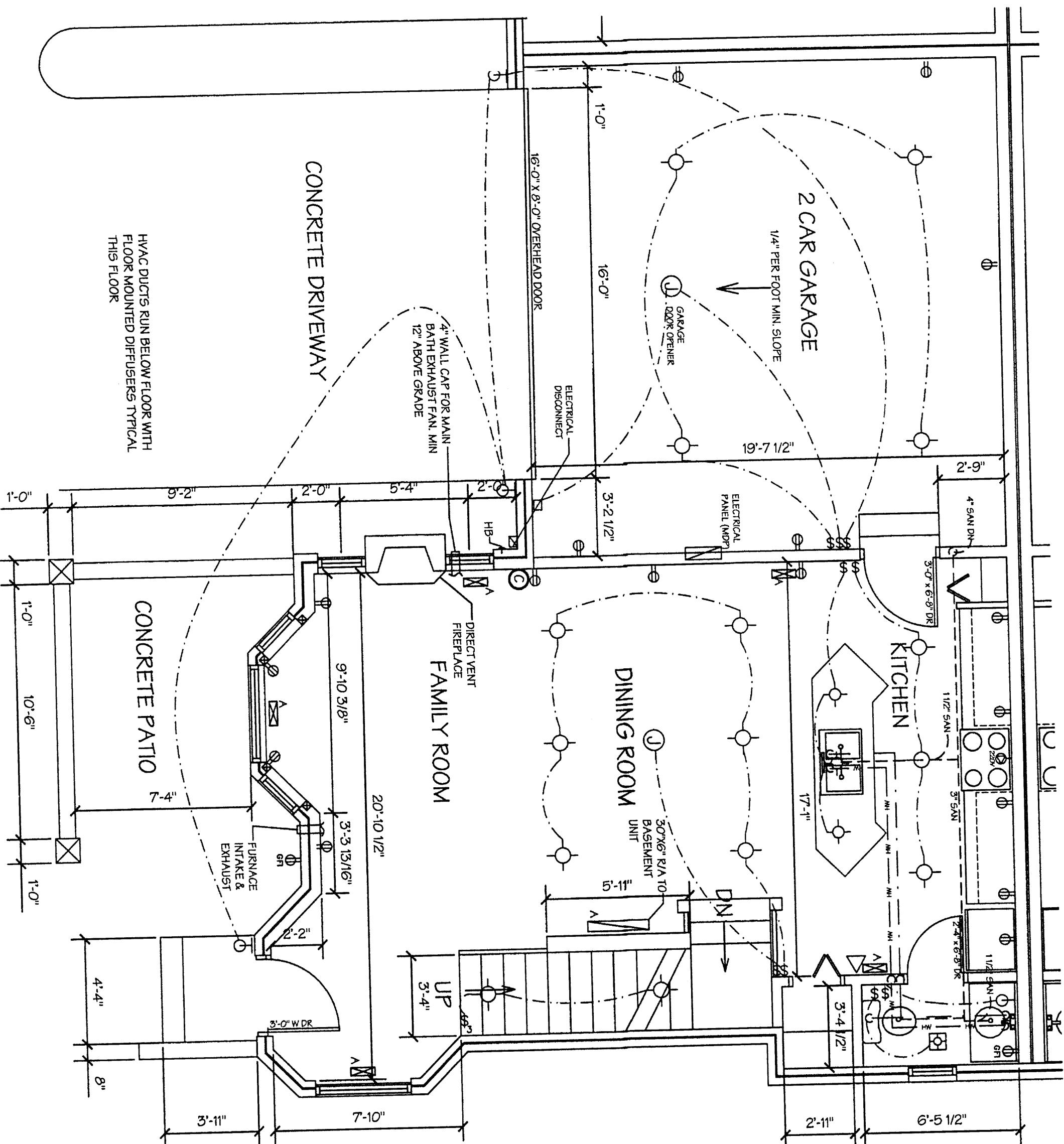
4 UNIT B - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 UNIT B - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 UNIT B - LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"



2 UNIT B - MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"

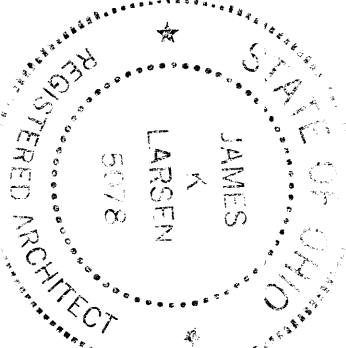
GENERAL LEGEND			
	INTERIOR WALL - 2x4 STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE		GARAGE SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U242
	UNIT SEPARATION WALL - 2x4 STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U242		UNIT SEPARATION WALL - 2x4 STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U242
	UNIT SEPARATION WALL - 2x4 STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U242		UNIT SEPARATION WALL - 2x4 STUD @ 16" O.C. W/ 2x4 GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U242

NOTE: ALL FIRE WALLS TO EXTEND CONTINUOUS FROM LOWEST FLOOR & SEALED TIGHT TO BOTTOM OF ROOF DECK.

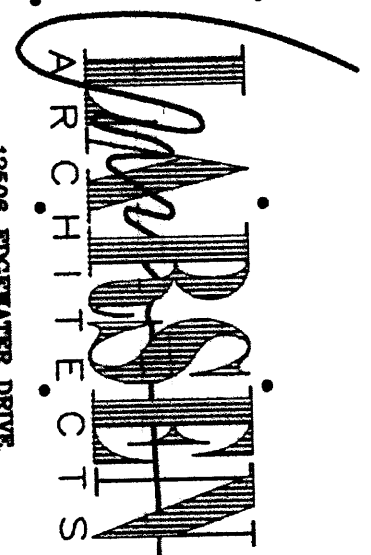
BEACHCLIFF ROW GATEWAY NEIGHBORHOOD TO ROCKY RIVER, OHIO

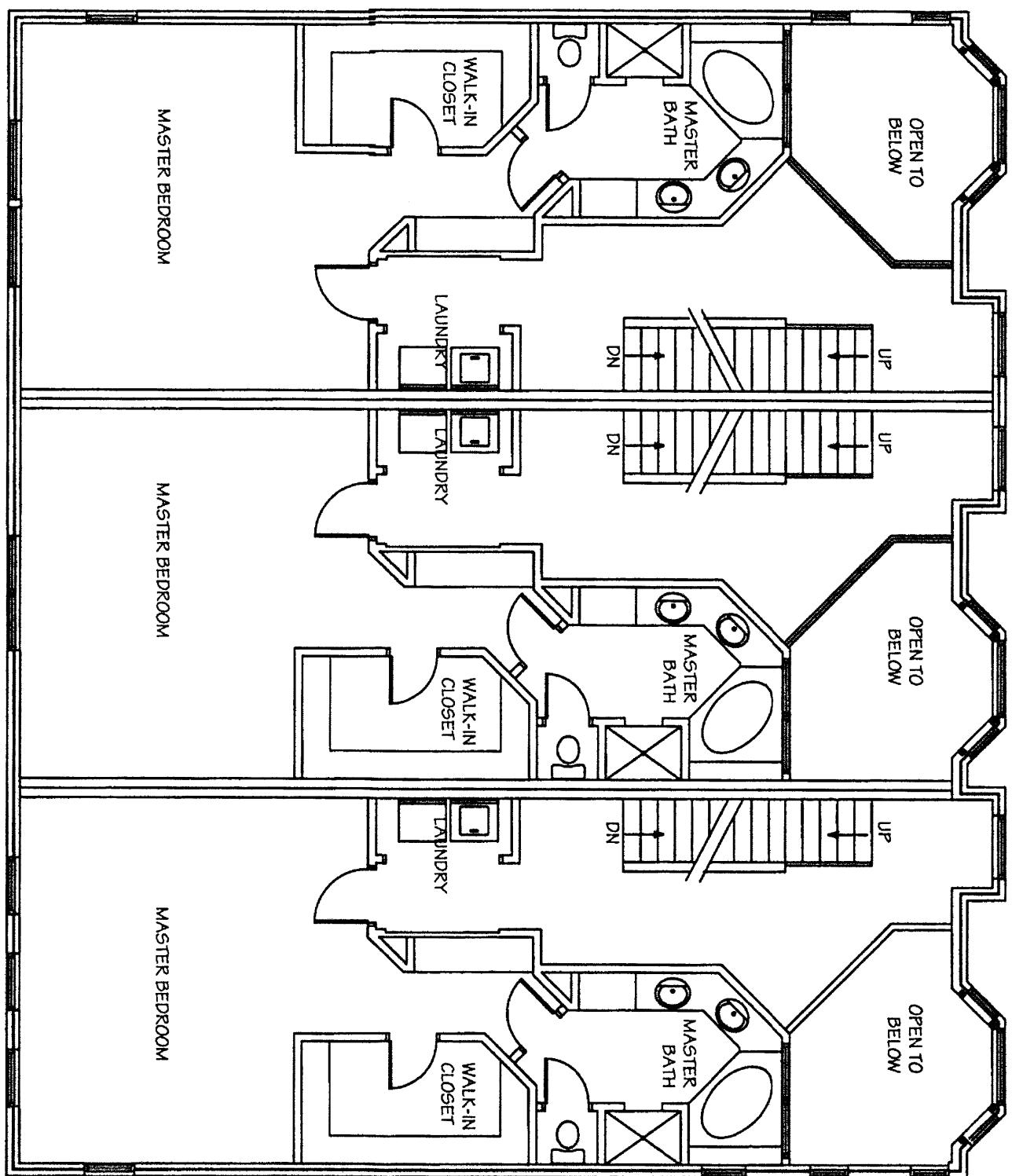
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REVIEW - SEPTEMBER 15, 2004
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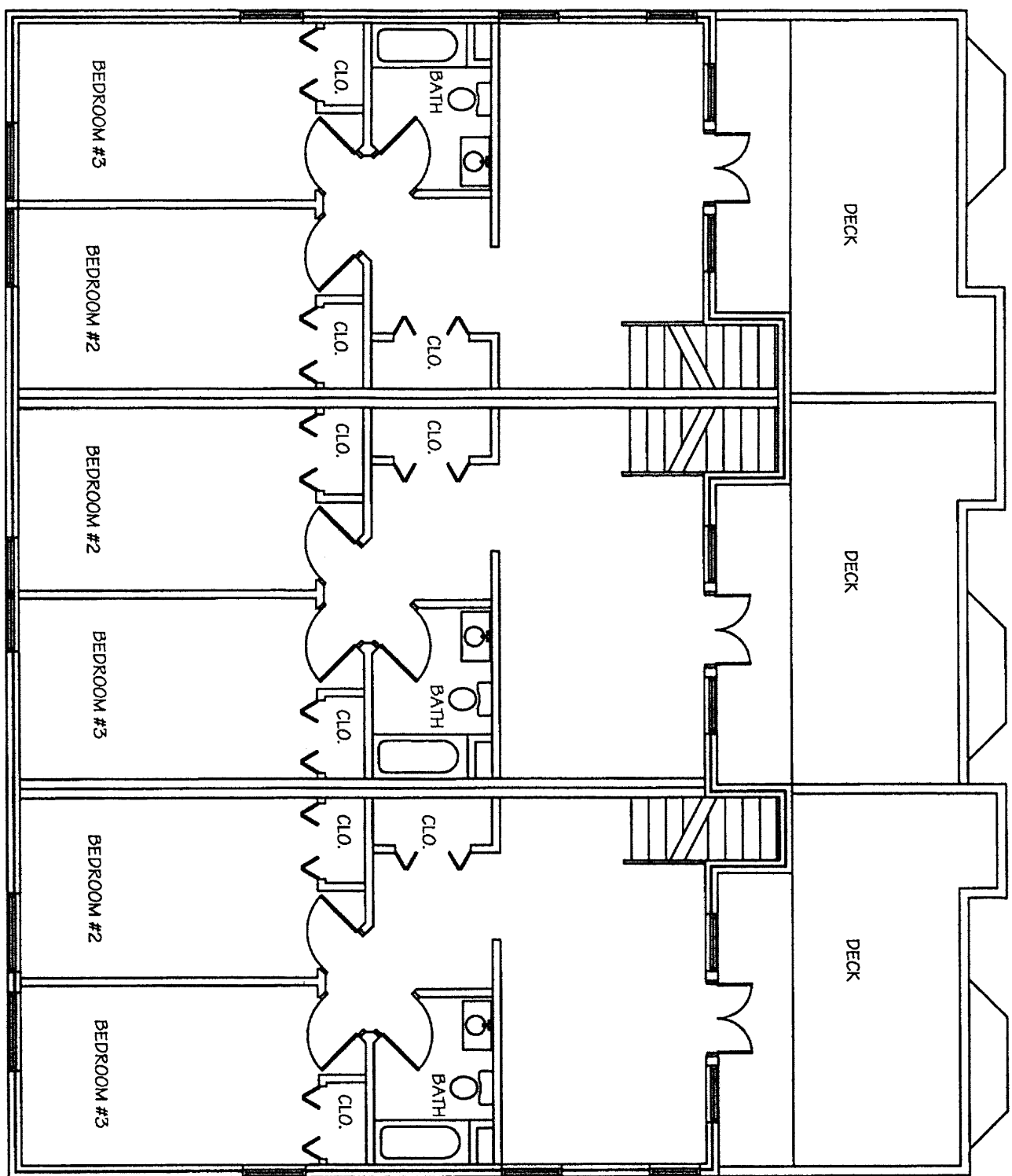


