JAN DELL REDEVELOPMENT

CITY OF ROCKY RIVER COUNTY OF CUYAHOGA STATE OF OHIO



APPROVALS - CITY OF ROCKY RIVER

VICINITY MAP

THE APPROVAL SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND LOCATION OF THE PROPOSED IMPROVEMENTS. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS

05-19-2023

HORIZONTAL & VERTICAL DATUM

HORIZONTAL BASIS OF BEARING: BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLAN COORDINATESYSTEM NORTH ZONE, NAD 83 DATUM.

VERTICAL DATUM ELEVATIONS ARE REFERENCED TO NAVD 88 VERTICAL DATUM

BOTH DATUMS WERE ESTABLISHED USING GPS EQUIPMENT CONNECTED TO THE ODOT VRS RTK NETWORK

INDEX

DESCRIPTION TITLE SHEET DEMOLITION PLAN SITE PLAN SITE LIGHTING PLAN UTILITY PLAN GRADING PLAN SITE DETAILS ABBREVIATED SWP3 ABBREVIATED SWP3 DETAILS

TIDLA

SHEET NO. C100 C101 C102 C102A C103 C104 C105-C105B C106 C107-C110 Weber Engineering
Services

2555 Hartville Rd., Suite B Rootstown, OH 44272 www.WeberEngineeringServices.co 330-329-2037 matt@webercivil.com



Reg. No.: 61709

WXZ

SUITE 150 Fairview Park, Ohio 44126 Phone: (440) 801-1690

OWNER:

JRW/RR, LLC

SUITE 150 Fairview Park, Ohio 44126

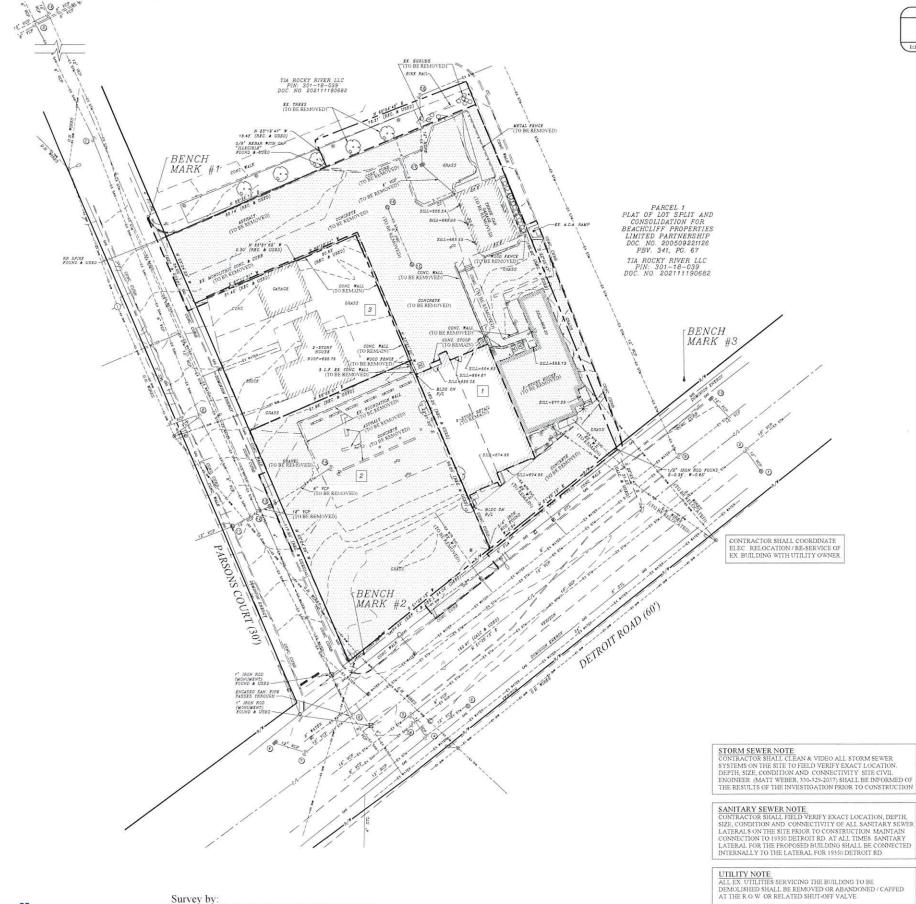
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O3-27-2024
O3-28-2024
O3-28-2024

TITLE SHEET

JAN DI SITE IN 19340

C100
Project No. 2023-326





LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES 6000 LOMBARDO CENTER, SUITE 210 CLEVELAND, OHIO .44131 216-328-3300

Before You Dig

SITE BENCH MARK

SITE BENCH MARK

SITE BENCH MARK

EX. SANITARY

<u>EX. STORM</u> STRUCTURE SCHEDULE (i) EX. CURB INLET 10P 670.61 INV. 667.02, 12" NE INV. 667.33, 12" SW ① EX. CATCH BASIN TOP 673.91 INV. 670.71, 12' NW (2) EX STORM MANHOLE TOP 674.48 INV. 667.59, 18" NE & ST INV. 669.52, 12" SS INV. 667.33, 12° 58'

EX. STORM MANHOLE
TOP 670.53
INV. 665.84, 12° NR
INV. 665.84, 12° NR
INV. 665.84, 12° NR
INV. 665.84, 12° NR
INV. 666.83, 12° SR
INV. 666.63, 6° NR (3) EX. STORM MANHOLE TOP 675.48 INV. 669.65, 15° SV INV. 669.54, 18° ME INV. 670.00, 12° SE (4) EX. STORW MANHOLE TOP 675.27 LNV. 669.59, 12° SW LNV. 659.54, 12° NV LNV. 670.77, 12° NE INT. SSESS, 6" NE

IX STORM CLEANOUT
TOP BY READOVED)
TOP 871,11
INT. SSESS, 6" SX

IX. CAFCH RASIN
(TO BE REMOVED)
TOP 64.122
INT. E01.22, 6" NY (a) EX CATCH RASIN TOP 674 80 INV.(0/A) 671,12, 12' SW (b) EX CURB INLET TOP 674 70 INV. 672.18, 12' SE EX CATCH BASIN (TO BE REMOVED) TOP 664 16 INV. (O/A) 661.96 (NOT ACCESSIBLE) (a) EX STORM MANHOLE TOP 675.42 INV. 669.68, 12' SW INV. 670.39, 6' NW & SI

EX. STORM MANHOLE TOP 67458 INV. 668 68, 15° NE INV. 668 95, 12° SV INV. 670 06, 12° NV

(A) EX CATCH BASIN TOP 854.70 INV. 659.42. 12° NE INV. 659.55, 12° SV

(3) EX STORM MANHOLE TOP 658-22 LINY, 652-55, 12" SE LINY, 652-50, 12" NW DNY, 654-28, 12" SW

LEGEND

0.56 AC

STRUCTURE SCHEDULE EX. SANITARY MANEOLE
TOP 676.41
INV. 666.57
(FLOYS EAST, NOT ACCESSIBLE)

(B) EX SANITARY MANHOLE YOF 657.36 LIVY 656.93, 6" NF LIVY 657.10, 6" SE LIVY 657.03, 6" SF LIVY 659.35, 8" SF © EX SANITARY WANEDLE TOP 660.67 (NOT ACCESSIBLE)

(D) EX SANITARY MANHOLE TOP 658:17 LIVE 649:08, 8" NW LIVE 649:03, 8" SW LIVE 649:03, 6" SE LIVE 649:07, 8" NX

AREA OF DEMOLITION & CLEARING

Reg. No.: 61709

MATTHEW WEBER 61709 6051ER

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OWNER:

JRW/RR, LLC

9

22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

Issue Date

02-02-2024

03-07-2024

03-11-2024

03-27-2024

03-28-2024

EXISTING LEGEND

ITALICS TEXT REPRESENTS EXISTING CONDITION NON-ITALICS TEXT REPRESENTS PROPOSED CONDITIO

FOUND MONUMENT BOX AS NOTED - - IL EDGE OF WATER
---I---I - IX FINCE
EX TRIE LINE SET IRON PIN WITH "ATWELL" CAP IIII EX PAULAGAD GVERHEAD UTILITY WIRES GAS LINES SANITARY LINES WHATEN HIGH-DENSITY POLYETHTLENE PIPE SMOOTH METAL PIPE ELSTATION UTILITY POLE FE COLVERY FAD EX CATCH BASIN/INLET AS NOTED

EX UTILITY POLE EX HYDRANT EX WATER VALVE EX GAS RISER EX. COMM. LINE EX SANITARY LINE WARKER

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO CHARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR REAMBOURD. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED. ALTOUGH BE DOES CRETITY THAT THEY ARE LOCATION INDICATED. ALTOUGH BE DOES CRETITY THAT THEY ARE THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND AMMABLE. UTILITIES SHOWN ARE IN THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND.

1 PPN: 301-18-083 JRW/RR LLC 19340 DETROIT RD. DOC.# 202310110090

2 PPN: 301-18-038 JRW/RR LLC 19364 DETROIT RD. DOC.# 202311160090

DEMOLITION NOTE:
ALL DEBRIS FROM THE BUILDING TO BE DEMOLISHED SHALL
BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL
LOCAL, STATE & FEDERAL REGULATIONS



GRAPHIC SCALE (IN FEET) 1 inch = 20 ft.

JAN DELL REDEVELOPMENT SITE IMPROVEMENTS 19340 DETRIOT AVENUE ROCKY DEMOLITION

Project No. 2023-326

PLAN

PARCEL 1
PLAT OF LOT SPLIT AND
CONSOLIDATION FOR
BEACHCLIFF PROPERTIES
LIMITED FARTNERSHIP
DOC. NO. 200509221126
PBV. 341, PG. 67 ZONING: GB TIA ROCKY RIVER LLC PIN: 301-18-039 DOC. NO. 202111190682 ZONING: GB BENCH ZONING: LB MARK #1 ZONINGTOB N 23-24-29' W 34.05'— (REC. & USED) PROPOSED BUILDING BUILDING BENCHPARSONS COURT (301) MARK #3_ ZONING: PF PROP. CONC. WALK (TO NEAREST FULL JOD PROP. ODOT TYPE (CONC. CURB (TYP) (* IRON ROD (WONUMENT) FOUND # USEL BENCH ENCASED SAN. PIPE PASSES THROUGH— 1" IRON ROD (MONUMENT) FOUND & USED— MARK #2 ZONING: GB

SITE BENCH MARK

ELEVATION = 662.65

SITE BENCH MARK

SITE BENCH MARK

SITE DATA

USE DISTRICT

= LB - LOCAL BUSINESS = 0.6042 AC. (TOTAL)

SITE AREA

PROP. BUILDING AREA = 1,880 S.F. EX. BUILDING AREA = 2,200 S.F.

