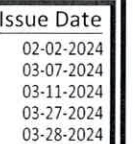


CITY OF ROCKY RIVER
COUNTY OF CUYAHOGA
STATE OF OHIO



C100
Project No. 2023-326



| | | |
|--|--|--|
| SITE BENCH MARK BENCH MARK #1 MAG NAIL ELEVATION = 662.65 | SITE BENCH MARK BENCH MARK #2 MAG NAIL ELEVATION = 675.16 | SITE BENCH MARK BENCH MARK #3 MAG NAIL ELEVATION = 674.55 |
|--|--|--|

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330-329-2037
matt@webercivil.com

STATE OF OHIO
MATTHEW L. WEBER
61709
PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

WXZ

22720 Fairview Center Drive
SUITE 150
Fairview Park, Ohio 44126
Phone: (440) 801-1690

OWNER:

JRW/RR, LLC

22720 FAIRVIEW CENTER DR.
SUITE 150
Fairview Park, Ohio 44126

JAN DELL REDEVELOPMENT
SITE IMPROVEMENTS
19340 DETROIT AVENUE ROCKY RIVER, OH

Issue Date
02-02-2024
03-07-2024
03-11-2024
03-27-2024
03-28-2024

SITE PLAN

C102
Project No. 2023-326

| | |
|--------------------------|--------------------------|
| SITE DATA | |
| USE DISTRICT | = LB - LOCAL BUSINESS |
| SITE AREA | = 0.6042 AC. (TOTAL) |
| PROP. BUILDING AREA | = 1,880 S.F. |
| EX. BUILDING AREA | = 2,200 S.F. |
| TOTAL BUILDING AREA | = 4,080 S.F. (FOOTPRINT) |
| BUILDING SETBACKS | |
| FRONT YARD | = 25' (FROM R/W) |
| SIDE YARD | = 5' |
| REAR YARD | = 5' |
| PARKING SETBACKS | |
| FRONT YARD | = 10' |
| SIDE YARD | = 10' |
| REAR YARD | = 10' |
| NUMBER OF PARKING SPACES | |
| REGULAR PARKING SPACES | = 23 |
| HANDICAP PARKING SPACES | = 3 |
| TOTAL PARKING SPACES | = 26 |
| REQUIRED SPACES PER CODE | = 24 |

| | |
|------------------------------------|--|
| FLOOD ZONE | |
| FLOOD ZONE "X" PER FLOOD INSURANCE | |
| RATE MAP NUMBER 350530152F | |
| EFFECTIVE DATE AUGUST 15, 2019 | |

LEGEND

REGULAR DUTY ASPHALT

CONCRETE PAVING

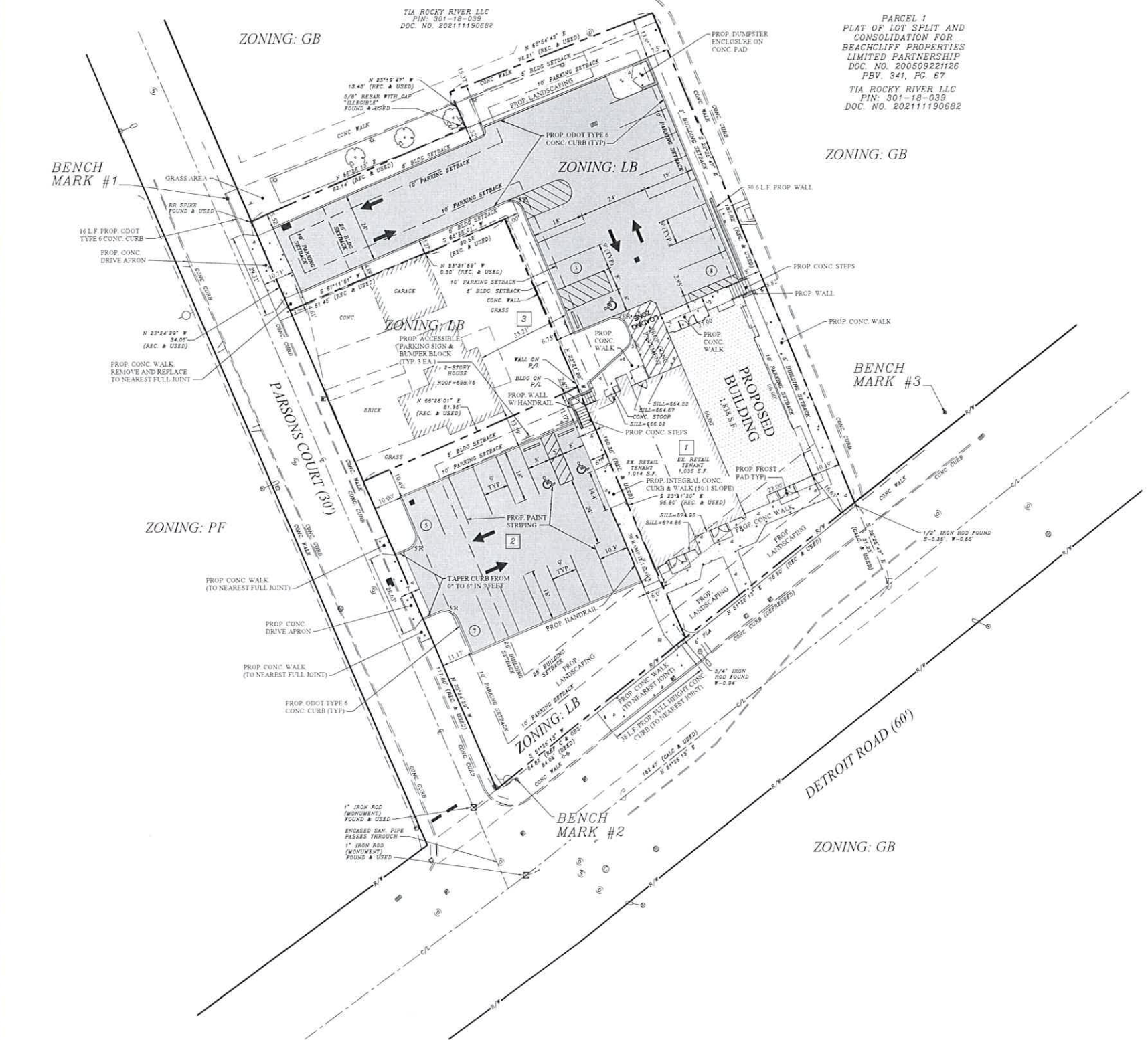
ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