PROJECT ADDRESS
LINDA & LAKE
ROCKY RIVER, OHIO
PROJECT NUMBER
020703
SHEET NUMBER
A1.3

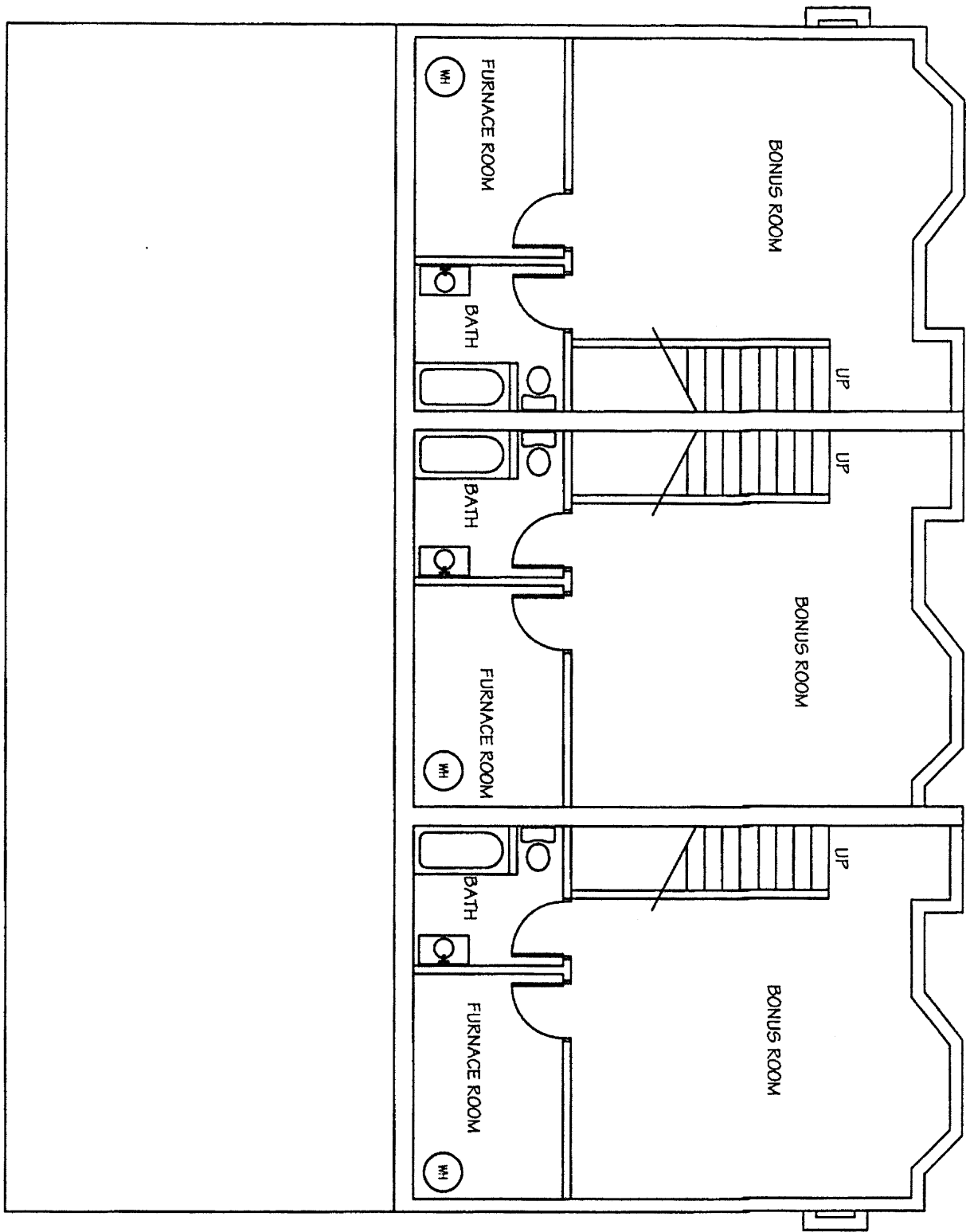




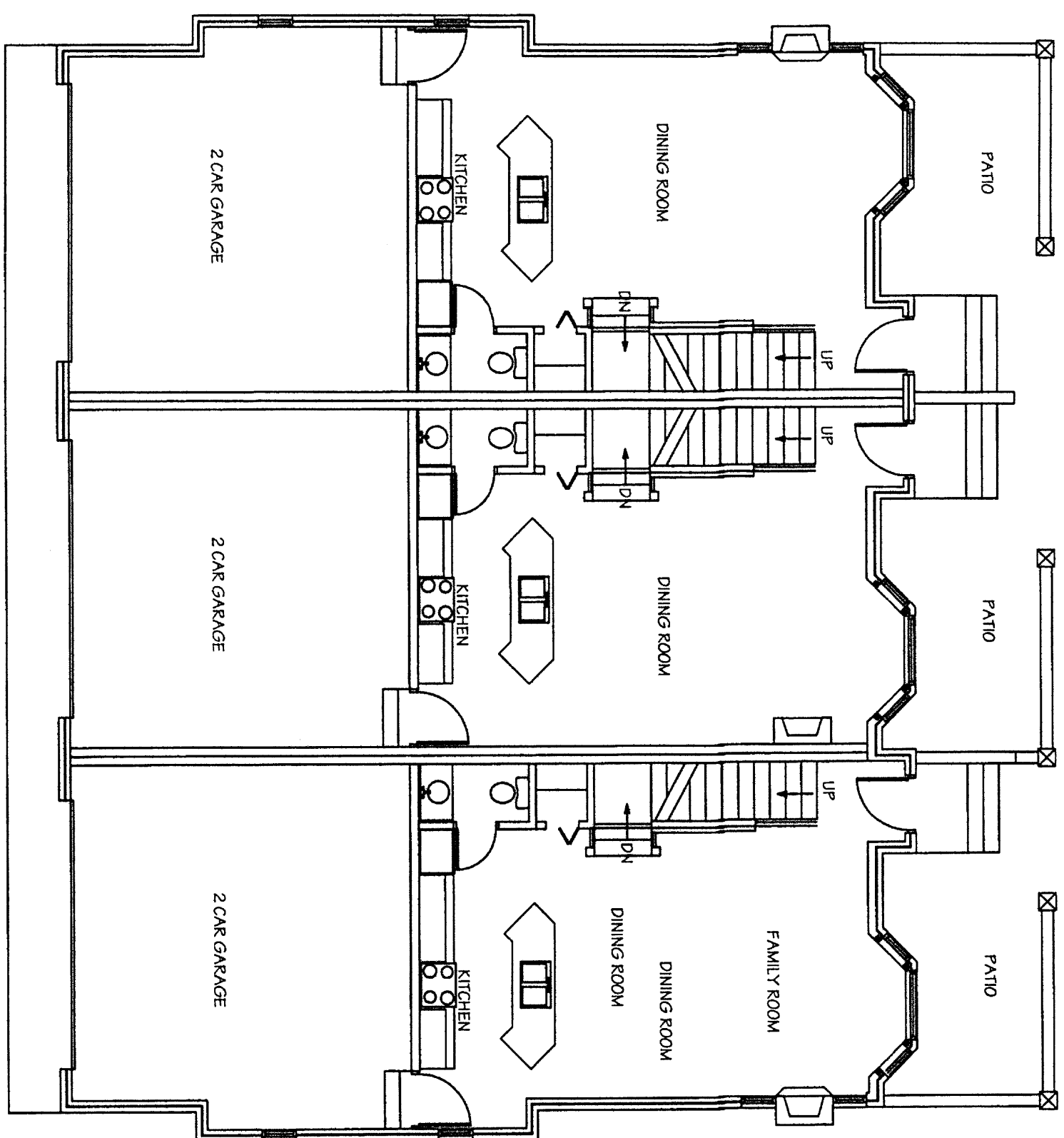
3 BUILDINGS #2 & 3 - SECOND FLOOR
A1.4 SCALE: 1/8" = 1'-0"



4 BUILDINGS #2 & 3 - THIRD FLOOR
A1.4 SCALE: 1/8" = 1'-0"



1 BUILDINGS #2 & 3 - LOWER LEVEL
A1.4 SCALE: 1/8" = 1'-0"



2 BUILDINGS #2 & 3 - MAIN LEVEL
A1.4 SCALE: 1/8" = 1'-0"

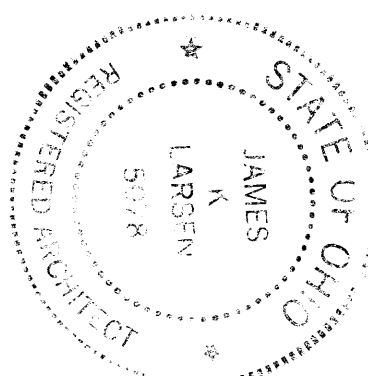
GAS AND ELECTRIC METERS WILL BE LOCATED AT THE WEST END OF BUILDINGS #2 & 3. ELECTRICAL DISCONNECT SWITCHES WILL BE PLACED ADJACENT TO THE GARAGE DOOR FOR EACH UNIT.

GENERAL LEGEND	
	INTERIOR WALL - 2x4 STUD @ 16" O.C. W/1/2" GYP. BOARD EACH SIDE
	GARAGE SEPARATION WALL - 2x4 WOOD STUD @ 16" O.C. W/5/8" TYPE X GYP. BOARD EACH SIDE, ONE HOUR RATED - UL DESIGN U242
	UNIT SEPARATION WALL - 2-FRAMED WALLS - 2x4" STUD @ 16" O.C. W/1/2" TYPE X GYP. BOARD ON INTERIOR SIDE, TWO HOUR RATED - UL DESIGN U242
	UNIT SEPARATION EXTERIOR WALL - 3x4" STUD OR 2x6" STUD @ 16" O.C. W/1 LAYER 5/8" TYPE X GYP. BOARD ON INTERIOR SIDE, 1/2" AIR SPACE, AND 4" FACE BRICK ON EXTERIOR, 1 HOUR RATED - UL DESIGN U242
	NOTE: ALL FIRE WALLS TO EXTEND CONTINUOUS FROM LOWEST FLOOR & SEALED TIGHT TO BOTTOM OF ROOF DECK.

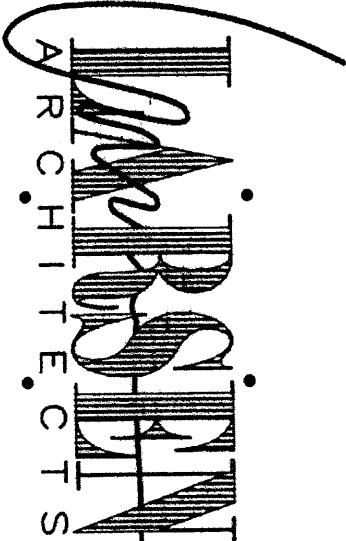
BUILDINGS #2 & 3 CONSIST OF 3 UNIT A TYPE UNITS. FOR DIMENSIONS AND INFORMATION ON UNIT A SEE SHEET A1.1

