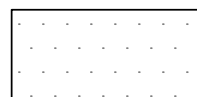
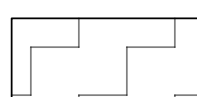


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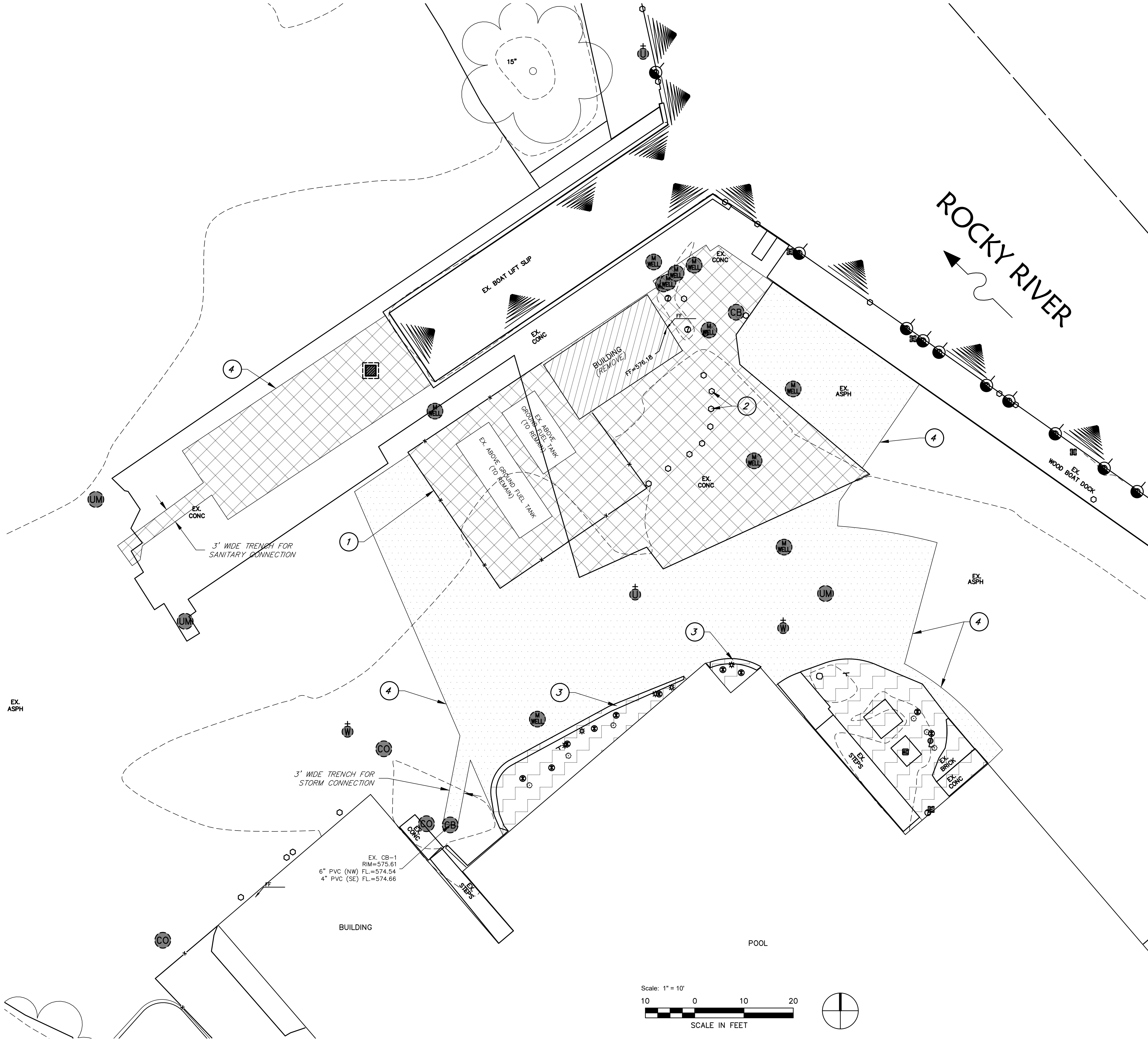
-  CONCRETE REMOVED
-  ASPHALT PAVEMENT REMOVED
-  BUILDING REMOVED
-  LANDSCAPING REMOVED

PLAN NOTES:

- 1 FENCE REMOVED
- 2 CONCRETE BOLLARDS REMOVED (TYP.)
- 3 CURB REMOVED
- 4 FULL-DEPTH SAW CUT

NOTES:

1. ALL EXISTING MANHOLES, VALVES, BASINS, ETC. WITHIN CONCRETE REMOVED AREAS SHALL BE REMOVED AS WELL. ALL MANHOLES, VALVES, BASINS, ETC. WITHIN ASPHALT REMOVED SECTION SHALL BE ADJUSTED TO GRADE.
2. THE SPRINKLER SYSTEM WITHIN THE LANDSCAPE REMOVED AREAS SHALL BE REINSTALLED WITHIN THE NEW LANDSCAPE BED LIMITS. SEE SITE PLAN SHEET C-201.
3. EXISTING FUEL PUMPS SHALL BE REMOVED AND RELOCATED. SEE PLANS PREPARED BY COLLINS FOR NEW LOCATION.
4. THE EXISTING FUEL TANKS LOCATED WITHIN THE FENCE ARE TO REMAIN ALONG WITH THE CONCRETE SLABS THEY SITE UPON.



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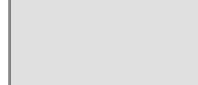
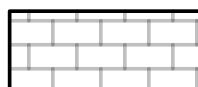
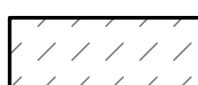
25-031
New Gas Dock Building
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
100CD For Bidding	07-18-2025
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EXISTING SITE
AND DEMO PLAN

C-101

LEGEND:

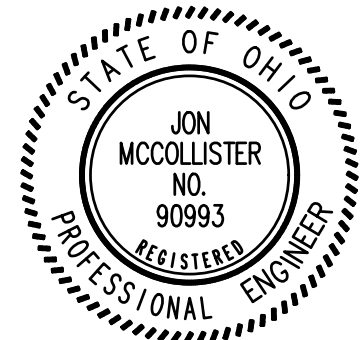
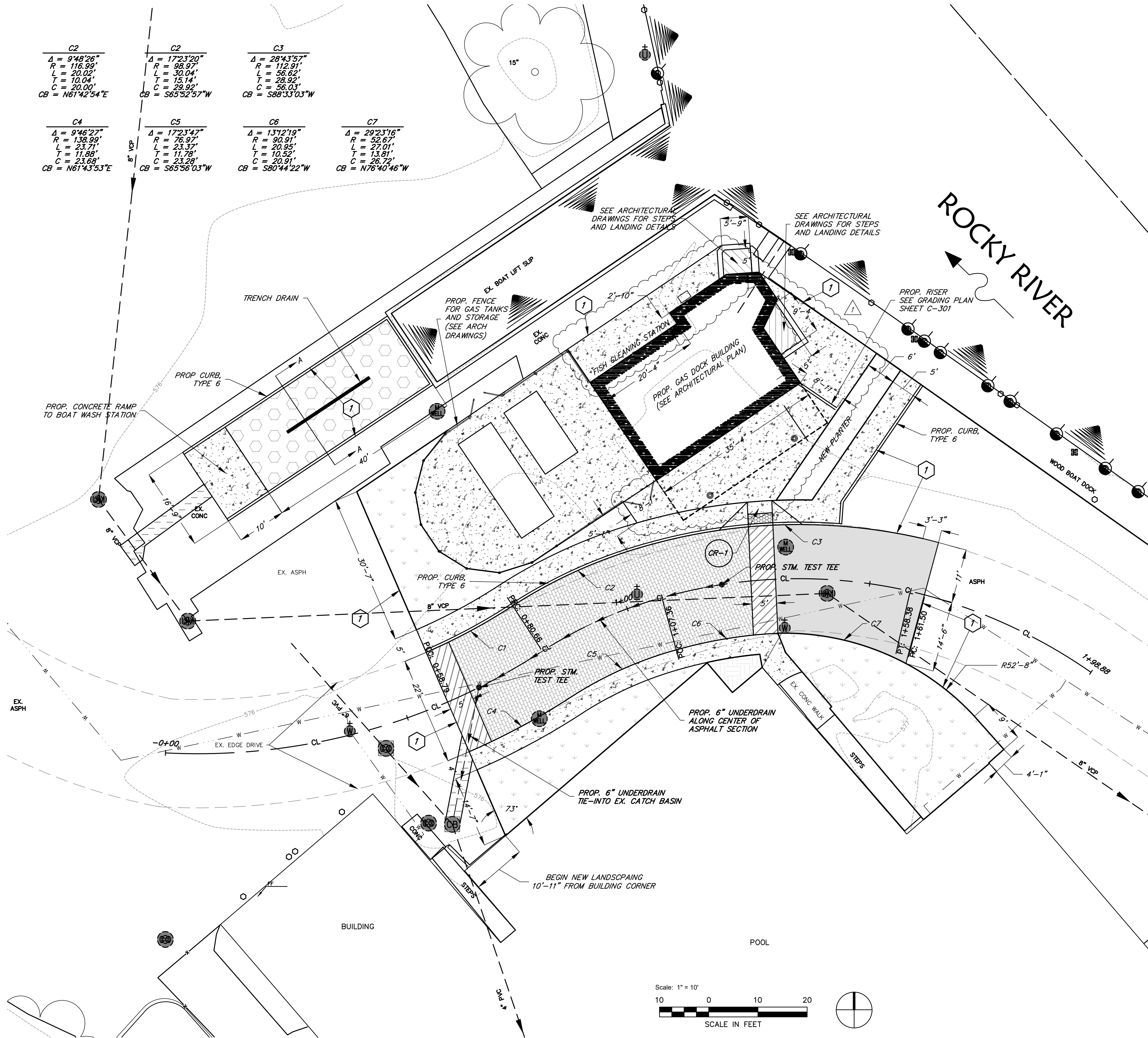
	PROPOSED ASPHALT PAVEMENT
	PROP. 4" CONCRETE SIDEWALK
	PROP. 6" CONCRETE CROSSWALK
	PROP. BOAT CLEANING STATION
	PROP. BRICK PAVERS
	PROP. ADA LANDING
	PROP. TRENCH REPAIR SEE DETAILS SHEET C-502
	PROP. LANDSCAPING AREA
	PROP. CURB RAMP WITH DETECTABLE WARNING (SEE ODOT SCD BP-7.1)

PLAN NOTES:

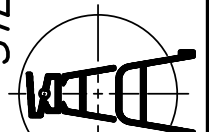
1 SEAL ALL JOINTS BETWEEN EXISTING AND NEW JOINTS
USING ODOT ITEM 705.04: HOT APPLIED JOINT ADHESIVE

NOTES:

1. SEE SHEET C-501 FOR SECTION A-A



STEPHEN HOVANSEK & ASSOCIATES, INC.
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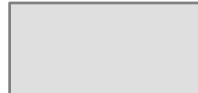
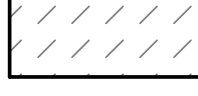
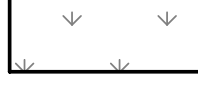
25-031
New Gas Dock Building
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200 Yacht Club Dr.
Rocky River, Ohio 44116

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ADDENDUM 1	07/30/2025
Planning Commission	07-30-2025

SITE PLAN

C-201

LEGEND:

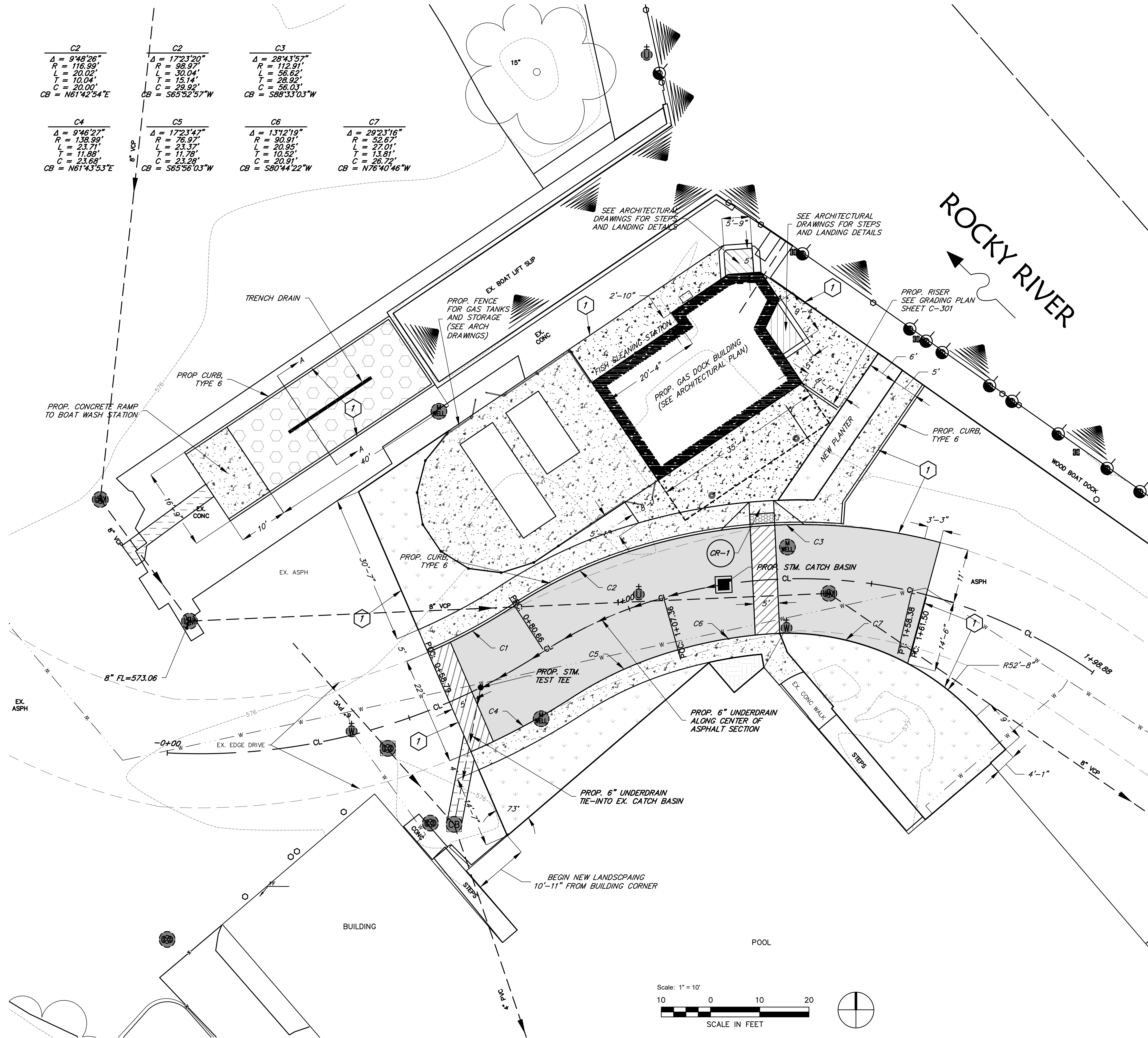
-  PROPOSED ASPHALT PAVEMENT
-  PROP. 4" CONCRETE SIDEWALK
-  PROP. 6" CONCRETE CROSSWALK
-  PROP. BOAT CLEANING STATION
-  PROP. ADA LANDING
-  PROP. TRENCH REPAIR
SEE DETAILS SHEET C-502
-  PROP. LANDSCAPING AREA
-  PROP. CURB RAMP
WITH DETECTABLE WARNING
(SEE ODOT SCD BP-7.1)

PLAN NOTES:

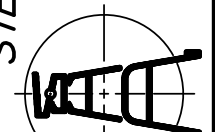
- 1 SEAL ALL JOINTS BETWEEN EXISTING AND NEW JOINTS
USING ODOT ITEM 705.04: HOT APPLIED JOINT ADHESIVE

NOTES:

1. SEE SHEET C-501 FOR SECTION A-A
2. PROPOSED CATCH BASIN SHALL BE ODOT TYPE 2-2C



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New Gas Dock Building
Cleveland Yachting Club
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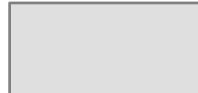
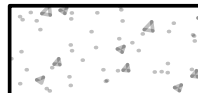
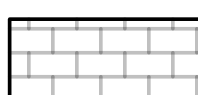
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Planning Commission

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SITE PLAN
ALT 1 - NO PAVERS

C-201A

LEGEND:

	PROPOSED ASPHALT PAVEMENT
	PROP. 4" CONCRETE SIDEWALK
	PROP. 6" CONCRETE CROSSWALK
	PROP. BOAT CLEANING STATION
	PROP. BRICK PAVERS
	PROP. ADA LANDING
	PROP. LANDSCAPING AREA

76.00 → = TOP CURB ADD 500 TO SPOT GRADE CALLOUTS TO GET ACTUAL ELEVATIONS
 75.50 → = BOT CURB
 76.00 → = SPOT GRADE ADD 500 TO SPOT GRADE CALLOUTS TO GET ACTUAL ELEVATIONS

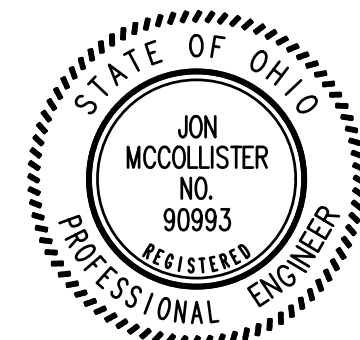
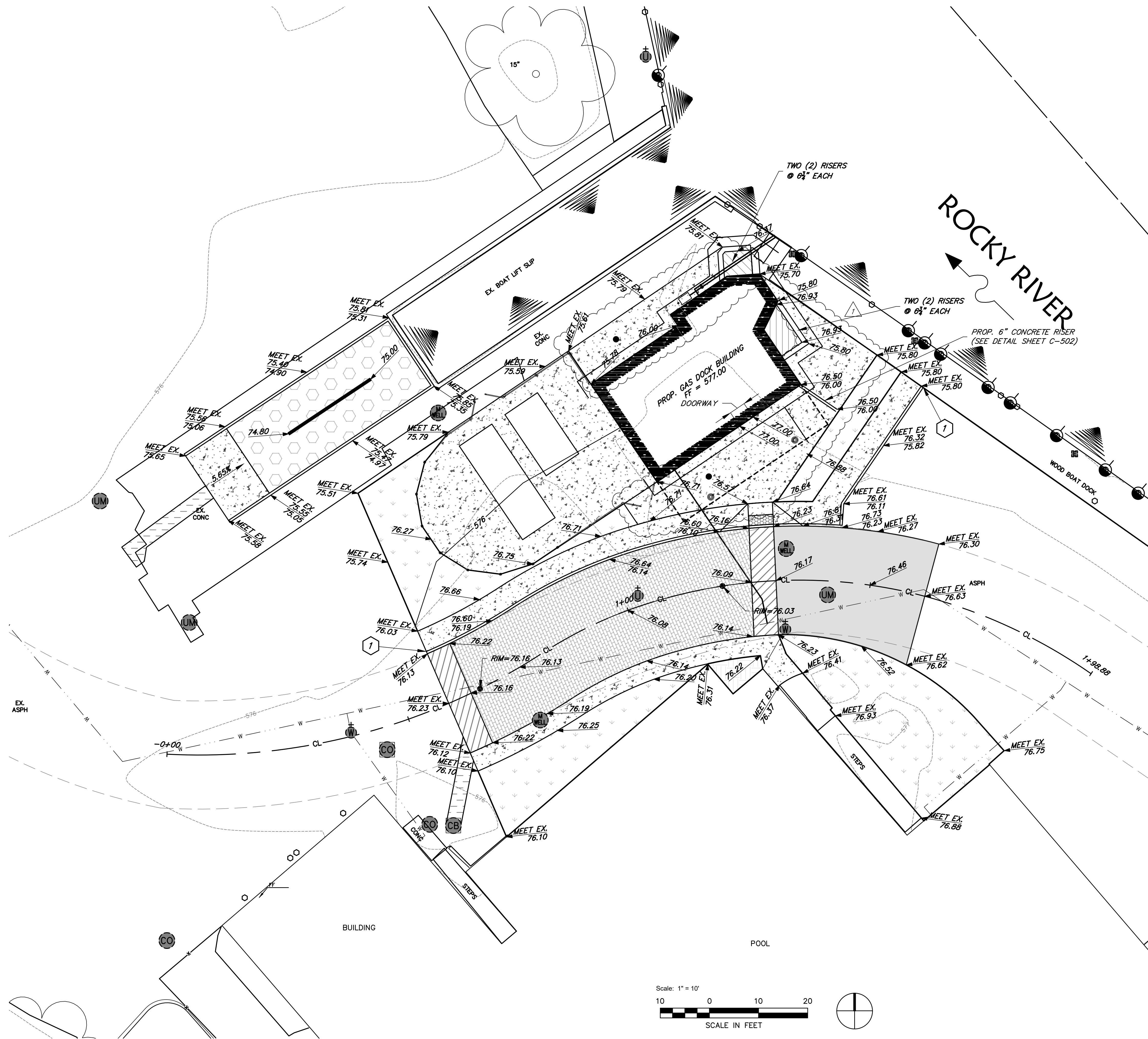
—575— EX. CONTOUR
 —575— PROP. CONTOUR

PLAN NOTES:

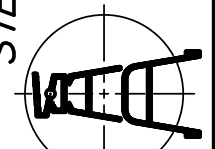
1. TRANSITION CURB TO ZERO HEIGHT AT PAVEMENT TIE-IN POINT AT A RATE OF 1/2 INCH PER FOOT.

NOTES:

1. ALL EXISTING CASTINGS IN NEW CONCRETE, ASPHALT, AND DRIVEWAY PAVEMENT AREAS SHALL BE ADJUSTED TO GRADE.



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25-031

New Gas Dock Building
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 200 Yacht Club Dr.
 Rocky River, Ohio 44116

ISSUE	DATE
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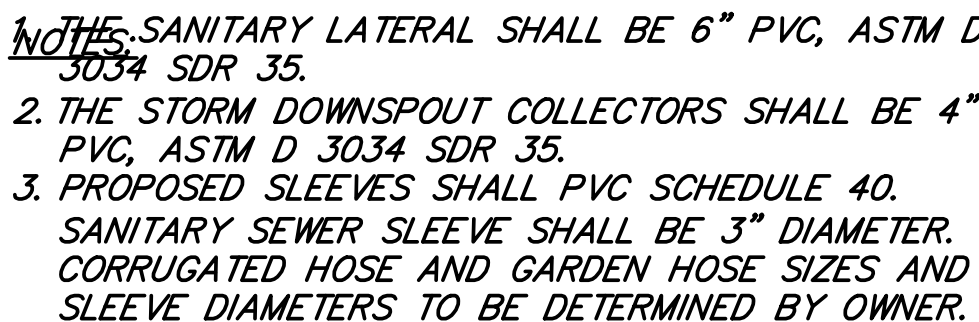
GRADING PLAN

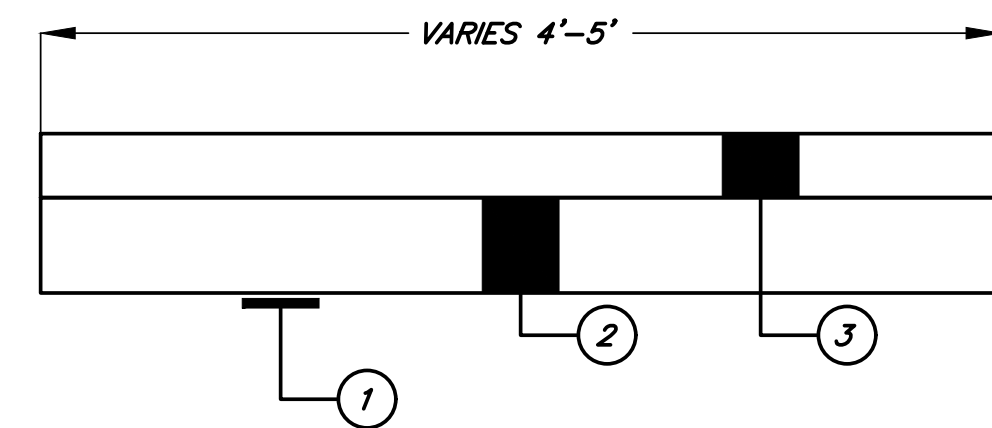
C-301

25-031

ISSUE	DATE
100CD For Bidding	07-18-2025
ADDENDUM 1	07/30/2025
Planning Commission	07-30-2025

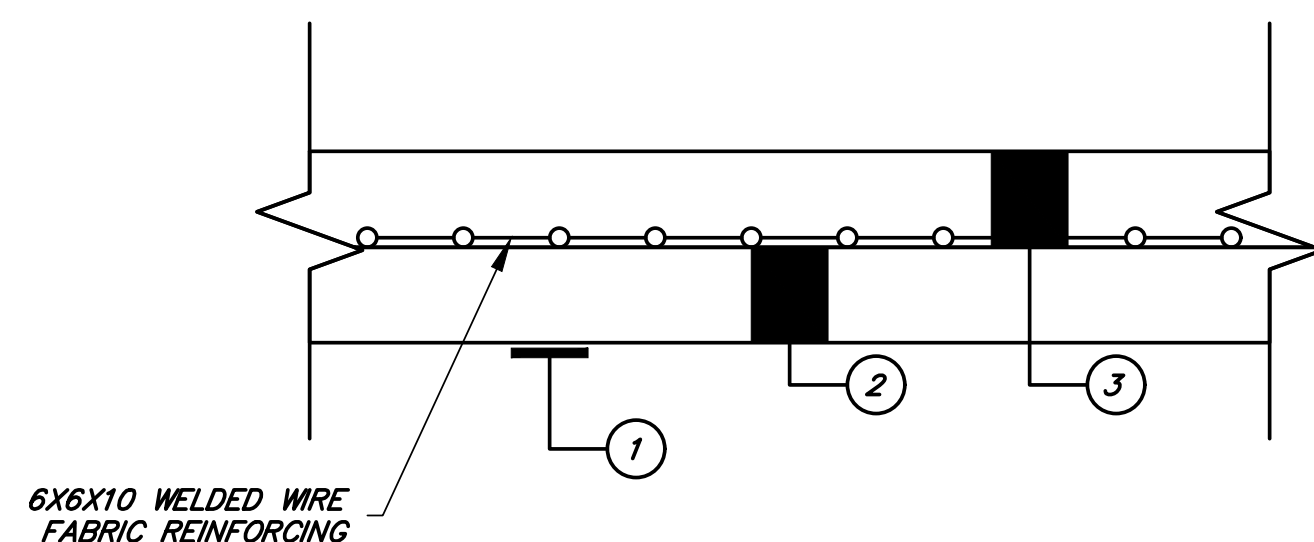
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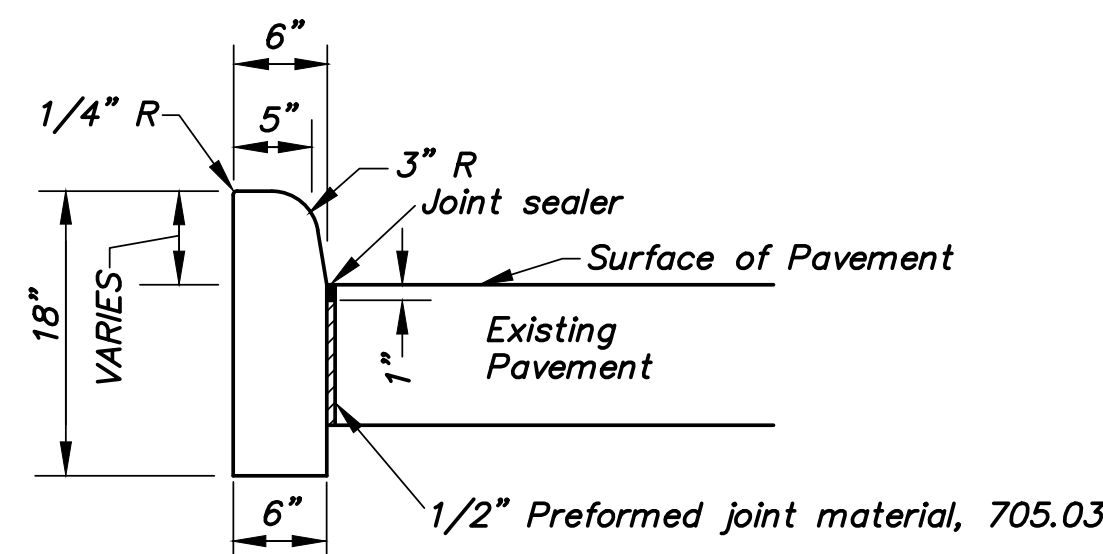
CONCRETE WALK TYPICAL SECTION

NOT TO SCALE



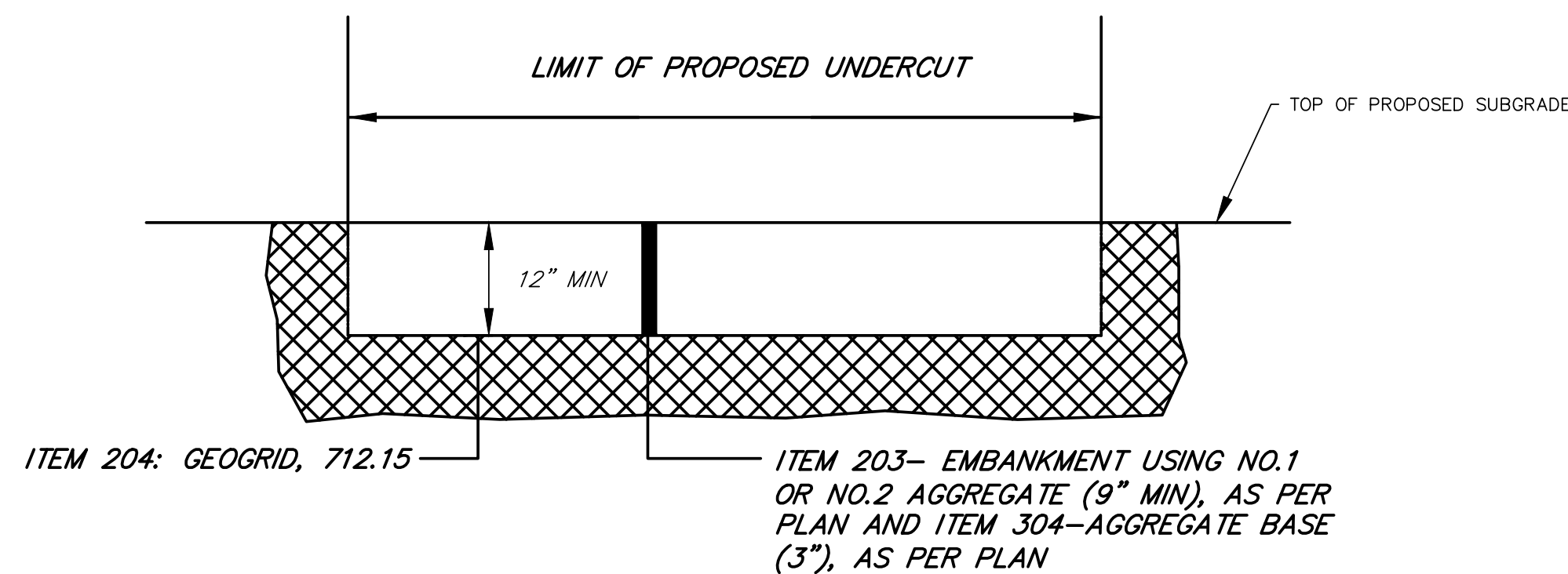
CONCRETE CROSSWALK TYPICAL SECTION

NOT TO SCALE



TYPE 6 CURB

SCALE: NTS

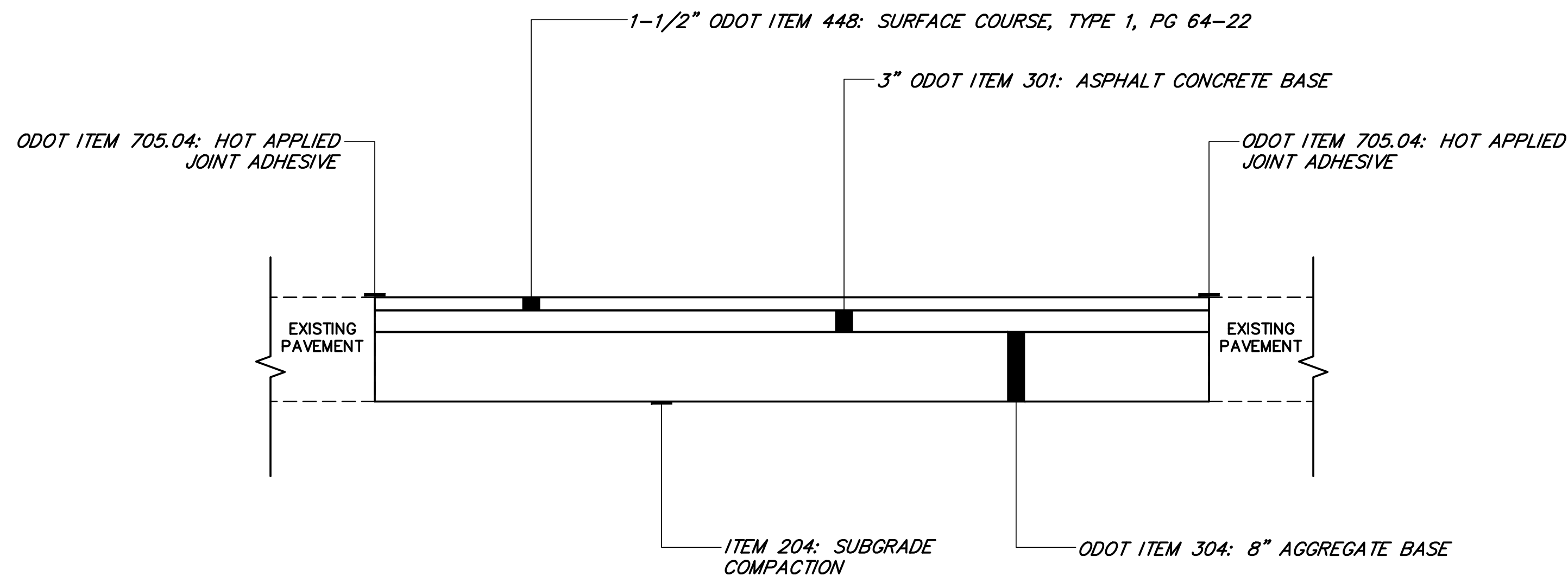


UNDERCUT AND PREMIUM BACKFILL DETAIL

NOTE:
AREAS THAT DO NOT MEET SUBGRADE COMPACTION REQUIREMENTS SHALL BE UNDERCUT TO ACCEPTABLE SUBGRADE AND BACKFILLED PER DETAIL (IF REQUIRED AND DIRECTED BY THE ENGINEER)