- 1 PPN: 301-18-083
JRW/RR, LLC
19340 DETROIT RD.
DOC # 202310110090
- 2 PPN: 301-18-038
JRW/RR, LLC
19364 DETROIT RD.
DOC # 202311160090
- 3 PPN: 301-18-081
ANNA M. SMITH &
APRIL W. SAMPSON
1325 PARSONS CT.
DOC # 200107250778

N

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

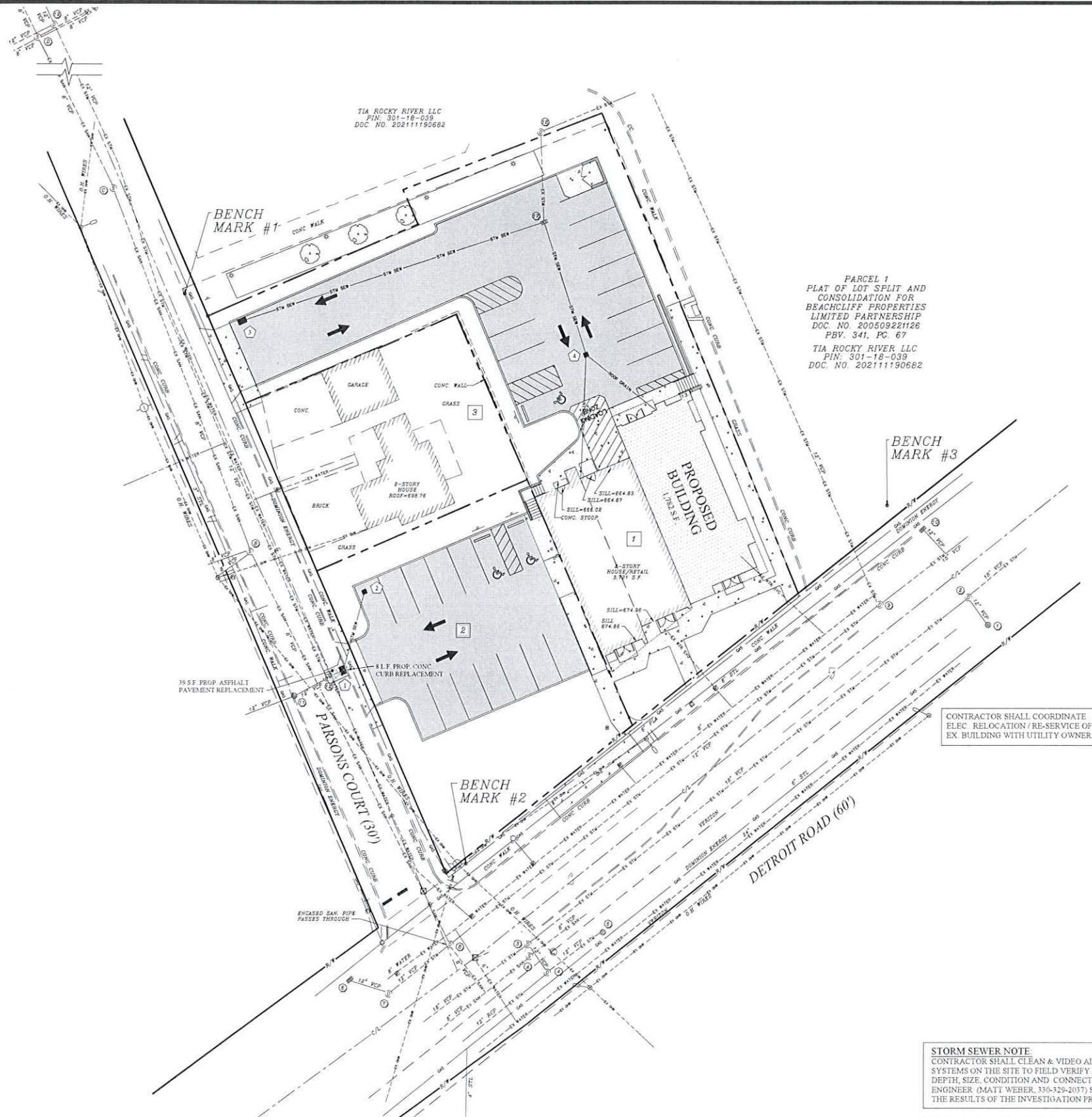




SITE
LIGHTING
PLAN

C102A
Project No. 2023-32

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PARCEL 1
PLAT OF LOT SPLIT AND
CONSOLIDATION FOR
BEACHCLIFF PROPERTIES
LIMITED PARTNERSHIP
DOC. NO. 200509221126
PBV. 341, PG. 67
TIA ROCKY RIVER LLC
PIN: 301-18-039
DOC. NO. 202111190682

CONTRACTOR SHALL COORDINATE
ELEC. RELOCATION/RE-SERVICE OF
EX. BUILDING WITH UTILITY OWNER.

STORM SEWER NOTE:
CONTRACTOR SHALL CLEAN & VIDEO ALL STORM SEWER SYSTEMS ON THE SITE TO FIELD VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY. SITE CIVIL ENGINEER (MATT WEBER, 330-329-2037) SHALL BE INFORMED OF THE RESULTS OF THE INVESTIGATION PRIOR TO CONSTRUCTION.

SANITARY SEWER NOTE:
CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY OF ALL SANITARY SEWER LATERALS ON THE SITE PRIOR TO CONSTRUCTION. MAINTAIN CONNECTION TO 19350 DETROIT RD. AT ALL TIMES. SANITARY LATERAL FOR THE PROPOSED BUILDING SHALL BE CONNECTED INTERNALLY TO THE LATERAL FOR 19350 DETROIT RD.

UTILITY NOTE:
ALL EX. UTILITIES SERVICING THE BUILDING TO BE DEMOLISHED SHALL BE REMOVED OR ABANDONED / CAFFED AT THE R.O.W. OR RELATED SHUT-OFF VALVE.

| SITE BENCH MARK | SITE BENCH MARK | SITE BENCH MARK |
|---------------------------|---------------------------|---------------------------|
| BENCH MARK #1 MAG NAIL | BENCH MARK #2 MAG NAIL | BENCH MARK #3 MAG NAIL |
| ELEVATION = 662.65 | ELEVATION = 675.16 | ELEVATION = 674.55 |