BEACHCLIFF ROW GATEWAY NEIGHBORHOOD TO ROCKY RIVER, OHIO

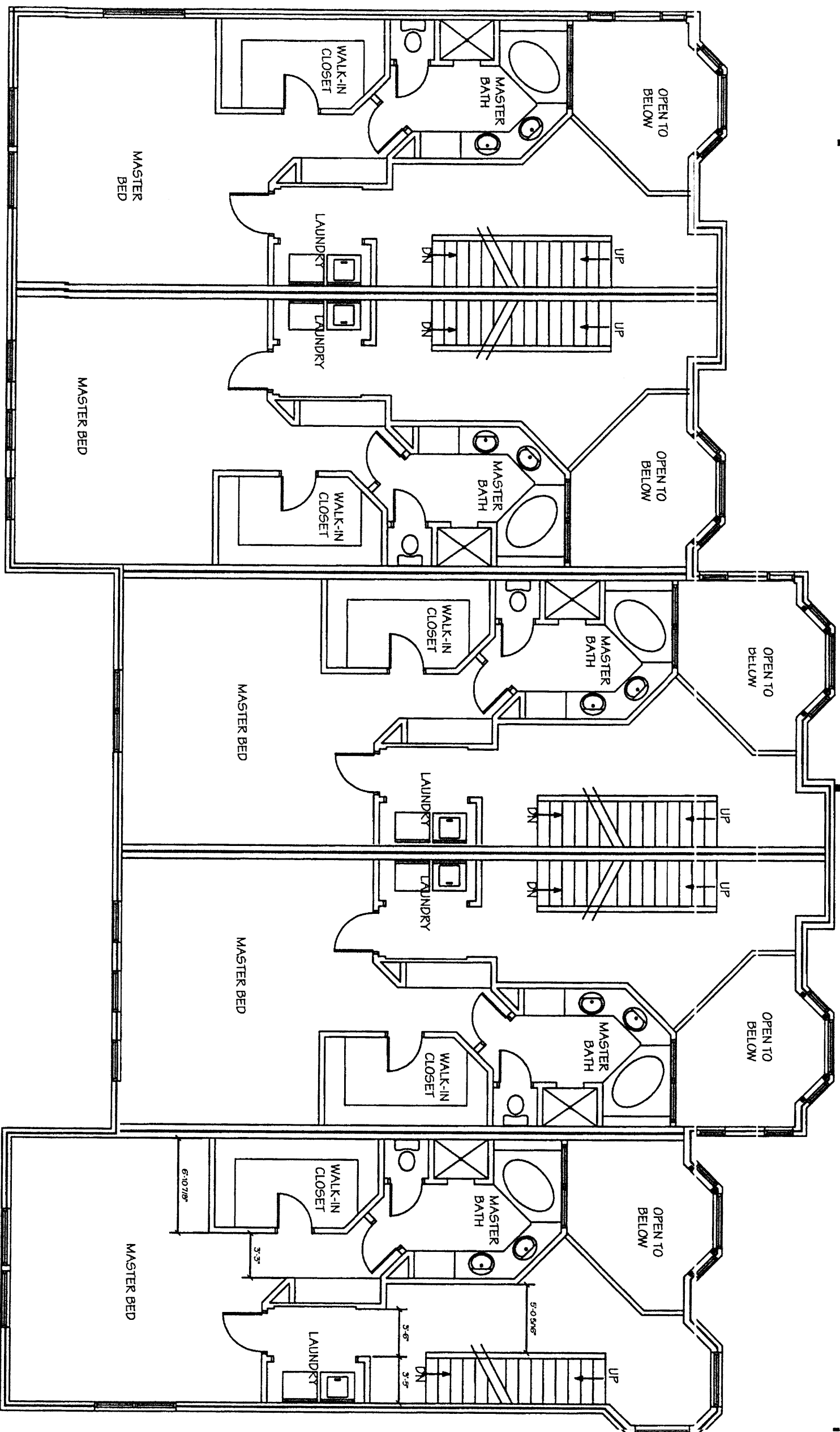
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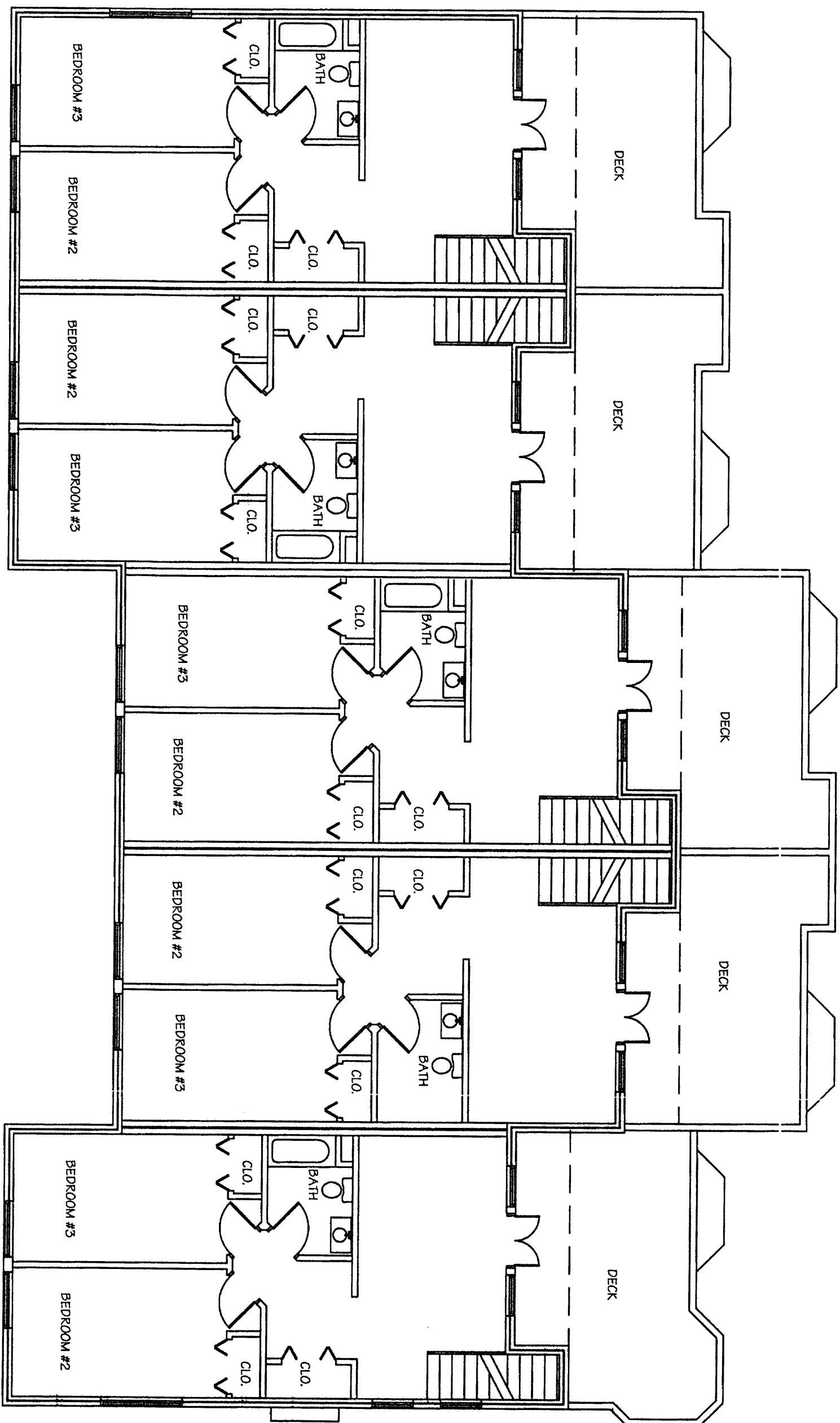
DATE ISSUE
REVISIT - SEPTEMBER 15, 2004
CITY REVIEW - NOVEMBER 10, 2004



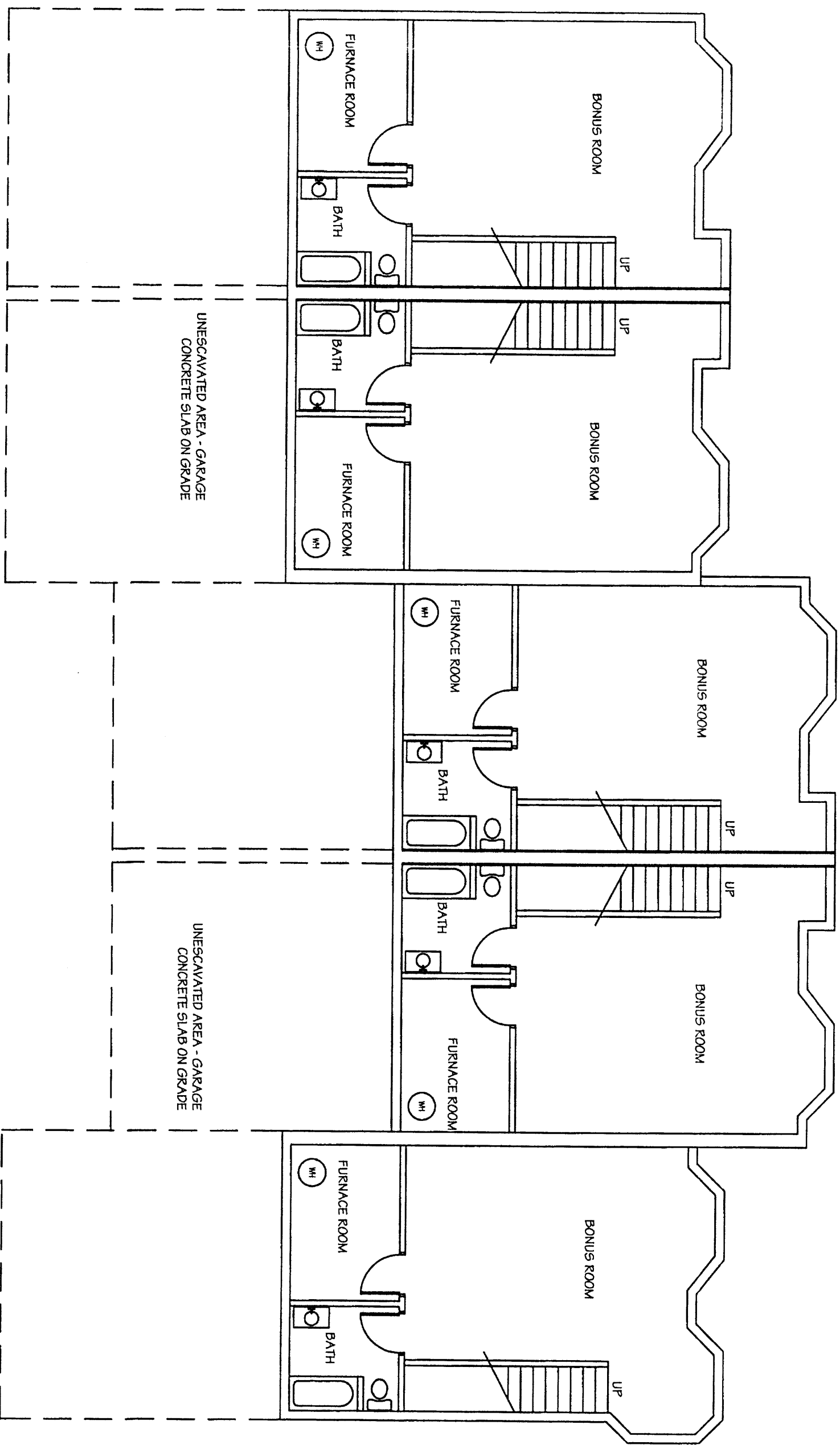
PROJECT ADDRESS
INDIA & LAKE
ROCKY RIVER, OHIO
PROJECT NUMBER
02073
SHEET NUMBER
A1.4



4 BUILDINGS #4 & 5- THIRD FLOOR PLAN
A1.6 SCALE: 1/8" = 1'-0"



3 BUILDINGS #4 & 5 - SECOND FLOOR PLAN
A1.6 SCALE: 1/8" = 1'-0"



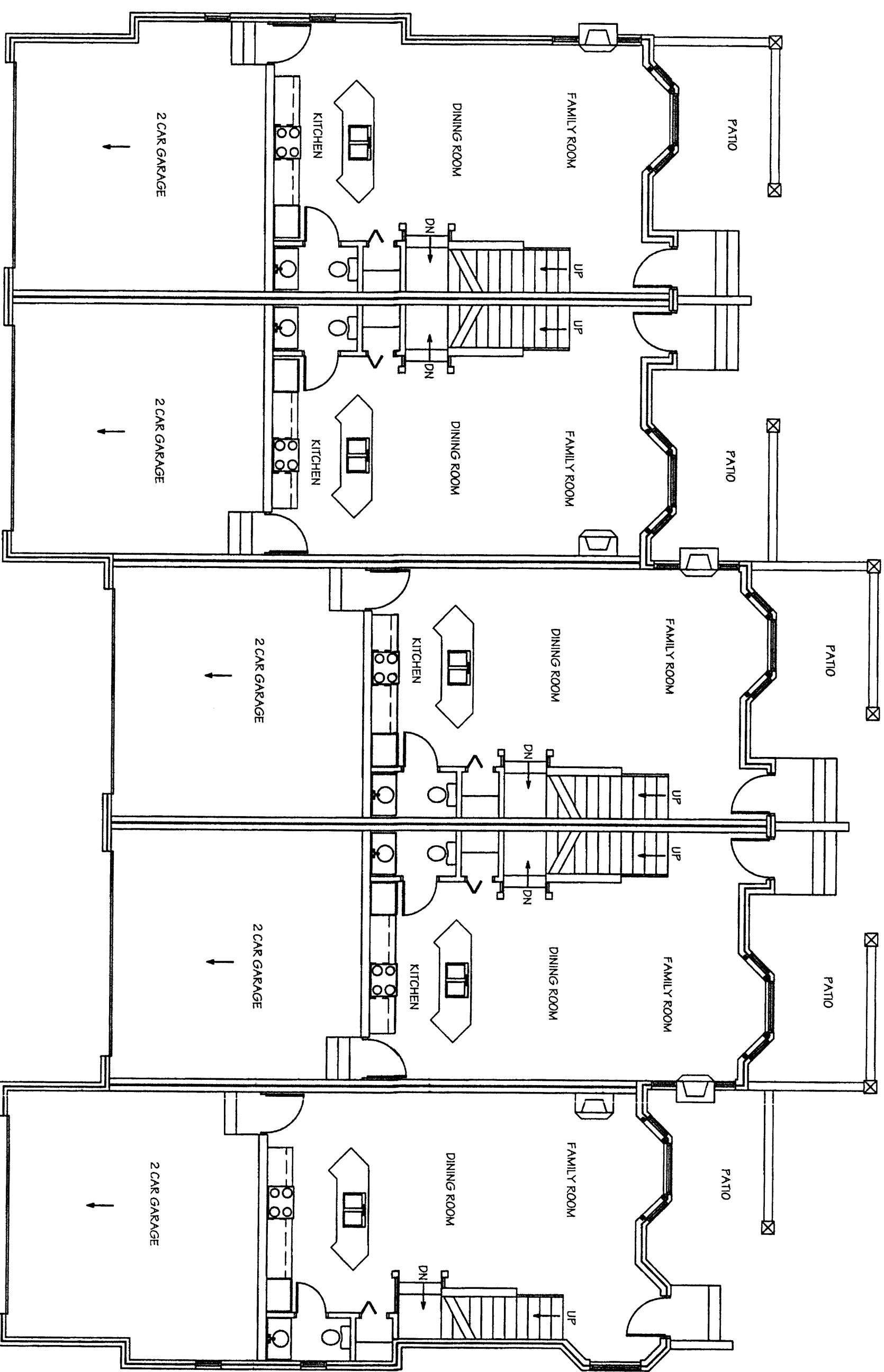
1 BUILDINGS #4 & 5- LOWER LEVEL PLAN
A1.6 SCALE: 1/8" = 1'-0"

GAS AND ELECTRIC METERS WILL BE LOCATED AT THE SOUTH END OF BUILDINGS #4 & 5. ELECTRICAL DISCONNECT SWITCHES WILL BE PLACED ADJACENT TO THE GARAGE DOOR FOR EACH UNIT.

