

New Gas Dock Building

Cleveland Yachting Club

200 Yacht Club Dr.

Rocky River, Ohio 44116



ARCHITECT

Perspectus Architecture
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Cleveland, OH 44114
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Contact: Jim Wallis

CIVIL ENGINEER

Steven Hovansek & Associates, Inc.
Two Merit Drive
Richmond Heights, Ohio 44143
Phone: (216) 731-6255
Contact: Tom Cappello

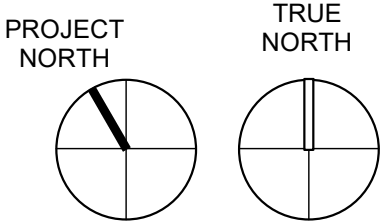
STRUCTURAL ENGINEER

Barber & Hoffman Inc.
2217 East 9th Street, Suite 350
Cleveland, Ohio 44115
Phone: (216) 875-0100
Contact: Brad Boomer

MEPT ENGINEER

Karpinski Engineering
3135 Euclid Avenue
Cleveland, Ohio 44115
Phone: (216) 391-3700
Contact: Matt Priebe

LOCATION PLAN



Planning Commission

GENERAL

G-000 COVER SHEET

CIVIL

C-101 EXISTING SITE AND DEMO PLAN
C-201 SITE PLAN
C-301 GRADING PLAN
C-501 MISCELLANEOUS DETAILS

LANDSCAPE

L-100 PLANTING PLAN

ARCHITECTURAL

A-010 ARCHITECTURAL SITE & OVERALL ISLAND PLAN
A-101 DEMOLITION PLAN
A-111 FLOOR PLAN & REFLECTED CEILING PLAN
A-113 ROOF PLAN
A-201 EXTERIOR ELEVATIONS
A-311 WALL SECTIONS

CODE INFORMATION

Description:	Project scope includes, but shall not limited to, the removal of existing 354sf Gas Dock Building and the construction of a new Gas Dock Building to provide an attendant work area, merchandise sales area, walk-in cooler and building support areas. Also included is the removal and replacement of the existing tank enclosure fence, an exterior work area and new landscape buffer.
Occupancy Classification:	Use Group M
Type of Construction:	Type VB
Allowable Area:	9,000sf
Project Area:	938sf
Allowable Height:	40' Non-sprinklered
Actual Height:	16'
Maximum Occupant Load:	Total Occupant load = 13 occupants

25-031

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ISSUE	DATE
Planning Commission	05-06-2025
Design Development	05-27-2025
Planning Commission	06-03-2025

FOR REVIEW ONLY (06/03/2025)

C:\2025\25-208 CLEVELAND YACHT CLUB GAS DOCK\dwg Set\25-208 SITE PLAN.dwg 6/3/2025 10:27:23 AM

G:\2025\25-208 CLEVELAND YACHT CLUB GAS DOCK\25-208 GRADING PLAN.dwg 6/3/2025 10:27:42 AM

PROPOSED ASPHALT PAVEMENT

PROP. 4" CONCRETE SIDEWALK

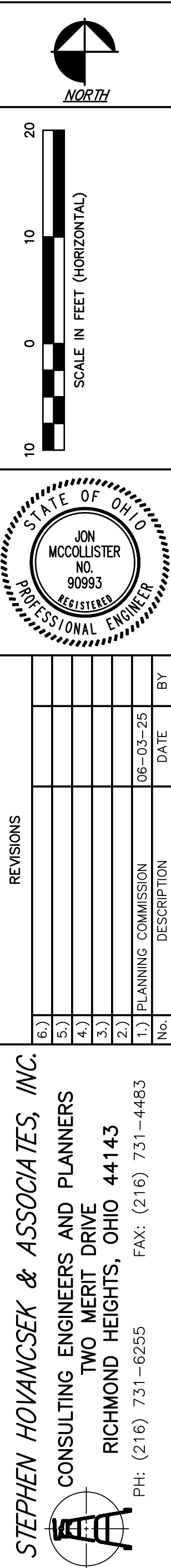
PROP. 6" CONCRETE CROSSWALK

PROP. BRICK PAVERS

PROP. BOAT CLEANING STATION

PROP. ADA LANDING

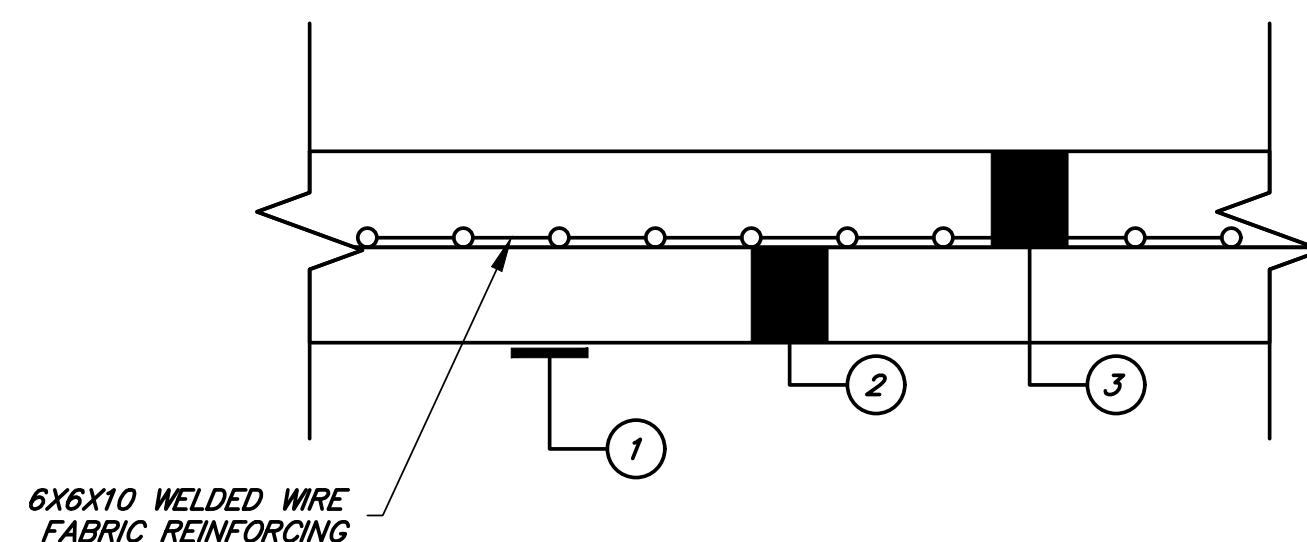
PROP. LANDSCAPING AREA



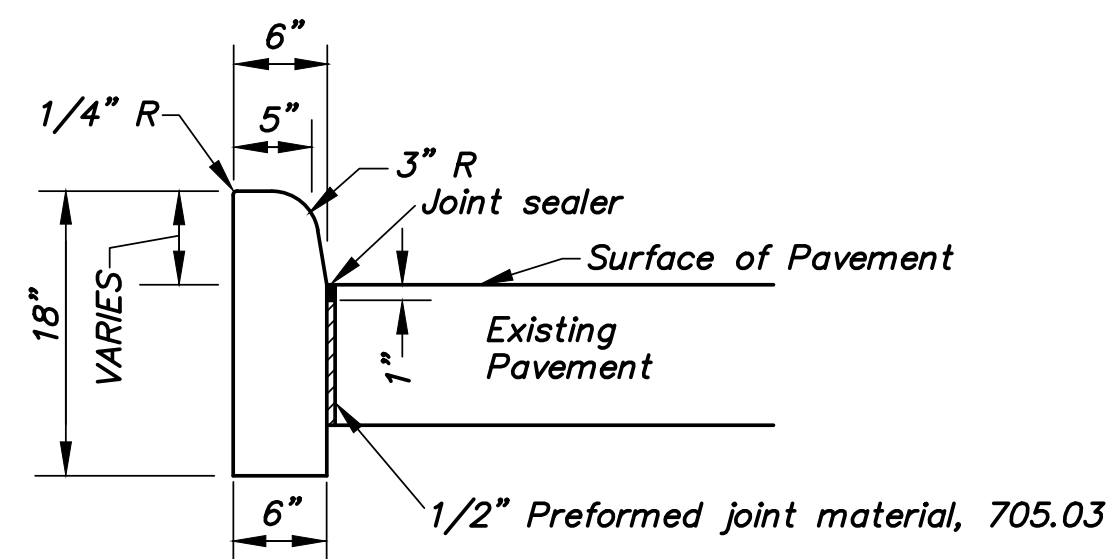
ROCKY RIVER, OHIO
CLEVELAND YACHT CLUB
GAS DOCK IMPROVEMENTS
UTILITY PLAN

JUNE, 2025
25-208
C-401

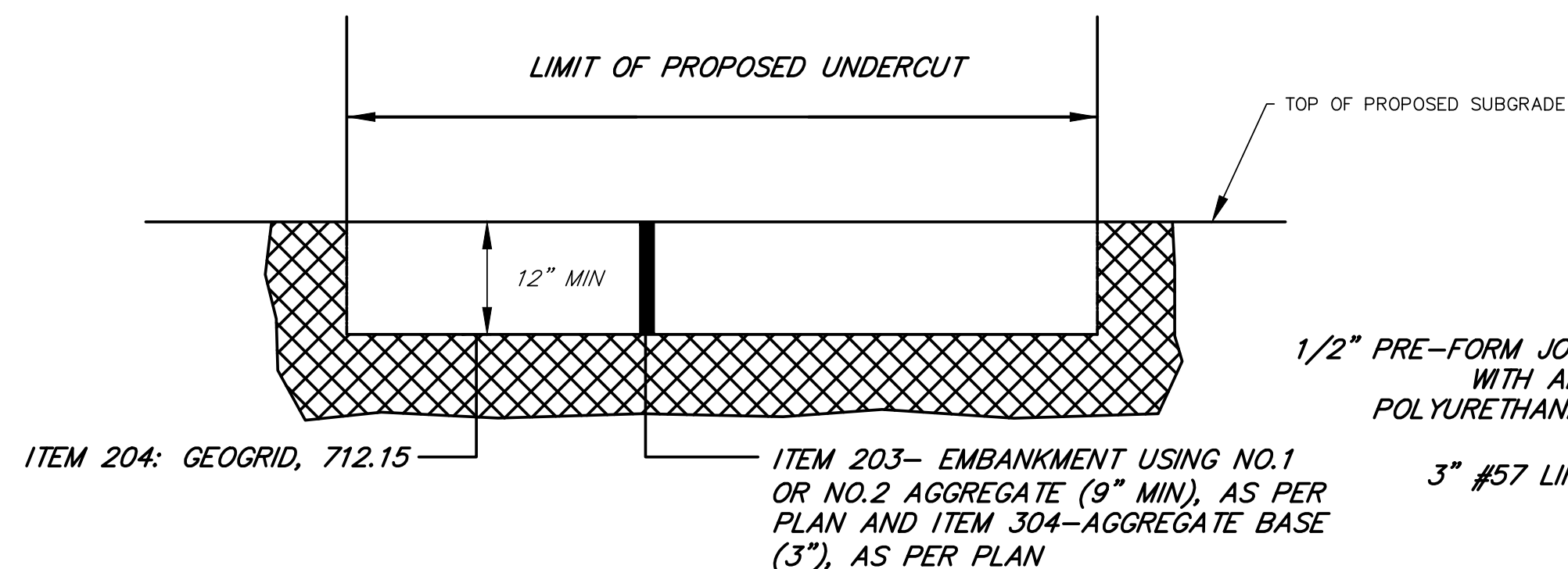
FOR REVIEW ONLY (06/03/2025)