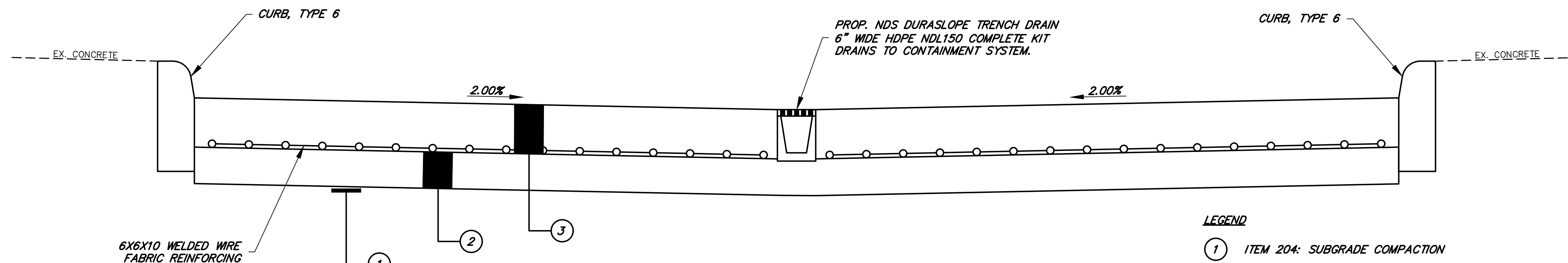
- LEGEND**
- ① ITEM 204: SUBGRADE COMPACTION
 - ② ITEM 304: 6" AGGREGATE BASE (#57 LIMESTONE)
 - ③ ITEM 608: 4" CONCRETE WALK, AS PER PLAN

- LEGEND**
- ① ITEM 204: SUBGRADE COMPACTION
 - ② ITEM 304: 6" AGGREGATE BASE (#57 LIMESTONE)
 - ③ ITEM 608: 6" CONCRETE WALK, AS PER PLAN



ASPHALT PAVEMENT TYPICAL SECTION

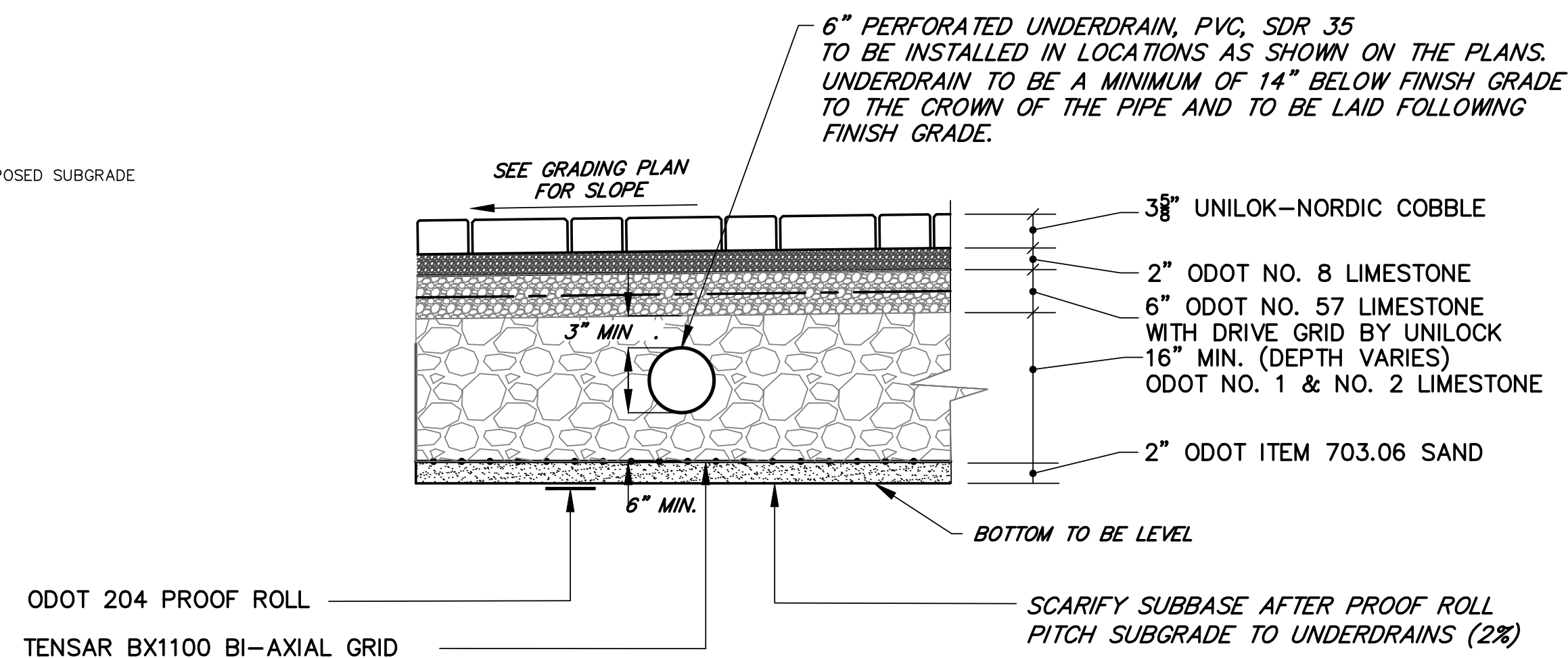
NOT TO SCALE



CONCRETE BOAT CLEANING STATION TYPICAL SECTION

NOT TO SCALE

- LEGEND**
- ① ITEM 204: SUBGRADE COMPACTION
 - ② ITEM 304: 6" AGGREGATE BASE (#57 LIMESTONE)
 - ③ ITEM 608: 8" CONCRETE WALK, AS PER PLAN

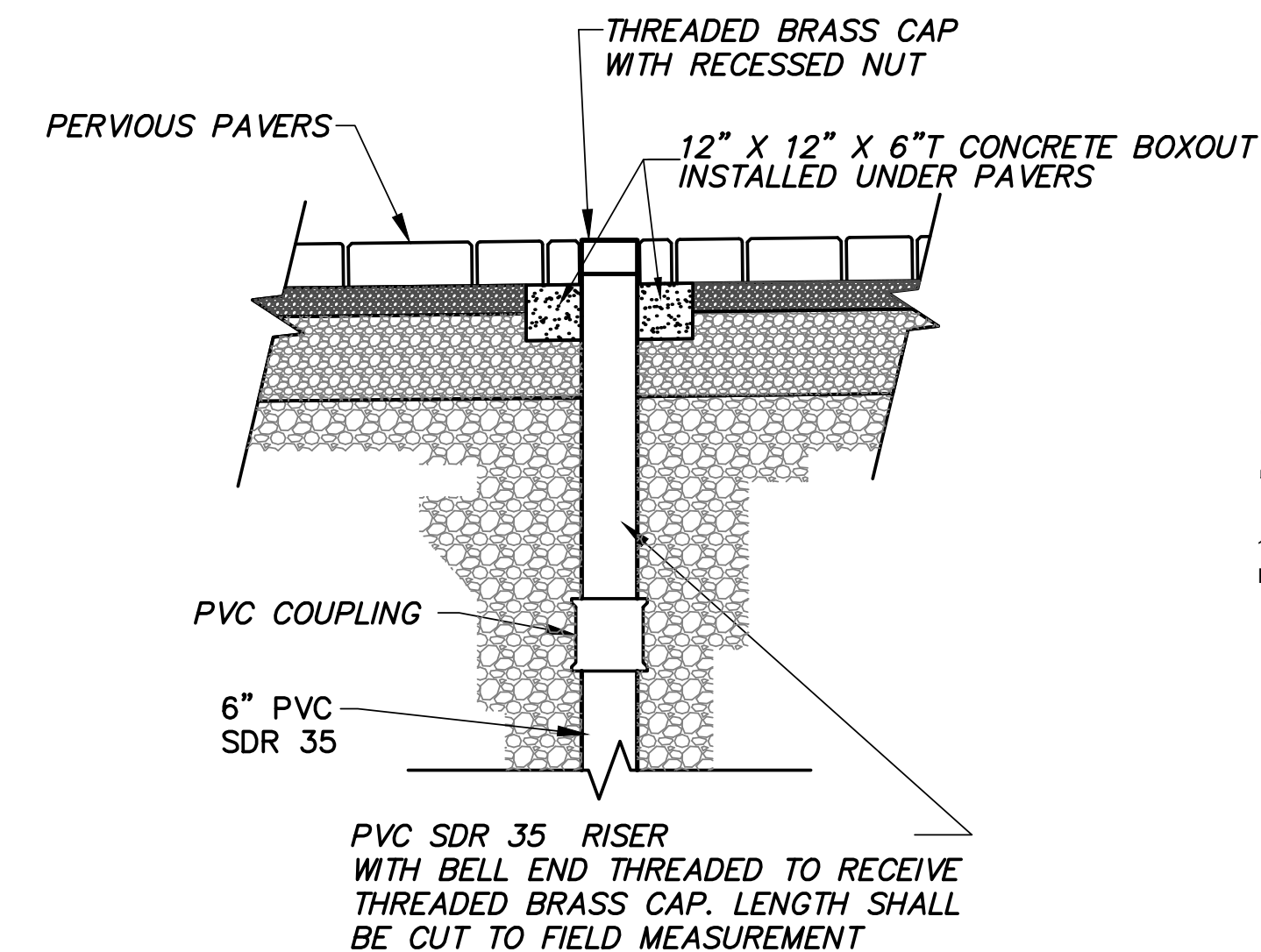


PERVIOUS PAVEMENT TYPICAL SECTION

(ALTERNATE 1)

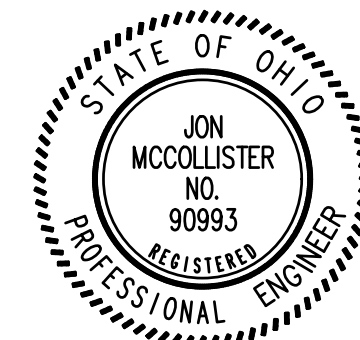
NOT TO SCALE

AFTER THE COMPLETION OF THE PROOF ROLL CONTRACTOR SHALL SCARIFY THE SUBGRADE USING THE TEETH OF THE EXCAVATION BUCKET.



TEST TEE / MONITOR WELL INSTALLED IN BRICK PAVER AREA

NOT TO SCALE



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25-031

New Gas Dock Building
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

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07-18-2025
07-30-2025

NOTES AND
DETAILS

C-501

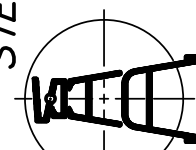


REVISIONS:	SCALE NO SCALE	DATE: OCTOBER 2021
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UNIFORM STANDARDS: CUYAHOGA COUNTY DEPARTMENT OF PUBLIC WORKS --- MUNICIPAL ENGINEERS ASSOCIATION OF NE OHIO SHEET NO. 12



STEPHEN HOVANCSEK & ASSOCIATES, INC.
CONSULTING ENGINEERS AND PLANNERS
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25-031

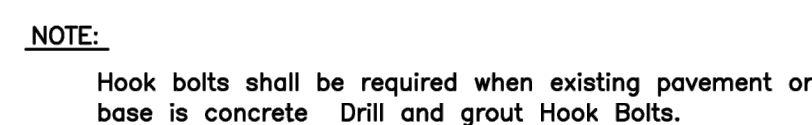
New Gas Dock Building
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

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Planning Commission

DATE
07-18-2025
07-30-2025

NOTES AND DETAILS

C-502



REVISIONS:	SCALE NO SCALE	DATE: OCTOBER 2021
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UNIFORM STANDARDS: CUYAHOGA COUNTY DEPARTMENT OF PUBLIC WORKS --- MUNICIPAL ENGINEERS ASSOCIATION OF NE OHIO SHEET NO. 13

SHEET NO. 13



**Knight &
Stolar, Inc.**

PLANNING CONSULTANTS /
LANDSCAPE ARCHITECTS
3029 Prospect Avenue
Cleveland, Ohio 44115
P: (216) 391-0910

25-031

Gas Dock Improvements
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

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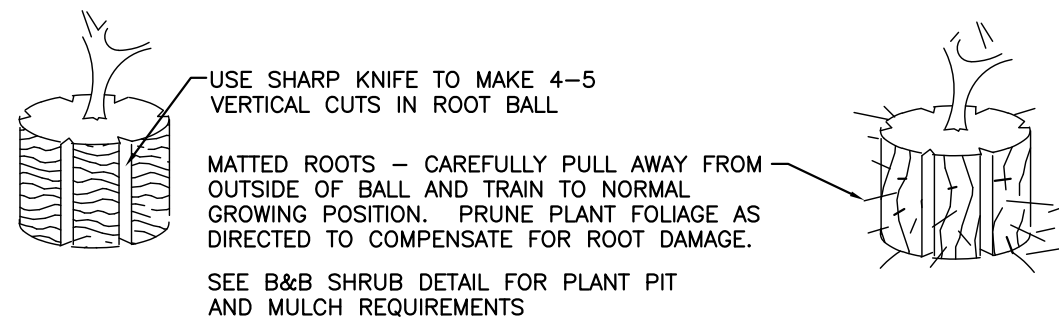
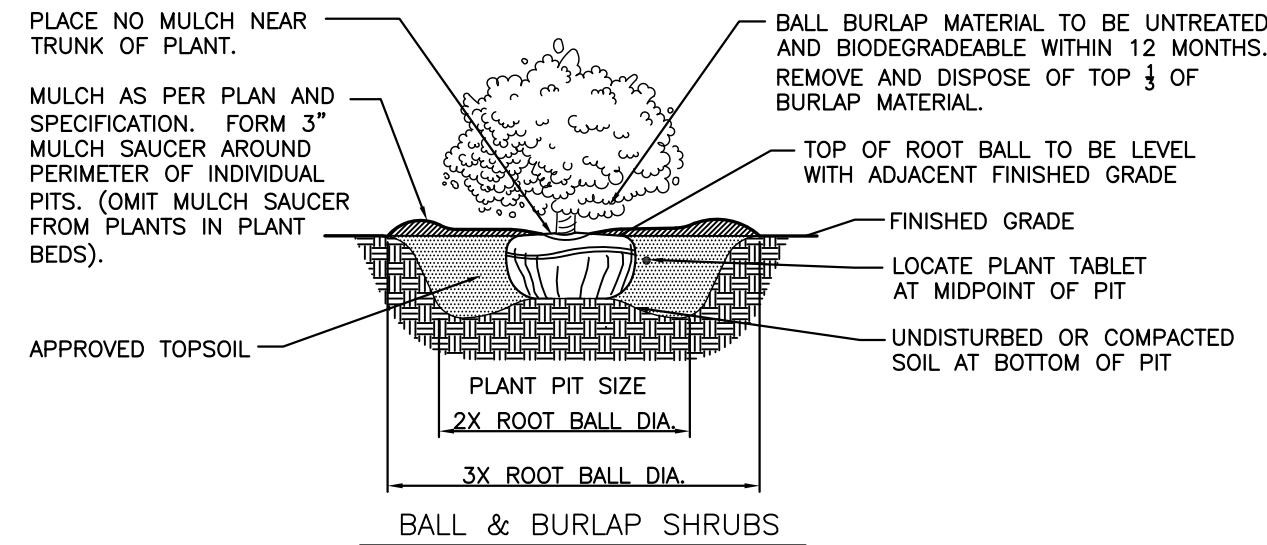
DATE
07-19-2025
07-30-2025

PLANTING PLAN

L-100

PLANTING NOTES

1. TOPSOIL BACKFILL FOR SHRUBS SHALL BE WELL-MIXED WITH COARSE PEAT MATERIAL, 50% BY VOLUME AS APPROVED BEFORE PLANTING.
2. PLANT FERTILIZER - SHALL BE PLANT TABLETS (AGRIFORM 20-10-5 OR APPROVED EQUAL). USE (1) 21 TABLET FOR EACH 1' HEIGHT OR SPREAD OF SHRUB SIZE.
3. ALL PLANTS TO CONFORM TO ANSI Z 60.1 (LATEST EDITION).