TOTAL BUILDING AREA = 4,080 S.F. (FOOTPRINT)

BUILDING SETBACKS FRONT YARD

= 25' (FROM R/W)

SIDE YARD REAR YARD

PARKING SETBACKS FRONT YARD

TOTAL PARKING SPACES

SIDE YARD REAR YARD = 10

NUMBER OF PARKING SPACES REGULAR PARKING SPACES 23 HANDICAP PARKING SPACES 3

REQUIRED SPACES PER CODE = 24

FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 39035C0152F EFFECTIVE DATE AUGUST 15, 2019

LEGEND

REGULAR DUTY ASPHALT

CONCRETE PAVING

NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



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Weber Engineering

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22720 FAIRVIEW CENTER DR SUITE 150 Fairview Park, Ohio 44126

> Issue Date 02-02-2024 03-11-2024

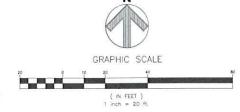
03-27-2024 03-28-2024

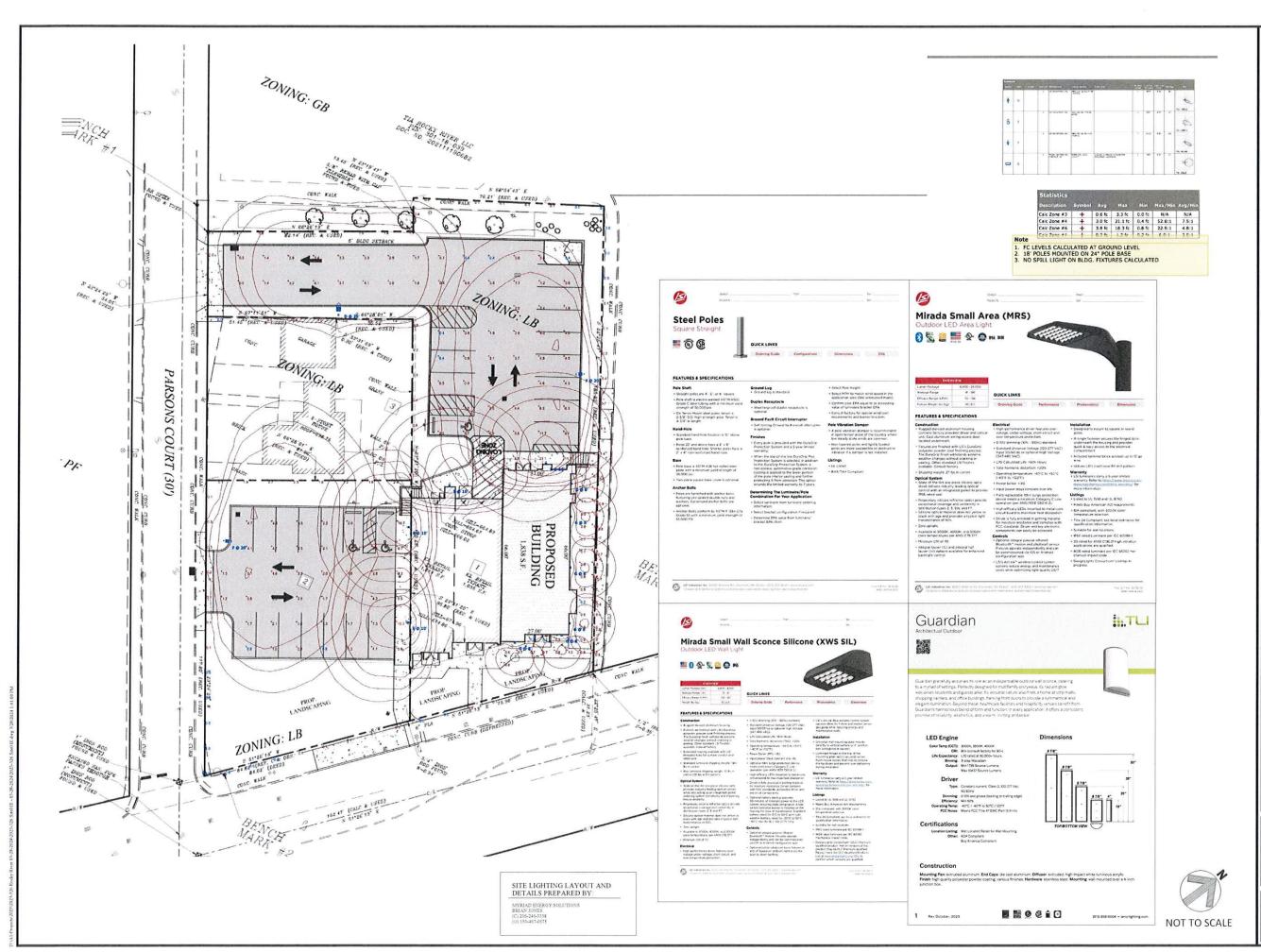
N DELL REDEVELOPMENT E IMPROVEMENTS 40 DETRIOT AVENUE ROCKY JAN DE SITE IN 19340

> SITE **PLAN**

Project No. 2023-326

PPN: 301-18-038 JRW/RR LLC 19364 DETROIT RD DOC.# 202311160090







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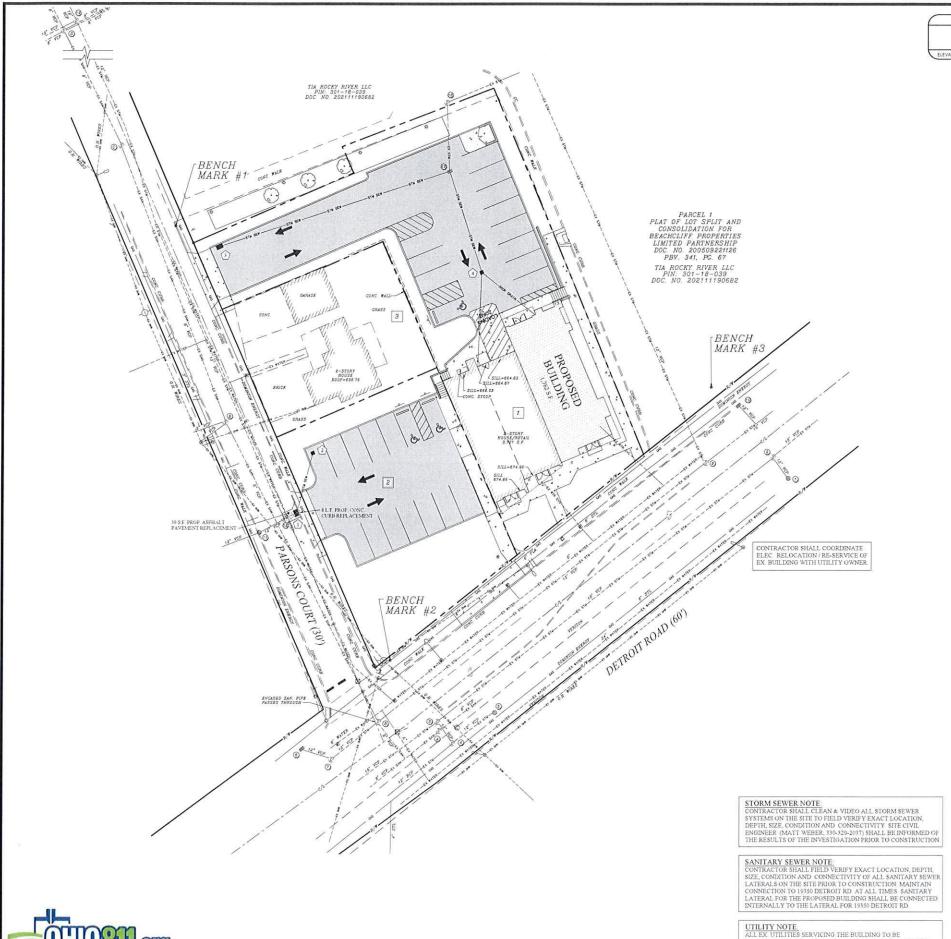
22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

| Ssue Date | 02-02-2024 | 03-07-2024 | 03-11-2024 | 03-27-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-28-2024 | 03-2

JAN DELL REDEVELOPMENT SITE IMPROVEMENTS 19340 DETRIOT AVENUE ROCKY F

SITE LIGHTING PLAN

C102A
Project No. 2023-326



SITE BENCH MARK

BENCH MARK # MAG NAIL

SITE BENCH MARK

SITE BENCH MARK

Weber Engineering SERVICES

WEBER 61709

Reg. No.: 61709

CLIENT:

SUITE 150

Fairview Park, Ohio 44126 Phone: (440) 801-1690

OWNER:

JRW/RR, LLC

22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

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Issue Date

02-02-2024 03-07-2024 03-11-2024

03-27-2024

03-28-2024

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matt@webercivil.com

EX. SANITARY

- EX CURB INLET

 TOP 670.51

 INV. 667.02, 12' NE

 INV. 667.33, 12' SW EX STORM WANHOLE TOF 870 58 INT. 884 57, 12' NV INV. 865 28, 12' NE INV. 865 17, 12' SV
- TO BE AND UP SO SELECT OF SE
- (S) EX CATCH BASIN TOP 674 80 INV.(O/A) 671.12, 12' SW (C) EX CURB INLET TOP 674.70 INV. 672.16, 12' SE INV. 659.55, 12° 58'

 EX STORM MANHOLE
 TOP 658.22
 INV. 652.50, 12° 52
 INV. 652.50, 12° NF
 INV. 654.26, 12° 58'

EX. STORM STRUCTURE SCHEDULE

INV. 672.6. 12° SE

SE STORM MANHOLE
TOP 675.4.
(NOT ACCESSIBLE)

EX STORM MANHOLE
TOP 675.4.
INV. 669.65. 12° SV
INV. 669.65. 12° NF
INV. 669.65.