BUILDINGS #4 & 5 CONSIST OF 5 UNIT A TYPE UNITS. FOR DIMENSIONS AND INFORMATION ON UNIT A SEE SHEET A1.1

GENERAL LEGEND	
	INTERIOR WALL - 2x4 STUD @ 16" O.C. W/1/2" GYF. BOARD EACH SIDE
	GARAGE SEPARATION WALL - 2x4 STUD @ 16" O.C. W/1/2" GYF. BOARD EACH SIDE. ONE HOUR RATED - UL DESIGN U205
	UNIT SEPARATION WALL - 2x4 STUD @ 16" O.C. W/1/2" GYF. BOARD EACH EXPOSED SIDE. TWO HOUR RATED - UL DESIGN U202
	UNIT SEPARATION EXTERIOR WALL - 2x4 STUD @ 2x6" W/1/2" GYF. BOARD EACH EXPOSED SIDE. TWO HOUR RATED - UL DESIGN U206
	UNIT SEPARATION EXTERIOR WALL - 2x4 STUD @ 2x6" W/1/2" GYF. BOARD EACH EXPOSED SIDE. TWO HOUR RATED - UL DESIGN U206

NOTE: ALL FIVE WALLS TO EXTEND CONTINUOUS FROM LOWEST FLOOR & SEALED TIGHT TO BOTTOM OF ROOF DECK.

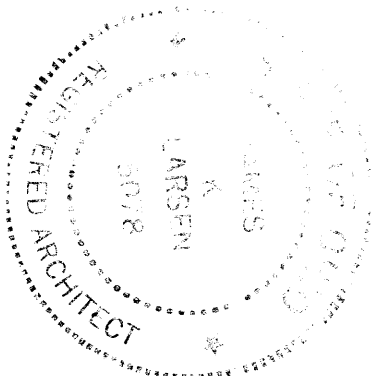


2 BUILDINGS #4 & 5- MAIN LEVEL PLAN
A1.6 SCALE: 1/8" = 1'-0"

BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

DATE ISSUE
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PROJECT ADDRESS
LINDA & LAKE
ROCKY RIVER, OHIO

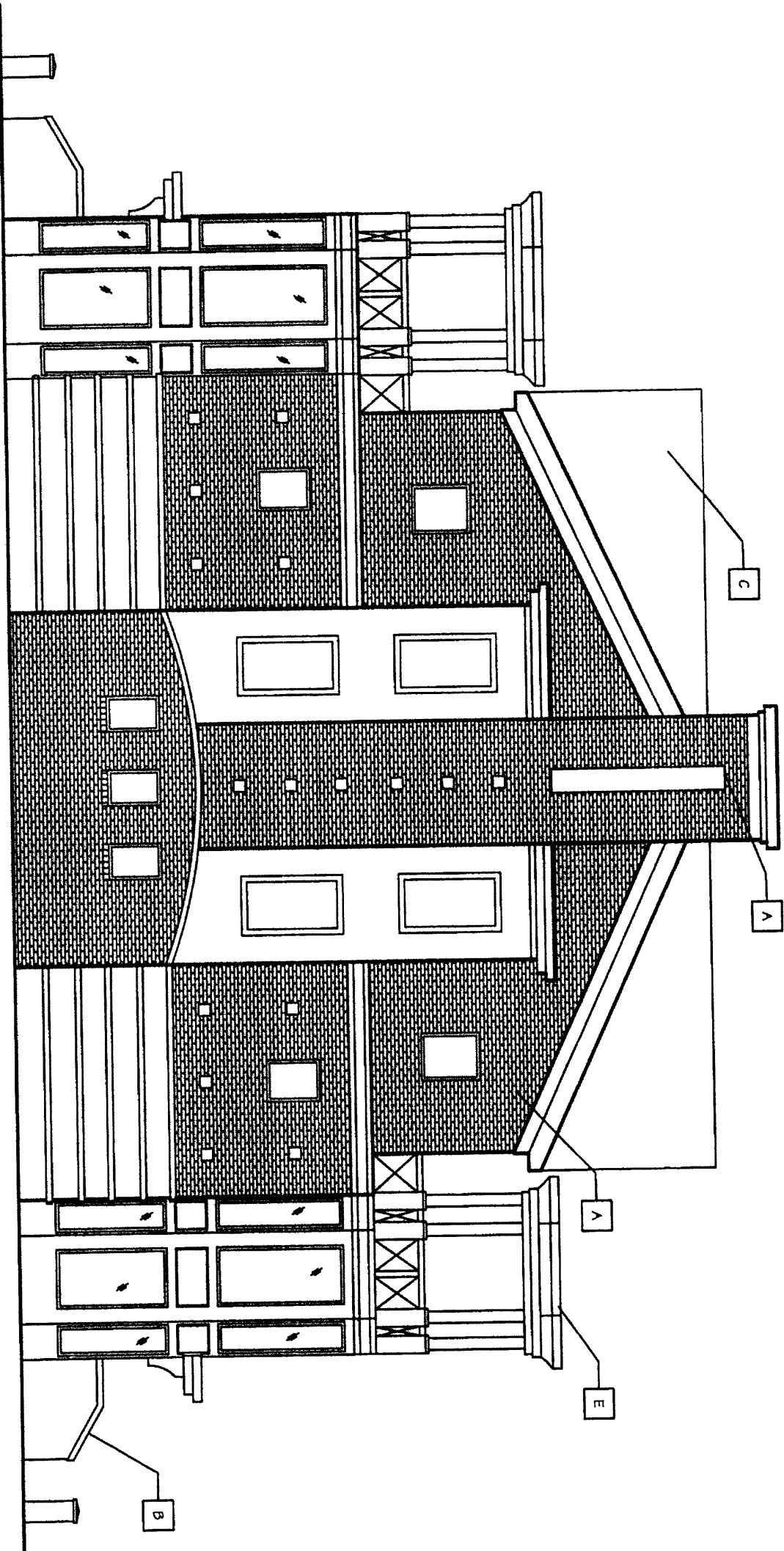
PROJECT NUMBER
02075

12000 BEAUCHAMPEL DRIVE
216-221-2350
SHEET NUMBER

A1.5

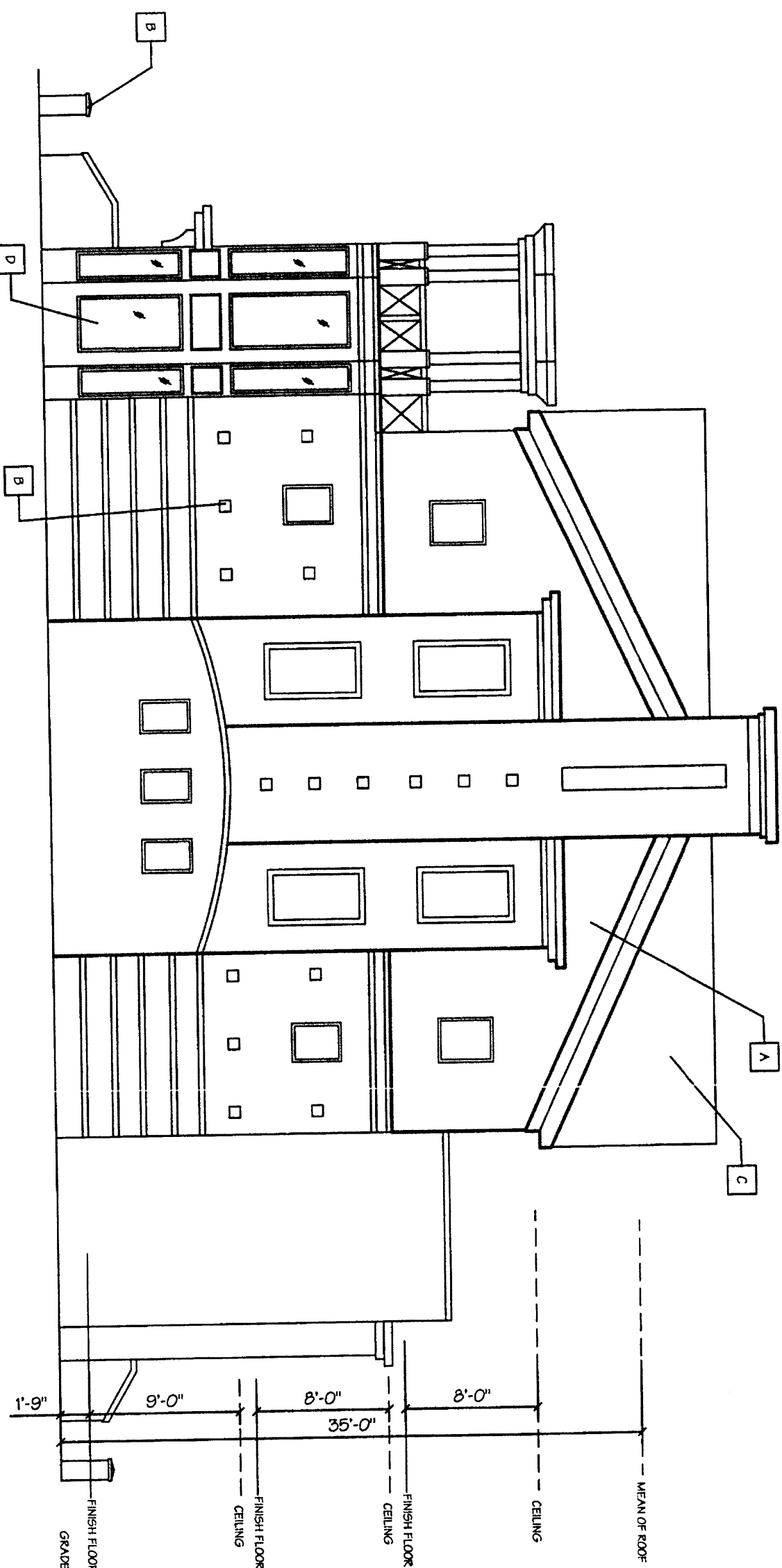


1 BEACHCLIFF ROW ELEVATION (WEST)
A20 SCALE: 1/8" = 1'-0"



2 BEACHCLIFF ROW ELEVATION (SOUTH)
A20 SCALE: 1/8" = 1'-0"

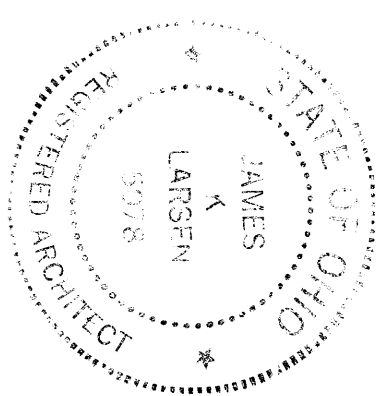
- MATERIALS LEGEND
- A FACE BRICK - GLEN GARY ABERDEEN
 - B PRECAST ACCENT & WALL CAP - NATURAL STONE
 - C CLASS C ASPHALT SHINGLE ROOFING - TIMBERLINE WEATHERED WOOD
 - D WINDOWS & FRAMES - PELLA PROLINE SERIES TAN FINISH
 - E TRIM - NYRON PAINTED TAN
 - F RAILING - 34" HIGH
 - G SURFACE MOUNTED LIGHT FIXTURE



3 LAKE STREET ELEVATION (NORTH)
A20 SCALE: 1/8" = 1'-0"



4 LINDA STREET ELEVATION (EAST)
A20 SCALE: 1/8" = 1'-0"



DATE ISSUE
REVISION: SEPTEMBER 2004
CITY CENTER: NOVEMBER 2004

BEACHCLIFF ROW

GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

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LINDA & LAKE
ROCKY RIVER, OHIO