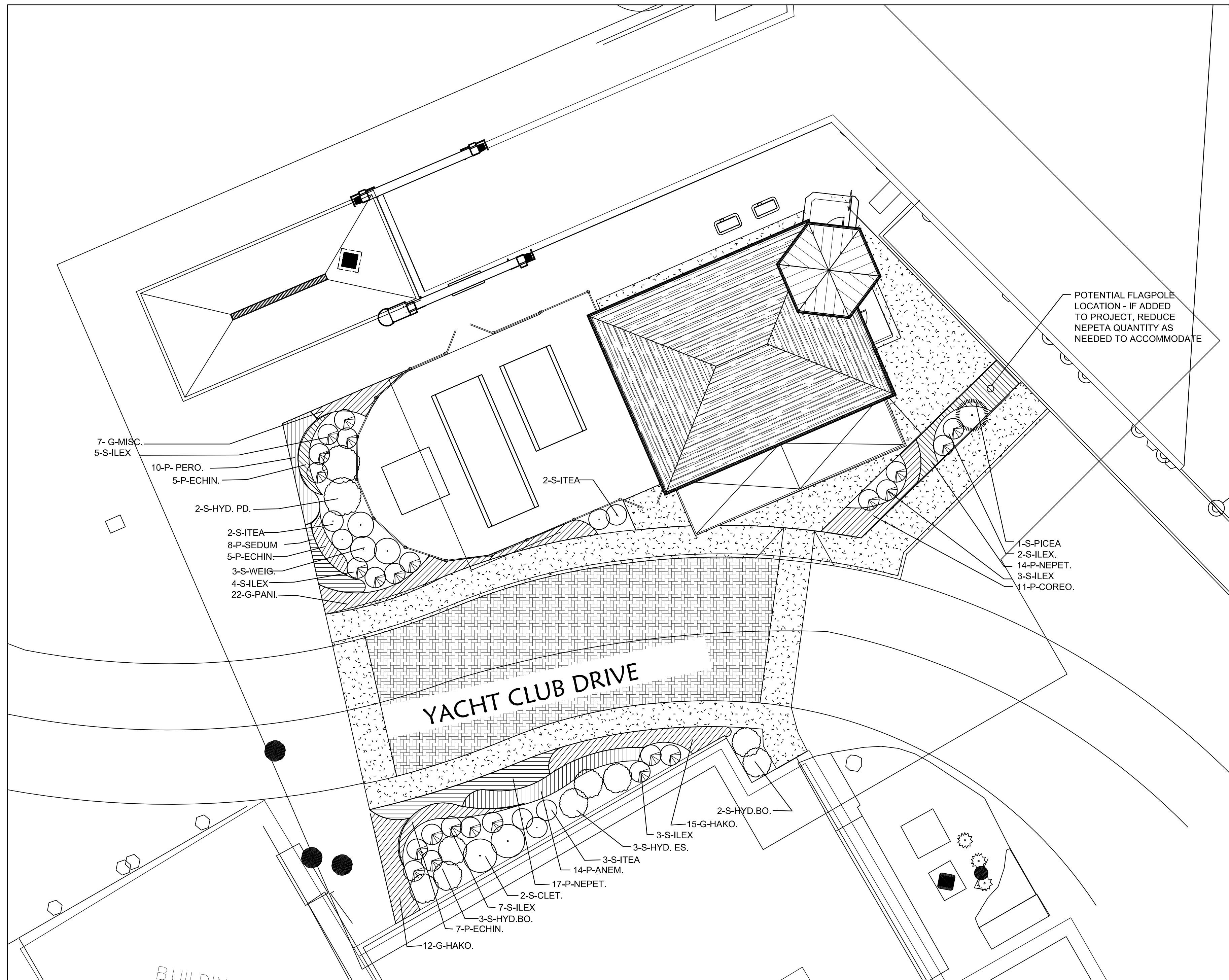
CONTAINER GROWN PLANTS

PLANTING DETAILS

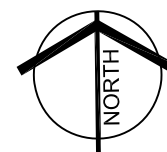
SCALE: NOT TO SCALE

NOTE -

1. DATA NOT SHOWN -
FOR ALL PERTINENT DATA NOT SHOWN, SEE APPLICABLE CONTRACT DOCUMENTS.
2. MEASUREMENTS -
CONTRACTOR SHALL VERIFY ALL MEASUREMENTS IN THE FIELD. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCY UNCOVERED IN THE FIELD, IMMEDIATELY, TO DETERMINE ANY MODIFICATIONS REQUIRED.
3. EXISTING UTILITIES -
THE EXISTING UTILITY DATA SHOWN IS FOR REFERENCE INFORMATION ONLY AND DOES NOT SHOW ALL EXISTING UTILITY DATA OR NEW UTILITIES. SEE SURVEY AND UTILITY PLANS.
4. TOPSOIL -
ALL SHRUB BEDS SHALL RECEIVE A MIN. OF 12" OF APPROVED SALVAGED TOPSOIL AND PLANT BED MIX.
5. CONSTRUCTION DAMAGE -
REPAIR ALL ADJACENT LAWN AREAS IMPACTED BY CONSTRUCTION. CLEAR DEBRIS, TOP DRESS SOILS, RESEED WITH APPROVED LAWN SEED AND MULCH WITH HYDRO SEED MULCH OR OTHER APPROVED MATERIALS.



SCALE: 1" = 10'-0"

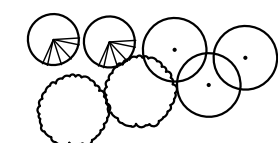


PLANT LIST

ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTED SIZE	MATURE SIZE
SHRUBS					
S-CLET.	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	2	15" NO. 3 CONT.	3' HT. X 4' W.
S-HYD. ES.	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	3	15" NO. 3 CONT.	3-5' HT. X 3-5' W.
S-HYD. BO.	HYDRANGEA PANICULATA 'BOBO'	HYDRANGEA BOBO	5	18" NO. 3 CONT.	3' HT. X 4' W.
S-HYD. PD.	HYDRANGEA PANICULATA 'PINK DIAMOND'	PINK DIAMOND PANICLE HYDRANGEA	2	30" NO. 5 CONT.	6-8' HT. X 6-8' W.
S-ILEX	ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	24	15" NO. 3 CONT.	3-4' HT. X 4-5' W.
S-ITEA	ITEA VIRGINICA 'MERLOT'	MERLOT SWEETSPIRE	7	15" NO. 3 CONT.	2-3' HT. X 3' W.
S-PICEA	PICEA ABIES 'NIDFORMIS'	BIRDS' NEST SPRUCE	1	15" NO. 3 CONT.	3' HT. X 5' W.
S-WEIG.	WEIGELA FLORIDA 'SPILLED WINE'	SPILLED WINE WEIGELA	3	15" NO. 3 CONT.	3' HT. X 4' W.
ORNAMENTAL GRASSES					
G-HAKO.	HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS	27	CLUMP NO. 2 CONT.	14" HT.
G-MISC.	MISCHANTHUS SINENSIS 'PURPURASCENS'	FLAME MAIDEN GRASS	7	CLUMP NO. 2 CONT.	4' HT.
G-PANI.	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	22	CLUMP NO. 2 CONT.	4' HT.
PERENNIALS					
P-ANEM.	ANEMONE X HYBRIDA 'HONORINE JOBERT'	WHITE JAPANESE ANEMONE	14	CLUMP NO. 2 CONT.	36" HT.
P-CORE.	COREOPSIS V. 'ZAGREB'	ZAGREB COREOPSIS	11	CLUMP NO. 2 CONT.	24" HT.
P-ECHIN.	ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	17	CLUMP NO. 2 CONT.	36" HT.
P-NEPET.	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	31	CLUMP NO. 2 CONT.	24" HT.
P-PERO.	PEROVSKIA ASTRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	10	CLUMP NO. 2 CONT.	24" HT.
P-SEDUM	SEDUM SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	8	CLUMP NO. 2 CONT.	24" HT.

NOTE - CONTRACTOR SHALL VERIFY THE PLANT QUANTITIES SHOWN ON THE PLAN AND PROVIDE ALL PLANTS AS SHOWN ON THE PLAN.