(1) EX. CATCH BASIN TOP 673 91 DNV. 670.71, 12' NW

(2) EX. STORM MANHOLE TOP 674,48 DNY. 667.59, 18' NE & SF INV. 669.52, 12' SE

3 EX. STORM MANHOLE TOP 678.48 LNV. 669.65, 15° SW LNV. 669.54, 16° NE LNV. 670.00, 12° SB

- EX STORM MANHOLS TOP 874.58 INV. 868.88, 15" NE INV. 868.85, 12" SW INV. 870.06, 12" NW
- @ EX CURB INLET TOP 673 65 INV. 671.67, 12° SE

STRUCTURE SCHEDULE

- (A) EX. SANITARY WANHOLE TOP 876.41 INV. 656.57 (FLOYS EAST, NOT ACCESSIBLE)
- (a) EX SANITARY MANHOLS TOP 667.35 INV. 656.63, 8° N# INV. 657.10, 6° 5E INV. 657.03, 6° 5F INV. 659.35, 8° 5F
 - © EX SANITARY MANHOLE TOP 660.67 (NOT ACCESSIBLE)
- (D) EX SANITARY MANHOLE TOP 658.17 INV. 648.08. B' NF INV. 649.09. B' SF INV. 649.07. B' SE INV. 649.07. B' NE

PROPOSED STORM STRUCTURE SCHEDULE

- PROP CURB INLET GUTTER 670.43 INV 665.35, 12" NE & SW
- PROP. ODOT CB 2-2C TOP 669 90 INV. 665 90, 12° SW
- FROP. CURB INLET GUTTER 663.60 INV. 660.60, 12" E
- PROP. ODOT CB 2-2C TOP 665 10 INV. 662 43, \$" \$W & SE INV. 662 10, 12" NW

ROM	TO	SIZE	SLOPE	TYPE	LENGTH
1	EX. 12	12"	1:00%	HDPE	6.69
2	1	12"	1.91%	HDPE	29:07
3	EX 17	12"	0.58%	HDPE	113.89
4	EX 17	12"	4.34%	HDPE	49.72

PROPOSED SANITARY STRUCTURE SCHEDULE

A) PROP SANITARY MH.
TOP "TO" ??
INV. ???..?, SIZE* DIRECTION

NOTE 1:

ITALICS TEXT REPRESENTS EXISTING CONDITION NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

- 1 PPN: 301-18-083 JRW/RR LLC 19340 DETROIT RD. DOC.# 202310110090
- 2 PPN: 301-18-038 JRW/RR LLC 19364 DETROIT RD. DOC.# 202311160090

DEMOLISHED SHALL BE REMOVED OR ABANDONED / CAPPED AT THE R O W OR RELATED SHUT-OFF VALVE

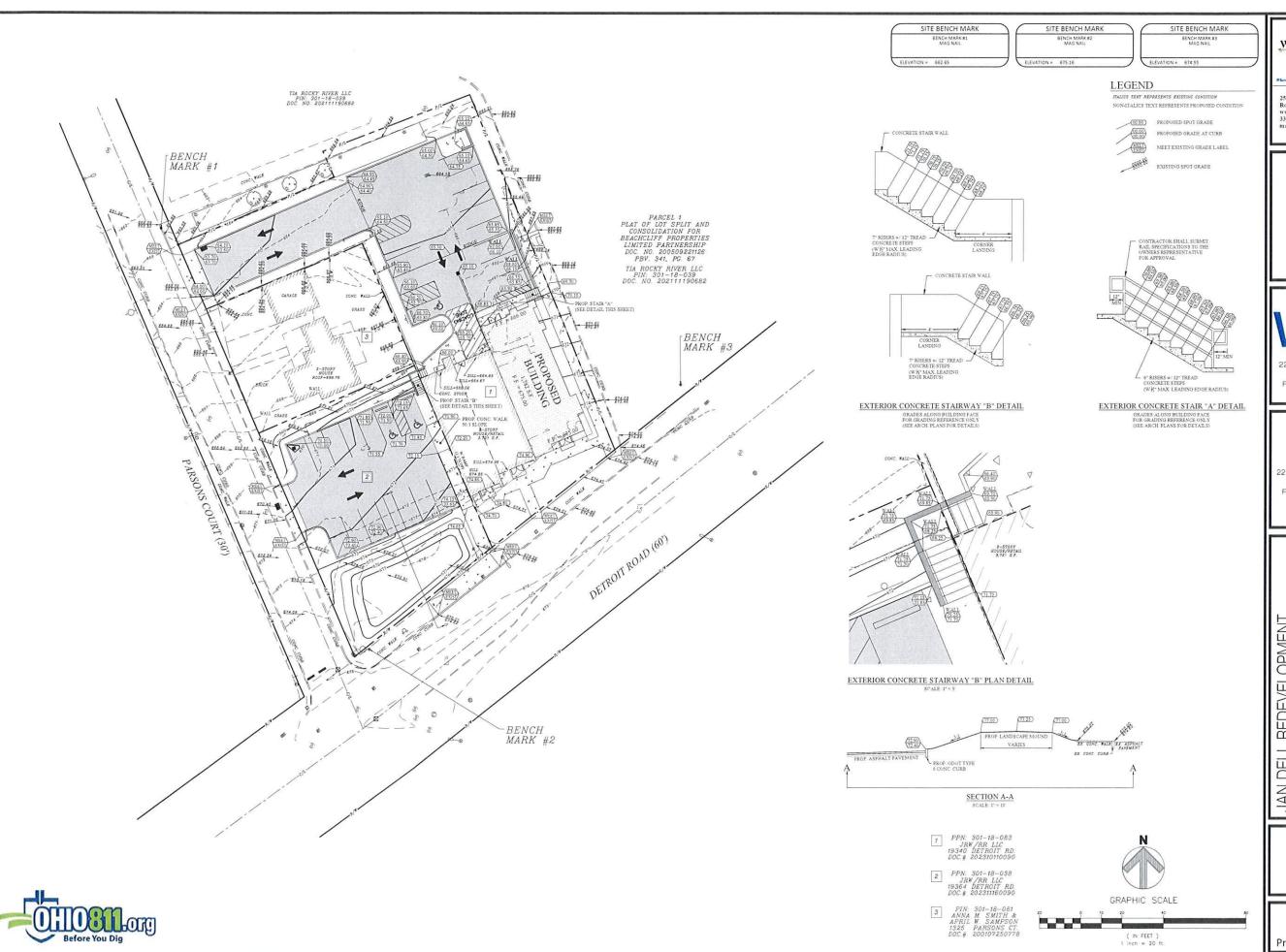


(IN FEET) 1 inch = 20 ft.

I DELL REDEVELOPMENT E IMPROVEMENTS 10. DETRIOT AVENUE ROCKY

UTILITY PLAN

JAN D SITE IN



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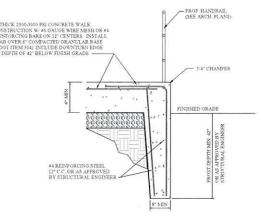
JAN DELL REDEVELOPMENT SITE IMPROVEMENTS 19340 DETRIOT AVENUE ROCKY RI

> GRADING PLAN

C104
Project No. 2023-326

ASPHALT REPAVING OVER UTILITY TRENCH

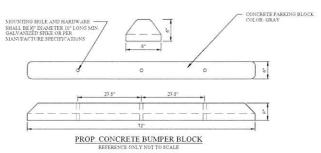
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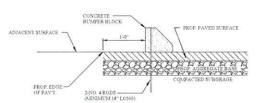


ELEVATED CONCRETE WALK W/INTEGRAL SUPPORT WALL

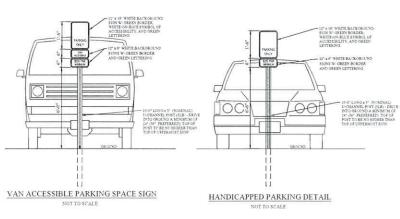
1" TOOLED RADIUS -6° REVEALED CURB FROM FINISHED PAVEMENT SURFACE CURB SHALL EXTEND 6° TO 8° BELOW THE FINISHED PAVEMENT SURFACE BUT NOT 4" AGGREGATE BASE

INTEGRAL CONCRETE CURB & WALK DETAIL (ON-SITE)

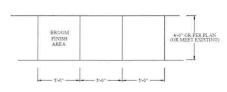




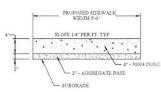
BUMPER BLOCK DETAIL



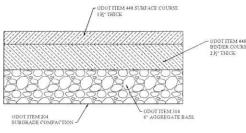
HANDICAPPED PARKING DETAIL



CONCRETE SIDEWALK FINISH AND JOINTS

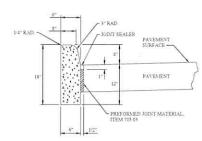


CONCRETE SIDEWALK

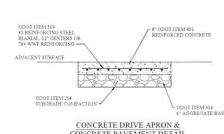


PROP. REGULAR DUTY ASPHALT PAVEMENT

REFERENCE ONLY NOT TO SCALE (CONTRACTOR SHALL VERIFY WITH CURRENT GEOTECHNICAL REPORT PROVIDED BY OWNER)