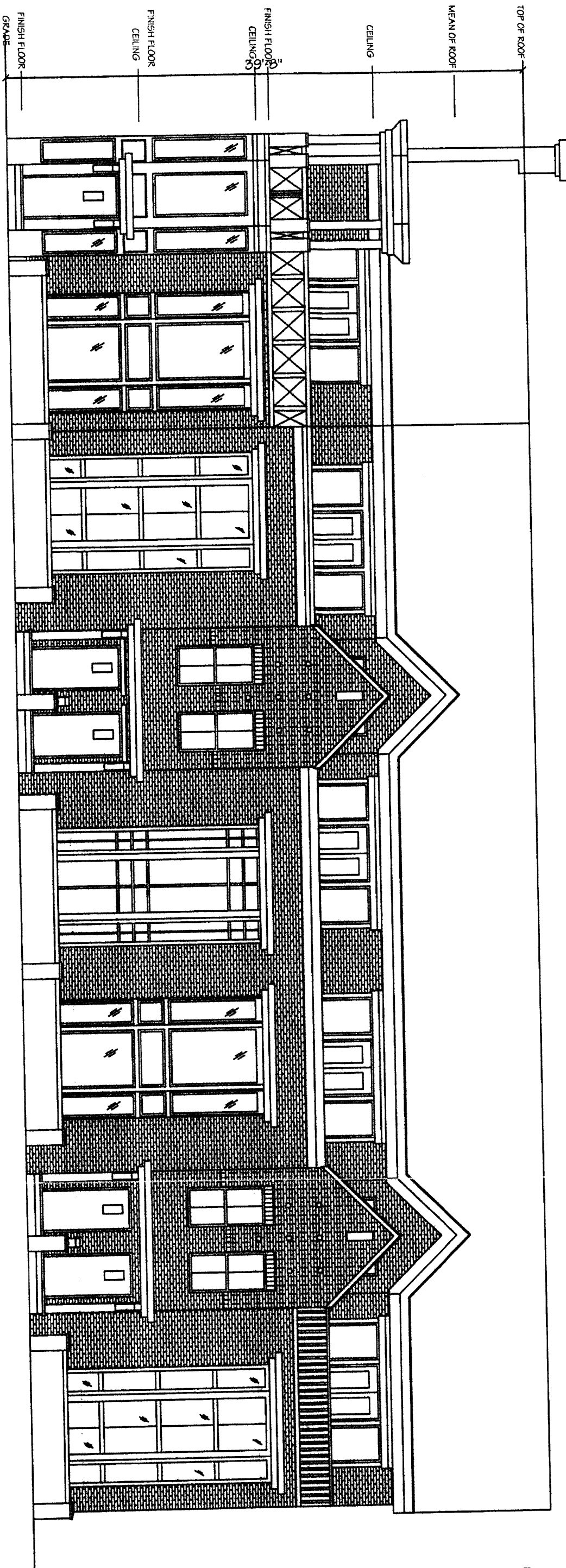
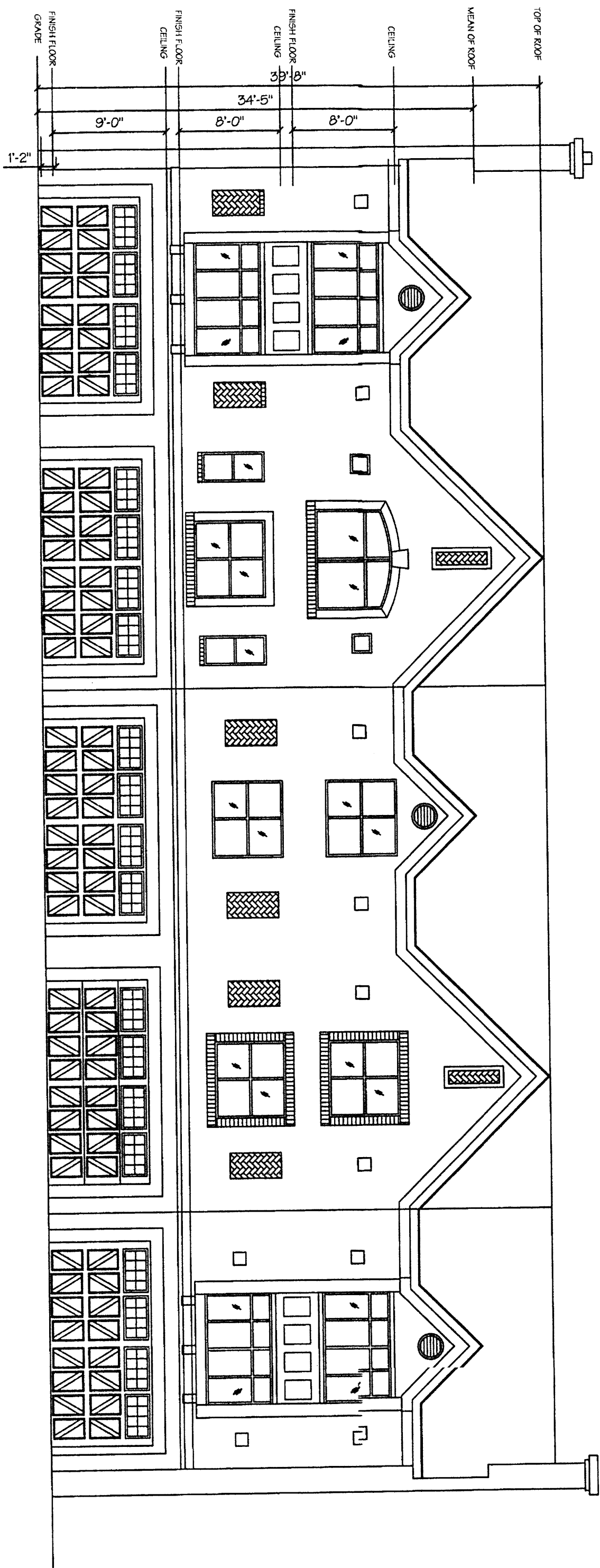
PROJECT NUMBER
02073

JAMES A. LARSEN
ARCHITECTS
12506 ENGINEERS DRIVE
LAKESIDE, OHIO 44130
216-221-2350
SHEET NUMBER

A2.0

BUILDINGS 4 & 5

NOTE:
BUILDING #5 IS "MIRROR"
IMAGE OF DRAWINGS SHOWN



REAR ELEVATION (WEST)

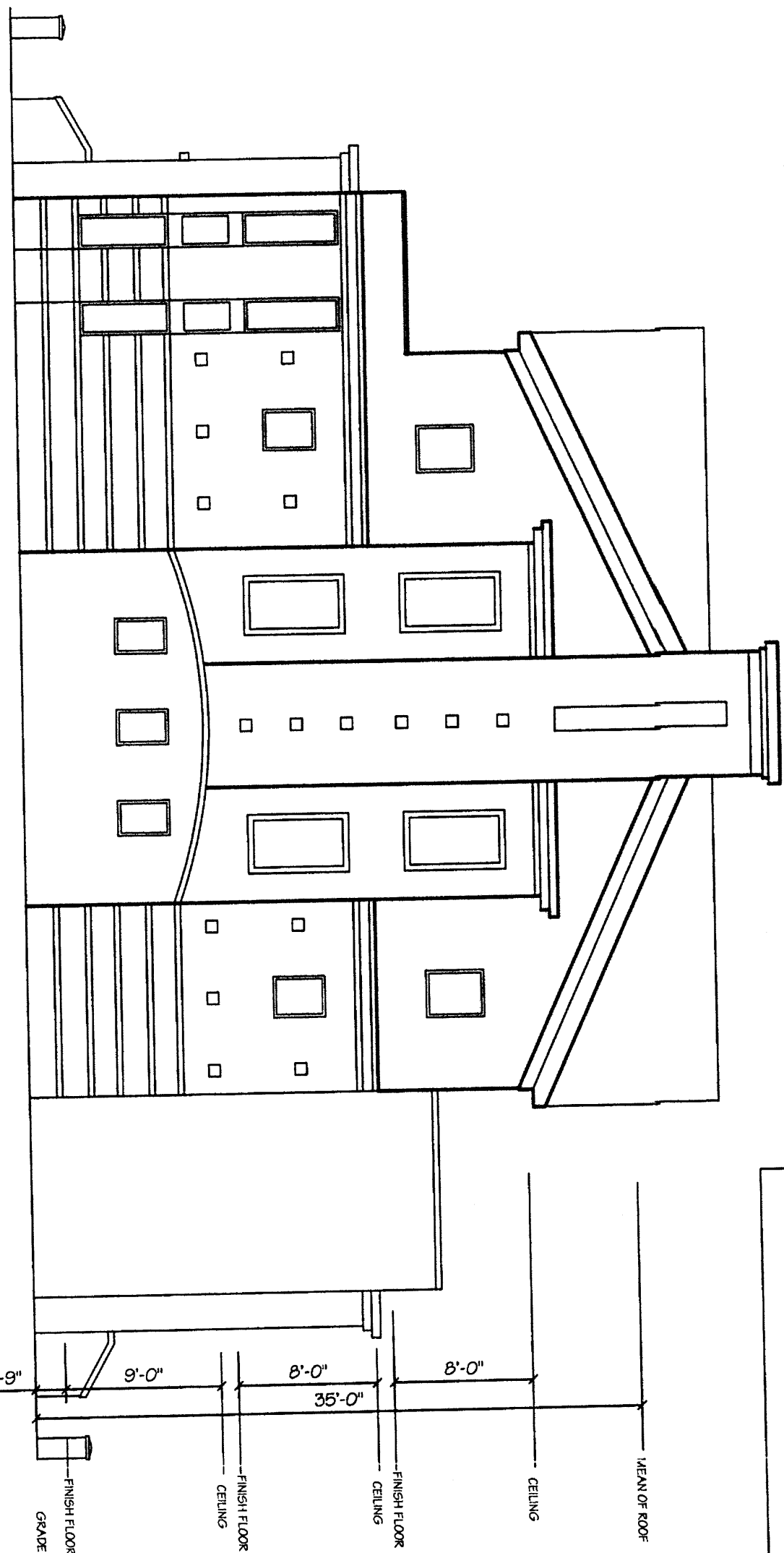
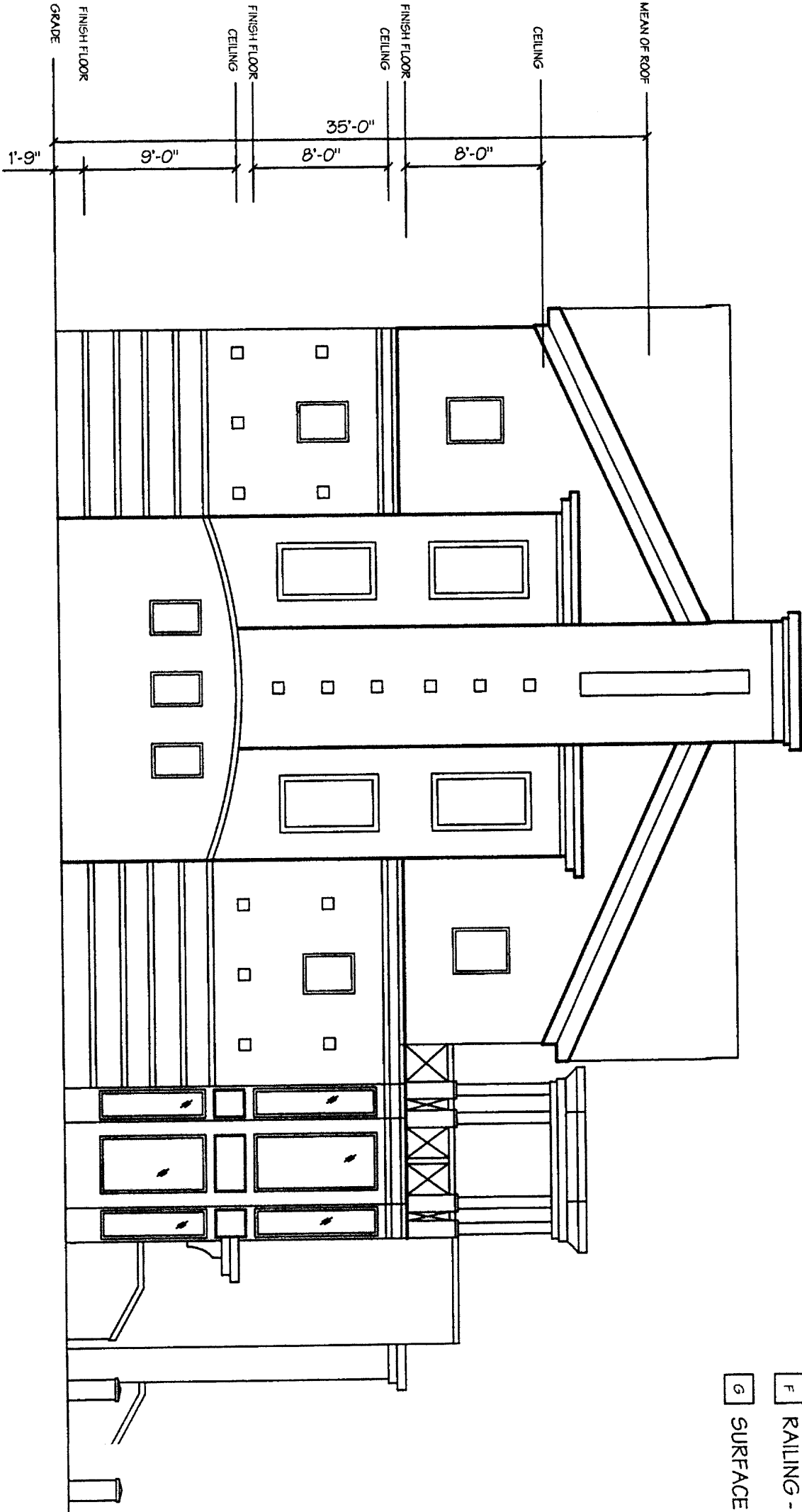
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND

- A FACE BRICK - GLEN GARY ABERDEEN
- B PRECAST ACCENT & WALL CAP - NATURAL STONE
- C CLASS 'C' ASPHALT ROOFING SHINGLES -
- D TIMBERLINE WEATHERED WOOD
- E WINDOWS & FRAMES - PELLA PROLINE SERIES TAN FINISH
- F TRIM - PYPON-PAINTED TAN
- G RAILING - 34" HIGH
- H SURFACE MOUNTED LIGHT FIXTURE

FRONT ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



SIDE ELEVATION (SOUTH)

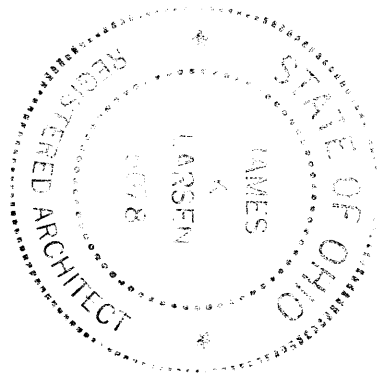
SCALE: 1/8" = 1'-0"

SIDE ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"

BEACHCLIFF ROW
GATEWAY NEIGHBORHOOD TO
ROCKY RIVER, OHIO

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DATE ISSUE

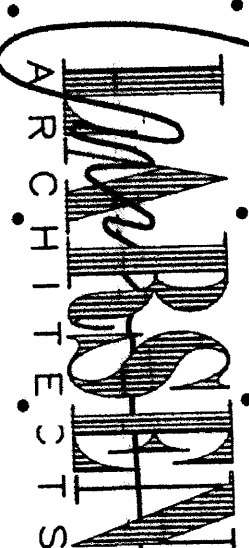
PERMIT - SEPTEMBER 15, 2004
CITY REVIEW - NOVEMBER 10, 2004

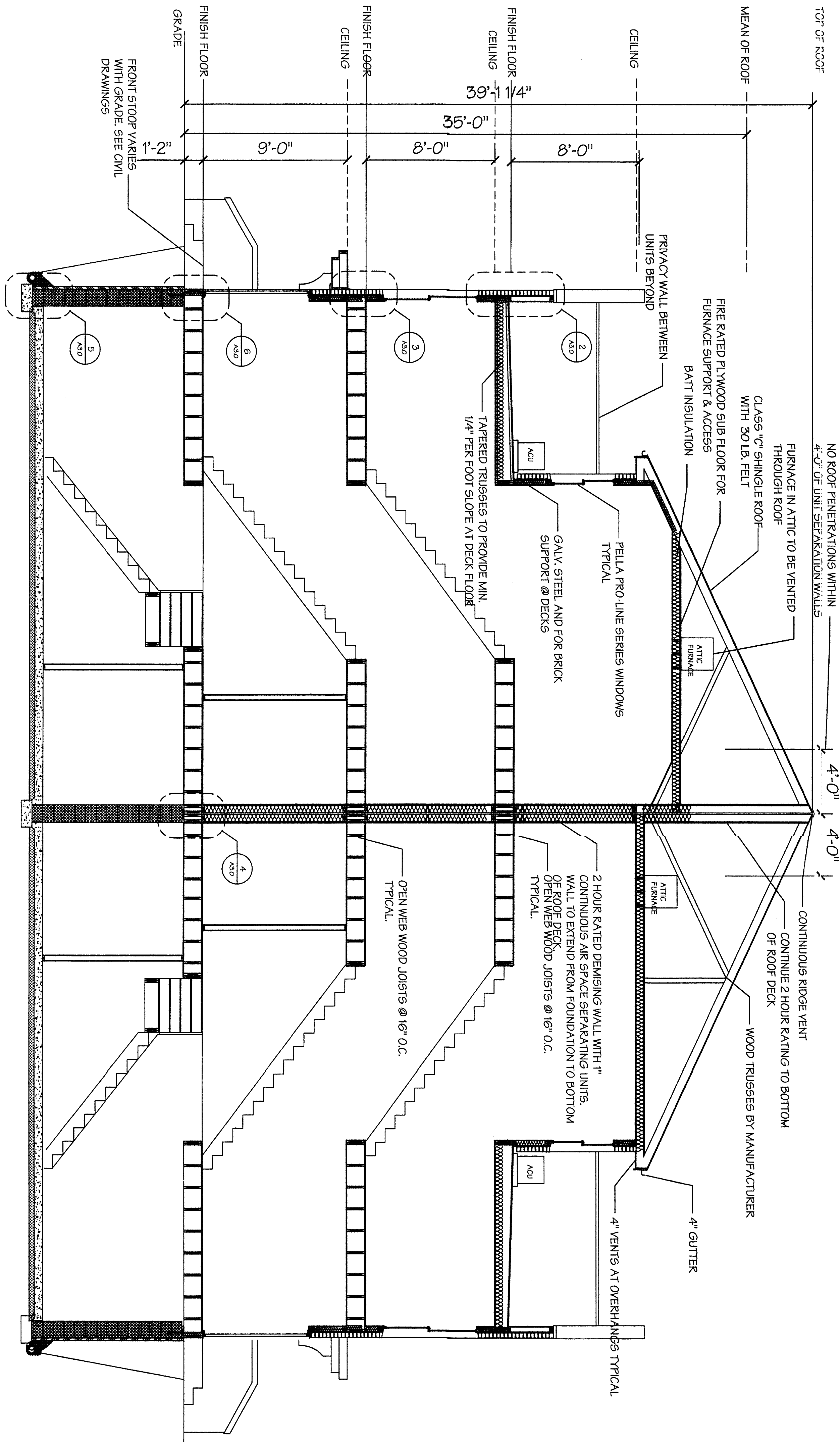
PROJECT ADDRESS
LINDA & LAKE
ROCKY RIVER, OHIO