LEGEND



NEW SHRUBS

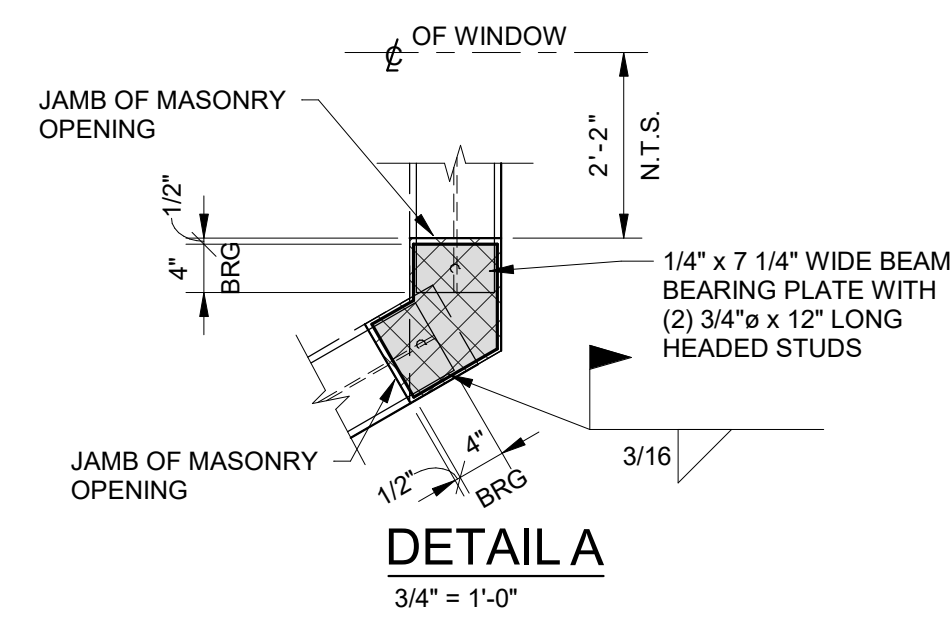
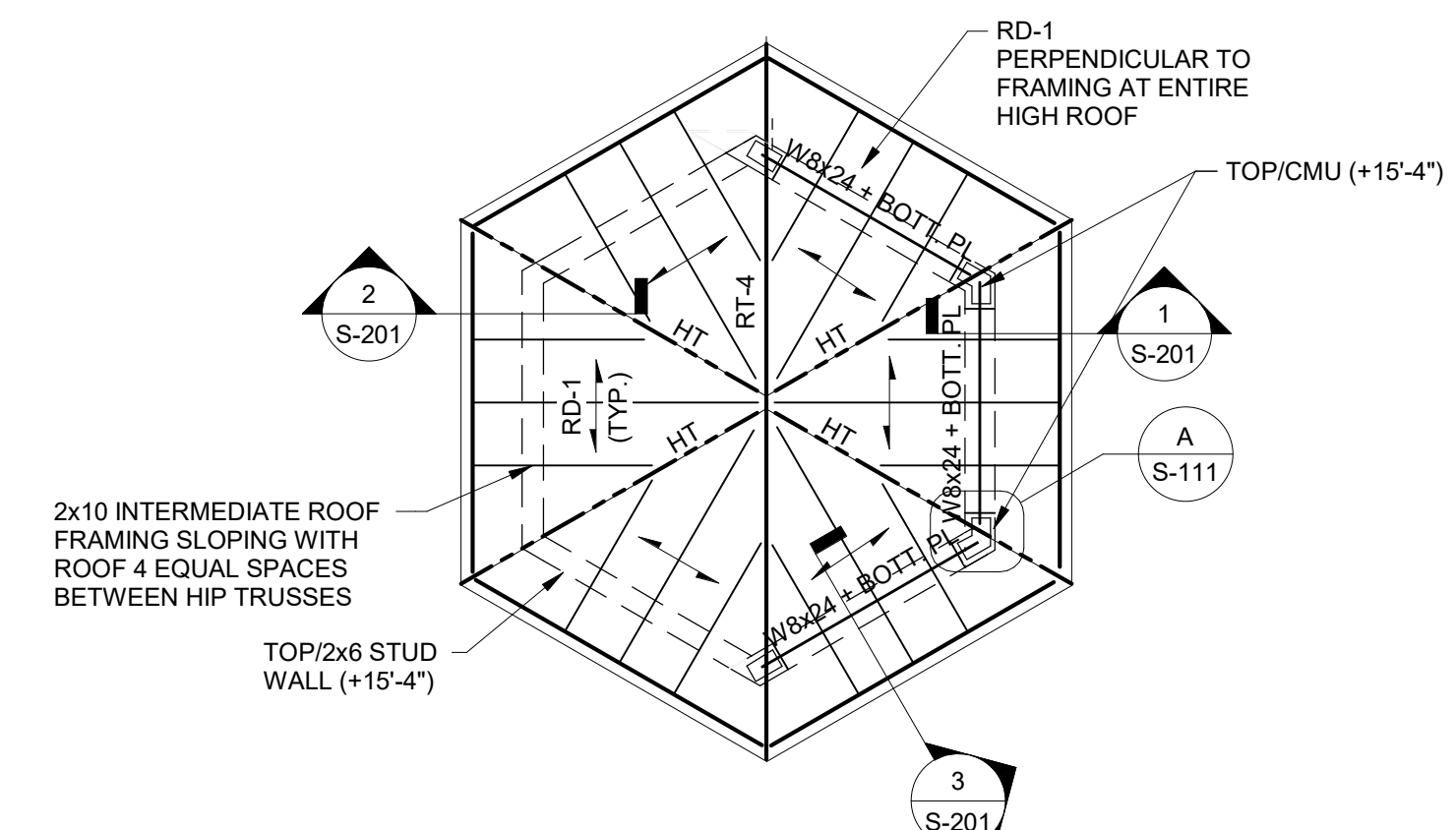
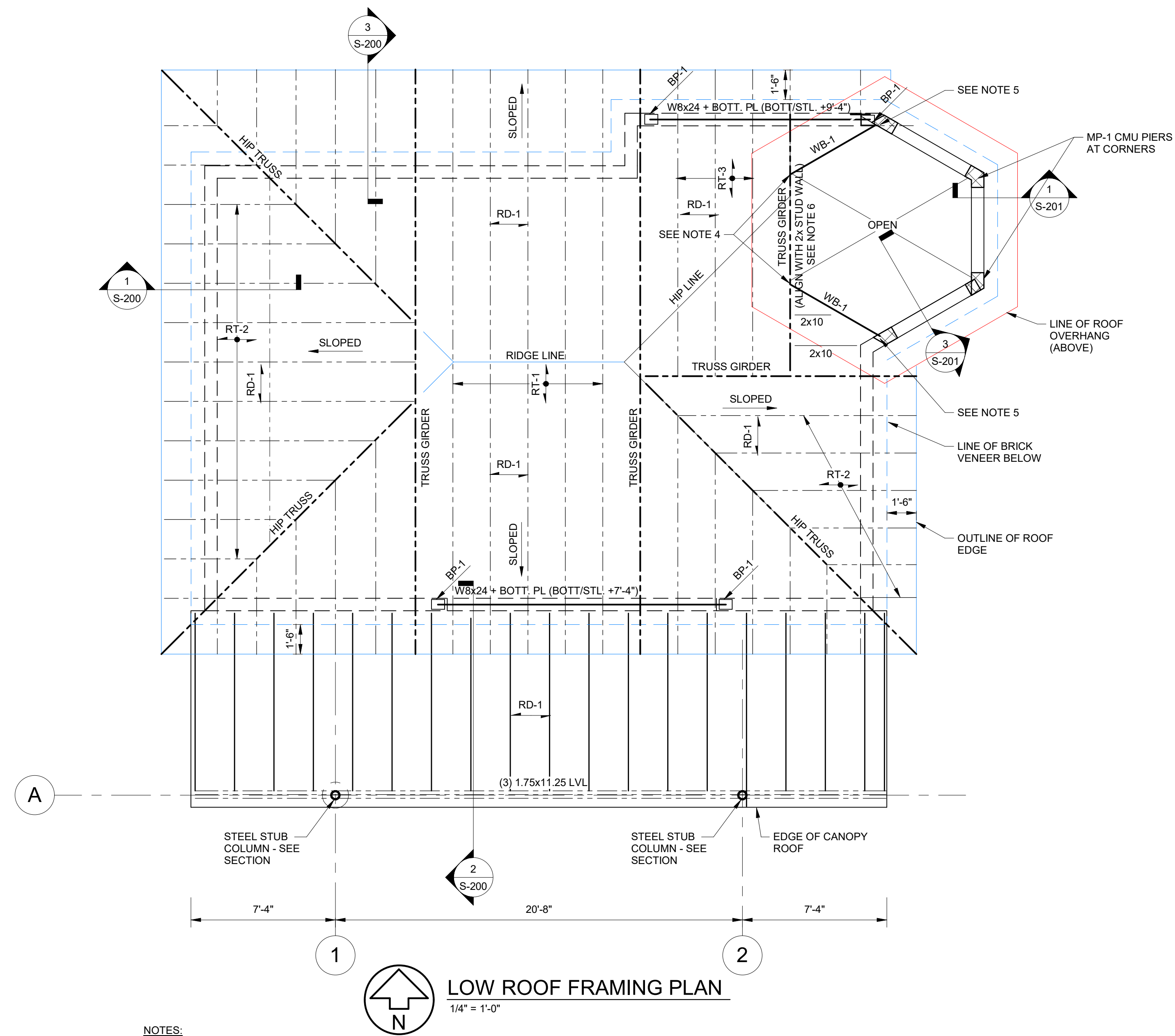
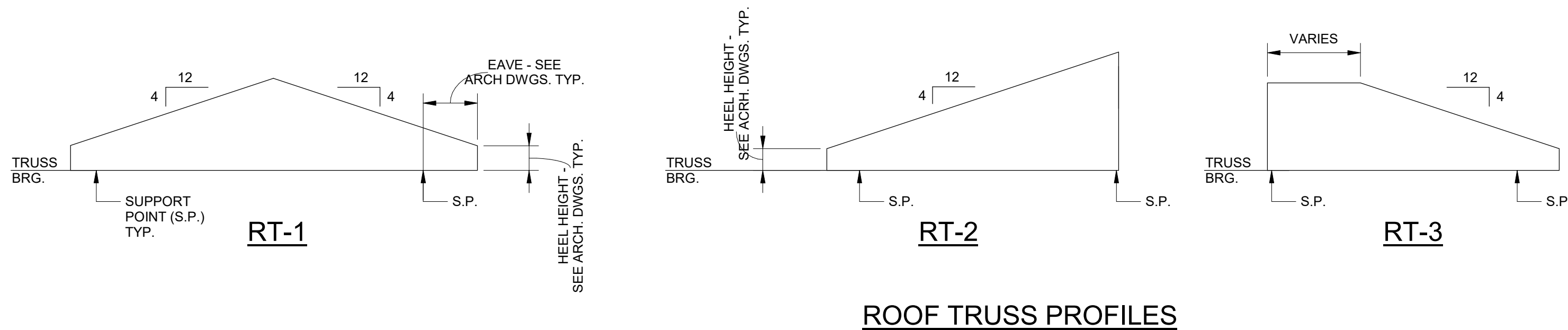
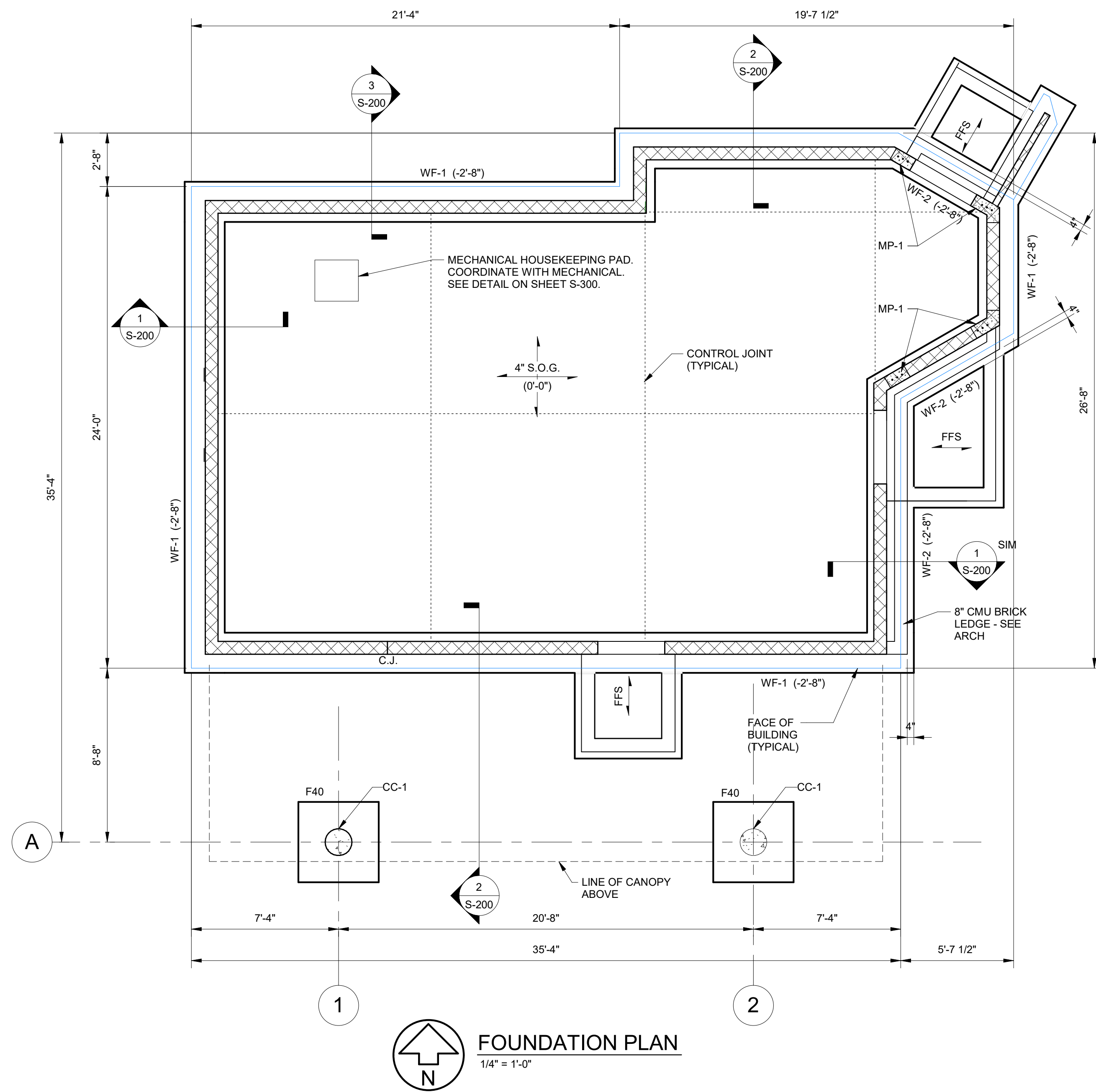
NEW PERENNIALS AND ORNAMENTAL GRASSES

CONTRACTOR SHALL EXERCISE CAUTION DURING ALL CONSTRUCTION OPERATIONS IN VICINITY OF UNDERGROUND PIPES, CABLES AND DUCTS. CONTRACTOR SHALL INFORM AND COORDINATE WORK IN SUCH AREAS WITH PROPER UTILITY COMPANY OR MUNICIPAL AUTHORITY. CALL O.U.P.S. 1-800-362-2764



2217 East 9th Street, Suite 350
Cleveland, OH 44115-1257
216-875-0100
www.barberhoffman.com

BARBER & HOFFMAN, INC.
Consulting Engineers



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200 Yacht Club Dr.
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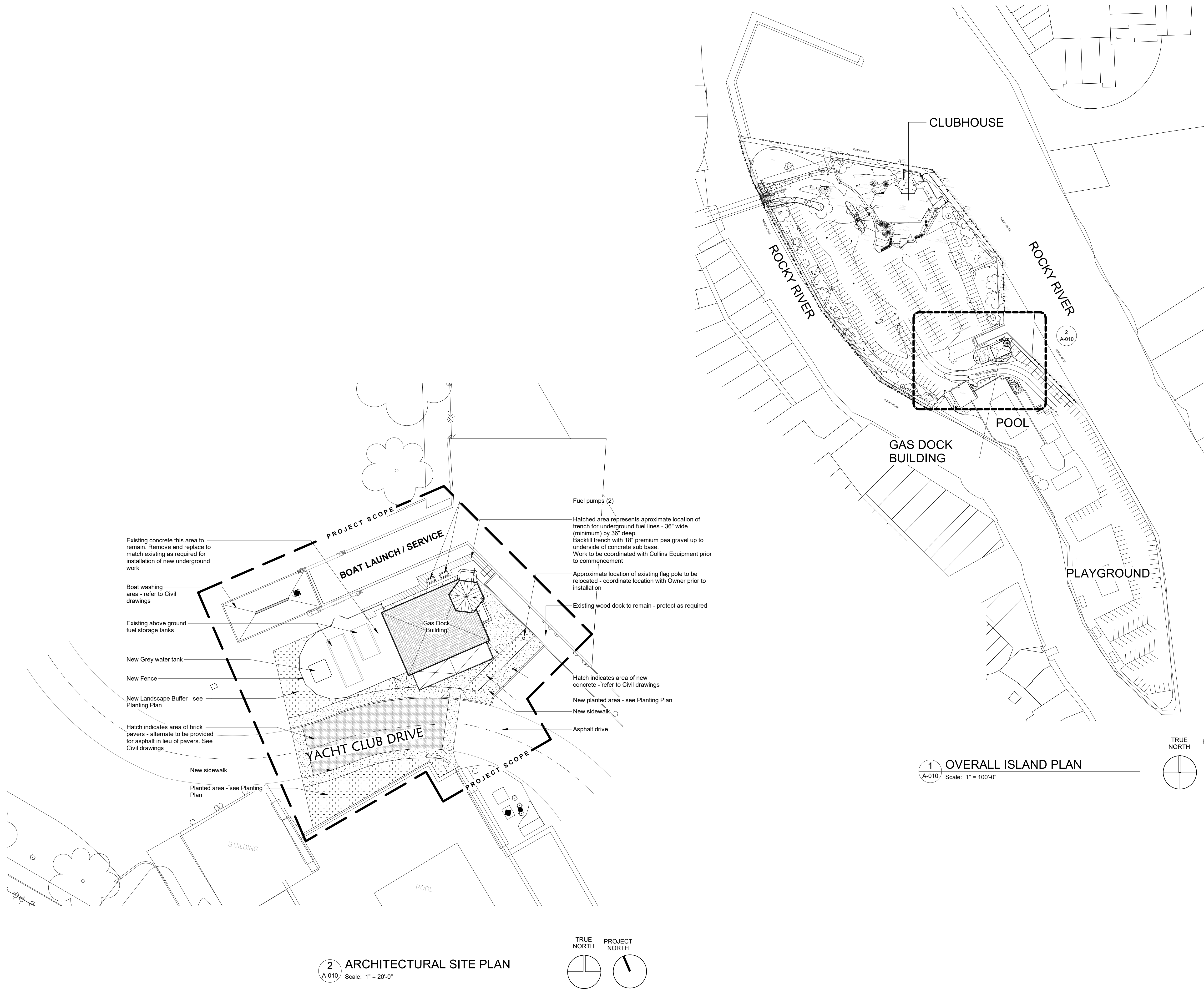
25-031

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**FOUNDATION PLAN,
LOW ROOF AND HIGH
ROOF FRAMING PLANS**

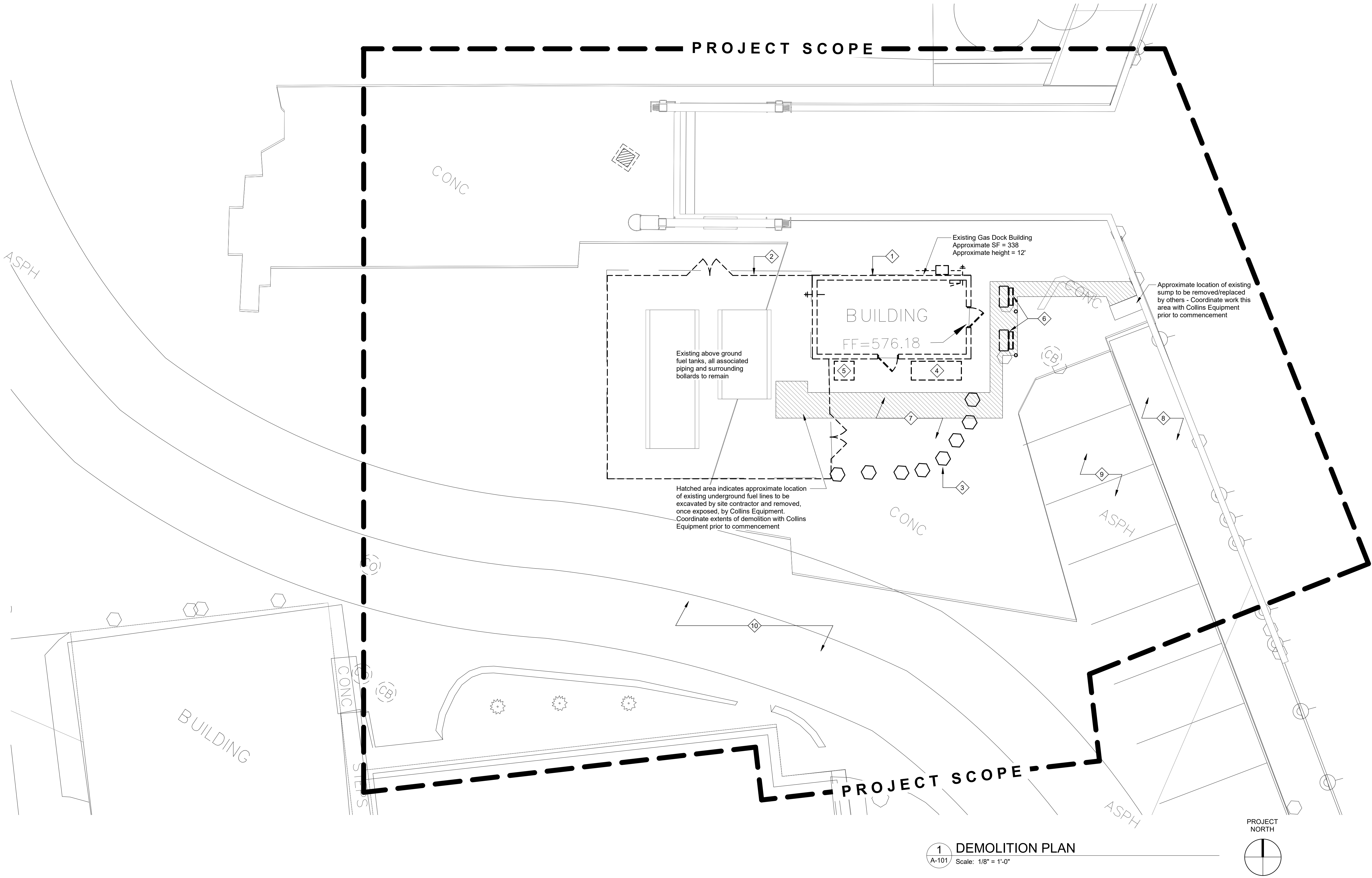
S-111



Gas Dock Improvements
Cleveland Yachting Club
200 Yacht Club Dr.
Rocky River, Ohio 44116