**EX. STORM
STRUCTURE SCHEDULE**

- EX. CATCH BASIN
TOP 670.31
INV. 670.71, 12" NW
- EX. STORM MANHOLE
TOP 674.48
INV. 667.53, 18" NE & SW
INV. 668.83, 12" SE
- EX. STORM MANHOLE
TOP 674.48
INV. 668.65, 15" SW
INV. 668.84, 18" NE
INV. 670.00, 12" SE
- EX. STORM MANHOLE
TOP 674.29
INV. 668.59, 18" SW
INV. 668.84, 12" NW
INV. 670.77, 18" NE
- EX. CATCH BASIN
TOP 674.48
INV. (O/A) 671.12, 12" SW
- EX. CURB INLET
TOP 674.70
INV. 672.18, 12" SE
- EX. STORM MANHOLE
TOP 674.44
(NOT ACCESSIBLE)
- EX. STORM MANHOLE
TOP 674.48
INV. 668.68, 12" SW
INV. 669.59, 12" NE
INV. 670.39, 8" NW & SE
- EX. STORM MANHOLE
TOP 674.68
INV. 668.68, 15" NE
INV. 668.85, 12" SW
INV. 670.06, 18" NW
- EX. CURB INLET
TOP 673.85
INV. 671.57, 12" SE

**EX. SANITARY
STRUCTURE SCHEDULE**

- EX. SANITARY MANHOLE
TOP 676.41
INV. 668.57
(FIGURE EAST, NOT ACCESSIBLE)
- EX. SANITARY MANHOLE
TOP 667.36
INV. 668.83, 8" NW
INV. 667.10, 8" SE
INV. 667.53, 8" SW
INV. 669.35, 8" SW
- EX. SANITARY MANHOLE
TOP 660.67
(NOT ACCESSIBLE)
- EX. SANITARY MANHOLE
TOP 658.19
INV. 648.08, 8" NW
INV. 648.09, 8" SW
INV. 648.16, 8" SE
INV. 649.07, 8" NE

**PROPOSED STORM
STRUCTURE SCHEDULE**

- PROP. CURB INLET
GUTTER 670.43
INV. 665.33, 12" NE & SW
- PROP. ODOT CB 2-20
TOP 669.96
INV. 665.96, 12" SW
- PROP. CURB INLET
GUTTER 667.60
INV. 660.60, 12" E
- PROP. ODOT CB 2-20
TOP 665.10
INV. 662.43, 8" SW & SE
INV. 662.10, 12" NW

**PROPOSED SANITARY
STRUCTURE SCHEDULE**

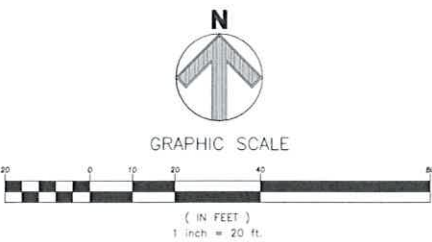
- PROP. SANITARY MH
TOP 777.77
INV. 777.77, SIZE & DIRECTION

| FROM | TO | SIZE | SLOPE | TYPE | LENGTH |
|------|--------|------|-------|------|--------|
| 1 | EX. 12 | 12" | 1.00% | HDPE | 6.69 |
| 2 | 1 | 12" | 1.91% | HDPE | 29.07 |
| 3 | EX. 12 | 12" | 0.58% | HDPE | 111.89 |
| 4 | EX. 12 | 12" | 4.34% | HDPE | 45.72 |

NOTE 1:
CONTRACTOR SHALL DEFLECT WALL AS NECESSARY TO MAINTAIN 18" MIN. VERTICAL CLEARANCE BETWEEN W.M. & SAN. SEW. AND/OR STM. SEW. AT ALL TIMES. (INSTALL BENDS WHERE NECESSARY)

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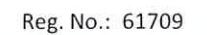
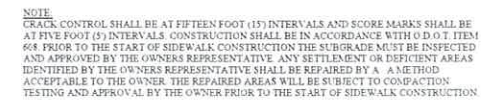
JAN DELL REDEVELOPMENT
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19340 DETROIT AVENUE ROCKY RIVER, OH

Issue Date

- 02-02-2024
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**UTILITY
PLAN**

C103
Project No. 2023-326



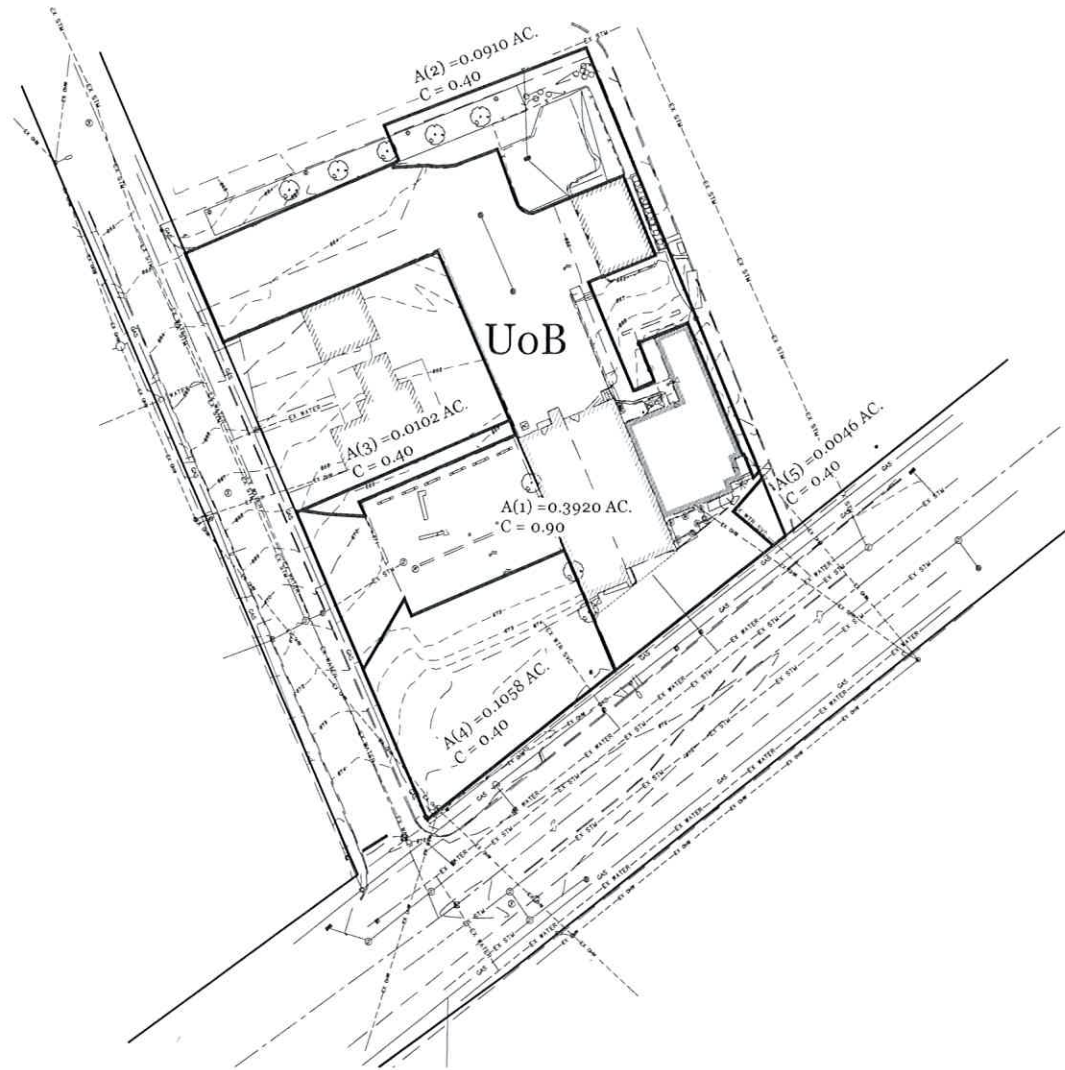
JRW/RR, LLC
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| 02-02-2024 |
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| 03-27-2024 |
| 03-28-2024 |