PROJECT NUMBER
02073

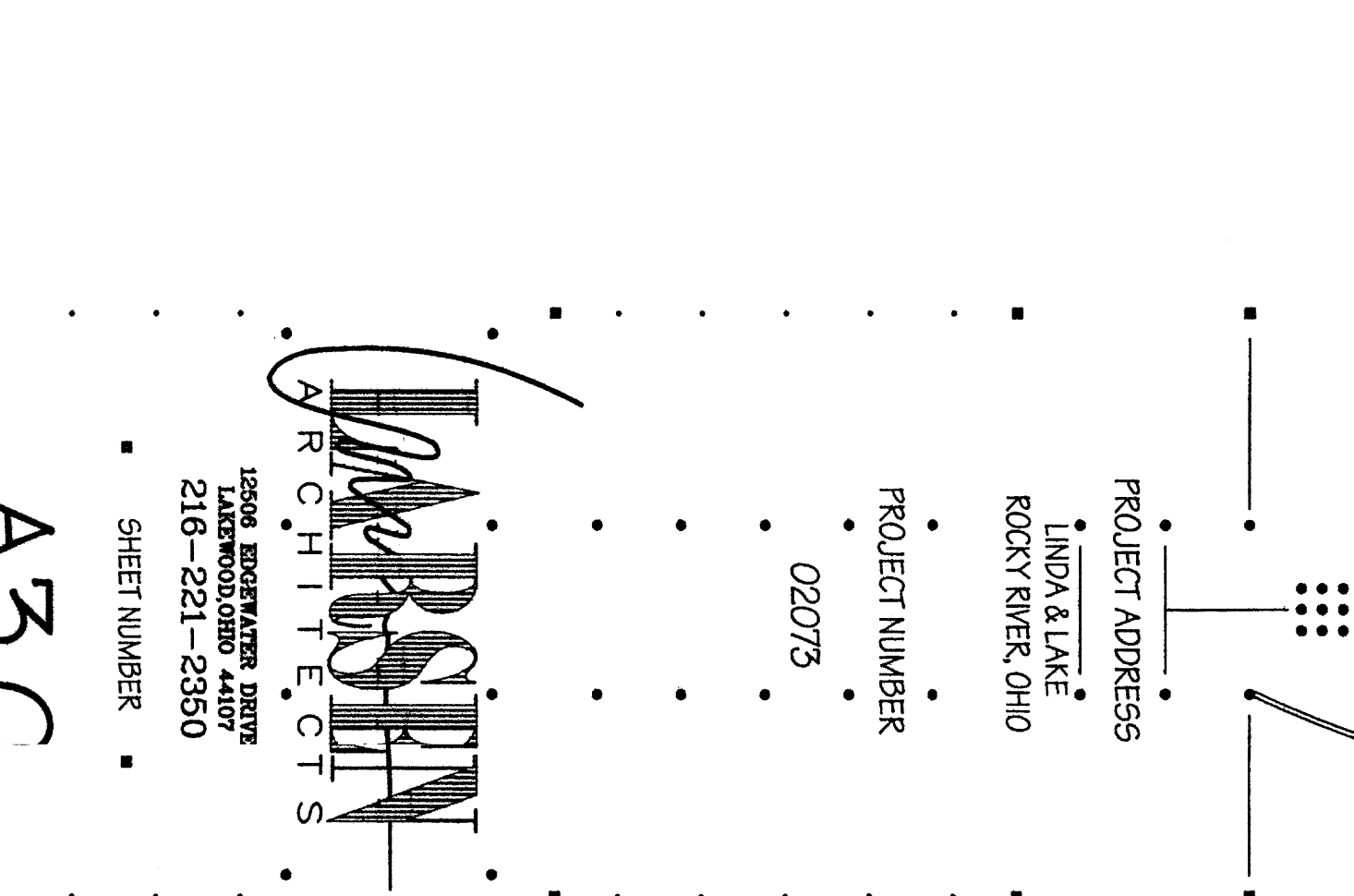
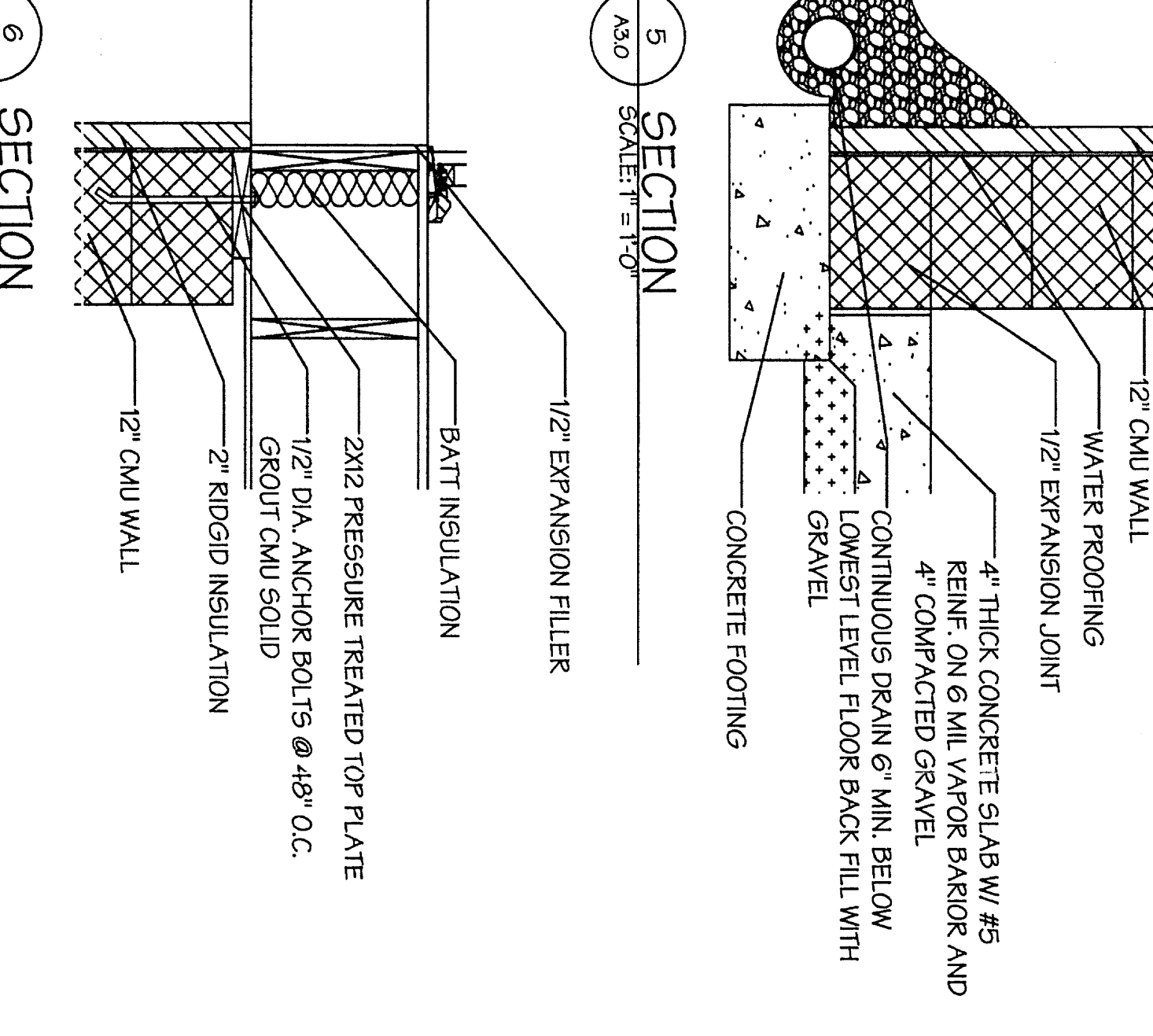
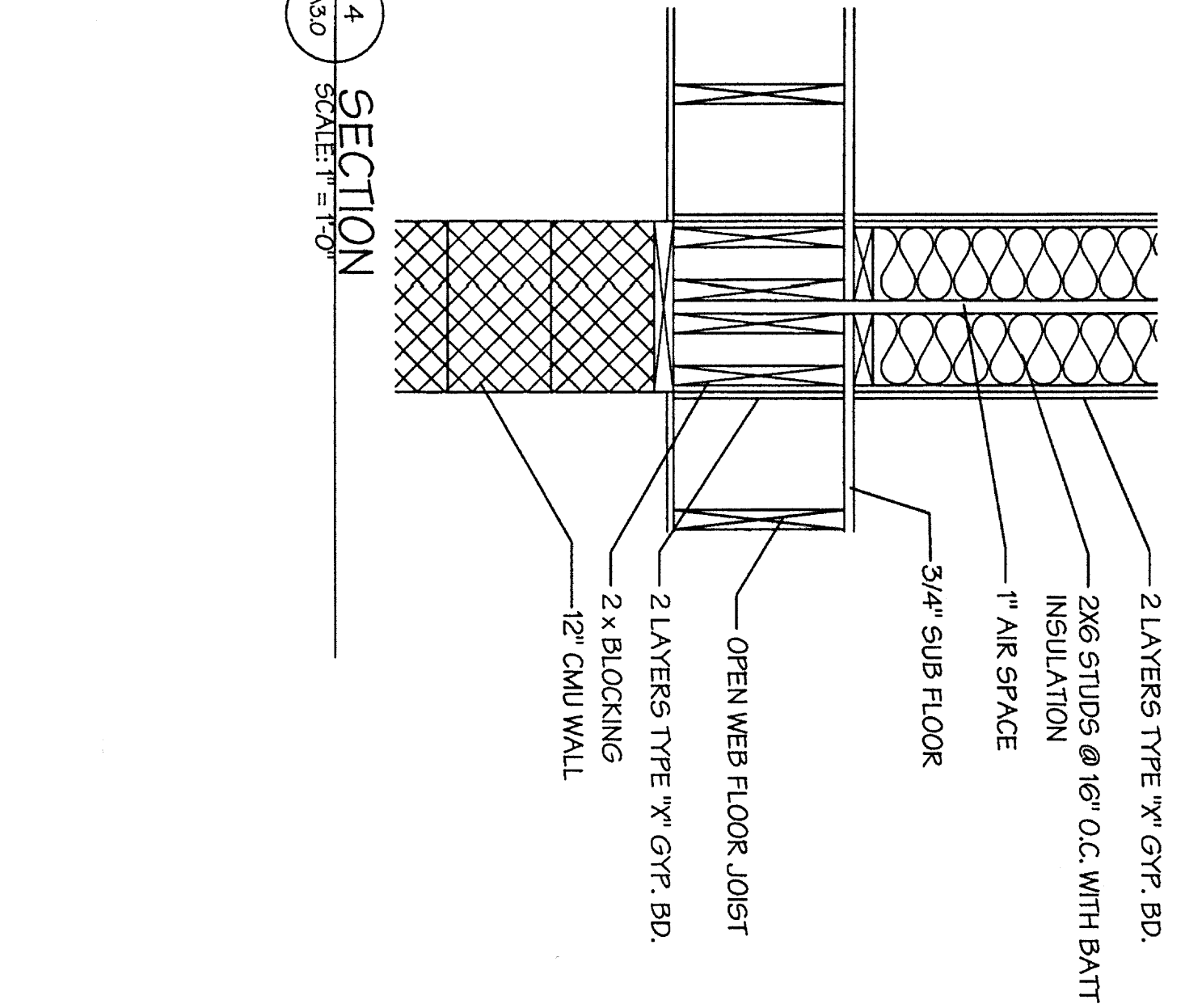
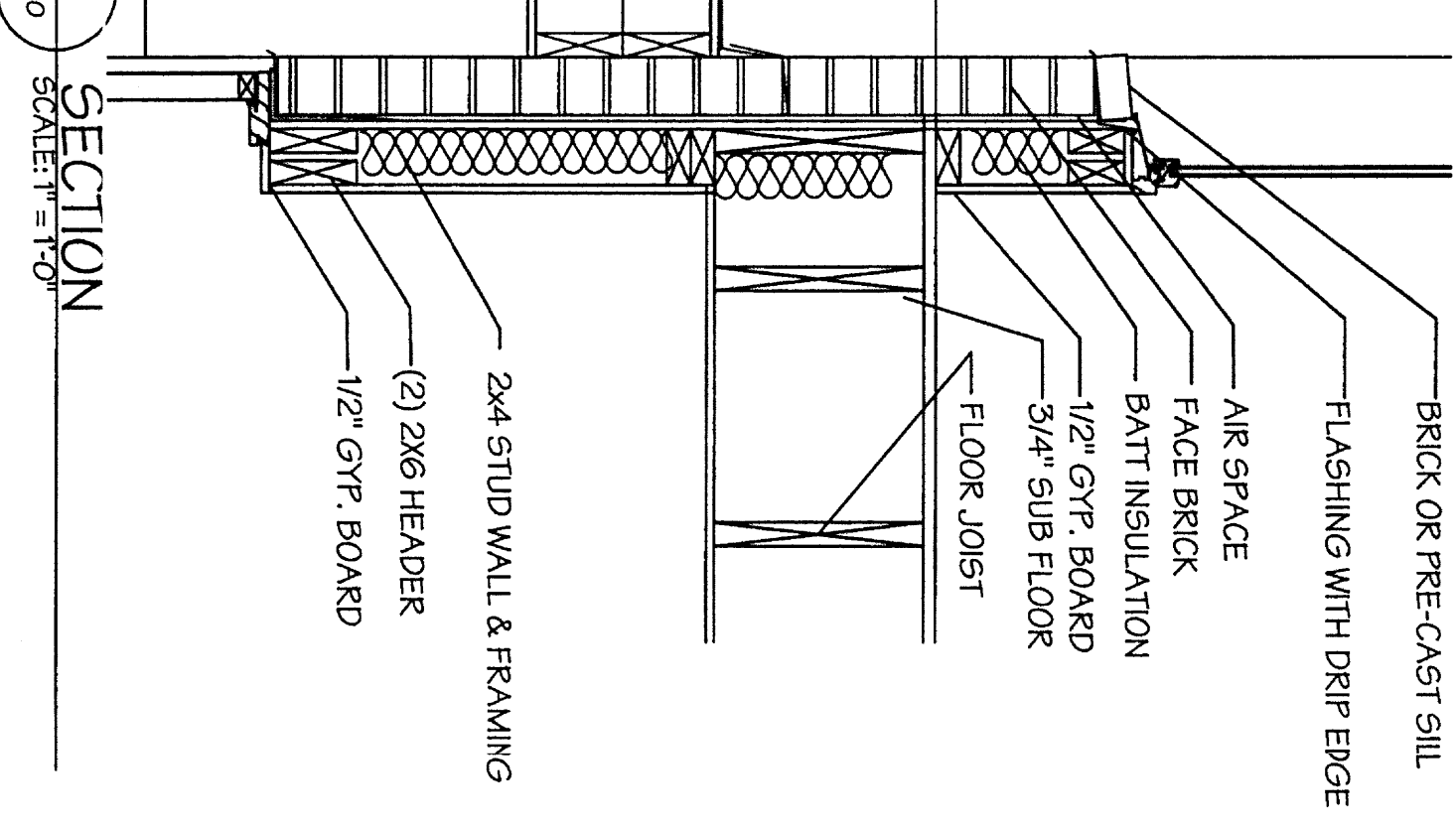
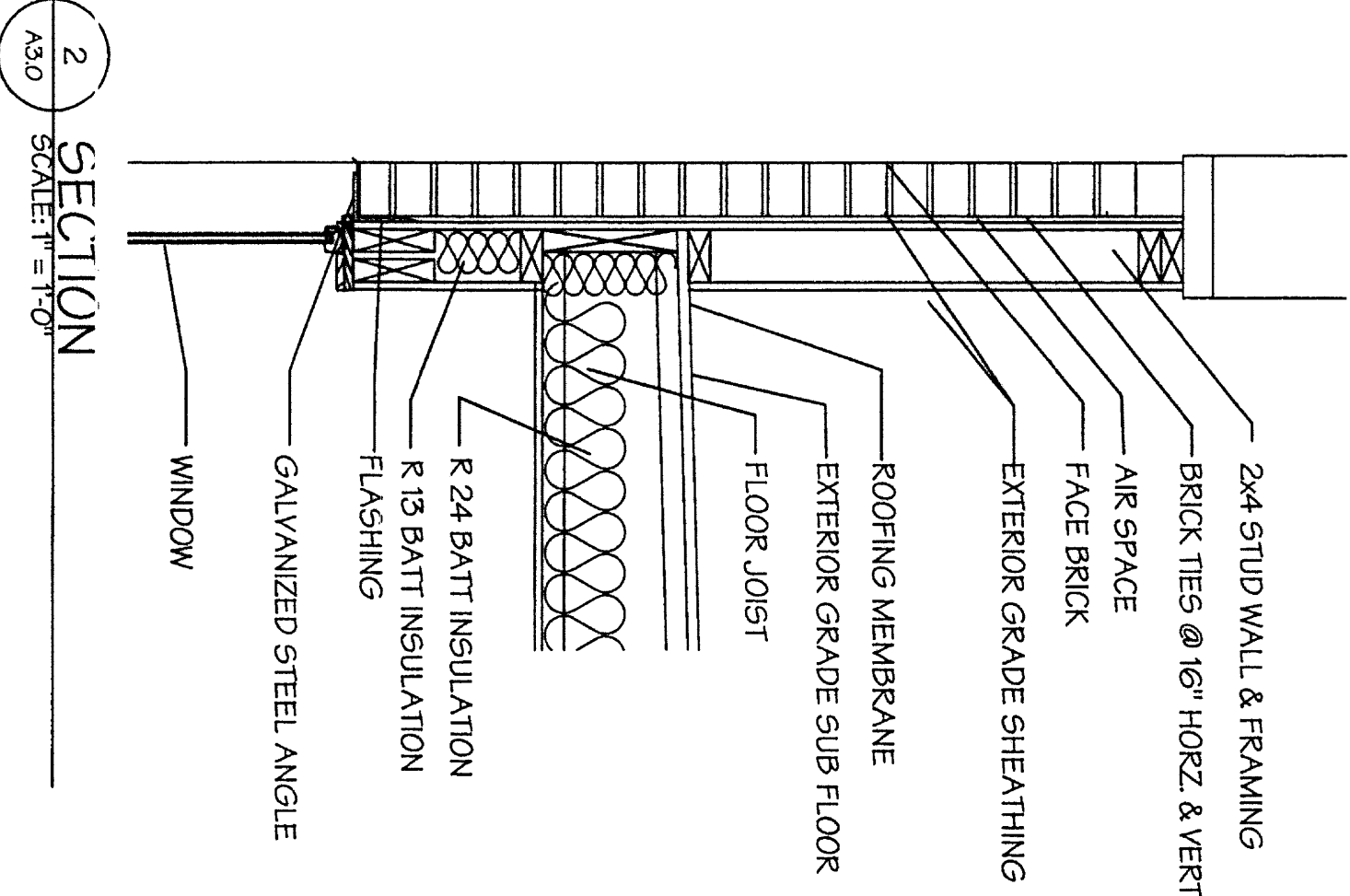
12508 BROADWAY DRIVE
COLUMBUS, OHIO 43240
216-221-2360

SHEET NUMBER





1 TYPICAL BUILDING SECTION
SCALE: 1/4" = 1'-0"



BEACHCLIFF ROW

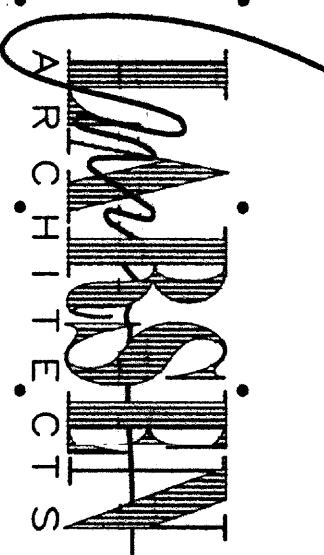
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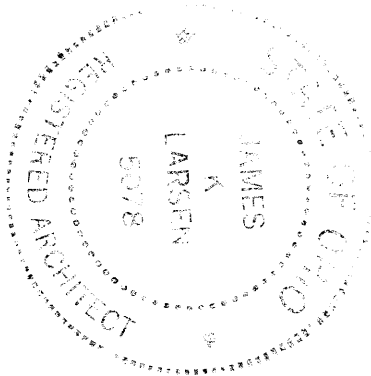
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216-221-2350
LAKESIDE, OHIO 44107