ISSUE	DATE
100CD For Bidding	07-18-2025
Planning Commission	07-30-2025

ARCHITECTURAL SITE
& OVERALL ISLAND
PLAN



1 DEMOLITION PLAN
A-101 Scale: 1/8" = 1'-0"

CODED NOTES - DEMOLITION

- 1 Existing Gas Dock Building, including foundations, to be demolished. Salvage merchandising and TECH/AV equipment as directed by Owner.
- 2 Remove existing fence in it's entirety, salvage as directed by Owner
- 3 Remove existing concrete surface bollards, salvage as directed by Owner
- 4 Remove existing bag ice storage chest, salvage for relocation.
- 5 Remove existing soda dispenser, salvage for relocation.
- 6 Existing fuel pumps to be removed / relocated under seperate contract. Demolition shown for reference only.
- 7 Refer to Civil drawings for extent of concrete removal
- 8 Existing wood dock to remain. Protect as required during construction.
- 9 Refer to Civil drawings for extent of asphalt removal
- 10 Refer to Civil drawings for extent of work on existing draive

GENERAL NOTES - DEMOLITION

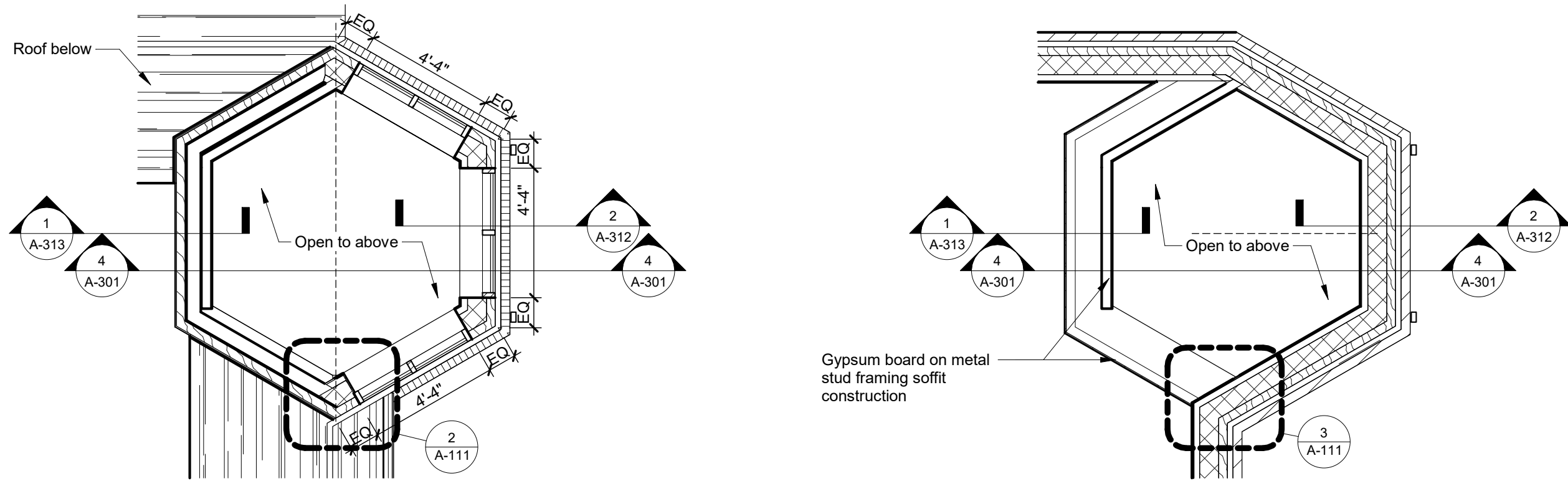
- A Refer to specifications section 024119 - Selective Demolition for additional requirements and information.
- B Project Scope line is indicated for general intent only. Additional demolition will be required, outside of this line. Architectural demolition drawings are for schematic purposes. Contractor shall coordinate all demolition with the entire set of contract documents for full scope of demolition work required for the project.
- C Existing conditions shown on these drawings are not guaranteed to be complete. The contractor shall verify all existing conditions, dimensions, and materials required for the contracted work. Report all discrepancies to architect prior to fabrication, erection, and/or installation.
- D Coordinate all new penetrations and/or openings with other associated trades.
- E The Owner may select and tag items for demolition to be salvaged. The contractor shall remove selected items from the scope of work and deliver to the Owner's requested location within the existing facility.
- F Some items may be indicated in the demolition drawings and demolition notes which are not necessarily demolition work but are included to describe the overall scope of the project and to aid in the demolition coord. The contractor is responsible for all work required to complete the intended work of the overall project.
- G Remove miscellaneous items within limits of demolition. Coordinate with Owner any items to be salvaged.

LEGEND - DEMOLITION PLAN

- Existing construction to remain
- Construction to be demolished

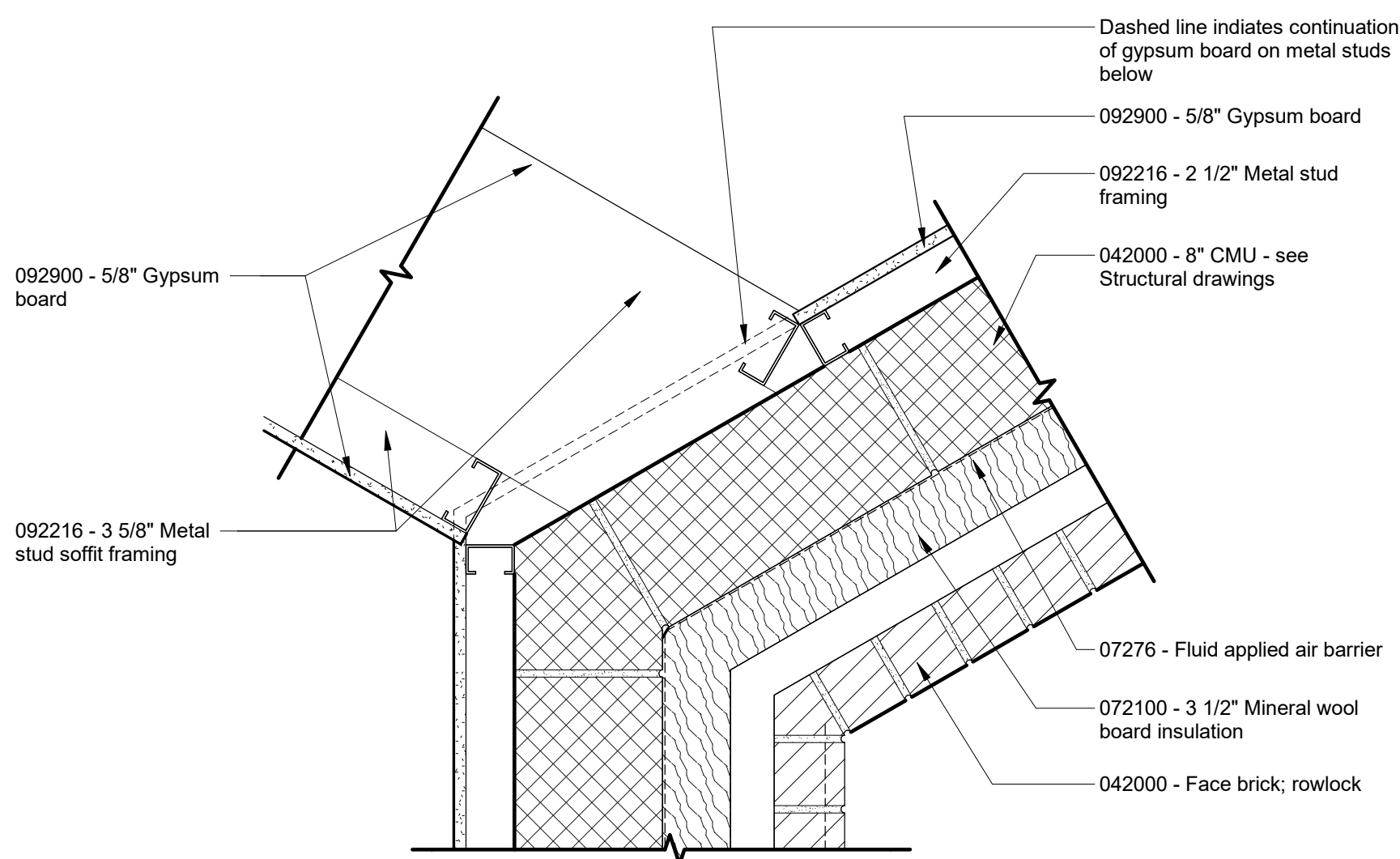
25-031
New Gas Dock Building
Cleveland Yachting Club
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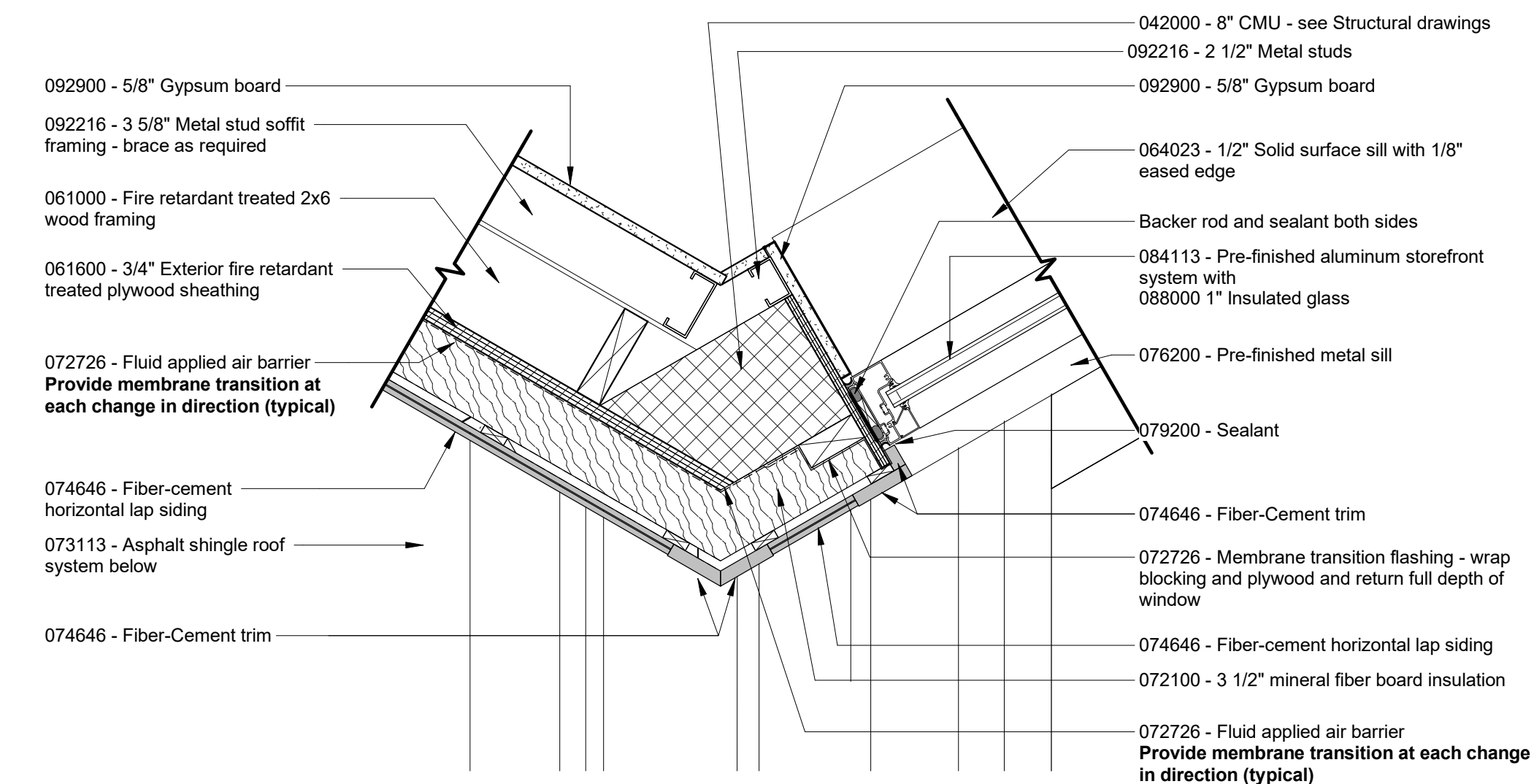


5 TOWER PLAN - AT WINDOWS
A-111 Scale: 1/4" = 1'-0"

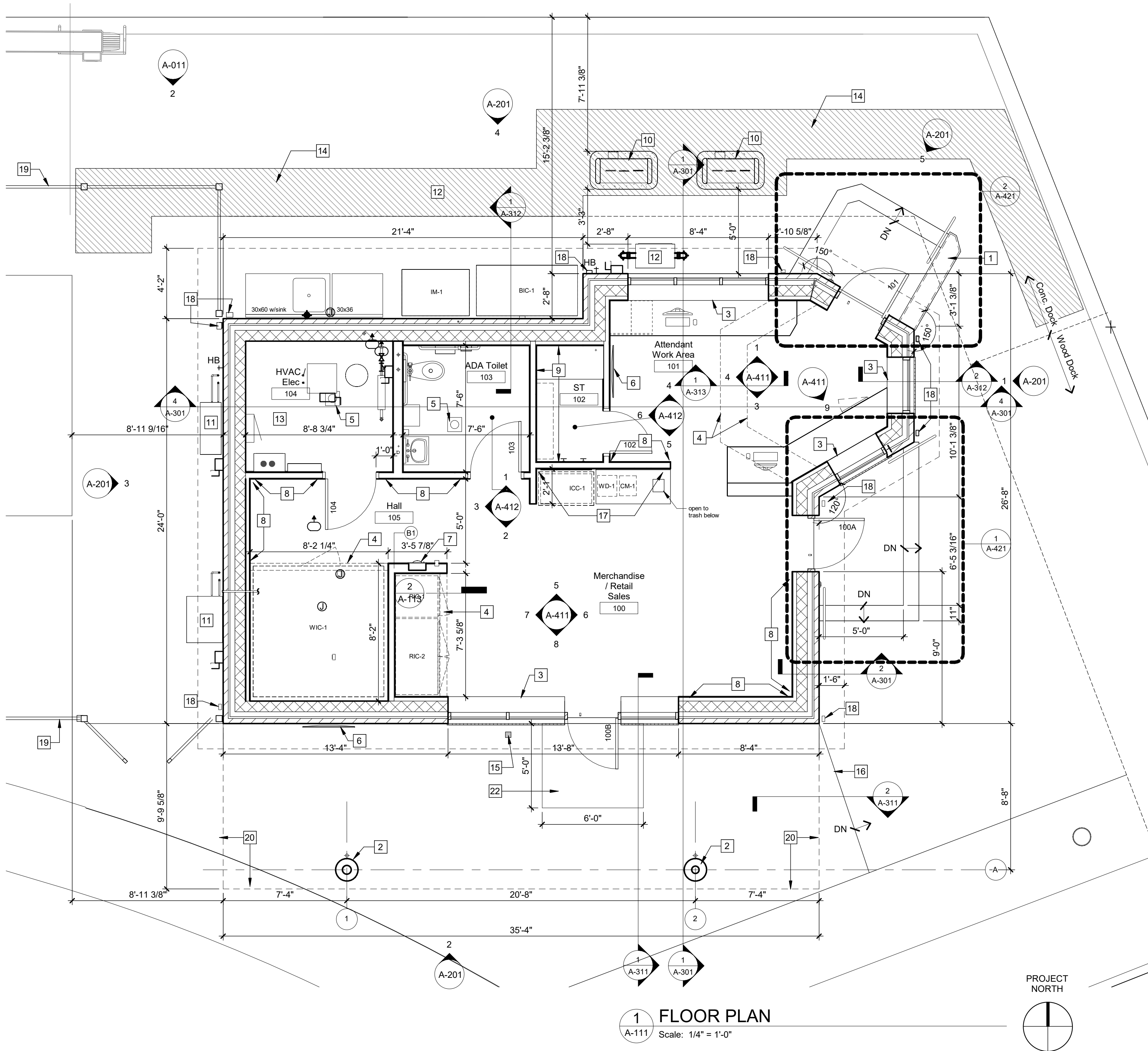
4 TOWER PLAN - BELOW WINDOWS
A-111 Scale: 1/4" = 1'-0"