CONCRETE CROSSWALK TYPICAL SECTION
NOT TO SCALE



TYPE 6 CURB
SCALE: NTS

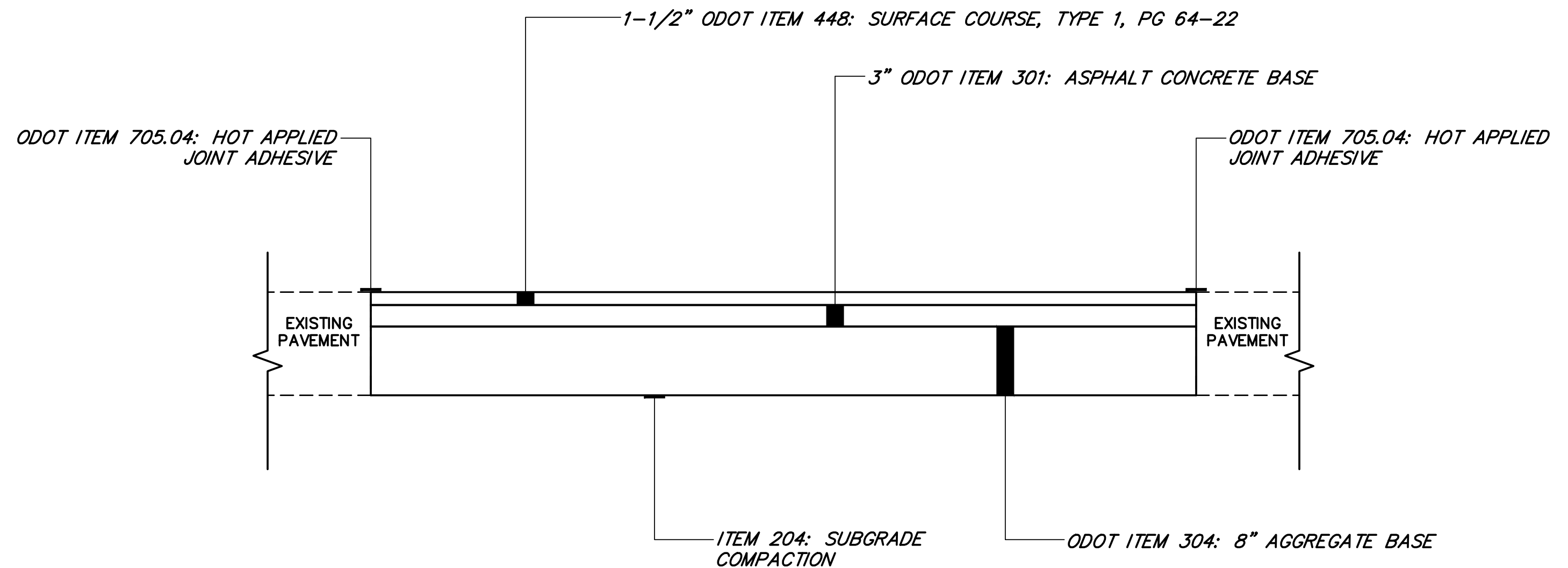


UNDERCUT AND PREMIUM BACKFILL DETAIL

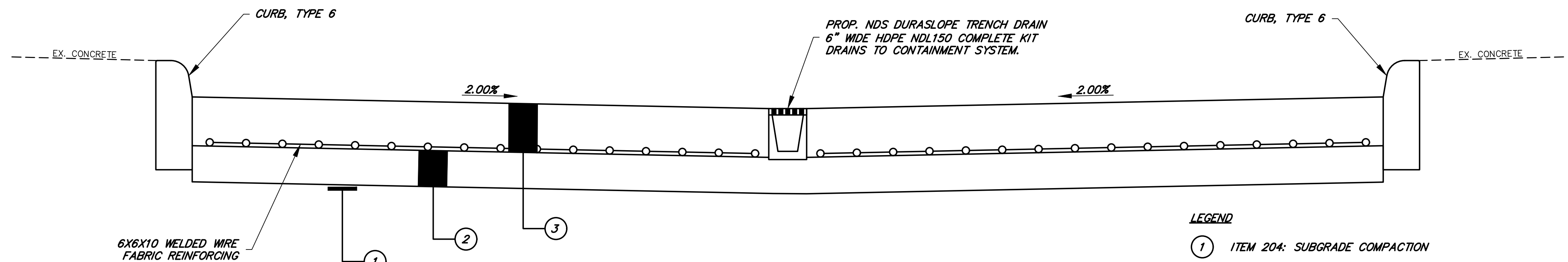
NOTE:
AREAS THAT DO NOT MEET SUBGRADE COMPACTION REQUIREMENTS
SHALL BE UNDERCUT TO ACCEPTABLE SUBGRADE AND BACKFILLED
PER DETAIL (IF REQUIRED AND DIRECTED BY THE ENGINEER)

- LEGEND
- (1) ITEM 204: SUBGRADE COMPACTION
- (2) ITEM 304: 6" AGGREGATE BASE
(#57 LIMESTONE)
- (3) ITEM 608: 4" CONCRETE WALK, AS PER PLAN

- LEGEND**
- (1) ITEM 204: SUBGRADE COMPACTION
- (2) ITEM 304: 6" AGGREGATE BASE
(#57 LIMESTONE)
- (3) ITEM 608: 6" CONCRETE WALK, AS PER PLAN