SITE DETAILS

C105
Project No. 2023-326

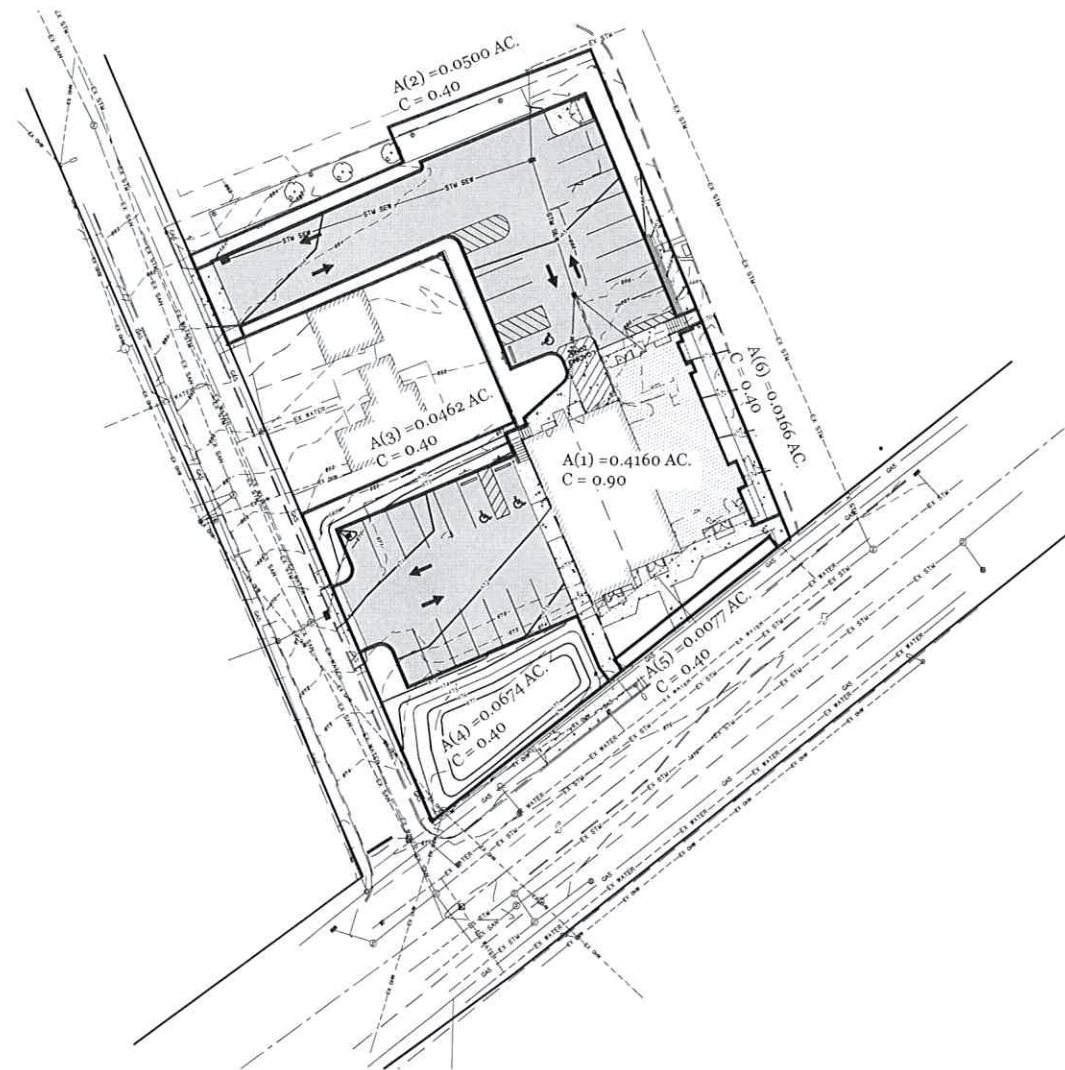


PRE-DEVELOPED DRAINAGE MAP & SOILS MAP

PRE-DEVELOPED: AREA = 0.6042 AC, C = 0.72, TC = 15 MIN.

IMPERVIOUS AREA = 0.3920 AC (64.9%)

UoB - Urban land-Oshtemo complex, undulating



POST DEVELOPED DRAINAGE MAP

POST DEVELOPED: AREA = 0.6042 AC, C = 0.74, TC = 15 MIN.

IMPERVIOUS AREA = 0.4160 AC (68.9%)

CHANGE IN IMPERVIOUS AREA = 0.0240 AC (6.1%) INCREASE



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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330-329-2037
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| 03-28-2024 |

ABBREVIATED
SWP3
DETAILS

C107
Project No. 2023-326

THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

10 ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

E FILTER FENCES ARE TO BE CLEANED, REMOVED, BACKFILLED AND SEEDED WITH PERMANENT SEEDING.

MATERIALS: STRAW/STRAW STRAW IS USED. IT SHALL BE UNGUTTED SMALL-GRAIN APPLIED AT 2 TONS/AC OR 90 LB / 1,000 SQ FT (TWO TO THREE BALES). THE MULCH SHALL BE APPLIED UNIFORM BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. THE AREA UNDER APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD AT 1 LB BALES OF STRAW IN EACH SECTION. HYDROSEEDERS IF WOOD CELLULOSE FIBER IS USED, SHALL BE SET AT 2,000 LB / AC OR 48 LB / 1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS / AC.

ANCHORED SHALL NOT BE FINELY CHIPPED BY, GENERALLY BE LEFT LONGER THAN 4 IN. MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF ON CRITICAL SLOPES. SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DER. (AQUA-TAC, DCA-76, PETROSET, TERRA-TACK OR EQUAL) MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBRE-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT NET DRY WEIGHT OF 7% LB. (AC) THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER.

ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION.

ALL 2.5 GALLON PUMPS SHALL BE CLEANED OR USED AS A BORDING

AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.

ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING PANS PRIOR TO DISCHARGE FROM SITE. BMPs THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK DAY.

ORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BA

NOT REQUIRED DUE TO THE SCOPE OF THE PROJECT BEING LESS THAN ONE ACRE

ALLOWING SOIL TEST RECORDS DATING IS PREFERRED TO FERTILIZER RATES SHOWN ABOVE.

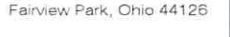
A CULTIPACKER, ROLLER OR LIGHT DRAG ON SLOPING LAND, SEEDING OPERATIONS SHOULD FOLLOW THE CONTOUR WHERE FEASIBLE.

NOTE: OTHER APPROVAL SEED SPECIES MAY BE SUBSTITUTED

| AREA REQUIRING PERMANENT STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS |
|---|---|
| ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE | WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE |
| ANY AREAS AT LEAST 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE | WITHIN TWO DAYS OF REACHING FINAL GRADE |
| ANY OTHER AREAS AT FINAL GRADE | WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREAS |

| AREA REQUIRING TEMPORARY STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS |
|--|---|
| <p>ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT THE END OF A ROAD OR DRIVEWAY.</p> <p>FOR ALL CONSTRUCTION ACTIVITIES, AND DISTURBED AREAS THAT WILL BE DOMINANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE</p> | <p>WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE THE AREA WILL REMAIN IDLE FOR AT LEAST SEVEN DAYS.</p> <p>WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA.</p> <p>FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PRODUCT COVERAGE FOR THE INDIVIDUAL LOT(S).</p> <p>PRIOR TO THE ONSET OF WINTER WEATHER.</p> |
| <p>DISTURBED AREAS THAT WILL BE IDLE OVER WINTER WEATHER.</p> | |

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII.



Issue Date

| | |
|------------|------------|
| 03-07-2024 | 03-11-2024 |
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03-27-2024
03-28-2024

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ABBREVIATED

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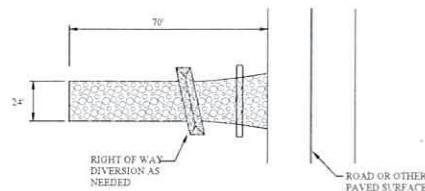
SWP3

DETAILS

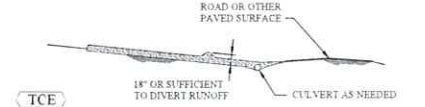
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C108

Project No. 2023-326



CONSTRUCTION ENTRANCE PLAN
REFERENCE ONLY NOT TO SCALE



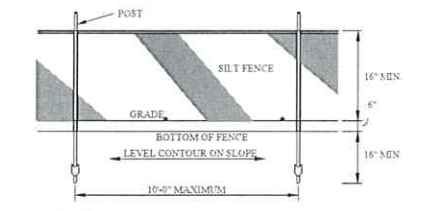
CONSTRUCTION ENTRANCE PROFILE
REFERENCE ONLY NOT TO SCALE

- STONE SIZE - 0/60T #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 10 FT. MINIMUM TO SINGLE RESIDENCE LOTS.)
- THICKNESS - THE STONE LAYER SHALL BE AT LEAST 4 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
- TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
- CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECT OUT ONTO PAVED SURFACES.
- WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS.
- REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

| GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE | |
|--|----------------------------|
| MINIMUM TENSILE STRENGTH | 200 LBS. |
| MINIMUM PUNCTURE STRENGTH | 80 PSI. |
| MINIMUM TEAR STRENGTH | 50 LBS. |
| MINIMUM BURST STRENGTH | 320 PSI. |
| MINIMUM ELONGATION | 20% |
| EQUALMENT OPENING SIZE | EQS<0.6MM |
| PERMITIVITY | 1X10 ⁻³ CM/SEC. |

- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

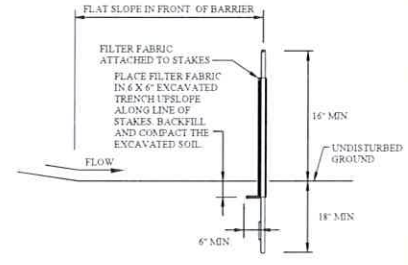
SPECIFICATIONS FOR CONSTRUCTION ENTRANCE



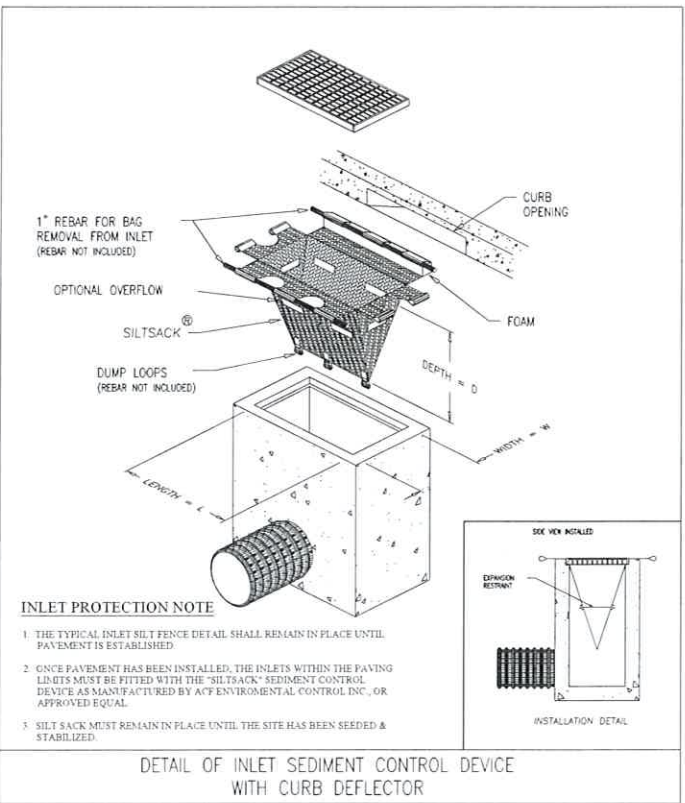
SILT FENCE DETAIL
REFERENCE ONLY NOT TO SCALE



JOINING SECTIONS OF SILT FENCE DETAIL
REFERENCE ONLY NOT TO SCALE



SILT FENCE SECTION
REFERENCE ONLY NOT TO SCALE



- INLET PROTECTION NOTE**
- THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
 - ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LOTS MUST BE FITTED WITH THE "SILTSACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL CONTROL INC. OR APPROVED EQUAL.
 - SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