3 PLAN DETAIL
A-111 Scale: 1 1/2" = 1'-0"



2 PLAN DETAIL
A-111 Scale: 1 1/2" = 1'-0"



1 FLOOR PLAN
A-111 Scale: 1/4" = 1'-0"

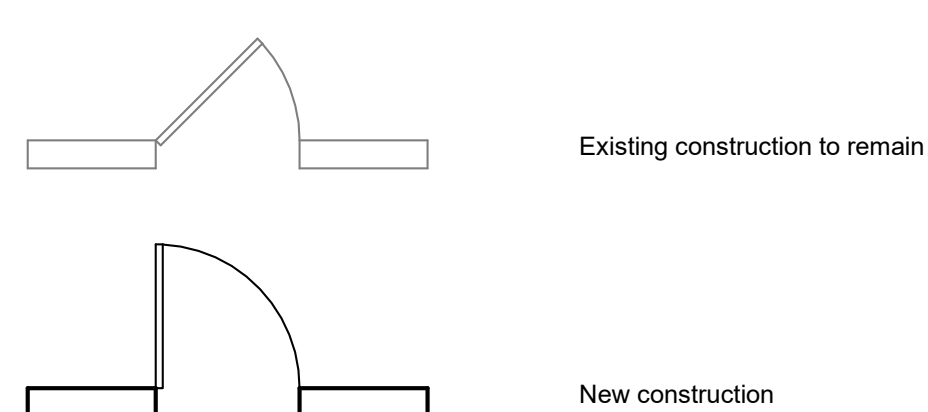
CODED NOTES - FLOOR PLAN

- 1 Face brick on CMU low wall with stone cap Top of wall to be 3'-8" AFF
- 2 Steel tube on cast-in-place concrete column. See Structural drawings
- 3 Provide solid surface sill, refer to Finish Schedule and notes
- 4 Dashed line indicates line of bulkhead or soffit above
- 5 Floor drain, slope floor to drain as required. See Plumbing drawings
- 6 Wall mounted TV on bracket (OFCI) - provide blocking as required for support
- 7 Recessed fire extinguisher cabinet
- 8 Provide in-wall blocking from above base to 7'-2" aff this area for future wall hung items
- 9 Provide in-wall blocking as required for shelving, see Interior Elevations for additional information
- 10 Fuel Pump; provided and installed by others. Coordinate with Collins Equipment representative
- 11 Mechanical unit on metal frame anchored to concrete slab - see Mechanical drawings
- 12 Waste pump (OFCI) on metal frame anchored to concrete slab
- 13 Provide 3/4" plywood panels, bottom to be 12" AFF, typical each wall
- 14 Approximate location of trench for underground fuel lines - 36" wide (minimum) x 36" deep. Coordinate with Collins Equipment representative
- 15 Post mounted card reader - coordinate location of post with Architect prior to installation
- 16 Step down - see Civil drawings
- 17 Provide in-wall blocking from above counter to 7'-2" aff this area for future wall hung items
- 18 Prefinished downspout
- 19 Fence - see Architectural Site Plan and details for additional information
- 20 Dashed line indicates line of canopy above
- 22 Frost slab - see Structural drawings

GENERAL NOTES - FLOOR PLAN

- A All partitions to be Type 'A1' unless noted otherwise. Refer to A6 series drawings for partition information.
- B Contractor to verify all dimensions and conditions in the field prior to commencement of work. If drawings conflict with actual field conditions, contact Architect prior to proceeding with work.
- C Refer to Life Safety Plans for rated wall locations.
- D Dashed furniture and equipment items shown for reference only and is not part of the General Contract. These items will be provided and installed by Owner. Contractor may need to coordinate specific fixture and equipment requirements if noted. Refer to A6 series drawings for equipment schedule
- E Provide concealed in-wall reinforcing/blocking for attachment of all millwork, casework, and/or accessories as required.
- F All dimensions are to finish face of gypsum board unless noted otherwise.
- G Verify in field with designer final locations of all light switches, strobes, fire extinguisher cabinets, fire alarm pulls and other devices on walls.

LEGEND - FLOOR PLAN





 Exit sign

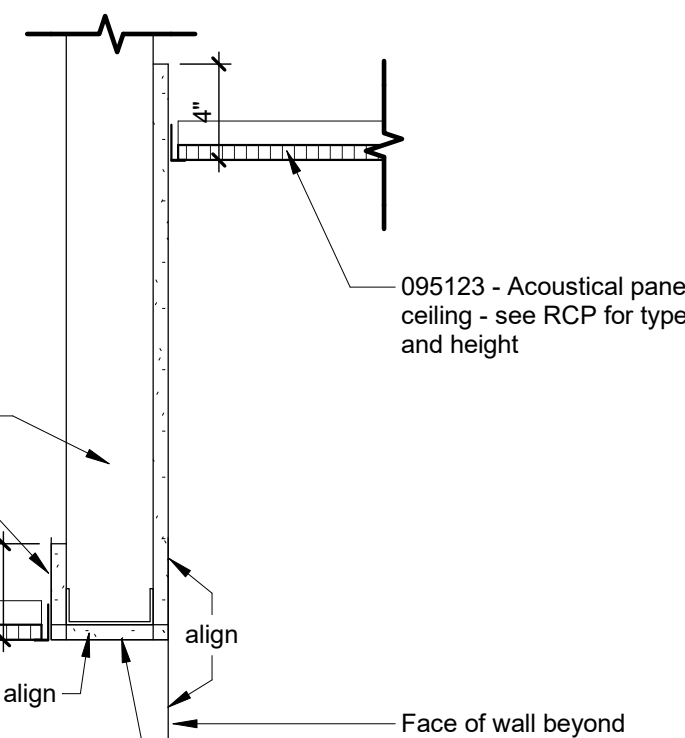
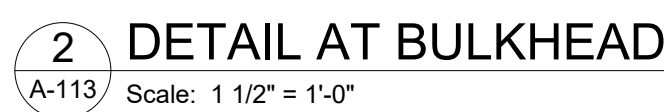
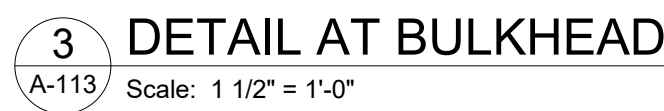
- 1 All ceilings are 8'-6" AFF unless noted otherwise.
- 2 Center and/or edge align all ceiling tiles, as indicated graphically, unless noted otherwise.
- 3 Refer to electrical drawings for light fixture descriptions and all ceiling mounted electrical devices.
- 4 Refer to mechanical drawings for diffuser descriptions and all ceiling mounted mechanical devices.
- 5 Refer to technology drawings for identification and description of ceiling mounted technology equipment.
- 6 CT = cut tile
- 7 Ceiling height dimensions shown on rcp, and details are from finish floor to finish ceiling.
- 8 Unless noted otherwise, light fixtures shall be located as shown on the reflected ceiling plans.
- 9 Where light fixtures, devices and accessories are shown to be recessed in ceiling tiles, they shall be centered in the ceiling tiles unless noted otherwise.
- 10 Provide access panels as required by applicable codes and as required for mechanical, electrical, and plumbing equipment. Access panels located in finished areas shall be painted to match adjacent surfaces. Locations shall be reviewed with the Architect prior to proceeding with the installation.
- 11 All gypsum, board ceilings and soffits are to be painted.
- 12 No mechanical equipment in the ceiling cavity requiring normal maintenance shall be installed above a gypsum, board ceiling. Notify architect if any such items are indicated above gypsum, board ceilings.
- 13 Exit and smoke detectors located in hard ceilings shall be centered in corridors and located a distance of 1'-0" from wall to the center of the fixture unless noted otherwise. Locate exit signs as required by the authority having jurisdiction.
- 14 Soffits and bulkheads shall be laterally braced to resist horizontal movement.

- 1 Provide metal edge trim to gypsum board above
- 2 074293 - Vented aluminum soffit system
- 3 Galvanized steel tube column in cast-in-place concrete
- 4 077100 - Prefinished aluminum fascia
- 5 Manual window shade



A	Refer to Mechanical, Plumbing, and Electrical drawings for indication of openings and penetrations required in roof. Contractor shall coordinate final extend, number, and location of all penetrations and openings with Mechanical, Plumbing, and Electrical contractors
B	Unless labeled or noted otherwise, positive roof slope for drainage in 'flat roof' area is achieved by the use of tapered insulation. Minimum roof slope is 1/4" per foot unless noted otherwise
C	Base Roof insulation four (4) inches unless noted otherwise. Add tapered insulation to base insulation to achieve proper drainage. Minimum tapered slope is 1/4" per foot unless noted otherwise
D	Coordinate installation of equipment curbs with MEP contractors
E	Provide roof insulations/at all supports, equipment, and penetrations to facilitate roof drainage

- 1 075323 - Membrane roof system on tapered insulation - Provide depth as required to slope to drain at 1/4" per 12" minimum
- 2 073113 - Asphalt shingles, to match existing Clubhouse
- 3 074113.16 - Standing seam metal roof system
- 4 076200 - Pre-finished aluminum gutter system - Internal slope as required to drain
- 5 076200 - Pre-finished aluminum roof edge
- 6 Dashed line indicates exterior face of wall below (typical)
- 7 Roof drain - see Plumbing drawings
- 8 076200 - Prefinished aluminum downspout
- 9 073113 - Snow guards
- 10 073113 - Ridge vent, match asphalt shingles
- 11 074113.16 - Ridge vent, match standing seam metal roof color

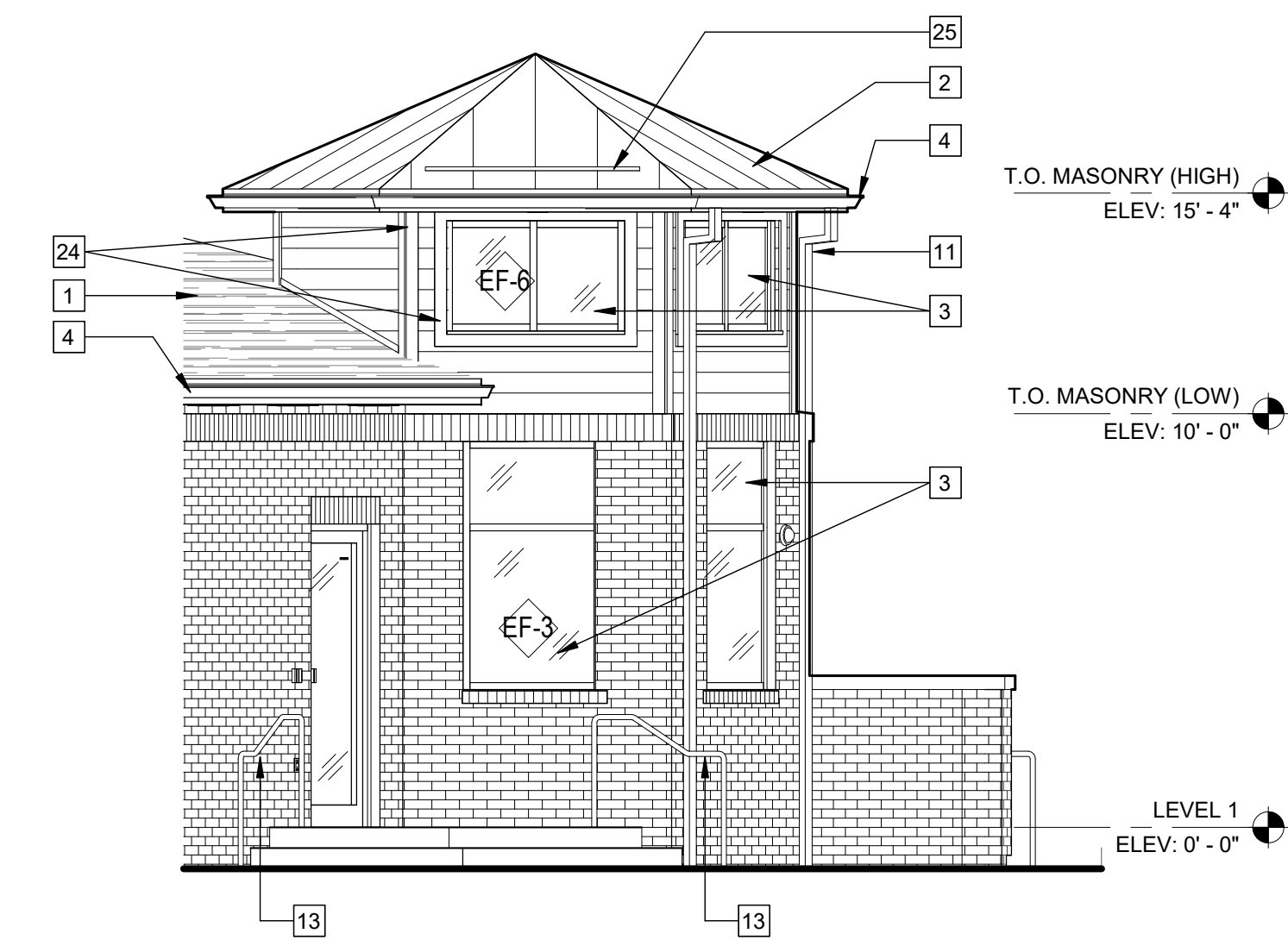


LEGEND - EXTERIOR ELEVATIONS

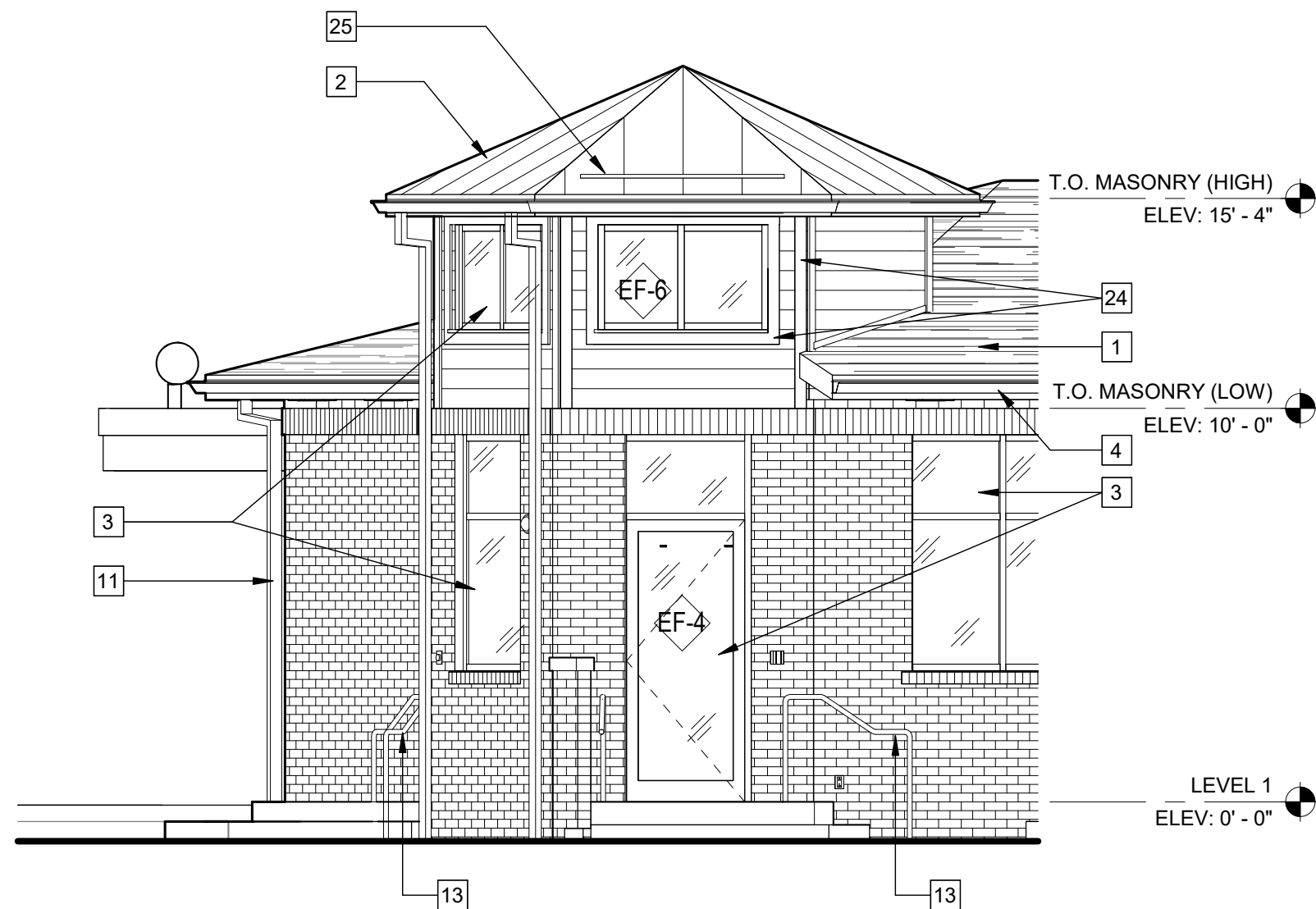
- Glazing
- 042000 - Face Brick
- 074646 Fiber-Cement Horizontal Lap Siding

CODED NOTES - EXTERIOR...