ODOT TYPE 6 CONCRETE CURB



CONCRETE DRIVE APRON & CONCRETE PAVEMENT DETAIL REFERENCE ONLY NOT TO SCALE

Project No. 2023-326

Weber Engineering SERVICES

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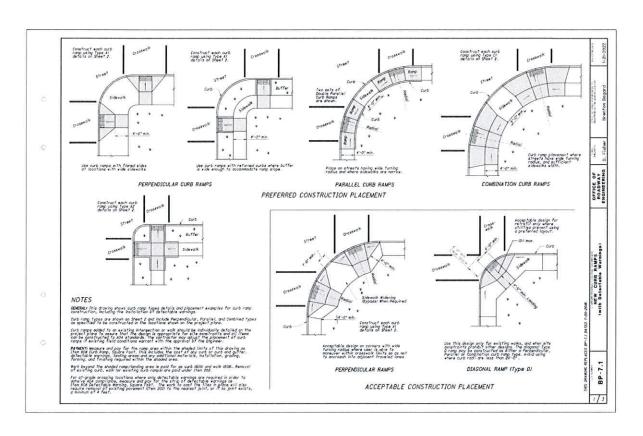
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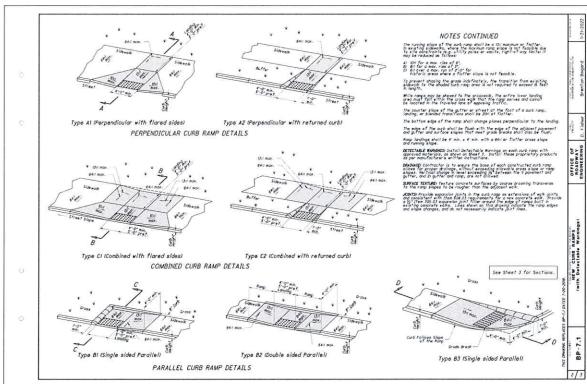
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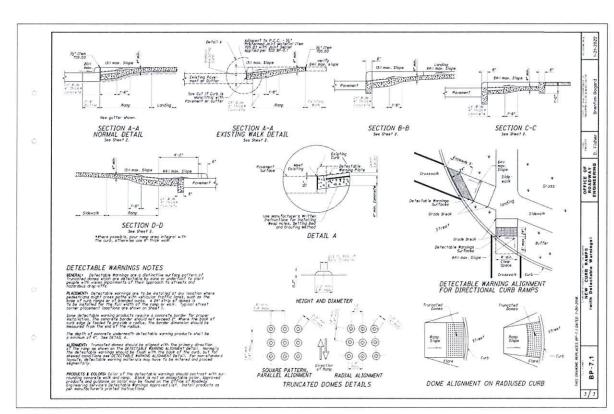
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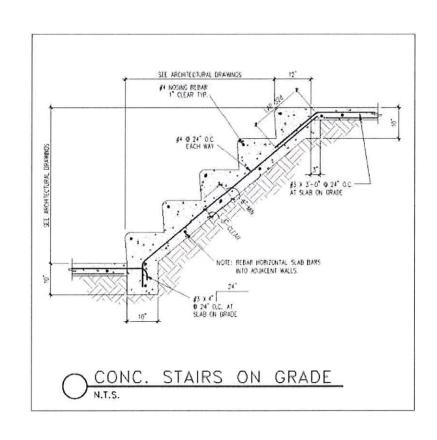
JAN DELL REDEVELOPMENT SITE IMPROVEMENTS 19340 DETRIOT AVENUE ROCKY

SITE **DETAILS**











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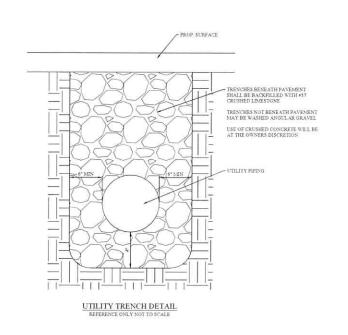
SITE IMPROVEMENTS

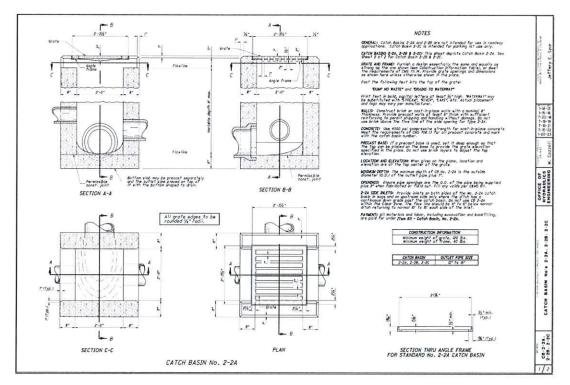
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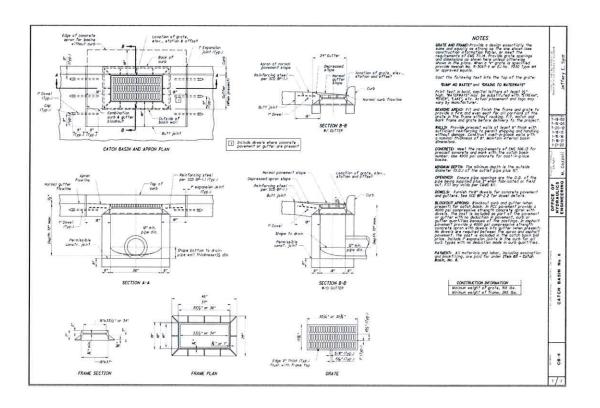
19340 DETRIOT ROC

SITE DETAILS

C105A Project No. 2023-326









There Strong Relationships & Superior Service Guide Boar P.

2555 Hartville Rd., Suite B Rootstown, OH 44272 www.WeberEngineeringServices.com 330-329-2037 matt@webercivil.com



Reg. No.: 61709

WXZ

SUITE 150
Fairview Park, Ohio 44126
Phone: (440) 801-1690

OWNER:

JRW/RR, LLC

22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

JAN DELL REDEVELOPMENT SITE IMPROVEMENTS 19340 DETRIOT AVENUE ROCKY F

> SITE DETAILS

C105B Project No. 2023-326

Stre01E - 03-28-2024/2021-326 Stre01E dwg 3/28/2024 1:41.53 PM

r BENCH MARK #1 TIA ROCKY RIVER LLC PIN: 301-18-039 DOC. NO. 202111190682 BENCH MARK #3 1 PARSONS COURT (30') BENCH MARK #2

INSPECTION CHECKLIST

INSPECTIONS SHALL BE MADE ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVEN GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD

DATE	INSPECTOR	WEATHER CONDITIONS	RAINFALL AMOUNT	SEDIMENT DISCHARGE	DISCHARGE LOCATION	BMPS FAILED	ADDITIONAL BMPS NEEDED	CORRECTION MADE
						333333		

SITE BENCH MARK

SITE BENCH MARK

SITE BENCH MARK

FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 3903500152F EFFECTIVE DATE AUGUST 15, 2019

ABBREVIATED SWP3 AMENDMENT ACTIVITIES

SITE STABILIZATION

SWP3 AMENDMENT

ABBREVIATED SWP3 RESPONSIBLE PARTY

WXZ DEVELOPAIENT, INC DAVE BUDGE (215-533-553) 22720 FAIRVIEW CENTER DRIVE SUITE 150 FAIRVIEW PARK, OHIO 44125 PHONE: (440) 801-1690

ESTIMATED CONSTRUCTION DATES

ABBREVIATED SWP3 PREPARED

03-07-2024

ALL OFF-SITE BORROW OR SPOIL AREAS SHALL BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND RELATED SWP3

TAG HATCH/SYMBOL SWP3 BMP

0.56 AC.

TCE

CEMENT TRUCK WASHOUT VEHICLE FUELING, TOXIC WASTE AND DUNIPSTER LOCATION

IP IPSS

CFS

CTW VF TW DMP

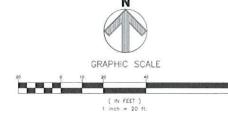
INLET PROTECTION (SEE DETAIL ON SHT. C109) INLET SILT SACK PROTECTION (SEE DETAIL ON SHT. C109)

TEMPORARY CONSTRUCTION ENTRANCE

TAG LINE SWP3 BMP SF SILT FENCE 12" COMPOST FILTER SOCK MAY BE SUBSTITUTED FOR SILT FENCE AT CONTRACTORS DISCRETION

1 PPN: 301-18-083 JRW/RR LLC 19340 DETROIT RD. DOC.# 202310110090

2 PPN: 301-18-038 JRW/RR LLC 19364 DETROIT RD. DOC.# 202311160090





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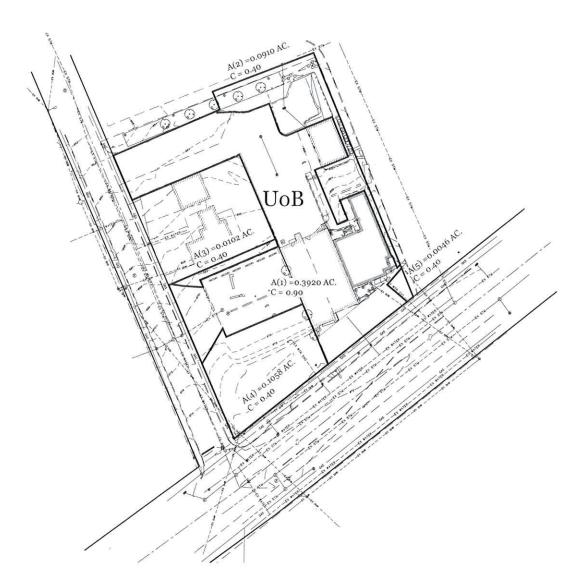
22720 FAIRVIEW CENTER DR SUITE 150 Fairview Park, Ohio 44126

> Issue Date 02-02-2024 03-07-2024 03-11-2024 03-27-2024 R 03-28-2024

N DELL REDEVELOPMENT E IMPROVEMENTS 40 DETRIOT AVENUE ROCKY I JAN D SITE IN 19340

ABBREVIATED SWP3 PLAN



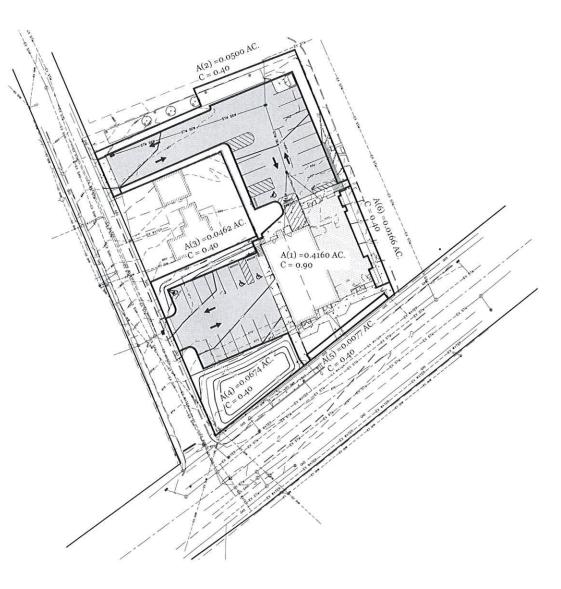


PRE-DEVELOPED DRAINAGE MAP & SOILS MAP

PRE-DEVELOPED: AREA = 0.6042 AC., C = 0.72, TC = 15 MIN.