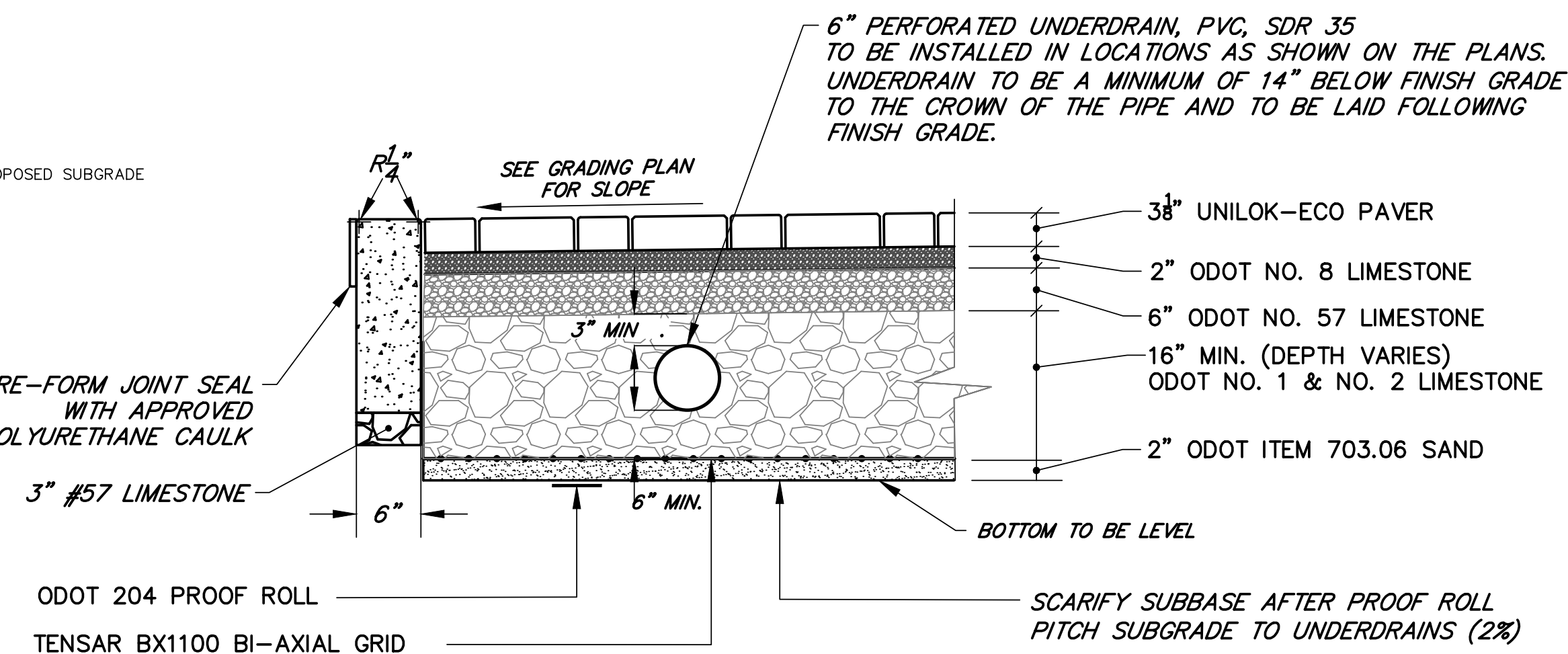


ASPHALT PAVEMENT TYPICAL SECTION
NOT TO SCALE



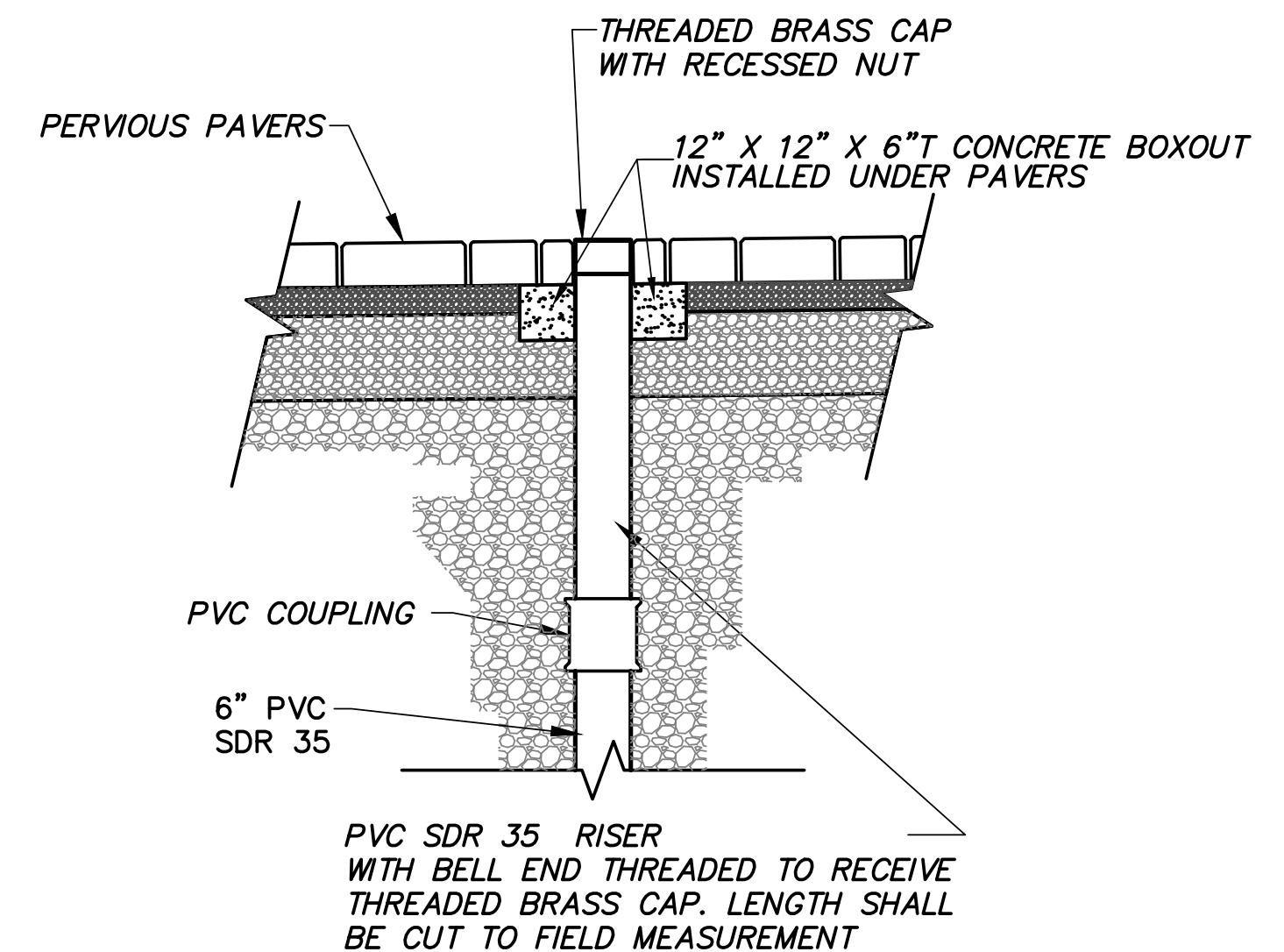
CONCRETE BOAT CLEANING STATION TYPICAL SECTION

- LEGEND**
- ① ITEM 204: SUBGRADE COMPACTION
- ② ITEM 304: 6" AGGREGATE BASE
(#57 LIMESTONE)
- ③ ITEM 608: 8" CONCRETE WALK, AS PER PLAN



PERVIOUS PAVEMENT TYPICAL SECTION
WITH HEADER CURB

*AFTER THE COMPLETION OF THE PROOF ROLL
CONTRACTOR SHALL SCARIFY THE SUBGRADE USING
THE TEETH OF THE EXCAVATION BUCKET.*

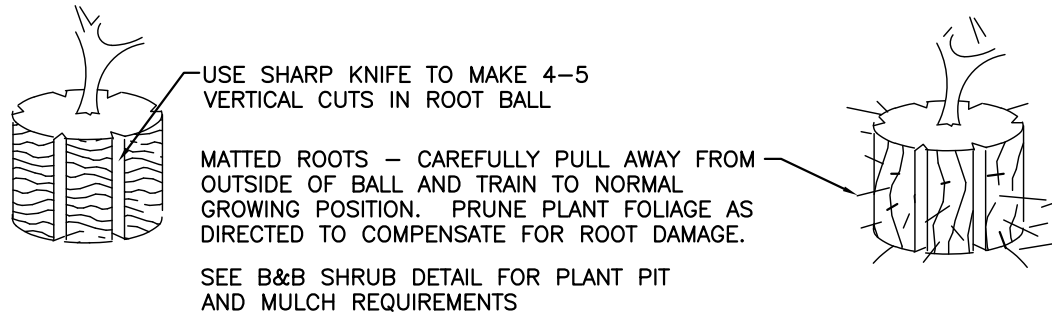
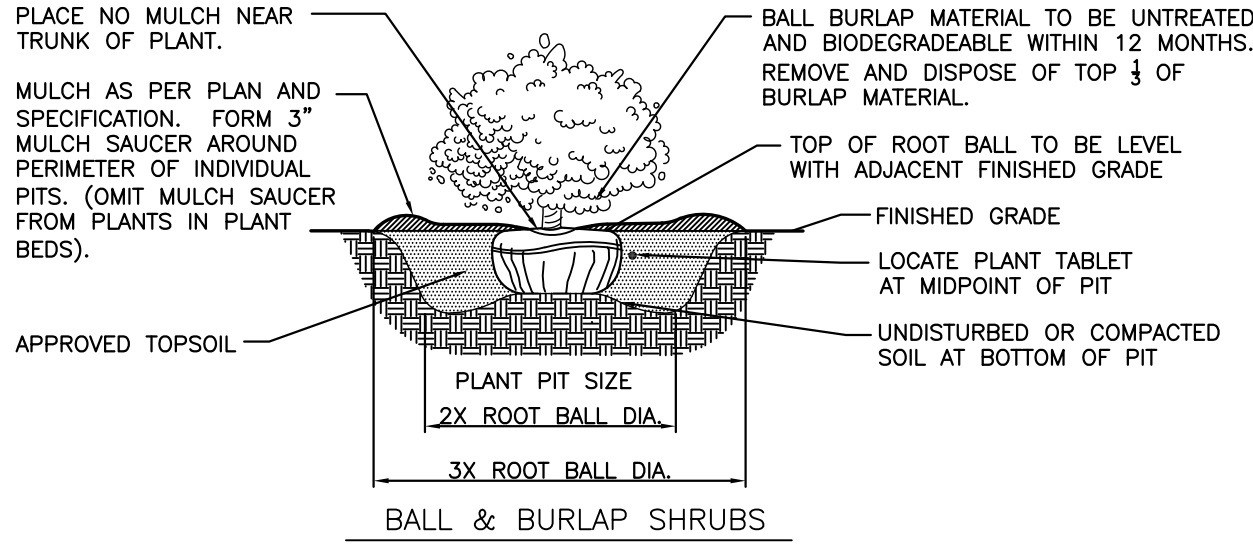


TEST TEE / MONITOR WELL
INSTALLED IN BRICK PAVER AREA

NOT TO SCALE
FOR REVIEW ONLY (06/03/2025)

PLANTING NOTES

1. TOPSOIL BACKFILL FOR SHRUBS SHALL BE WELL-MIXED WITH COARSE PEAT MATERIAL, 50% BY VOLUME AS APPROVED BEFORE PLANTING.
2. PLANT FERTILIZER - SHALL BE PLANT TABLETS (AGRIFORM 20-10-5 OR APPROVED EQUAL). USE (1) 21 TABLET FOR EACH 1' HEIGHT OR SPREAD OF SHRUB SIZE.
3. ALL PLANTS TO CONFORM TO ANSI Z 60.1 (LATEST EDITION).



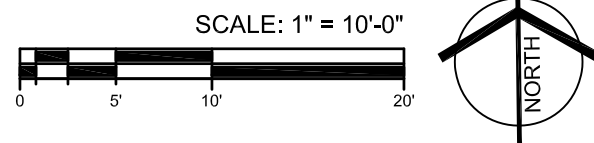
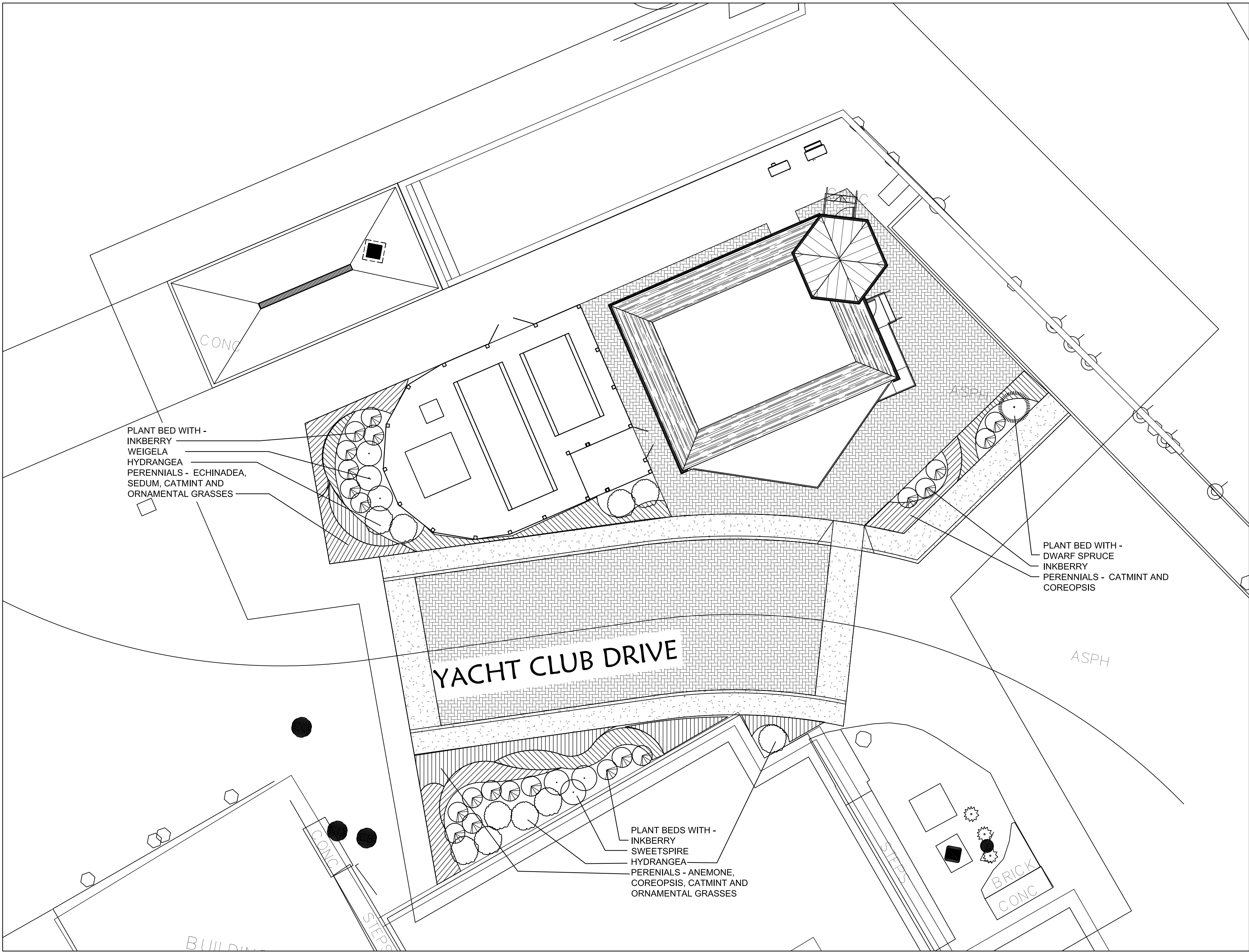
CONTAINER GROWN PLANTS