DETAIL OF INLET SEDIMENT CONTROL DEVICE
WITH CURB DEFLECTOR

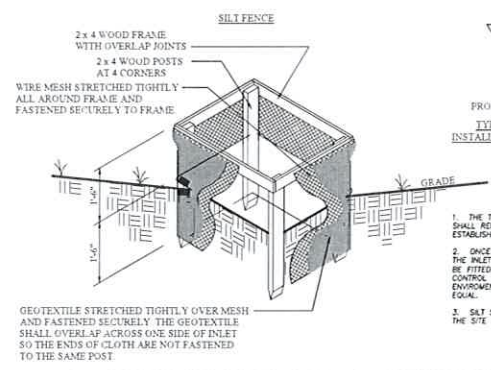
SILTSACK DETAIL

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- TO PREVENT WATER POUNDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MIN. OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN. OF 4 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 4 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED; 2) ACCUMULATED SEDIMENT SHALL BE REMOVED; OR 3) OTHER PRACTICES SHALL BE INSTALLED.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

- CRITERIA FOR SILT FENCE MATERIALS**
- FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 31 IN. LONG. WOOD POSTS WILL BE 2-BY-4 IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
 - SILT FENCE FABRIC (SEE CHART BELOW)

| MINIMUM CRITERIA FOR SILT FENCE FABRIC (000T, 2002) | | |
|---|--------------------------------------|-------------|
| FABRIC PROPERTIES | VALUES | TEST METHOD |
| MINIMUM TENSILE STRENGTH | 120 LBS. (535 N) | ASTM D 4562 |
| MAXIMUM ELONGATION AT 60 | 50% | ASTM D 4532 |
| MINIMUM PUNCTURE STRENGTH | 50 LBS. (220 N) | ASTM D 4833 |
| MINIMUM TEAR STRENGTH | 40 LBS. (180 N) | ASTM D 4533 |
| APPARENT OPENING SIZE | <.84 MM | ASTM D 4751 |
| MINIMUM PERMITIVITY | 1X10 ⁻² SEC ⁻¹ | ASTM D 4491 |
| UV EXPOSURE STRENGTH RETENTION | 70% | ASTM D 4356 |

SPECIFICATIONS FOR SILT FENCE



- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLY USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 4 INCHES BELOW ADJACENT ROADS IF POUNDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40-SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IS RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

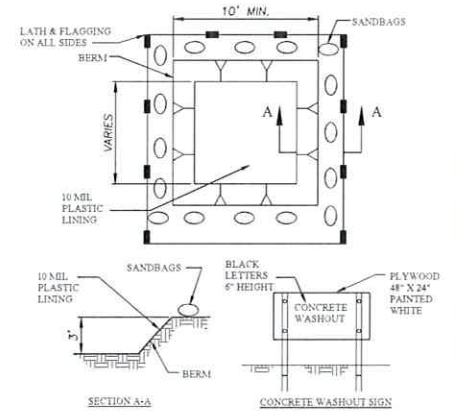
MAINTENANCE

EFFECTIVE STORM DRAIN INLET PROTECTION COLLECTS SEDIMENT AND THEREFORE MUST BE CLEANED REGULARLY TO PREVENT CLOGGING AND SUBSEQUENT FLOODING CONDITIONS. PILING OR OVERTOPPING OF THE CONTROL STRUCTURES, SEDIMENT BARRIERS THAT SAG, FALL OVER, OR ARE NOT PROPERLY SECURED, MUST BE PROMPTLY REPAIRED OR REPLACED.

INLET PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. AREAS WHERE THERE IS ACTIVE TRAFFIC SHALL BE INSPECTED DAILY. REPAIRS SHALL BE MADE AS NEEDED TO ASSURE THE PRACTICE IS PERFORMING AS INTENDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION IS ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. SEDIMENT SHALL BE REMOVED AND PLACED IN A LOCATION WHERE IT IS STABLE AND NOT SUBJECT TO EROSION.

ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, ALL FILTER MATERIAL AND COLLECTED SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED.

SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION



- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATER COURSES. FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE DETAIL WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10
- LATH AND FLAGGING SHALL BE COMMERCIAL TYPE PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- A SIGN SHALL BE INSTALLED ADJACENT TO WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT PROCEDURES.
- WASHOUT OF CONCRETE TRUCKS SHALL BE PERFORMED IN DESIGNATED AREAS ONLY.
- ONLY CONCRETE FROM A MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
- CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE WASTES SHALL BE ALLOWED TO HARDEN THEN BROKEN UP, REMOVED, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATION ON A REGULAR BASIS.
- WHEN TEMPORARY WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF MATERIALS USED TO CONSTRUCT THE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.

TEMP. CONCRETE WASHOUT FACILITY

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Reg. No.: 61709

CLIENT:

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OWNER:

JRW/RR, LLC

22720 FAIRVIEW CENTER DR.
SUITE 150
Fairview Park, Ohio 44126

**JAN DELL REDEVELOPMENT
SITE IMPROVEMENTS**
19340 DETROIT AVENUE ROCKY RIVER, OH

Issue Date
02-02-2024
03-07-2024
03-11-2024
03-27-2024
03-28-2024

**ABBREVIATED
SWP3
DETAILS**

C109
Project No. 2023-326

SPECIFICATIONS FOR DUST CONTROL

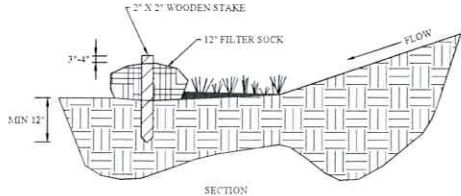
| ADHESIVES FOR DUST CONTROL | | | |
|--|---------------------------------|-------------|--------------------------|
| ADHESIVE | WATER DILUTION (ADHESIVE WATER) | NOZZLE TYPE | APPLICATION RATE GAL./AC |
| LATEX EMULSION | 12:5:1 | FINE | 235 |
| TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC) | 4:1 | FINE | 300 |
| ACRYLIC EMULSION (NO-TRAFFIC) | 7:1 | COARSE | 450 |
| ACRYLIC EMULSION (TRAFFIC) | 3.5:1 | COARSE | 350 |

- VEGETATIVE COVER AND MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN BARE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES- APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS INSTRUCTIONS.
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS SPECIFIED RATES.
- OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.