A3.C



DATE ISSUE
TRIM: SEPTEMBER 15, 2004
CITY REVIEW: NOVEMBER 10, 2004

BEACHCLIFF ROW

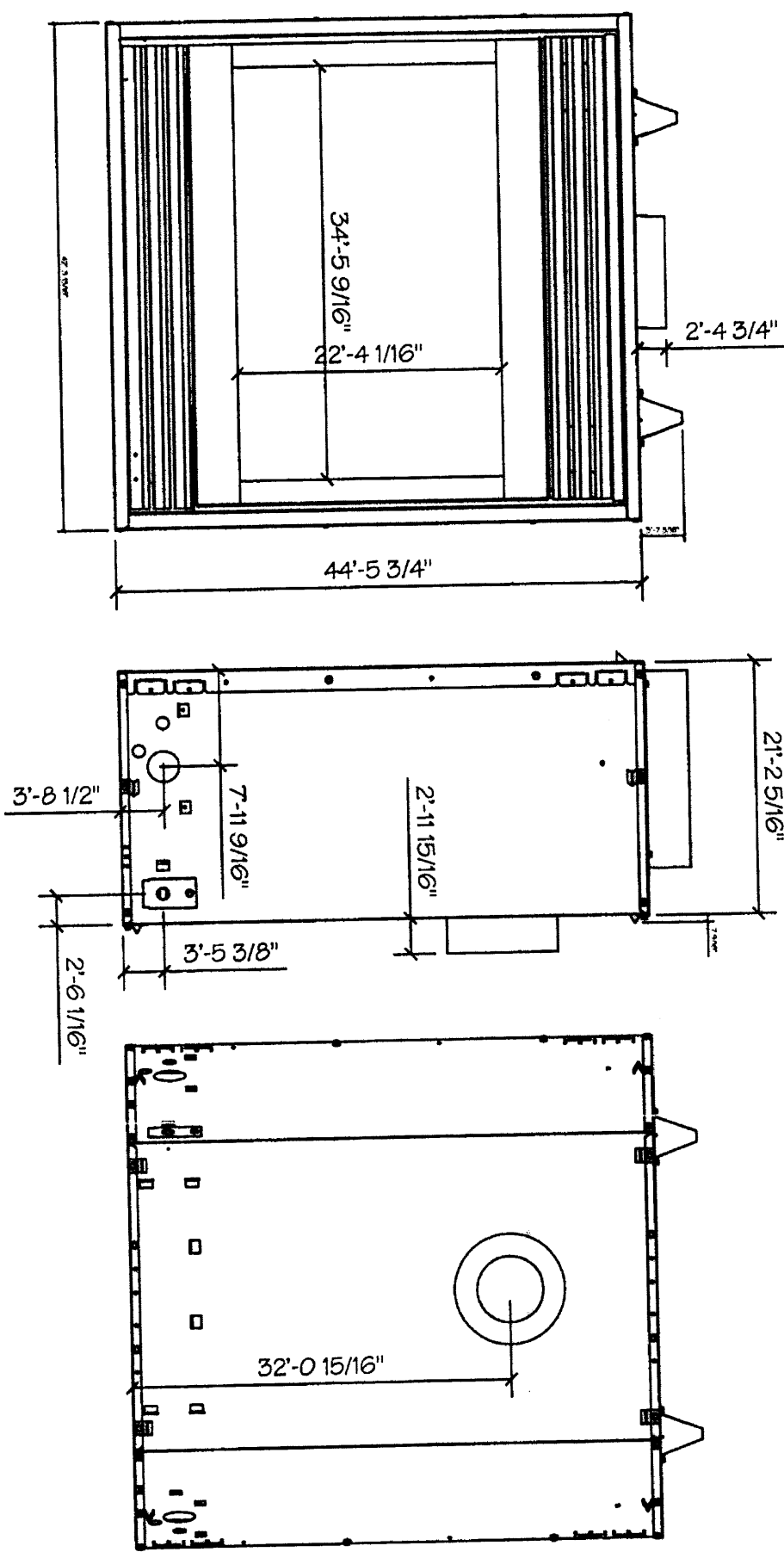
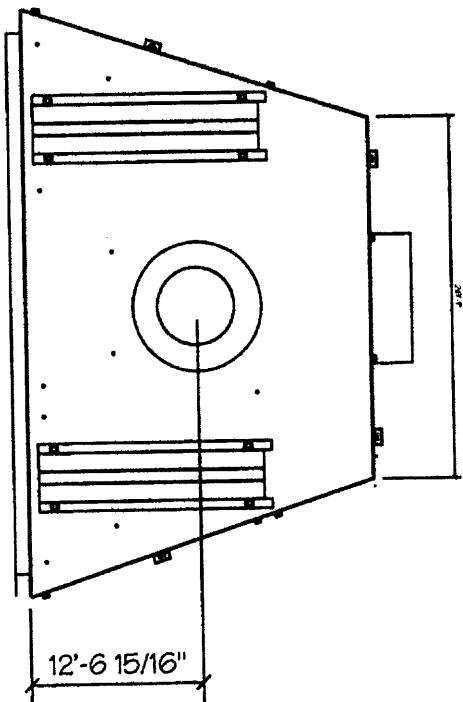
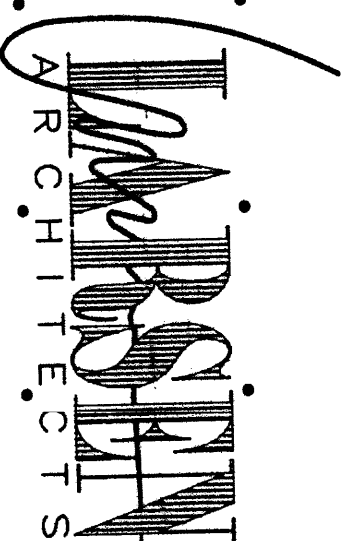
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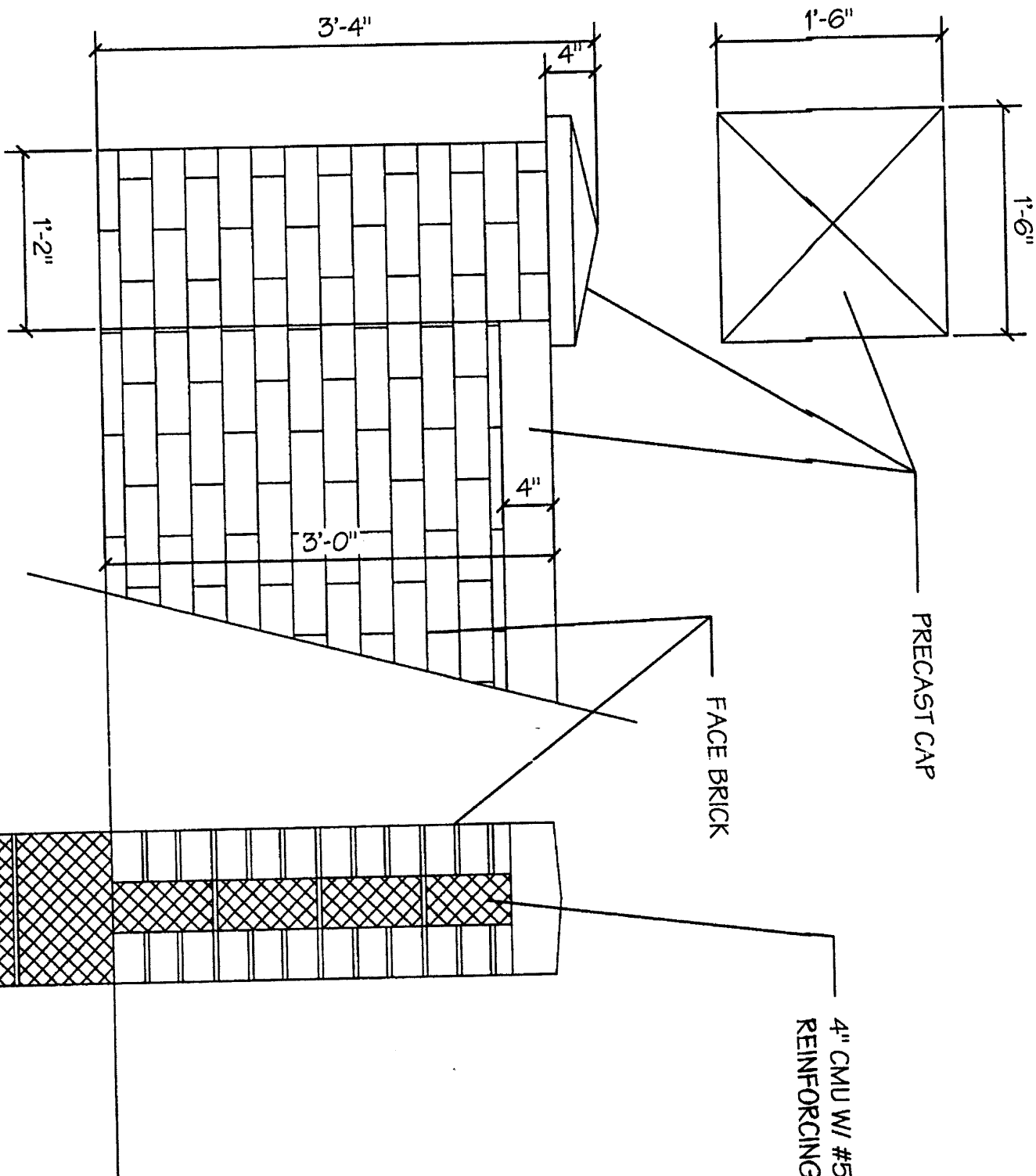
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LINDA & LANCE
ROCKY RIVER, OHIO

PROJECT NUMBER:
02073

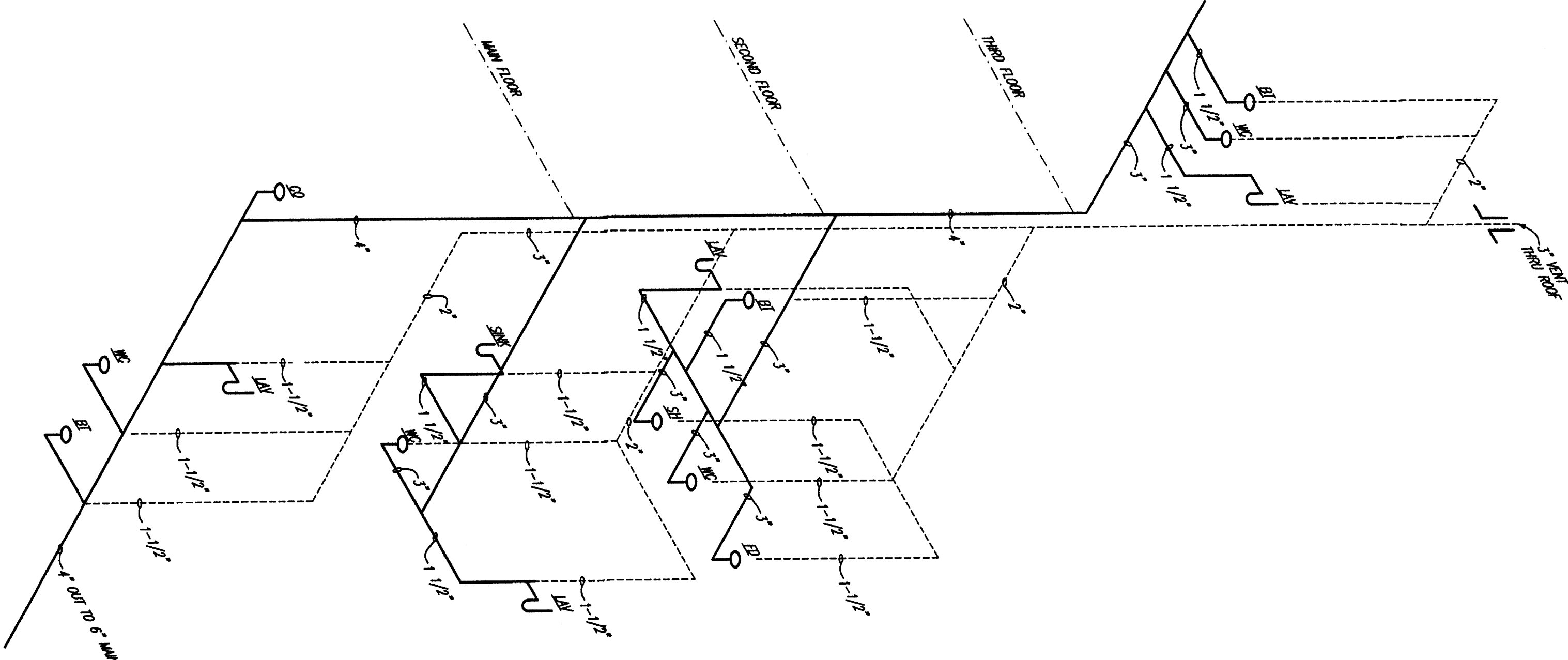
15008 DODGSTER AVE.
ROCKY RIVER, OHIO 44116
216-221-2360
SHEET NUMBER



3 LENNOX DIRECT VENT FIRE PLACE
AS1 SCALE: N15



1 PATIO WALL DETAIL
AS1 SCALE: 1/2" = 1'-0"



2 PLUMBING ISOMETRIC
AS1 SCALE: N15

A3.1