PLANTING DETAILS

SCALE: NOT TO SCALE

NOTE -

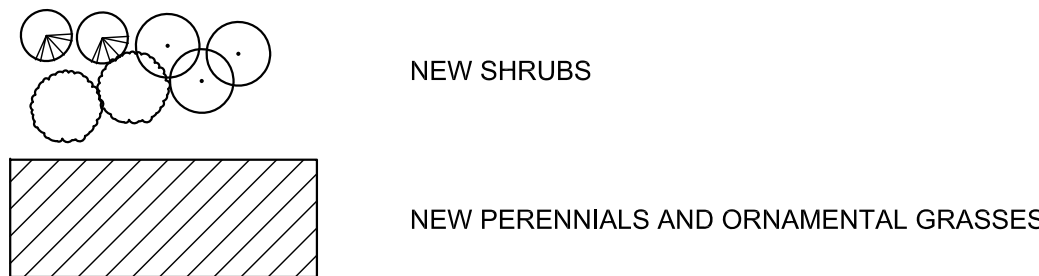
1. DATA NOT SHOWN -
FOR ALL PERTINENT DATA NOT SHOWN, SEE APPLICABLE CONTRACT DOCUMENTS.
2. MEASUREMENTS -
CONTRACTOR SHALL VERIFY ALL MEASUREMENTS IN THE FIELD. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCY UNCOVERED IN THE FIELD, IMMEDIATELY, TO DETERMINE ANY MODIFICATIONS REQUIRED.
3. EXISTING UTILITIES -
THE EXISTING UTILITY DATA SHOWN IS FOR REFERENCE INFORMATION ONLY AND DOES NOT SHOW ALL EXISTING UTILITY DATA OR NEW UTILITIES. SEE SURVEY AND UTILITY PLANS.
4. TOPSOIL -
ALL SHRUB BEDS SHALL RECEIVE A MIN. OF 12" OF APPROVED TOPSOIL.



PRELIMINARY PLANT LIST

SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTED SIZE	MATURE SIZE
SHRUBS				
CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	15" NO. 3 CONT.	3' HT. X 4' W.	
HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	15" NO. 3 CONT.	3-5' HT. X 3-5' W.	
HYDRANGEA PANICULATA 'BOBO'	HYDRANGEA BOBO	18" NO. 3 CONT.	3' HT. X 4' W.	
HYDRANGEA PANICULATA 'PINK DIAMOND'	PINK DIAMOND PANICLE HYDRANGEA	30" NO. 5 CONT.	6-8' HT. X 6-8' W.	
ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	15" NO. 3 CONT.	3-4' HT. X 4-5' W.	
PICEA ABIES 'NIDIFORMIS'	BIRDS' NEST SPRUCE	15" NO. 3 CONT.	3' HT. X 5' W.	
WEIGELA FLORIDA 'SPILLED WINE'	SPILLED WINE WEIGELA	15" NO. 3 CONT.	3' HT. X 4' W.	
ORNAMENTAL GRASSES				
HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS	CLUMP NO. 2 CONT.	14" HT.	
MISCHANTHUS SINENSIS 'PURPURASCENS'	FLAME MAIDEN GRASS	CLUMP NO. 2 CONT.	4' HT.	
PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	CLUMP NO. 2 CONT.	4' HT.	
PERENNIALS				
ANEMONE X HYBRIDA 'HONORINE JOBERT'	WHITE JAPANESE ANEMONE	CLUMP NO. 2 CONT.	36" HT.	
COREOPSIS V. 'ZAGREB'	ZAGREB COREOPSIS	CLUMP NO. 2 CONT.	24" HT.	
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	CLUMP NO. 2 CONT.	36" HT.	
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	CLUMP NO. 2 CONT.	24" HT.	
PEROVSKIA ASTRIPPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	CLUMP NO. 2 CONT.	24" HT.	
SEDUM SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	CLUMP NO. 2 CONT.	24" HT.	

LEGEND

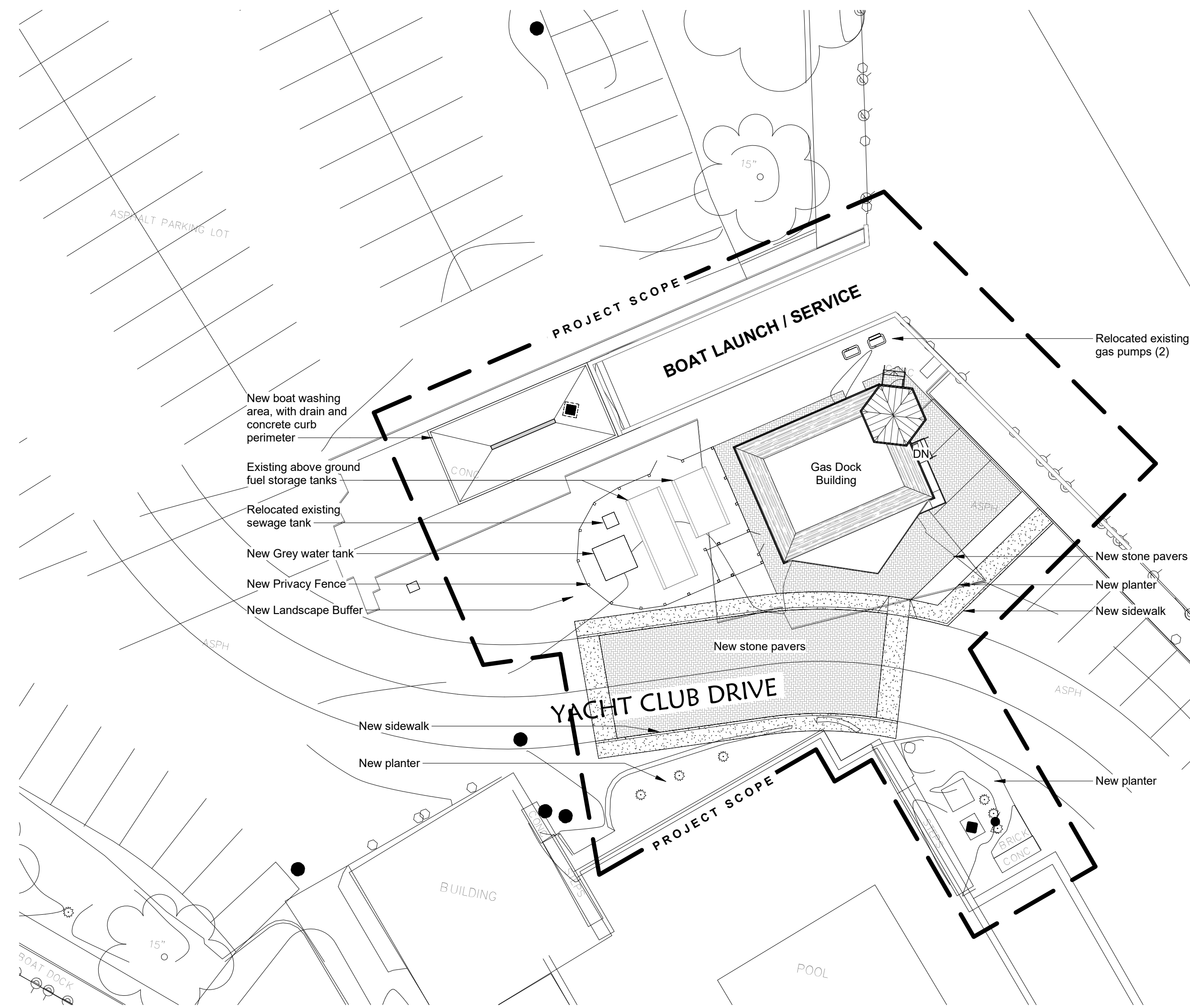


25-031

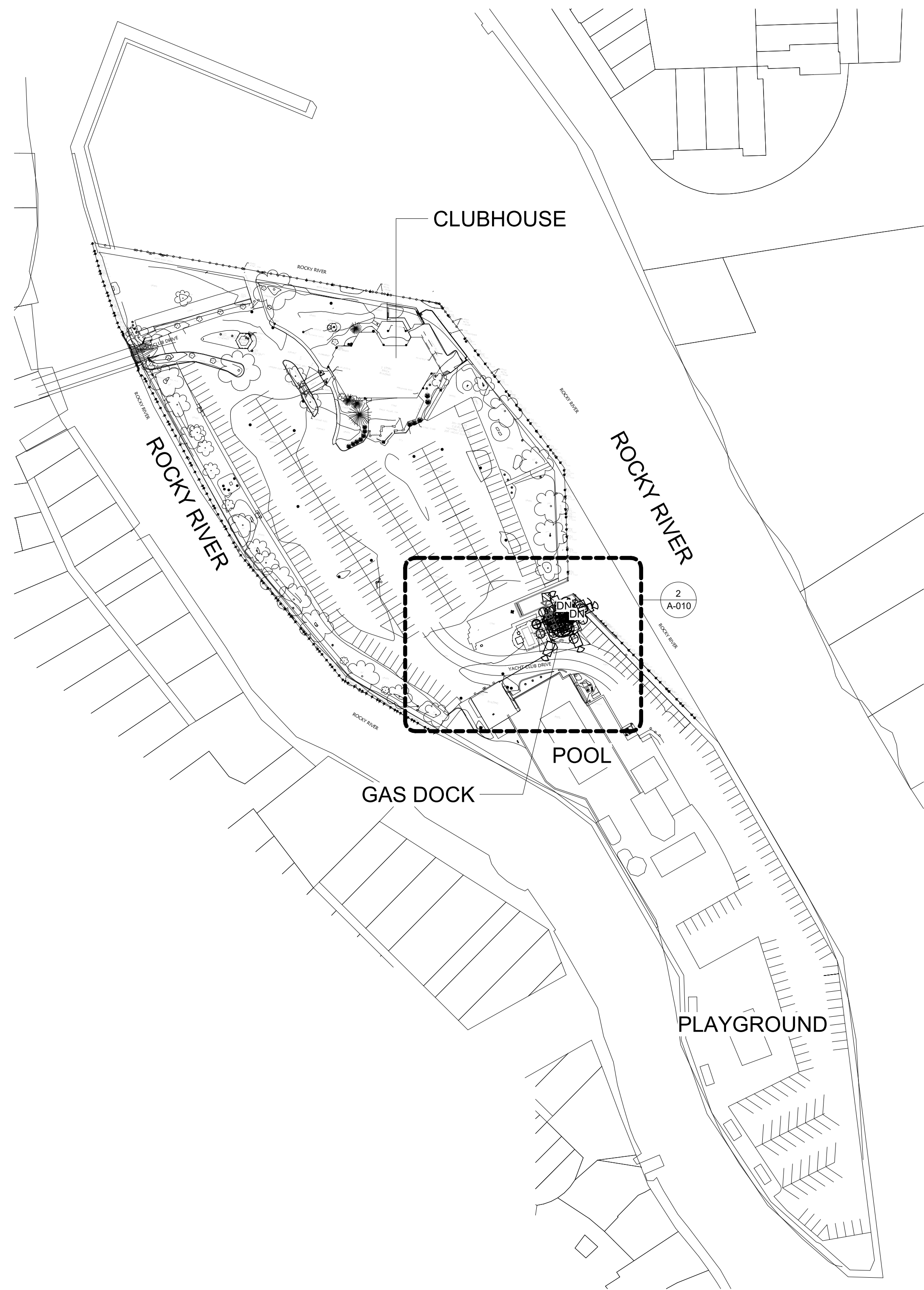
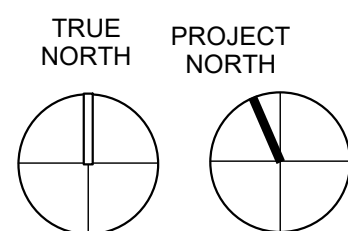
Gas Dock Improvements
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE
Planning Commission