SPECIFICATIONS FOR MULCHING

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
 - MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
 - STRAW - SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES) THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT.
 - OTHER - ACCEPTABLE MULCHES INCLUDE MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS SPECIFIED RATES.
 - OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
 - MECHANICAL - USE A DISK, CRUMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
 - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
 - SYNTHETIC BINDERS - FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
 - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 90 LB./100 GAL. OF WOOD CELLULOSE FIBER.



- MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 1/4" TO 2".
- FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HIGHT 1/2" KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
- FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
- FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
- FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATE FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
- REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
- WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
- REMOVAL-FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AN NO OBSTRUCT SEEDINGS.

CFS COMPOST FILTER SOCK DETAIL
REFERENCE ONLY NOT TO SCALE

SPECIFICATIONS FOR SODDING

- MATERIALS
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
 - THE SOD SHALL BE KEPT MOIST AN COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
 - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.25 INCHES. AT THE TIME OF CUTTING MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION
- A SUBSOILER, FLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
 - THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
 - SOIL AMENDMENTS
 - LIME- AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/AC.
 - FERTILIZER- FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT. OR 300 LB./AC OF 18-10-10 OR 12-12-12 ANALYSIS.
 - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
 - BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLOUDS LARGER THAN 3-IN DIAMETER.
- SOD INSTALLATION
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
 - SOD SHALL NOT BE PLACED ON FROZEN SOIL.
 - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK-LIKE PATTERN. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD DRY THE ROOTS.
 - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
 - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 4 HOURS.
- MAINTENANCE
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4-6 INCHES.
 - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
 - THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.

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JAN DELL REDEVELOPMENT
SITE IMPROVEMENTS
19340 DETRIOT AVENUE ROCKY RIVER, OH

Issue Date
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03-07-2024
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03-28-2024

ABBREVIATED
SWP3
DETAILS

C110
Project No. 2023-326

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Autumn Brilliance Apple Serviceberry



Skyline Honey Locust



Northern Herald & Eastern Redbud



Ruby Spice Summersweet



Merlot Sweetspire



Hicks Yew Hedge



Kobold Blazing Star



Magrus Purple Coreflor



Blue Hill Salvia



Sedum x Autumn Joy

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Sheet Number :
1 of 1
Sheet Description :
Planting Plan
Date :
04-24-2024

Drawn By :
Checked By :

WXZ Arcus Beachcliff
Detroit Road
Rocky River, Ohio

SCHEDULE B SECTION II EXCEPTIONS -

PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040247 WITH AN EFFECTIVE DATE OF FEBRUARY 13, 2023

ITEMS 1 THROUGH 13 AND 16 THROUGH 19 NOT SURVEY RELATED

14. Dedication of Parsons Court, filed for record June 29, 1925 in Volume 86 of Maps, page 27, of the Cuyahoga County Records.
Note: Shown for informational purposes only (PLAT DETAILS SHOWN HEREON)

15. Jane Lewis Subdivision Plot, filed for record August 31, 1976 in Volume 218, page 29, of the Cuyahoga County Records.
Note: Shown for informational purposes only (PLAT DETAILS SHOWN HEREON)

LEGAL DESCRIPTION -

PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040247 WITH AN EFFECTIVE DATE OF FEBRUARY 13, 2023

For APN/Parcel ID(s): 301-18-083

Situated in the City of Rocky River, County of Cuyahoga, and State of Ohio:

And known as being part of Original Rockport Township Section No. 24, and bounded and described as follows:

Beginning on the Northwestern line of Detroit Road (60 feet wide) at its intersection with the Southwesterly line of land conveyed to James W. Williams by deed dated January 24, 1881 and recorded in Volume 508, page 286 of Cuyahoga County Records;

Thence Northwesterly along the Northwestern line of Detroit Road 75.90 feet to the most Southern corner of land conveyed to Lucius Dean by deed dated September 14, 1898 and recorded in Volume 696, Page 134 of Cuyahoga County Records;

Thence Northwesterly along the Southwesterly line of land so conveyed, 185.82 feet to a Southeastly line of land conveyed to Helen Walton by deed dated June 14, 1904 and recorded in Volume 936, Page 244 of Cuyahoga County Records;

Thence Southwesterly along a Southeastly line of land so conveyed, 76.21 feet to the Southwesterly line of land conveyed to James W. Williams as aforesaid;

Thence Southeastly along the Southwesterly line of land so conveyed, about 13.43 feet to the most Easterly corner of land conveyed to E.R. Taylor by deed dated December 28, 1942 and recorded in Volume 5812, Page 98 of Cuyahoga County Records;

Thence Southwesterly along the Southeastly line of land so conveyed, about 82 feet to the Northwesterly line of Parsons Court;

Thence Southeastly along the Northwesterly line of Parsons Court, 34.05 feet to the Northwesterly corner of land conveyed to Joseph B. Haworth and Betty Haworth by deed dated January 13, 1950 and recorded in Volume 9794, Page 333 of Cuyahoga County Records;

Thence Northwesterly along the Northwesterly line of land so conveyed, 51.5 feet to the most Northerly corner thereof;

Thence Southeastly along the Northwesterly line of land so conveyed, 0.30 feet to the Southeastly line of land conveyed to Jane Lewis by deed dated October 22, 1949 and recorded in Volume 6855, Page 524 of Cuyahoga County Records;

Thence Northwesterly along the Southeastly line of land so conveyed, about 30.5 feet to the Southwesterly line of land conveyed to James W. Williams as aforesaid;

Thence Southeastly along the Southwesterly line of land so conveyed, 160.29 feet to the place of beginning, be the same more or less, but subject to all legal highways;

Note: The above described land is also known as Lot 1 (17,560 square feet or 0.403 acres of land) as set forth in the Jane Lewis Subdivision, filed for record August 31, 1976 in Volume 218 of Maps, page 29, of the Cuyahoga County Records.

PPN: 301-18-083 (including 301-18-035)

LEGAL DESCRIPTION -

PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE FILE NO. 2337040817 WITH AN EFFECTIVE DATE OF JUNE 12, 2023.

For APN/Parcel ID(s): 301-18-038

Situated in the City of Rocky River, County of Cuyahoga, and State of Ohio:

And known as being part of Original Rockport Township Section No. 24, and bounded and described as follows:

Beginning at the intersection of the Northwesterly line of Detroit Road, 60 feet wide, with the Northwesterly line of Parsons Court, as dedicated by plat, recorded in Volume 86 of Maps, page 27, of the Cuyahoga County Records;

Thence Northwesterly, along the Northwesterly line of Parsons Court, 117.80 feet to the most Southern corner of land conveyed to The Dairyens Ohio Farmers Milk Company by deed dated November 27, 1942, and recorded in Volume 5461, page 190, of the Cuyahoga County Records;

Thence Northwesterly, along the Southeastly line of land so conveyed to The Dairyens Ohio Farmers Milk Company, 81.98 feet to a point in the Southwesterly line of land conveyed to Anna M. Robertson by deed dated February 14, 1920 and recorded in Volume 2382, page 44, of the Cuyahoga County Records;

Thence Southeastly, along the Southwesterly line of land so conveyed to Anna M. Robertson, 95.89 feet to the Northwesterly line of Detroit Road;

Thence Southwesterly, along the Northwesterly line of Detroit Road, 84.02 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Records.