IMPERVIOUS AREA = 0.3920 AC. (64.9%)

UoB - Urban land-Oshtemo complex, undulating

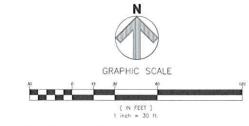


POST DEVELOPED DRAINAGE MAP

POST DEVELOPED: AREA = 0.6042 AC., C = 0.74, TC = 15 MIN.

IMPERVIOUS AREA = 0.4160 AC. (68 9%)

CHANGE IN IMPERVIOUS AREA = 0.0240 AC. (6.1%) INCREASE





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22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

JAN DELL REDEVEL
SITE IMPROVEMENT
19340 DETRIOT AVENU

ABBREVIATED SWP3 DETAILS

C107 Project No. 2023-326

- Construction personnel, including subcontractors who may use or handle hazardous
 or toxic materials—shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction waste
- Prevent spills
- •Use products up
- •Follow label directions for disposal
- . Remove lids from empty bottles and cans when disposing in trash
- . Don't pour into waterways, storm drains or onto the ground
- . Don't pour down the sink, floor drain or septic tanks
- · Don't bury chemicals or containers
- · Don't bum chemicals or containers
- . Don't mix chemicals together
- 2. Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill
- 3. No construction related waste materials are to be buried on-site. By exception. clean fill (bricks, hardened concrete, soil) may be utilized in a way which does no encroach upon natural wetlands, streams or floodplains or result in the contamina waters of the state
- Handling Construction Chemicals. Mixing pumping transferring or other handling of construction chemicals such as fertilizer, lime asphalt concrete drying compounds and all other potentially hazardous materials shall be performed in an area away from any watercourse ditch or storm drain
- Equipment Fueling and Maintenance, oil changing etc shall be performed away from watercourses, ditches or sform drams, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary contains shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage of 1330 gallons or throne, or 42,000 gallons of underground storage Contaminated soils must be disposed of in accordance
- 6. Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drain or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.
- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdus or kity litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-262-3978). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA
- Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifr etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility, for a construction/demolition debris landfill). Note that storm water runoff associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.
- Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, autoparts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as 1) within corporation limits, 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000, and 3) a one mile zone outside of a corporation of 10, a population of 1000 to 10,000, and 3) a one mile zone outside of a corporation of 10,000 or more. Outside of restricted areas, no open huming is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for heating far, welding, amude pots and similar occupational needs, and heating for warmth or outdoor barbeques. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.
- 10. Dust Control or dust suppressants shall be used to prevent nuisance co accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, each basis, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control
- 11 Other Air Permitting Requirements: Certain activities associated with construction Mill require an permits including but not limited to: mobile concrete batch plants, will require an permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete srushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all roial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required
- Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate oncrete wash outs, which are considered process wastewaters. All process wastewaters must concrete wasn outs, which are consusted process wastewaters. An process be collected and properly disposed at an approved disposal facility. In the event, leachate or spitage is discharged, it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.
- 13. A Permit To Install (PTn is required prior to the construction of all centralized senitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and there family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Fermit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI

CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR

SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITEE

INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

- 1. INSTALL A TEMPORARY CONSTRUCTION ENTRANCE FOR ACCESS TO
- 2 SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY
- ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 4 STAKEOUT LIMITS OF DISTURBANCE
- INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.
- 6 INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS
- 7. BEGIN SITE CLEARING
- 8 REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.
- 9 BEGIN EARTHWORK OPERATIONS
- 10. CONSTRUCT STORM WATER BASIN.
- 11. IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK, MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER SANITARY WASTES ETC. THAT COLUD ADVERSELY IMPACT WATER QUALITY MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL

INTERIM PHASE GENERAL CONSTRUCTION

- 1 MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK
- 2 BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.
- STORM SEWER, SANITARY SEWER, WATER LINE AND UTILITY LINE CONSTRUCTION MAY BEGIN IMMEDIATELY FOLLOWING ESTABLISHMENT OF GRADE AND WITH THE PERMISSION OF THE OWNER
- STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY BY MEANS OF GRAVEL BACKFILL TO SURFACE, REPAVING OR MULCHING
- 5. REPLACE TOPSOIL FINE GRADE AND SEED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVETCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE
- INSTALL PAVEMENT SUBBASE.
- BEGIN BITUMINOUS PAVING, REMOVING TEMPORARY CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
- RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED
- 10. ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED

FINAL PHASE POST-PAVING BASIN CONVERSION

- 1. IF FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARED SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE
- THE FOLLOWING ITEMS MUST BE COMPLETED BY THE CONTRACTOR, IN ORDER, ONCE THE SITE HAS BEEN DEEMED STABLE
- A REMOVE SEDIMENT CONTROL DEVICES AND ESTABLISH WATER QUALITY CONTROL ORIFICE
- B REMOVE TEMPORARY CONSTRUCTION ENTRANCE PRIOR TO COMPLETION OF PAVING
- RESEED ANY AREAS THAT REQUIRE ADDITIONAL SEED
- FILTER FENCES ARE TO BE CLEANED, REMOVED, BACKFILLED AND SEEDED WITH PERMANENT SEEDING
- VERIFY POSITIVE CONVEYANCE FLOW IN ALL DRAINAGE STRUCTURES

SPECIFICATIONS FOR TEMPORARY SEEDING

SEEDING DATES	SPECIES	LB/100 FT^2	LB/ACRE
MARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3	126 (4 BUSHEL) 40 40
	PERENNAL RYEGRASS TALL FESTIVE ANNUAL RYEGRASS	1 1	40 40 40
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1 25 3 25 0 4 0 4	55 142 17 17
	QATS TALL FESCUE ANNUAL RYEGRASS	3	129 (3 BUSHELS) 40 40
AUGUST 16TH TO NOVEMBER	RYE TALL FESCUE ANNUAL RYEGRASS	1	112 (2 BUSHEL) 40 40
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1	126 (BUSHEL) 40 40
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	2 2 2	40 40 40
	ANNUAL RYEGRASS PEREONIAL RYEGRASS CREEPING RED FESCUE KENTU/KY BLUEGRASS	1 25 3 25 0 4 0 4	40 40 40
NOVEMBER 1 TO FEB. 29	USE MULCH ONLY I	OR DORMAN	I SEEDING

- NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED
- STRUCTURAL EROSION AND SECKMENT CONTROL FRACTICES SUCH AS DIVERSIONS AND SECKMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE ESST OF THE LONSTRUCTURO-SITE
- THE SEEDBED SHALL BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEOCRATION HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SEEDING METHOD-SEED SHALL BE AFFLIED UNIFORMLY WITH A CYCLONE SEEDER. DRILL CULTIFACKER SEEDER, OR HYDROGEDER WIEDS FRASBLE, SEED THAT HAS BEEN SROADS. SHALL BE COVERED BY BAKING OR ERAGGING AND THEN LIGHTLY LANGED INTO THAT ROLLES OR CULTIFACKER, IF HYDROGEDERO, 18 USED, THE SEED AND FRETILEZE, WILL BE NO-NITE AND THE SEEDING SHALL BE DON'T BAMEDATELY AND WITHOUT DIFFERURING.

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MOLICH WHICH SHALL BE APPLIED DURDN OR INDEDIATELY AFFER SEEDING SEEDINGS MADE DURING OFTENION SEEDING DATES AND WITH FAVORABLE SOLL CONDITIONS AND ON VERY. FLAT SOIL CONDITIONS MAY NOT NEED MOLICH TO ACHIEVE ADDIÇUATE STABILIZATION
- STEAM MILLEN SHALL BE ANCHORED DAMEDIA TELY TO MISSIMIZE LOSS BY WIND OR WAT ANCHEMIST MERROR DEPENDATION.—A DISK "PARTER OR BOTHLEN THE TOTAL SHALL BE ANCHORED BEALL NOT BE PINES! OF DEPID BUT, OR SEALL THE LETS LOSS THAN IN-NEITHOG-HETTINGS SHALL BE LIFED ACCORDING TO THE MAND-ENTIREYS BECOMMEN SHITTOM AND BE SEEDSAMY TO NOT DO MICH ON THE MAND-ENTIREYS BECOMMEN SHITTOM AND BE SEEDSAMY TO NOT DO MICH ON THE MAND-ENTIREYS BECOMMEN DEPENDATION OF SEEDSAMY TO NOT DO MICH ON THE MAND-ENTIREYS BECOMMENDED BUT DO CAUSE PERSONS, TERMATACK OR EQUAL DAY BE USED AT BATES BECOMMENDED BUT AND MICH OF THE MAND BE AND THE WOOD—CELLULOSE PIRES RESIDES HALL BE A A NOT DAY WEDDIT OF THE MAY DEPENDED THE MAY SHALL BE ANDED WITH IT MEMORY BUT DO GALL.

BMP INSPECTION CHECKLIST

BMP	FREQUENCY	NOTES
GENERAL INSPECTION	EVERY 6 MO.	
STORM WATER BASIN	MONTHLY	
VEGETATION	MONTHLY	FIRST 2 GROWING
		SEASONS THEN TWICE A YEAR
SILT FENCE	MONTHLY	FIRST GROWING SEASON

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. FERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE ASE REFT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY TO JAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF BAIN IN A 24 MINIMUM DEPARTMENT OF THE PROPERTY OF THE PROPER HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS. DATED OF INSPECTION AND CORRECTIVE MEASURES TAKEN. RECORDS SHALL BE SUBMITTED TO THE CITY OF ROCKY RIVER ENGINEERING DEPARTMENT FOR REVIEW BY MAY 1st OF EACH YEAR

ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION

ADDITIONAL SWP3 CONSIDERATIONS

NO OPEN BURNING

DUST CONTROL SHALL BE ACHIEVED BY USE OF WATERING TRUCKS USE OF OIL IS STRICTLY PROHIBITED. INLET PROTECTION MUST BE IMPLEMENTED PRIOR TO DUST CONTROL MEASURES.