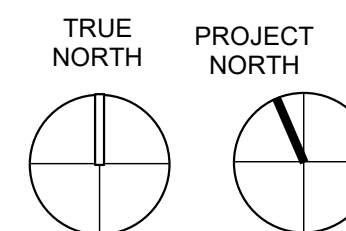
DATE
06-03-2025



2 ARCHITECTURAL SITE PLAN
A-010 Scale: 1" = 20'-0"

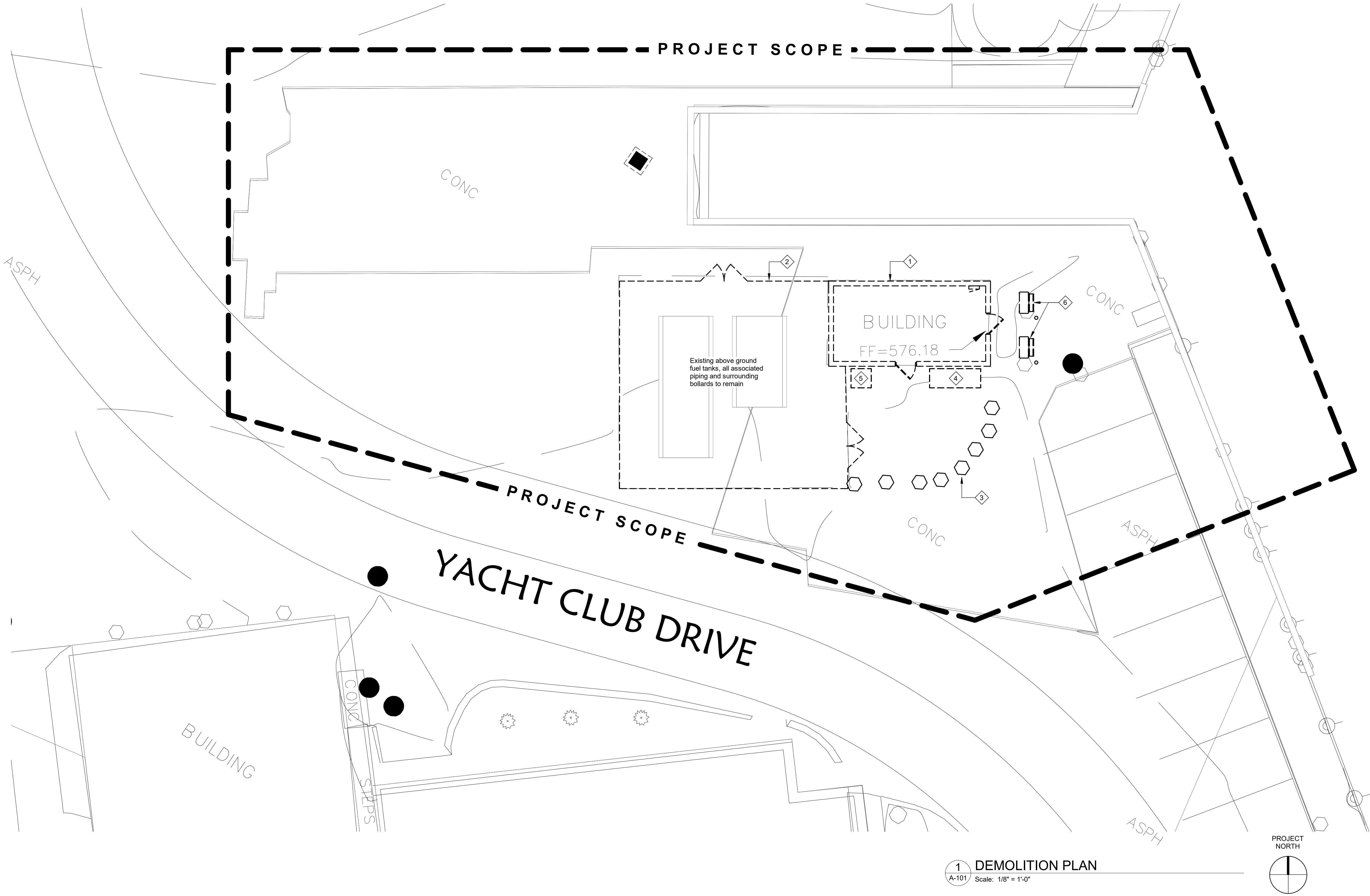


1 OVERALL ISLAND PLAN
A-010 Scale: 1" = 100'-0"



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CODED NOTES - DEMOLITION

- 1 Remove existing building in it's entirety. Salvage merchandising and TECH/AV equipment as directed by Owner.
- 2 Remove existing fence in it's entirety, salvage as directed by Owner
- 3 Remove existing concrete surface bollards, salvage as directed by Owner
- 4 Remove existing bag ice storage chest, salvage for relocation.
- 5 Remove existing soda dispenser, salvage for relocation.
- 6 Carefully remove existing fuel pumps, salvage for reinstallation, coordinate with Civil and MEP

GENERAL NOTES - DEMOLITION

- A Refer to specifications section 024119 - Selective Demolition for additional requirements and information.
- B Project Scope line is indicated for general intent only. Additional demolition will be req'd. outside of this line. Architectural demolition drawings are for schematic purposes. Contractor shall coord. all demolition with the entire set of contract documents for full scope of demolition work req'd for the project.
- C Exist. conditions shown on these drawings are not guaranteed to be complete. The contractor shall verify all exist. conditions, dimensions, and materials req'd for the contracted work. Report all discrepancies to architect prior to fabrication, erection, and/or installation.
- D Coord. all new penetrations and/or openings with other associated trades.
- E The Owner may select and tag items for demolition to be salvaged. The contractor shall remove selected items from the scope of work and deliver to the Owner's requested location within the exist. facility.
- F Contractor shall provide HEPA filtered negative air machine(s) to maintain negative pressure to scope of work area ensuring no dust will be transferred to occupied areas. Provide visual pressure monitoring device at dust proof barricade to confirm pressure.
- G The Facility's exist. smoke and fire suppression system shall remain in operation during the entire construction phase.
- H All demolition work being done outside of temporary partitions is to be appropriately sealed off to prevent the transmission of dust and debris and minimize disruption to visitors, residents, and staff. Coord. location of barriers with Owner.

GENERAL NOTES - DEMOLITION

- J Remove partitions indicated to the underside of the structure above.
- K Some items may be indicated in the demolition drawings and demolition notes which are not necessarily demolition work but are included to describe the overall scope of the project and to aid in the demolition coord. The contractor is responsible for all work required to complete the intended work of the overall project.
- L Flooring demolition includes the removal of exist. floor finishes, including vct., sheet vinyl, ceramic tile, quarry tile, carpet and other finishes, grouts, mastics, and setting beds complete to exist. conc. floor slab or other substrate ready for new floor finishes. Floor preparation shall be by the installing contractor.
- M Remove misc. items within limits of demolition. Coord with Owner any items to be salvaged.
- N Demolition of ceilings includes, grid, tile, supports, soffits, and related items as well as any ceiling mtd. elec. and mech. fixtures contained therein.
- O Plug abandoned floor openings with new conc. Plug shall match exist. slab depth and be structurally sound to carry floor load of 100 lbs./ sq. ft. unless noted otherwise.
- P All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/ patched. Match exist. fire rating unless noted otherwise.
- Q Where new doors are indicated, cut openings in exist. wall. Prepare openings for new door. Patch adj. walls to match exist. Provide lintels as req'd. for new openings.

LEGEND - DEMOLITION PLAN

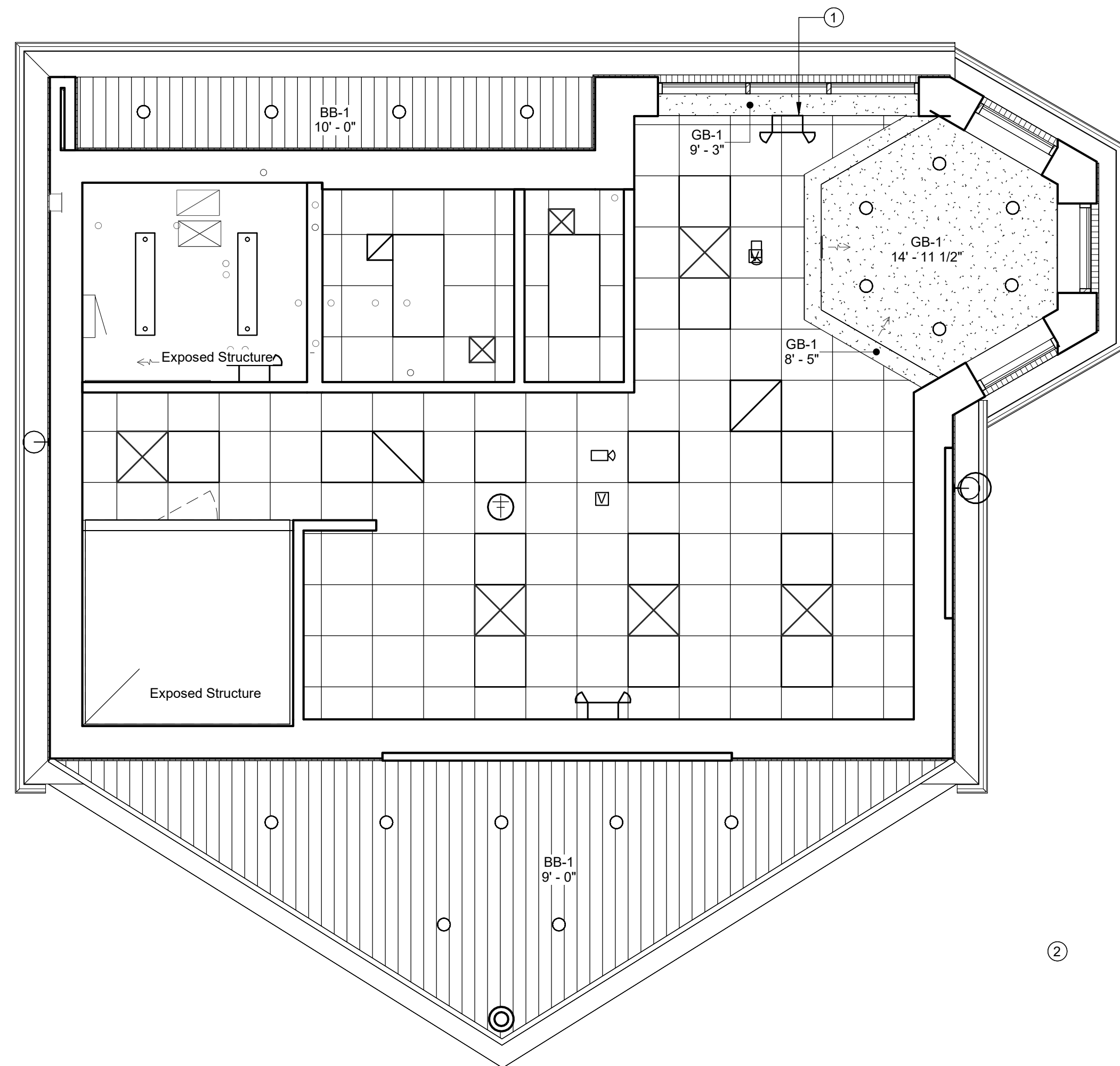
- Existing construction to remain
- Construction to be demolished