SURVEYOR'S CERTIFICATION

- CHICAGO TITLE INSURANCE COMPANY
- WZ ACQUISITION CO., LLC
- JRW/RR, LLC
- FIRST FEDERAL SAVINGS & LOAN ASSOCIATION OF LAKEWOOD

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)-(1), 7(C), 8, 9, 11(A), 13, 14 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 16, 2023.

ANTHONY L. MAIONE, P.S.
PROFESSIONAL LAND SURVEYOR
OH LIC. No. 8544



ZONING

AS PER THE CITY OF ROCKY RIVER ZONING MAP EFFECTIVE 04/27/2017, THE SUBJECT PARCEL PIN: 301-18-83 IS ZONED OB-2, OFFICE BUILDING AND THE SUBJECT PARCEL PIN: 301-18-38 IS ZONED OB, GENERAL BUSINESS. NO ZONING INFORMATION PROVIDED BY THE INSURER. FOR MORE INFORMATION SEE THE CODIFIED ORDINANCES OF ROCKY RIVER, OHIO.

FLOOD CERTIFICATION

AS PER THE NATIONAL FLOOD INSURANCE PROGRAM (FIRM) MAP TITLED "CUYAHOGA COUNTY, OHIO AND INCORPORATED AREAS, PANEL 152 OF 275, MAP NUMBER 39035C01507," WITH AN EFFECTIVE DATE OF AUGUST 15, 2019, THE SUBJECT PARCEL IS LOCATED IN ZONE X (NOT SHADED), AREA OF MINIMAL FLOOD HAZARD.

PARKING

- GARAGE SPACES
- UNMARKED PARKING SPACES
- HANDICAP PARKING SPACES
- TOTAL PARKING SPACES

| Date | Description | No. |
|------|-------------|-----|
| | Revisions | |

LANGAN
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Environmental Services, Inc.

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Cleveland, OH 44131

T 216.328.3300 F 216.328.3301 www.langan.com

Project

**19340 DETROIT RD
SURVEY**

PIN: 301-18-83 & 301-18-38
ROCKY RIVER

CUYAHOGA COUNTY

Drawing Title

**ALTA/NSPS LAND
TITLE SURVEY**

OHIO

Project No.

40011801

Date

AUGUST 11, 2023

Drawn By

BLR

Checked By

ALM

VL101

Sheet 1 of 1

BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN MAY, 2023.

DATUM

VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS OBSERVATIONS ON 05/15/2023

BENCHMARK

BM #1 - MAG NAIL, ELEV=662.65
BM #2 - MAG NAIL, ELEV=675.16
BM #3 - MAG NAIL, ELEV=674.55

UTILITY INFORMATION

DESIGN TICKET: A313202527



LEGEND (NOT SHOWN TO SCALE)

| | | |
|-------------------------------------|---------|--|
| MONUMENTATION FOUND (TYPE AS NOTED) | REC. | DEED OF RECORD |
| SET 5" x 30" STEEL PIN | AC. | ACRES |
| WITH CAP "LANGAN" | CALC. | CALCULATED |
| SET DRILL HOLE | OBS. | OBSERVED |
| HYDRANT | SQ. FT. | SQUARE FEET |
| STAND PIPE | CSR. | CITY SURVEY RECORD |
| ROOF DRAIN | AFN. | AUDITOR'S FILE NUMBER |
| BOLLARD | PN. | PARCEL NUMBER |
| STREET LIGHT | VOL. | DEED VOLUME |
| AREA LIGHT | PG. | PAGE |
| SIGNAL POLE | LSA. | LANDSCAPE AREA |
| POWER POLE | CP. | CONCRETE PAD |
| GUY WIRE | CC. | CONCRETE CURB |
| MANHOLE (TYPE AS LABELED) | EP. | EDGE OF PAVEMENT |
| WATER VALVE | | FENCE (TYPE AS NOTED) |
| GAS VALVE | | SUBJECT PROPERTY LINE |
| UNKNOWN VALVE | | ADJOINING PROPERTY LINE |
| CATCH BASIN | | EASEMENT LINE |
| CLEAN OUT | | TREE LINE |
| SIGN | | GUIDE RAIL (TYPE AS NOTED) |
| BOLLARD | | STEAM LINE |
| ELECTRIC BOX | | OVERHEAD WIRE |
| ELECTRIC METER | | COMBINED SEWER LINE |
| GAS METER | | GAS LINE |
| WATER METER | | WATER LINE |
| TELEPHONE BOX | | ELECTRIC LINE |
| TRAFFIC SIGNAL POLE | | COMMUNICATION LINE |
| DOOR | | SANITARY LINE |
| DOUBLE DOOR | | DRAINAGE LINE |
| GARAGE DOOR | | REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING |

NOTES

- THIS PLAN WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 2337040247, COMMITMENT DATE: FEBRUARY 13, 2023.
- THIS PLAN WAS PREPARED WITH THE RESPECT TO THE FOLLOWING REFERENCES:
A. PLAT FOR THE JANE LEWIS SUBDIVISION, RECORDED AUGUST 31, 1976 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS VOLUME 218, PAGE 29
B. PLAT FOR THE PARSONS COURT SUBDIVISION, RECORDED JUNE 29, 1925 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS VOLUME 86 OF MAPS, PAGE 27
C. PLAT OF LOT SPLIT AND CONSOLIDATION FOR BEACHCLIFF PROPERTIES LIMITED PARTNERSHIP, RECORDED SEPTEMBER 22, 2005 IN THE CUYAHOGA COUNTY RECORDER OF DEEDS AS DOCUMENT NO. 200509221126
- MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN MAY, 2023.
- VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES FIELD WORK COMPLETED DURING THE MONTH OF MAY 2023.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
- PROPERTY ADDRESS: 19340 DETROIT ROAD, ROCKY RIVER, OH 44116.
- SUBJECT PARCEL PIN: 301-18-83 HAS DIRECT ACCESS TO PARSONS COURT AND SUBJECT PARCEL PIN: 301-18-38 HAS DIRECT ACCESS TO PARSONS COURT AND DETROIT ROAD.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.