SMALL SPILLS (-25 GALLONS) SHALL BE CLEANED UP USING AN ABSORBING AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.

ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING BASINS PRIOR TO DISCHARGE FROM SITE BMPS THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK

POST-CONSTRUCTION BMP RATIONALE

STORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BMPS ARE NOT REQUIRED DUE TO THE SCOPE OF THE PROJECT BEING LESS THAN ONE (1) ACRE

MENTURE	FORMULA	LBS/ACRE	LBS/1,000 SQ FT	TIME	MOWING
CREEPING RE FESCUE RYEGRASS KEENTCKY BLUEGRASS	10-10-10	500	12	FALL, YEARLY AS	NOT CLOSER THAN 3"
TALL FESCUE	10-10-10	500	12	T-LLL TILL	NOT CLOSER
TURF-TYPE FESCUE	10-19-10	500	12		THAN 4"
CROWN VETCH FESCUE	0-20-20	400	10	SPRING, YEARLY FOLLOWING ESTABLISHMENT AND EVERY 47	DO NOT MOW
FLAT PEA FESCUE	0-20-20	400	10	YEARS THEREAFTER	DO NOT MOW

SPECIFICATIONS FOR PERMANENT SEEDING

- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING

- PREPARATION AND SELECTION
 TOPPOOL SHALL BE APPLIED WHERE NEEDED TO
 STRAIGHT STOTATION SELECTION PREPARATIONS
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 THE CONTOUR.

EXOSION PREVENTION PRACTICES

- THE FOLLOWING METHODS MAY BE USED FOR 'DORMANT SEEDING'

- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE

SEED MIX

TALL FESCUE

TURF-TYPE (DWARF)

TALL FESCUE

FLATFEA TALL FESCUS

TALL FESCUE

KENTUCKY BULEGRASS

DWARF) FESCUE TUCKY BLUEGRASS

- HAND-SPREAD MULCH, SECTIONS AND SPREAD TWO BALES OF STRAW IN EACH SECTION

HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB (ACRE OR 4/LB/1,000 SQ. FT

STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.

MECHANICAL—A DISK, CRIMFER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL STRAW MECHANICALLY ANCHOROD BHALL NOT BE FINELY CHOFFED BUT GENERALLY LEFT LONGER THAN 6 IN

EXCISION PREVENTION PRACTICES

ESTABLISH VEGETATION DURING DRY WEATHER OF ON ADVERSE SITE CONDITIONS, WHICH REQUISE ADEQUATE MOISTURE FOR SEED GERMINATION AN IS ANY GROWTH.

NOTES

THAN AUGUST DO NOT SEED LATER

FOR SHADED AREAS

Rootstown, OH 44272 www.WeberEngineeringServices.com 330-329-2037 matt@webercivil.com WEBER

Weber Engineering

SERVICES

2555 Hartville Rd., Suite B

Reg. No.: 61709

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OWNER:

22720 FAIRVIEW CENTER DR SUITE 150 Fairview Park, Ohio 44126

JRW/RR, LLC

Issue Date 02-02-202 03-07-202 03-11-202 03-27-2024 03-28-2024 OPMENT TS

DELL REDEVELC MPROVEMENTS

OEL TIMPP

JAN SITE 1934C

TABLE 1: PERMANENT STABILIZATION

PERMANENT SEEDING

1/2-1 1/4-1/2 1/2-1

1942

2 1/4

20-25 1/2-3/4 20-30 1/2-3/4

LBS/ACRE

40-50

90

19-36 26-35

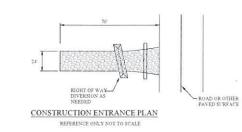
40-50

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREAS

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN ID: FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, AND DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS NOST BE STABILIZED AT LEAST SEVE DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTIS)
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

ABBREVIATED SWP3 **DETAILS**





CONSTRUCTION ENTRANCE PROFILE

STONE SIZE - ODOT #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT

- THICKNESS-THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- 4 WIDTH-THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

MINIMUM TENSILE STRENGTH	200 LBS
MINIMUM PUNCTURE STRENGTH	80 PSI.
MINIMUM TEAR STRENGTH	50 LBS.
MINIMUM BURST STENGTH	320 PSI.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS<0.64M.
PERMITTIVITY	1X10^3 CM/SEC.

TCE SPECIFICATIONS FOR CONSTRUCTION ENTRANCE



7. CULVERT- A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT KUNOFF FROM BEING DIRECT OUT ONTO PAVED SURFACES

WATER BAR-A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED

SURFACES. MAINTENANCE- TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMA MUED SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTAGE SHALL BE REMOVED IMMODIATELY, REMOVAL.

CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDLY AREAS.



WEBER 61709

Weber Engineering

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OWNER:

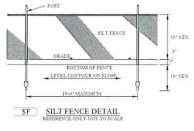
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Issue Date 02-02-202 03-07-2024 0 0 0 03-11-2024 03-27-2024 03-28-2024 OPMEN

I DELL REDEVELOPI E IMPROVEMENTS 10 DETRIOT AVENUE F 000

TEMPORARY CONNECTE WASHOUT FACILITIES SHALL BE LOCATED A MINMUM OF 50FT FROM STORM DRAIN NILETS, OPEN DRAINAGE FACILITIES. AND WATERCOTESSES. FACILITY SHALL BE LOCATED A WAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING TRAFFIC OR ACCESS AND AND ALL STITLA MINIMUM LENGTH AND RINNAM WIDTH OF 10 PLASTIC LINNS MATERIAL. SHALL BE A MINIMUM OF 10 MILL DOUTSTHYLENS SHEETING AND SHALL BE FREE OF HOLES. TRARS, OR OTHER DEFECTS THAT COMPROMES THE DEFENSE MELLITY OF THE MATERIAL. A SIGN SHALL BE INSTALLED ADJACENT TO WASHOUT FACILITY IO INFORM CONNECTE EQUIPMENT IO DEFINITIONS TO UTILIZE THE PROPER FACILITIES. TO THE FREE PROPER FACILITIES OF THE FREE PROPER FACILITIES OF THE FREE PROPER FACILITIES. TO THE FREE PROPER FACILITIES OF THE FREE PROPER FACILITIES OF THE PROPER FACILITIES. TO THE PROPER FACILITIES OF THE PROPER FACILITIES OF THE PROPER FACILITIES.

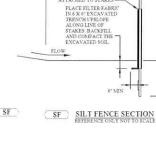


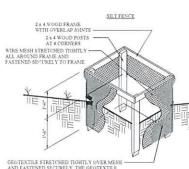












- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN CONSTRUCTION-GRADE LUBGER THE J-BY-4-IN FOSTS HALL BE BERNET IF. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP FORTION OF 2-BY-4-IN FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME GRADE ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INNHES BELOW ADJACENT ROADS IF PONDED WATER WOOLD FOSE A
- 4 WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.

BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN LAYERS UNTIL THE EARTH IS EVEN WITH MOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INSET OF THE INSET IN FOLLOW A DEFRESSION AND IF RUNOFE BYPASSING THE INLEST VILL NOT FLOW TO A SETTLING FOOLD THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 ROHES HOMES THAT THE TOP OF THE FRAME.

INLET PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT, AREAS WHERE THERE IS ACTIVE TRAFFIC SHALL BE INSPECTED DAILY. REPAIRS SHALL BE INADE AS NEEDED TO ASSURE THE PRACTICE IS PREFORMING AS INTENDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMAL THOS IS ON-HALP THE HEIGHT OF THE TEAR SEDIMENT SHALL HAVE WE MASTED INTO THE INLET, SEDIMENT SHALL BE REMOVED AND PLACED IN A LOCATION WHERE IT IS STABLE AND NOT SUBBECT TO REMOSION.

2 ALL SILT FINCE SHALL BE FLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEFRESSIONS WHICH ANY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FINCE ARE DISSPATED ALONG ITS LENGTH 4 WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE 5 WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT (OR AS MICH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE IF VEGETATION IS REMOVED, IT SHALL BE REEST ABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE. THE HEIGHT OF THE SILT FENCE SHALL BE A MIN OF 16 IN ABOVE THE ORIGINAL GROUND SURFACE.

SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS

- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN OF 6 IN DEEP THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAVING MACHINE. OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN SLOPE SIDE OF THE GEOTESTILE AND SO THAT IS NO FOLLOTH ARE BELOW THE GROUND SURFACE EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF TO 6 IN DEEP TRENCH THE TRENCH SHALL BE BAYEST LED AND COMPACTED ON BOTH SIDE
 - FENCE POSTS.— THE LENGTH SHALL BE A MINIMUM OF 32 IN LONG, WOOD POSTS WILL BE 2-BY-2 IN HARDWOOD OF SOUND QUALITY THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. 2 SILT FENCE FABRIC (SEE CHART BELOW):

SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE

MINIMUM CRITERIA I	FOR SILT FENCE FAB	RIC (0D0T, 2002)
FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4362
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM FUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
WININGW TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	<.54 WW	ASTW D 4751
MINIMUM PERMITTIVITY	1X10"2 SEC"-1	ASTM 0 4491
UV EXPOSURE STRNEGTH RETENTION	70%	ASTM D 4355

SF SPECIFICATIONS FOR SILT FENCE

1" REBAR FOR BAG REMOVAL FROM INLET (REBAR NOT INCLUDED) OPTIONAL OVERFLOW SILTSACK DUMP LOOPS (REBAR NOT INCLUDED) SOC VICE INSTALLED DIPRIGON BESTRANT INLET PROTECTION NOTE THE TYPICAL INLETSILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.

DETAIL OF INLET SEDIMENT CONTROL DEVICE

2 ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIGHTS MUST BE FITTED WITH THE "SILTS ACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACT ENVIRONMENTAL CONTROL INC., OR APPROVED BOULD.

SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

IPSS SILTSACK DETAIL

-PROP. SILT FENCE. PROP INLET A 1. THE TYPICAL PALET SAIT FENCE DETAIL SHALL REMAN IN PLACE UNTIL PAYEMENT IS ESTABLISHED. 2. ONCE PAYEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAYING LIMITS MUST BE FITTED WITH THE "SILTBACK" SEGMENT CONTROL DEVICE AS MUNIFICULATED BY ACPENIZADEMIAL CONTROL INC. OR APPROVED EQUAL. J. SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

1 INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM INLET BECOMES FUNCTIONAL

THE EARTH AROUND THE INLET SHALL BE ENCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES

MAINTENANCE

IP SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION

ONLY CONCRETE FROM STATE RUCK CHUTES SHOULD BE WASHED NTO CONKETE WASHOUT CONCRETE WASHOUT CONCRETE WASHOUT CONCRETE WASHOUT ROOM CONCRETE WASHOUT ROOM CONCRETE WASHOUT RACE OF ROWERLD SHOW CONCRETE WASHOUT AREA OF ROWERLD SHOWS OF OFFSITE AREA OF ROWERLD SHOWS OF SH

TCW TEMP. CONCRETE WASHOUT FACILITY

DETAILS

Project No. 2023-326

ABBREVIATED

SWP3

JAN DI SITE IN 19340

ADHESIVES FOR DUST CONTROL						
ADHESIVE	WATER DILUTION (ADHESIVE WATER)	NOZZLE TYPE	APPLICATION RATE GAL/AC			
LATEX EMULSION	12.5:1	FINE	235			
TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300			
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450			
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350			

- VEGETATIVE COVER AND MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS SAVING EXISTING TREES AND LARGE SHRIUSS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURSED AREAS SEE TEMPORARY SEEDING, FULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- 2 WATERING-SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES WATERING SHALL BE DONE AT A RATE THAT FREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION WEITING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS
- 3 SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE
- FOLLOWING TABLE OR MANUFACTURERS INSTRUCTIONS
 4 STONE GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE
 STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS
 PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE
- FRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE
 CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A FERMANENT
 COVER TO PROVIDE CONTROL OF SOIL EMISSIONS
 BARRIERS-EXISTING WINDEREAK VEGITATION SHALL BE MARKED
 AND PRESERVED SNOW FERCING OR OTHER SUITABLE BARRIER MAY
 BE PLACED FERFENDICULAR TO PREVAILING AIR CURRENTS AT
- BE PLACED PERFENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
 CALCIUM CHLORIDE THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT REFER THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR FLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS SPECIFIED RATES OPERATION AND MAINTENANCE. WHIEN TEMPORARY DUST CONTROL MEASURES ARE USED. REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROLS.

STREET CLEANING- PAYED ARES THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAFER

SPECIFICATIONS FOR MULCHING

- MULCH AND OTHER APPROPRIATE
 VEGETATIVE PRACTICES SHALL BE APPLIED
 TO DISTRIBED AREAS WITHIN YOAYS OF
 GRADING IF THE AREA IS TO REMAIN
 DESMACH (UNDISTRIBED) FOR MORE THE
 SITE WHICH CAN BE BROUGHT TO FINAL
 GRADE
 GRADE
- 2 MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
- FOLLOWING

 STRAW APPLIED AT THE RATE OF 2 TONS AC

 OR 90 LB 1,000 SQ TH, TOWO TO THREE BRALES)

 THE STRAW MATCH SHALL BE SPREAD

 UNFORMLY BY HAND OR MECHANICALLY SO

 THE SIGN AND AFFACE IS COVERED FOR UNFORM

 DISTRIBUTION OF HAND-SIPEAD MITCHE

 DIVIDE AREA ONTO APPROXIMATELY

 LOWSO, FT. SECTIONS AND PLACE TWO SALE

 BASES OF STREET WAS AND PLACE TWO SALE

 BASES OF SALW TRACEMENT OF THE SALE OF THE SA BALES OF STRAW IN EACH SECTION
- HYDROSEEDERS WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB /AC OR 46 LB/1,000 SQ. FT.
- OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION

- 3 MULCH ANCHORING MULCH SHALL BE ANCHORED INDEDIATELY TO MINIMIZE LOSS BY WITD OR RUNOFF THE FOLLOWING ARE ACCEPT ABLE METHODS FOR ANCHORING MULCH
- ACCHARGAL LUSE A DISK. CRIMPER OR SIMILAR THYE TOOK SET STRAIGHT TO PUNCH OR ANCHOR THE TOOK SET STRAIGHT TO PUNCH OR ANCHOR THE MILCH MATERIAL INTO THE SOIL STRAWAGE HAND. CALL THE MILCH MATERIAL INTO THE SOIL STRAWAGE HAND. CHAPPED BUT BE LEFT GENERALLY LONGER THAN BY INCHES HALLON SET TIMES A SCHOOL TO THE MANUFACTURESES SECOMENDER TO HE MANUFACTURESES SECOMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MILCH PLACE.
- SLOPES TO HOLD MULCH IN PLACE
- · SYNTHETIC BINDERS · FOR STRAW MULCH * 333 NIBERG BIDDERS - FOR STRAW MILCH.
 \$333 NIBERG BIDDERS SUCH AS ACRIVICE OLD.
 \$408E-TACL DCA-76, PETROSET, TERRA TACK.
 OR EQUAL MAY BE USED AT RATES
 RECOMMENDED BY THE MANUFACTURER
 ALL APPLICATIONS OF SYNTHETIC BIDDERS
 MUST BE CONDUCTED IN SUCH A MANNER.
 WHERE THERE IS NO CONTACT WITH WATER
 OF THE STAYS.
- OF THE STATE

 WOOD CELLULOSE PHEER. WOOD CELLULOSE
 HIBER MAY BE USED FOR ANCHORING STRAW
 THE FIBER SINDER SHALL BE APPLIED AT A
 NET DRY WEIGHT OF 790 LBS AC THE WOOD
 CELLULOSE FIBER SHALL BE MINED WITH
 WATER AND THE MINTURE SHALL CONTAIN A
 MAINIMOM FS LB FIDE GAL. OF WOOD
 CELLULOSE FIBER

- - 2 THE SOD SHALL BE KEPT MOIST AN COVERED DURING HAULING AND PREPARATION FOR PLACEMENT

 - 2 THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED

LIME- AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB /1,000 SQ FT OR 2 TONS/AC.

FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST IN LIEU OF A 2 SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB/L000 SQ. FT OR 500 LB/AC OF 16-10-10 OR 12-12-12 ANALYSIS

THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUTTABLE FIELD INFLEMENT TO A DEPTH OF 3 INCHES

BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS. STONES AND CLODS LARGER THAN 3-IN DIAMETER



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22720 FAIRVIEW CENTER DR. SUITE 150 Fairview Park, Ohio 44126

Issue Date 9 02-02-2024 03-07-2024 03-11-2024 03-27-2024 03-28-2024 I DELL REDEVELOPMEN E IMPROVEMENTS 10 DETRIOT AVENUE ROCK

SPECIFICATIONS FOR SODDING

(CFS) COMPOST FILTER SOCK DETAIL

₹ 2° N 2° WOODEN STAKE

PARTICLES RANGING FROM TO 2"

2 FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS.

FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 21, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MIDSLOPE.

4 FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.

- MATERIALS

 1 SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A FERIOD OF 48 HOURS SOD NOT TRANSFLANTED WITHIN THIS FERIOR SHALL BE DISFECTED AND AFFROVED PRIOR TO INSTALLATION
- 3 SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.35 INCHES, AT THE TIME OF CUTTING MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION

 1. A SUBSOILER, FLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOLI COMPACTION AND ALLOW MAXIMUM INFILITATION MAXIMUZNO INFILITATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON
- 3 SOIL AMENDMENTS

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL, SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD
- SOD SHALL NOT BE PLACED ON FROZEN SOIL.

8. WHERE THE FILTER SOCK DETERIORATES OR FAILS. IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.

9 REMOVAL-FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO PACILITATE AN NO OBSTRUCT SEEDINGS

- THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER LAITERAL JOINTS SHALL BE STAGGEREED IN A BRICK-LIKE PATTERN ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD BRY THE ROOTS.
- ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS THE SOD SHALL BE SECURED WITH FEGS OR STAFLES.
- AS SODDING IS COMPLETED IN ANY ONE SECTION. THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOLIS USERACE. SOOR SHALL BE WATERED MIMEDIATELY AFTER ROLLING OR TAMPING UNTIL, THE SOD AND SOLI SUFFACE BELOW THE SOO ARE THROUGHELY USE THE OFFERTIONS OF LAYING TAMPING AND IRRIGATING FOR ANY FIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOUSE.

- THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.

ABBREVIATED SWP3 **DETAILS**

JAN D SITE IN 19340

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Northern Herald® Eastern Reday 2.5° Cal. (5



Autumn Brilliance Apple Serviceberr



Skyline Honey Locust

Meriot Speetspire

Ruby Spice Summersweet

Skyline Honey Locust (2) 25° Cal.