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DEMOLITION PLAN



REFLECTED CEILING PLAN LEGEND

	GB-1: Gypsum Board Ceiling or Soffit
	ACT-1: Acoustical Ceiling Panel w/ suspension system. Basis of Design: Size: 2' x 4' (5/8" thick) / Style: Grid: Basis of Design Prelude XL 15/16" white
	T&G Wood Plank
	Recessed can light fixture
	2x2 recessed light fixture
	2x4 recessed light fixture
	Supply Diffuser
	Return Diffuser
	Suspended light fixture
	Exit sign

2 GAS DOCK BLDG - REFLECTED CEILING PLAN

A-111 Scale: 1/4" = 1'-0"

GENERAL NOTES - REFL CLG PLAN

- All ceilings are 8'-6" AFF unless noted otherwise.
- Center and/or edge align all ceiling tiles, as indicated graphically, unless noted otherwise.
- Refer to electrical drawings for light fixture descriptions and all ceiling mounted electrical devices.
- Refer to mechanical drawings for diffuser descriptions and all ceiling mounted mechanical devices.
- Refer to technology drawings for identification and description of ceiling mounted technology equipment.
- CT = cut tile
- Ceiling height dimensions shown on rcp. and details are from finish floor to finish ceiling.
- Unless noted otherwise, light fixtures shall be located as shown on the reflected ceiling plans.
- Where light fixtures, devices and accessories are shown to be recessed in ceiling tiles, they shall be centered in the ceiling tiles unless noted otherwise.
- Provide access panels as required by applicable codes and as required for mechanical, electrical, and plumbing equipment. Access panels located in finished areas shall be painted to match adjacent surfaces. Locations shall be reviewed with the Architect prior to proceeding with the installation.
- All gypsum, board ceilings and soffits are to be painted.
- No mechanical equipment in the ceiling cavity requiring normal maintenance shall be installed above a gypsum, board ceiling. Notify architect if any such items are indicated above gypsum, board ceilings.
- Exit signs and smoke detectors located in hard ceilings shall be centered in corridors and located a distance of 1'-0" from wall to the center of the fixture unless noted otherwise. Locate exit signs as required by the authority having jurisdiction.
- Soffits and bulkheads shall be laterally braced to resist horizontal movement.

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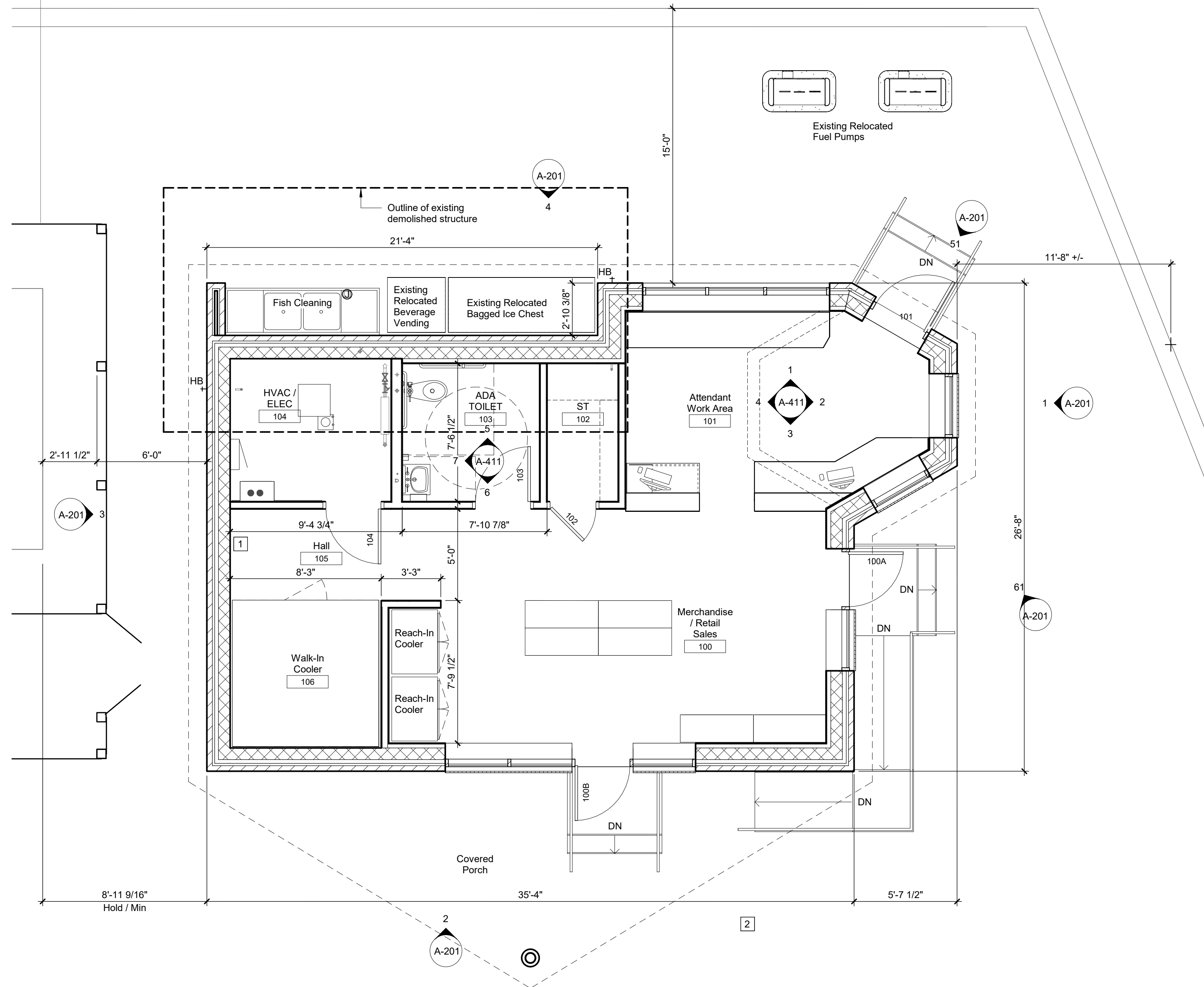
CODED NOTES - FLOOR PLAN

- Provide "Caution Step" signage at both sides of door, door stays locked, no public access.
-

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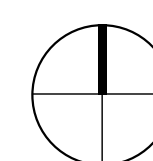
CODED NOTES - REFL CLG PLAN

- Provide metal edge trim to gypsum board above
-



1 GAS DOCK BLDG - FLOOR PLAN

A-111 Scale: 1/4" = 1'-0"

PROJECT
NORTH

GENERAL NOTES - FLOOR PLAN

- All partitions to be Type 'A1' unless noted otherwise. Refer to A6 series drawings for partition information.
- Contractor to verify all dimensions and conditions in the field prior to commencement of work. If drawings conflict with actual field conditions, contact Architect prior to proceeding with work.
- Refer to Life Safety Plans for rated wall locations.
- Dashed furniture and equipment items shown for reference only and is not part of the General Contract. These items will be provided and installed by Owner. Contractor may need to coordinate specific fixture and equipment requirements if noted.
- Provide concealed in-wall reinforcing/blocking for attachment of all millwork, casework, and/or accessories as required.
- All dimensions are to finish face of wall unless noted otherwise.
- Verify in field with designer final locations of all light switches, strobes, fire extinguisher cabinets, fire alarm pulls and other devices on walls.

LEGEND - FLOOR PLAN

	Existing construction to remain
	New construction

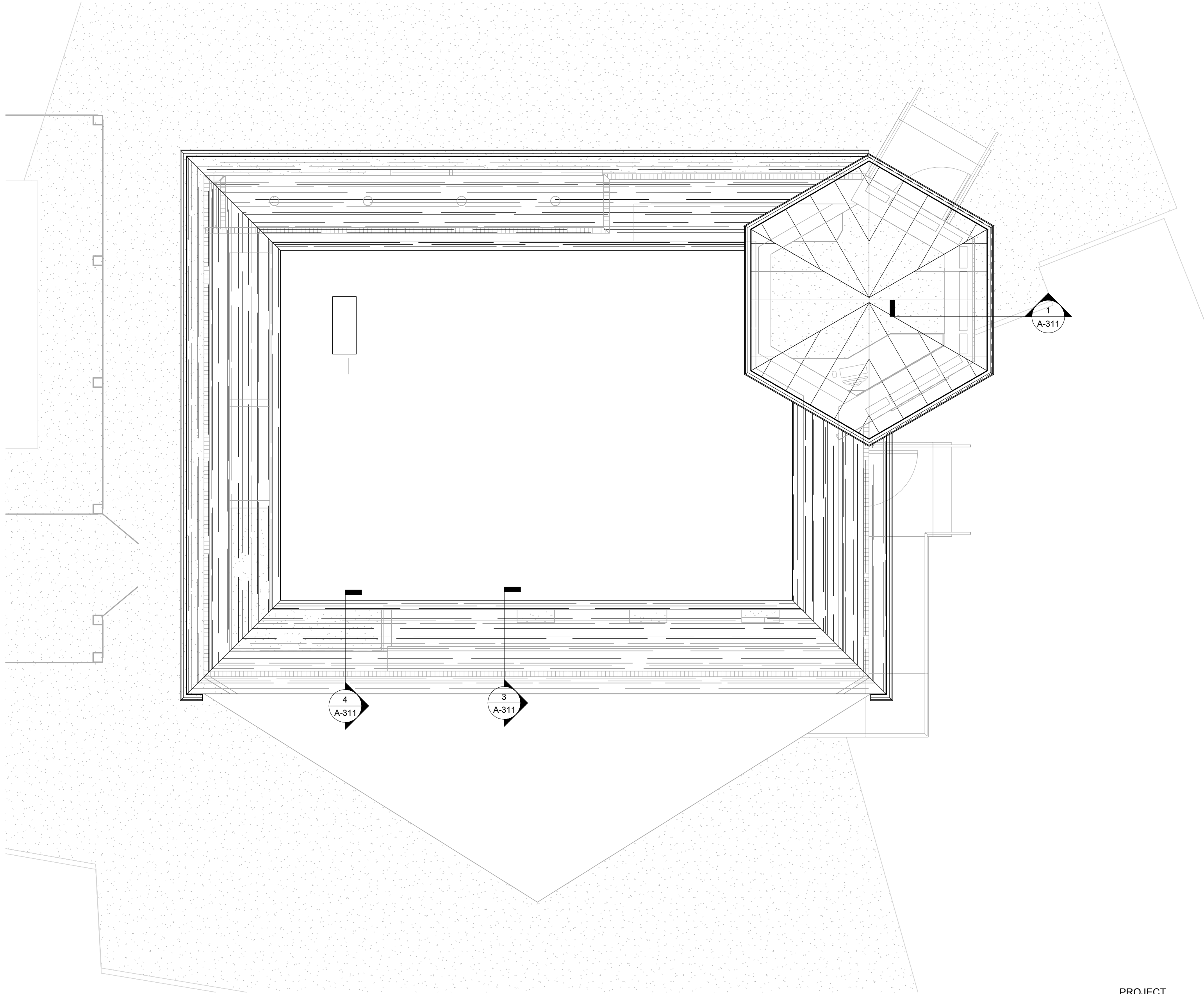
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FLOOR PLAN &
REFLECTED CEILING
PLAN

A-111



1 ROOF PLAN
A-113 Scale: 1/4" = 1'-0"

GENERAL NOTES - ROOF PLAN

A	Refer to Mechanical, Plumbing, and Electrical drawings for indication of openings and penetrations required in roof. Contractor shall coordinate final extend, number, and location of all penetrations and openings with Mechanical, Plumbing, and Electrical contractors
B	Unless labeled or noted otherwise, positive roof slope for drainage in "flat roof" area is achieved by the use of tapered insulation. Minimum roof slope is 1/4" per foot unless noted otherwise
C	Base Roof insulation four (4) inches unless noted otherwise. Add tapered insulation to base insulation to achieve proper drainage. Minimum tapered slope is 1/4" per foot unless noted otherwise
D	Coordinate installation of equipment curbs with MEP contractors
E	Provide roof insulation saddles at all supports, equipment, and penetrations to facilitate roof drainage
F	Tapered insulation to be at 30 degrees minimum

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CODED NOTES - EXTERIOR ELEVATIONS

- 1 Asphalt shingles, to match existing
- 2 Standing seam metal roof
- 3 Pre-finished aluminum storefront system with 1" insulated glass
- 4 Pre-finished aluminum gutter system

PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND - EXTERIOR ELEVATIONS

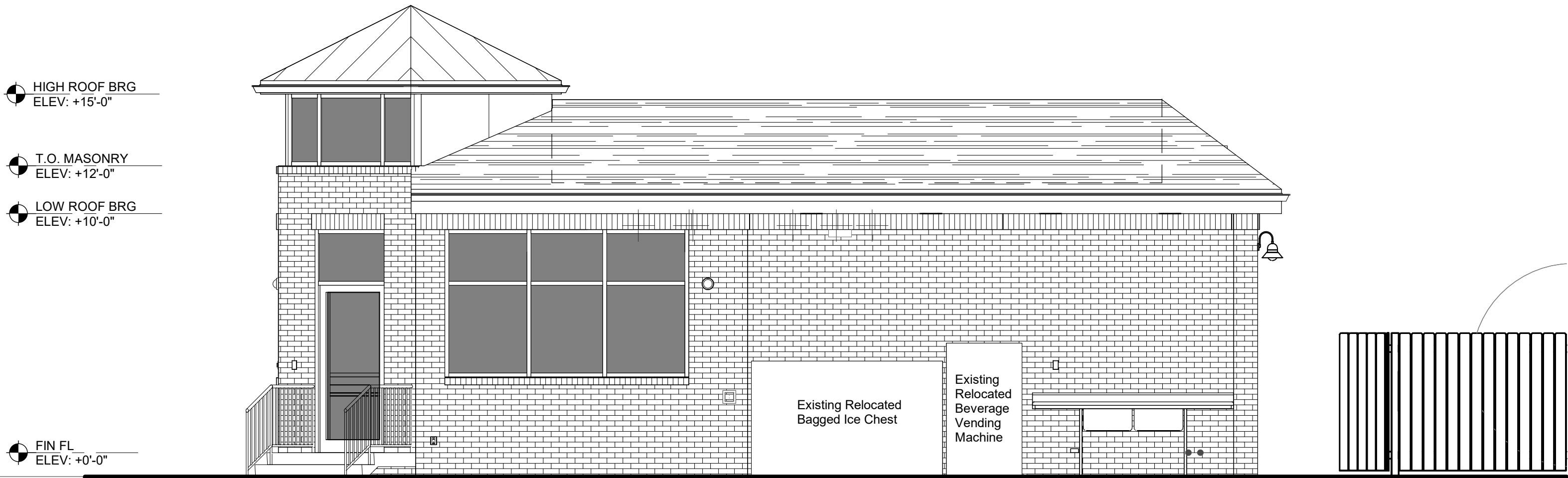
- Glazing
- Brick
- Metal



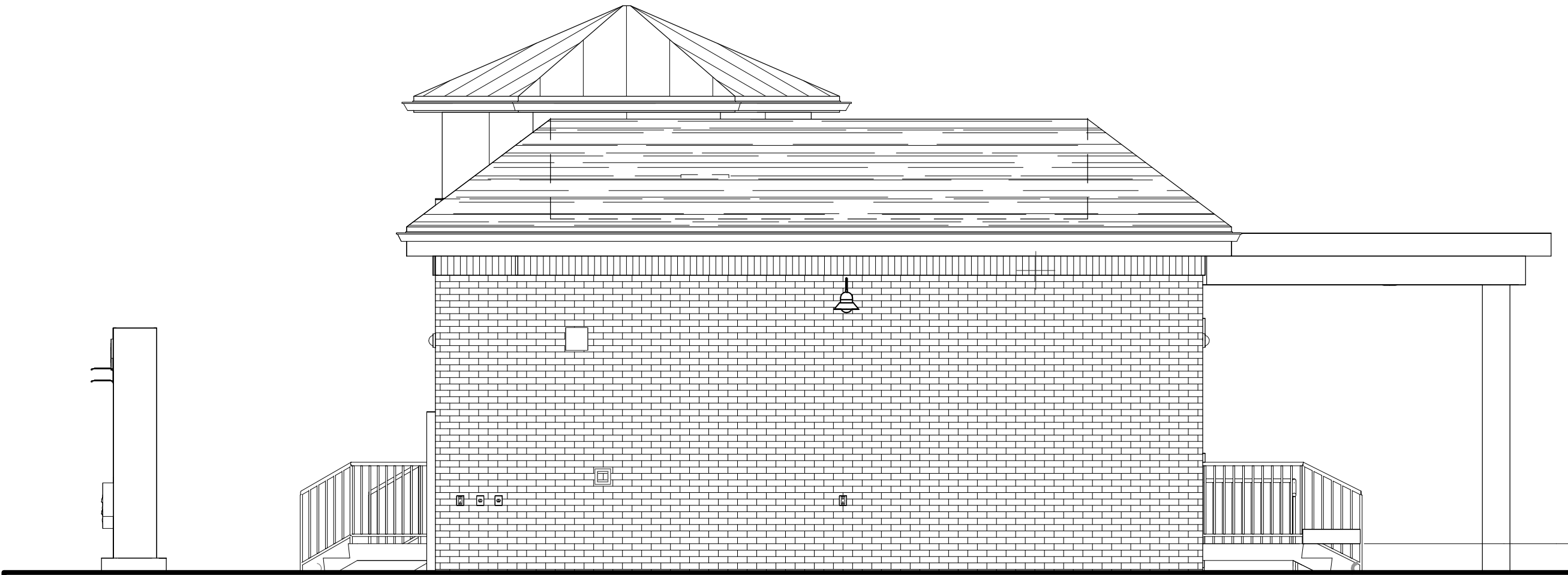
61 SOUTHEAST ELEVATION
A-201 Scale: 1/4" = 1'-0"



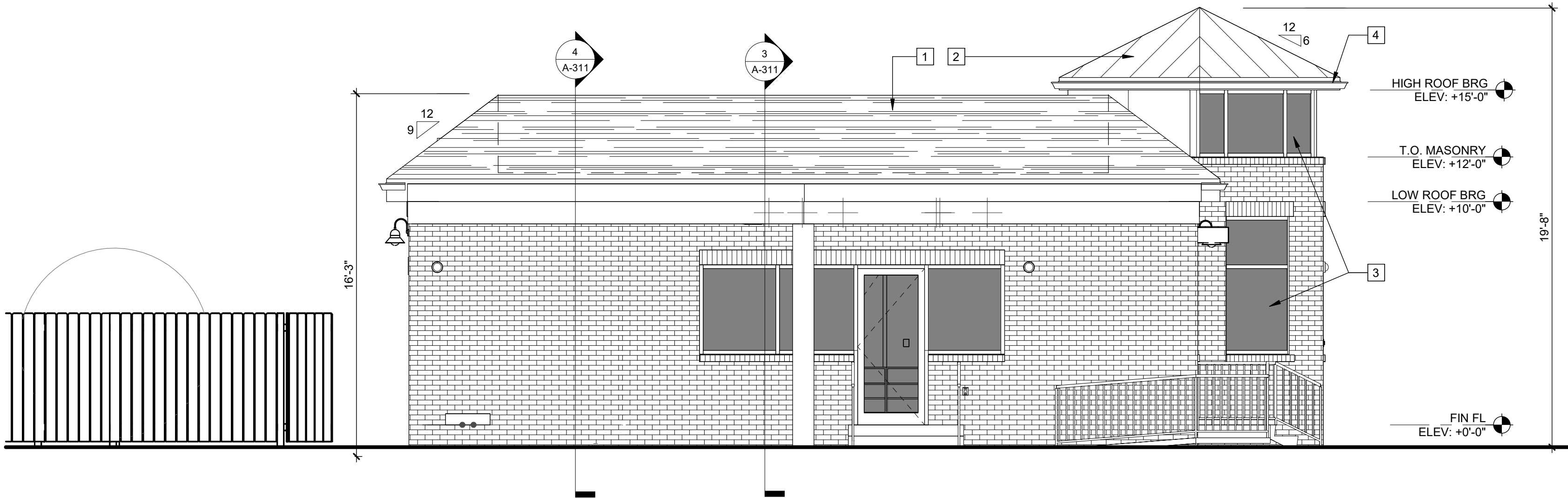
51 NORTHEAST ELEVATION
A-201 Scale: 1/4" = 1'-0"