Ruby Spice Summersweet





Hicks Yen Hedge







WXZ Arcus Beachcliff

Detroit Road

Ohio

Rocky RIver,

9th Avenue Designs

andscape Architects 216-548-9971

A V E N U E D E S I G N S

Sheet Description Planting Plan

Sheet Number | of |

Checked By

Drawn By:

SCHEDULE B SECTION II EXCEPTIONS -

PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040247 WITH AN EFFECTIVE DATE OF FEBRUARY 13, 2023



ITEMS 1 THROUGH 13 AND 16 THROUGH 19 NOT SURVEY RELATED 14. Dedication of Parsons Court, filed for record June 29, 1925 in Volume 86 of Maps, page 27, of the Cuyahoga Courty Records.
Note: Shame for Informational purposes only (PLAT DETAILS SHOWN HEREON)

done Lewis Subdivision Piot, Ried for record August 31, 1976 in Volume 218, page 29, of the Guychoga County Records.
 Note: Shown for informational purposes only (PLAT DETALS SHOWN HEREON)

LEGAL DESCRIPTION -

PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040247 WITH AN EFFECTIVE DATE OF FEBRUARY 13, 2023

For APN/Porcel ID(s): 301-18-083

Situated in the City of Rocky River, County of Cuyahoga, and State of Chia: And known as being part of Original Rockpart Township Section No. 24 and bounded and described as follows:

Beginning on the Northwesterly line of Detroit Road (60 feet wide) at its intersection with the Southwesterly line of land conveyed to James W. Williams by deed dated January 24, 1881 and recorded in Valume 508, page 286 of Cuyahaga County Records;

Thence Northeasterly along the Northeasterly line of Detroit Road 75,90 feet to the most Southerly corner of land conveyed to Lucius Deon by deed dated September 14, 1898 and recorded in Volume 898, Page 134 of Guyshage County Records;

Thence Northwesterly along the Southwesterly line of land so conveyed, 185.82 feet to a Southwesterly line of land conveyed to Helen Walton by deed dated June 14, 1904 and recorded in Yolume 936, Page 244 of Cuyahaga County Records;

Thence Southwesterly along a Southeasterly line of land so conveyed, 76.21 feet to the Southwesterly line of land conveyed to James W. Williams as aforesold;

Thence Southeasterly along the Southwesterly line of land so conveyed, about 13.43 feet to the most Easterly corner of land conveyed to. E.R. Taylor by deed dated December 25, 1942 and recorded in Volume 5512, Page 98 of Cyphoga County

Thence Southwesterly along the Southeasterly line of land so conveyed, about 82 feet to the Northeasterly line of Parsons Court;

Thence Southesterly along the Northeasterly line of Parsons Court, 34.05 feet to the Northwesterly corner of land conveyed to Joseph B. Howerth and Betty Howerth by deed dated January 13, 1960 and recorded in Volume 9794, Page 333 of Cuychago County Records;

Thence Northeasterly along the Northwesterly line of land so conveyed, 51.5 feet to the most Northerly corner thereof;

Thence Southeasterly along the Northeasterly line of land so conveyed, 0.30 feet to the Southeasterly line of land conveyed to Jone Lewis by deed dated October 22, 1949 and recorded in Volume 6855, Page 554 of Cuyphage County Records:

Thence Northeasterly along the Southeasterly line of land so conveyed about 30,5 feet to the Southwesterly line of land conveyed to James W. Williams as aforesoid;

Thence Southeasterly along the Southwesterly line of land so conveyed, 160.29 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Note: The above described land is also known as Lot 1 (17,560 square feet or 0.403 acres of land) as set forth in the Jane Lewis Subdivision, field for record August 31, 1976 in Volume 218 of Maps, page 29, of the Cuychaga County Records.

PPN: 301-18-083 (including 301-18-035)

LEGAL DESCRIPTION -

HER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040817 WITH AN EFFECTIVE DATE OF JUNE 12, 2023.

Situated in the City of Rocky River, County of Cuyahoga, and State of Ohio:

And known as being port of Original Rockport Township Section No. 24, and bounded and described as follows:

Beginning at the intersection of the Northwesterly line of Detroit Road, 60 feet wide, with the Northeasterly line of Parsons Court, as dedicated by plat, recorded in Volume 86 of Maps, page 27, of the Cuyahaga County Records;

Thence Northwesterly, along the Northeasterly line of Parsons Court, 117.80 feet to the most Southerly corner of land conveyed to The Dairymens Ohio Farmers Mik Company by deed dated November 27, 1942, and recorded in Volume 5481, page 190, of the Cuyohoga County Records;

Thence Northeasterly, along the Southeasterly line of land so conveyed to The Dairymens Ohlo Formers Milk Company, 81,98 feet to a point in the Southwesterly line of land conveyed to Anna M. Robertson by deed dated february 14, 1920 and recorded in Volume 2382, page 44, of the Cuyahaga County Records;

Thence Southeasterly, along the Southwesterly line of land so conveyed to Anna M. Robertson, 95.89 feet to the Northwesterly line of Detroit Road;

Thence Southwesterly, along the Northwesterly line of Detroit Rood, 84.02 feet to the place of beginning, be the same more or less, but subject to all legal highways. Records

SURVEYOR'S CERTIFICATION

- CHICAGO TITLE INSURANCE COMPANY WXZ ACQUISITION CO., LLC
- 3. JRW/RR, LLC 4. FIRST FEDERAL SAVINGS & LOAN ASSOCIATION OF LAKEWOOD

THIS IS TO CERTIFY THAT THIS MAP OF PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 WINNIUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NISPS LAND TITLE SURVEYS, SOUTH ESTRAILISMED AND ADDRETED BY ALTA AND MERS, AND INCLUDES ITEMS 2, 3, 4, 6, 6(4), 6(8), 7(8), 7(8), 7(8), 7(8), 2, 21 (4), 13, 14 AND 16 OF TREILE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 18, 2021

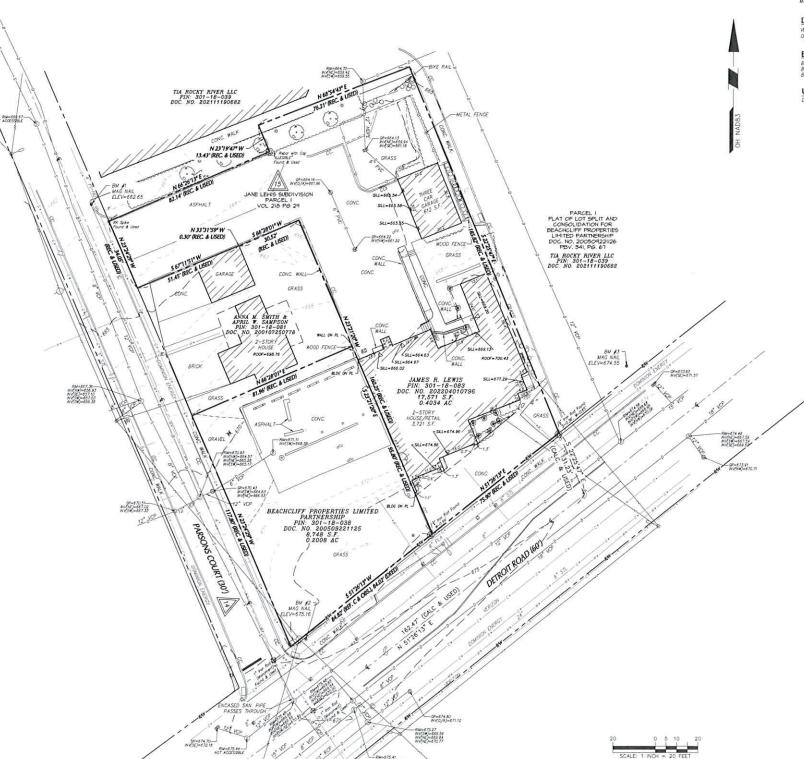
ANTHONY L. MAIONE, P.S.



ZONING

FLOOD CERTIFICATION

PER THE CITY OF ROCKY RIVER ZOWING MAP EFFECTIVE 04/27/2017, THE SUBJECT PARCEL PIN: 301-18-83 ZOWED GB-2, OFFICE BULLING AND THE SUBJECT PARCEL PIN: 301-18-38 IS ZOWED GB, GENERAL SINESS. NO ZOWING WIGHWATON PROVIDED BY THE INSURER. FOR MORE INFORMATION SEE THE COOPED DIMANCES OF ADOLY RIVER, CHO.



Description

Revisions

BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO CHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS COSERVATIONS IN MAY, 2023.

BENCHMARK

BN #1 - MAG NAIL, ELEV=662.6: BN #2 - MAG NAIL, ELEV=675.16 BN #3 - MAG NAIL, ELEV=674.5:

UTILITY INFORMATION DESIGN TICKET A313202527



PROJECT LOCATION MAP SCALE: NOT TO SCALE

REFERENCE UTILITY LINE (TYPE AS NOTED) — PLOTTED FROM EXISTING MAPPING

LEGEND (NOT SHOWN TO SCALE) 8 (O) o SET \$ X 30" STEEL PIN CALCULATED SQUARE FEET CITY SURVEY RECORD ROOF DRAW AUDITOR'S FILE NUMBER PARCEL NUMBER DEED VOLUME ₩-88 AREA LIGHT PAGE LANDSCAPE AREA CONCRETE PAD SIGNAL POLE POMER POLE GUY WIRE CONCRETE CURB 000000 FENCE (TYPE AS NOTED) GAS VALVE SUBJECT PROPERTY LINE
ADJOINING PROPERTY LINE ---- EASEMENT LINE CLEAN OUT GUIDE RAIL (TYPE AS NOTED) —57——S7—— ELECTRIC BOX ELECTRIC METER GAS METER WATER METER ---- E ----- ELECTRIC LINE TRAFFIC SIGNAL POLE ______T _____ COMMUNICATION LINE DOUBLE DOOR DRAINAGE LINE

- THIS PLAN WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 2337040247, COMMITMENT DATE: FEBRUARY 13, 2023.
- 2. THIS PLAN WAS PREPARED WITH THE RESPECT TO THE FOLLOWING REFERENCES:
- A PLAT FOR THE JANE LEWIS SUBCINISION, RECORDED AUGUST 31, 1976 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS VOLUME 218, PAGE 29 B. PLAT FOR THE PARSONS COUNT SUBCINISION, RECORDED JUNE 29, 1925 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS VOLUME 86 OF MAPS, PAGE 27 C. PLAT OF LOT SUIT AND CONSQUARTION FOR BEACHCUIFF PROPERTIES LIMITED PARTNERSHIP, RECORDED SEPTEMBER 22, 2005 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS DOCUMENT NO. 200509221126
- MERIDAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN MAY, 2023.
- 4. VERTICAL DATUM IS BASED ON NAVDBB PER GPS OBSERVATIONS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES FIELD WORK COMPLETED DURING THE MONTH OF MAY 2023.
- 6. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MONHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE REVOLUTIERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- 8. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITES. THE SURVEYOR MAKES NO GUARANTES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- 10. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL
- 11. PROPERTY ADDRESS: 19340 DETROIT ROAD, ROCKY RIVER, OH 44116.
- SUBJECT PARCEL PIN: 301-18-83 HAS DIRECT ACCESS TO PARSON'S COURT AND SUBJECT PARCEL PIN: 301-18-38
 HAS DIRECT ACCESS TO PARSON'S COURT AND DETROIT ROAD.
- 13. NO EMBENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.

LANGAN

Cleveland OH 44131

216 328 3300 F 216 328 3301 www.langan.

19340 DETROIT RD **SURVEY**

ROCKY RIVER

ALTA/NSPS LAND TITLE SURVEY

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