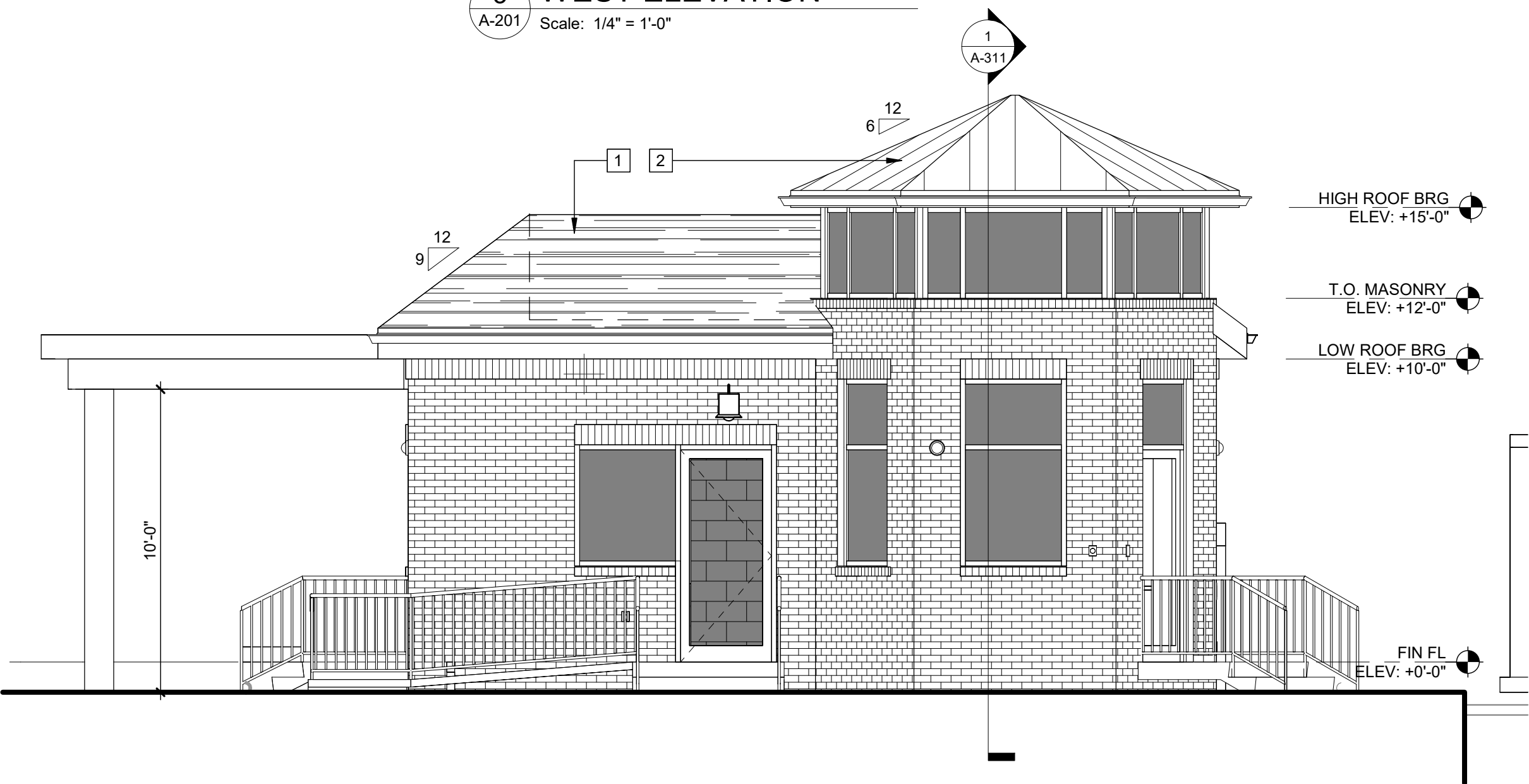
4 NORTH ELEVATION
A-201 Scale: 1/4" = 1'-0"



3 WEST ELEVATION
A-201 Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
A-201 Scale: 1/4" = 1'-0"

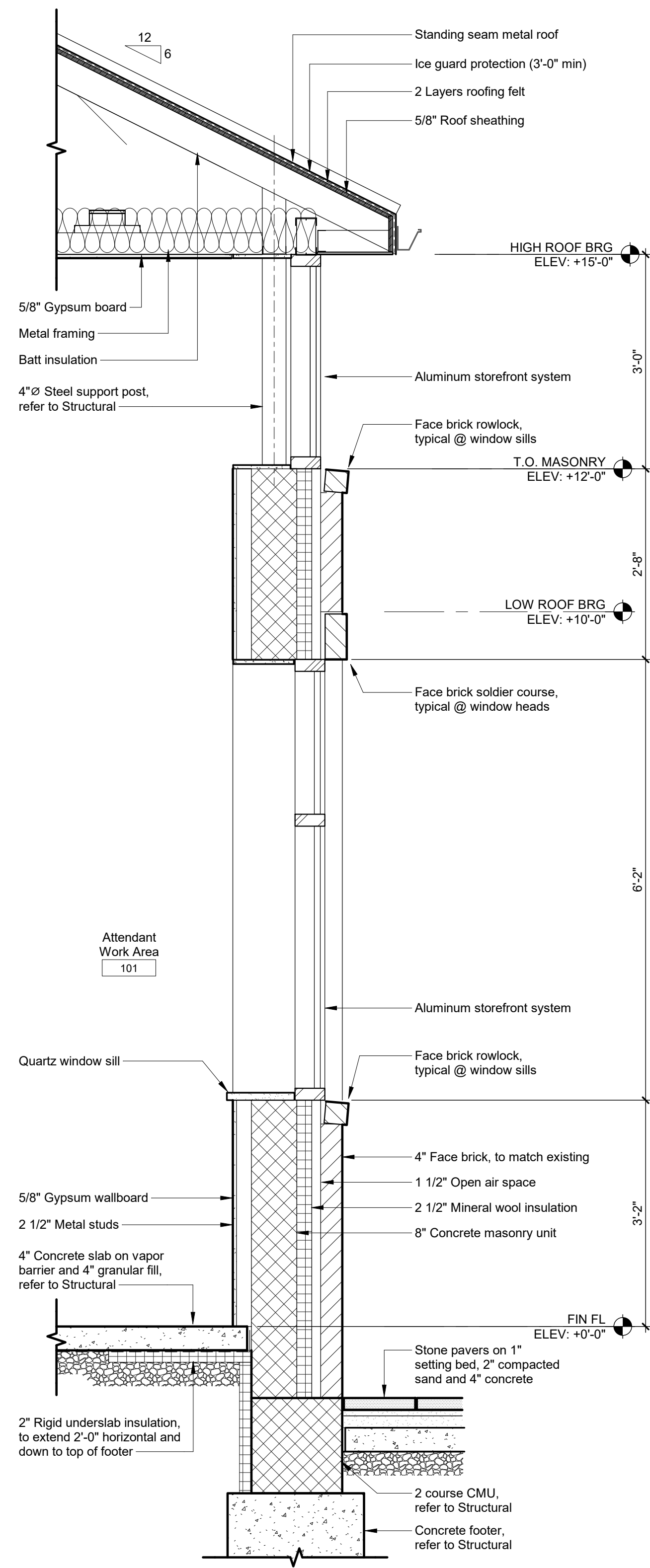
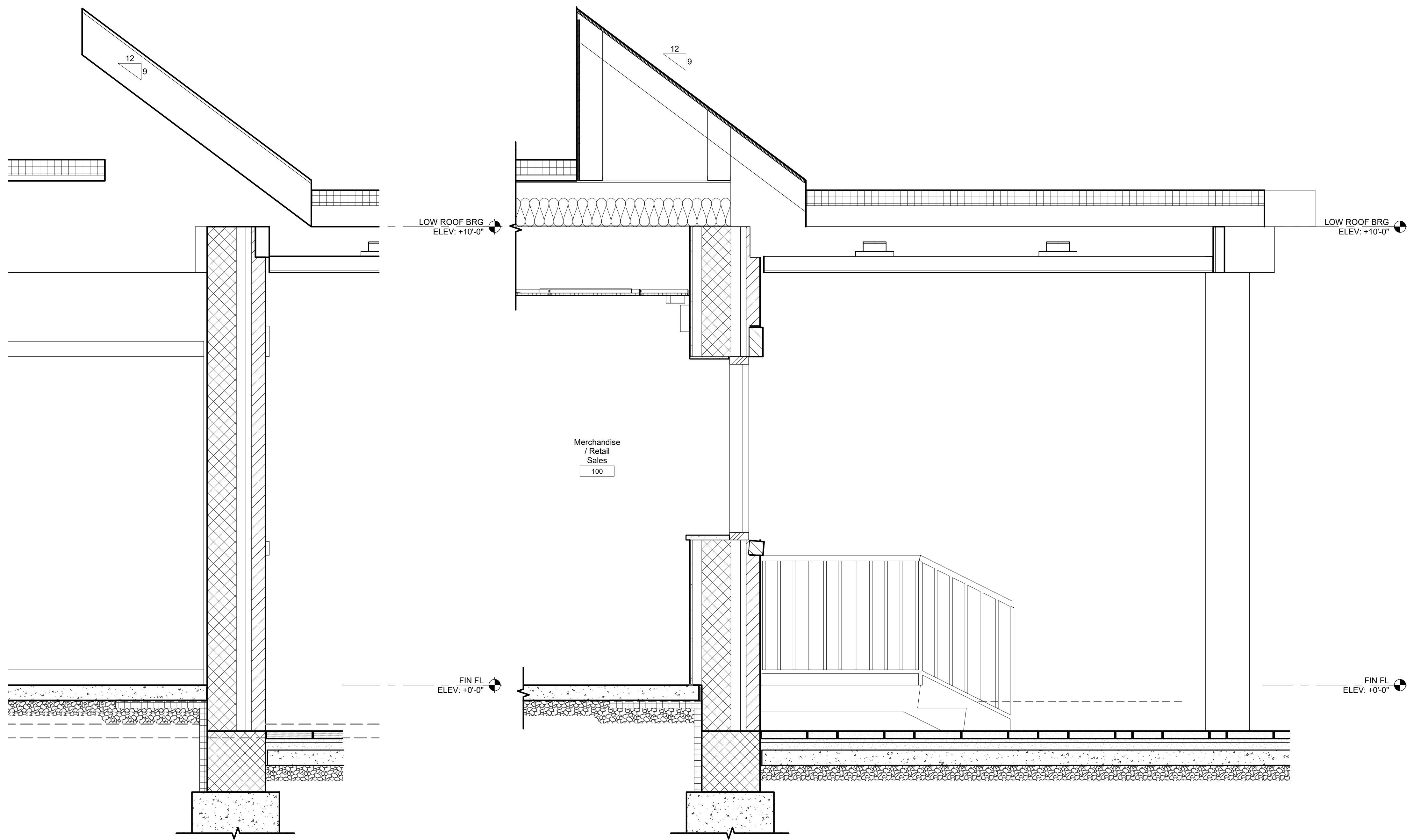


1 EAST ELEVATION
A-201 Scale: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS



4 WALL SECTION
A-311 Scale: 3/4" = 1'-0"

3 WALL SECTION
A-311 Scale: 3/4" = 1'-0"

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