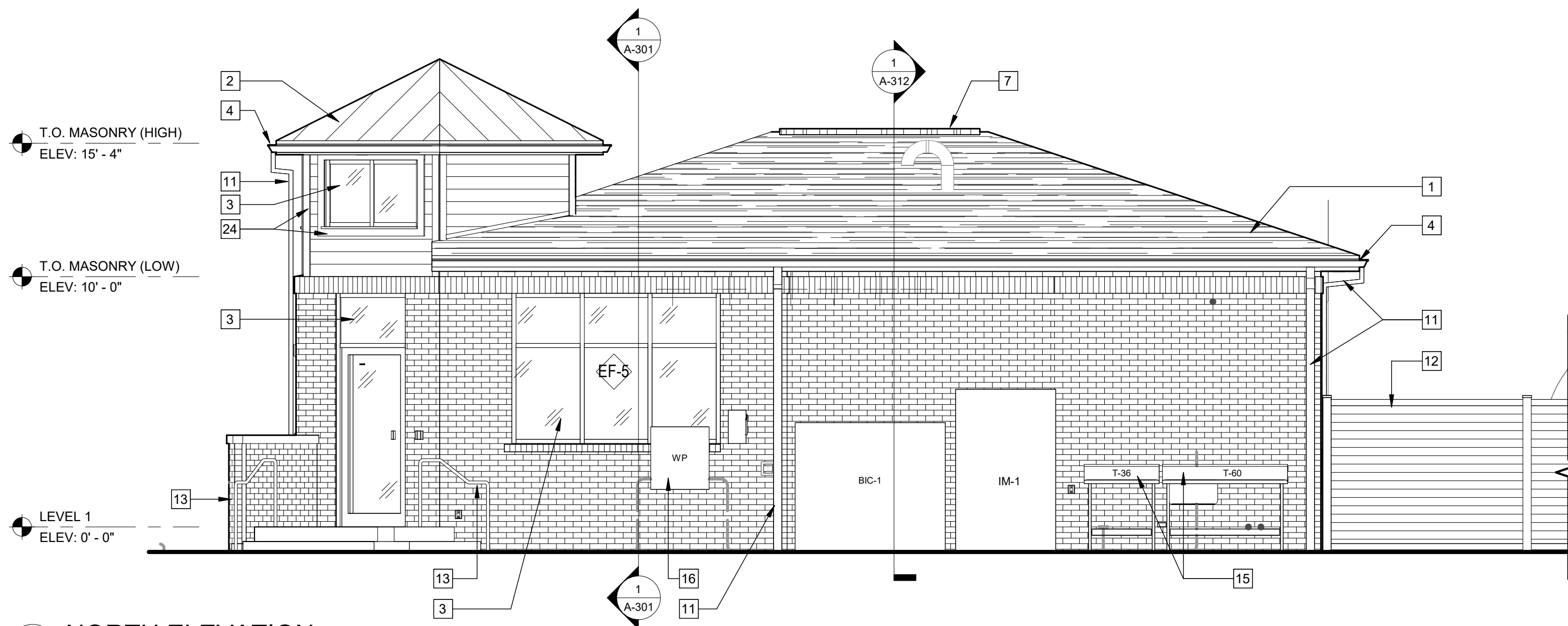
- 1 073113 - Asphalt shingle roof system
- 2 074113.16 - Standing seam metal roof system
- 3 084313 - Pre-finished aluminum storefront system with 1" insulated glass. See Exterior Aluminum Frame Types for additional information
- 4 076200 - Pre-finished aluminum gutter system
- 5 074646 - Fiber-cement fascia
- 6 051200 - Painted steel tube column on cast-in-place concrete - See Structural drawings
- 7 073113 - Ridge vent
- 8 Mechanical unit on metal frame anchored to concrete slab - See Mechanical drawings
- 9 Manual shut-off - See Mechanical drawings
- 10 Pre-finished metal drip edge
- 11 Pre-finished aluminum downspout
- 12 Vinyl Fence system (Pre-finished aluminum fence - Alternate No. 2)
- 13 055213 - 1 1/2" diameter Stainless Steel handrail
- 14 Fuel pump (NIC) - coordinate with Collins Equipment representative
- 15 Fish cleaning station with sink with hose sprayer faucet and macerator (OFCI) See Plumbing drawings
- 16 Waste pump (OFCI) on wall floor mounted steel platform anchored to concrete slab
- 17 Wall mounted TV on bracket (OFCI) - Coordinate mounting height and location with Owner prior to electrical rough-in
- 18 Prefinished metal louver - see Mechanical drawings
- 19 076200 - Pre-finished aluminum fascia
- 20 Post mounted card reader - coordinate location in field with Architect prior to installation
- 21 Roof mounted light fixture - see Electrical drawings
- 23 073113 - Snow guards
- 24 074646 - Fiber-cement trim
- 25 074113.16 - Snow guard



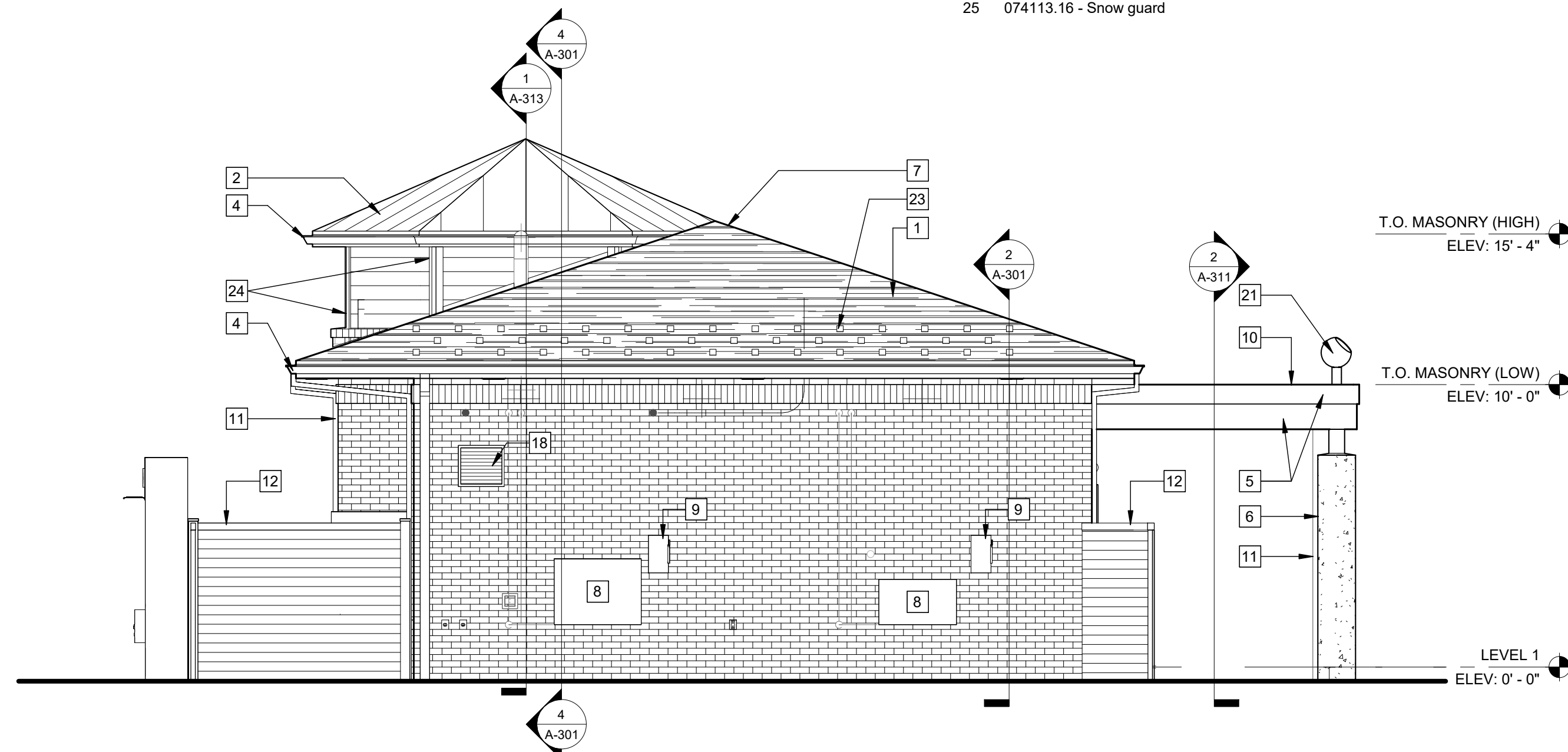
6 SOUTHEAST ELEVATION
A-201 Scale: 1/4" = 1'-0"



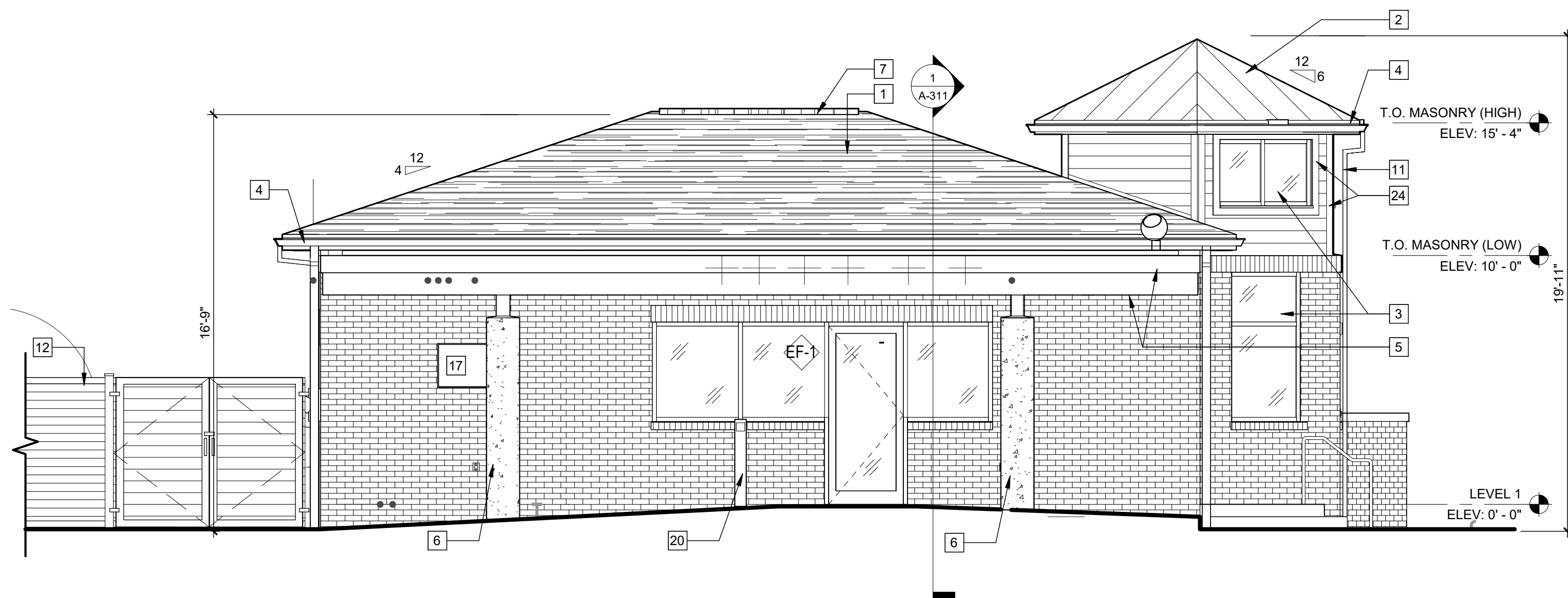
5 NORTHEAST ELEVATION
A-201 Scale: 1/4" = 1'-0"



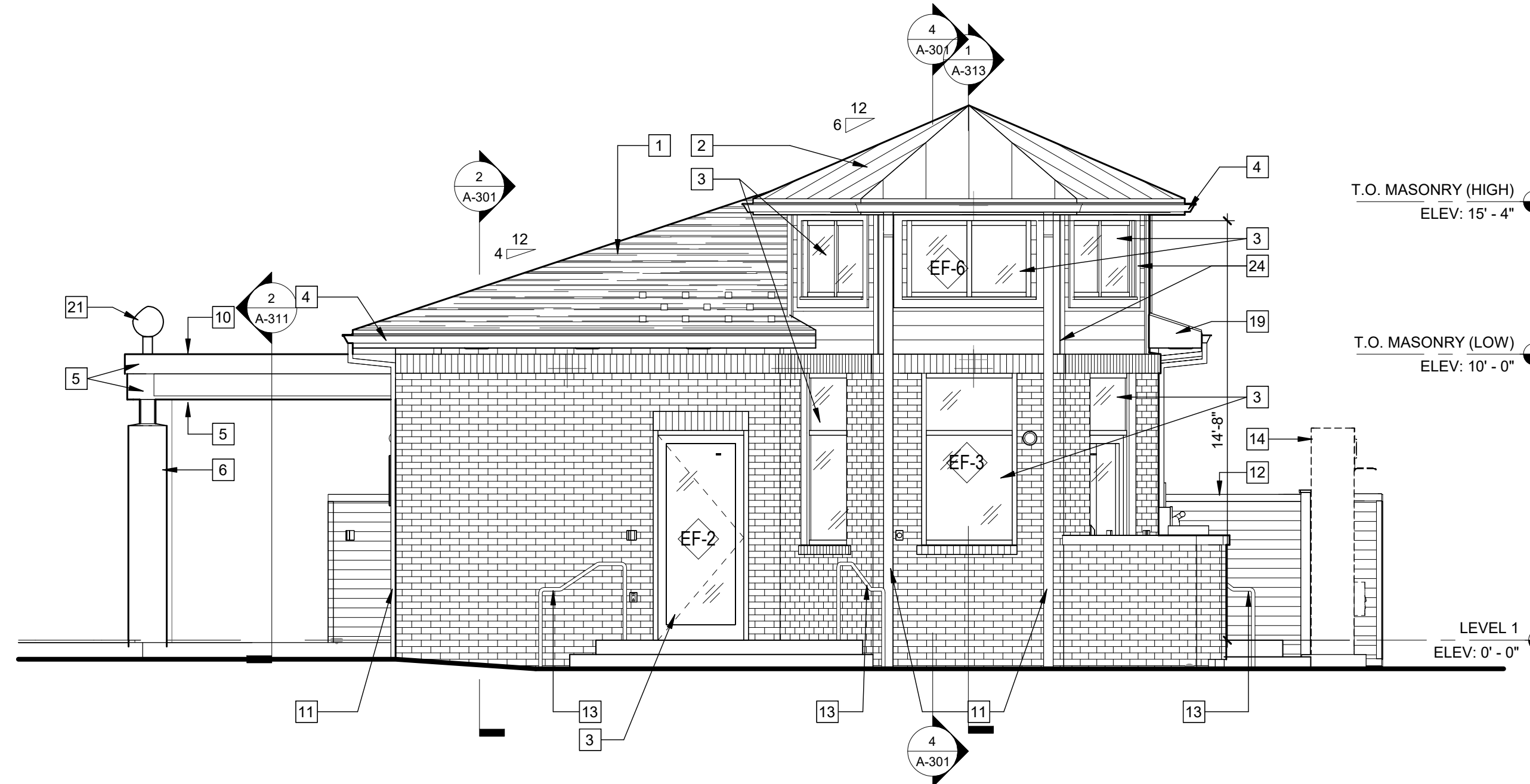
4 NORTH ELEVATION
A-201 Scale: 1/4" = 1'-0"



3 WEST ELEVATION
A-201 Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
A-201 Scale: 1/4" = 1'-0"



1 EAST ELEVATION
A-201 Scale: 1/4" = 1'-0"

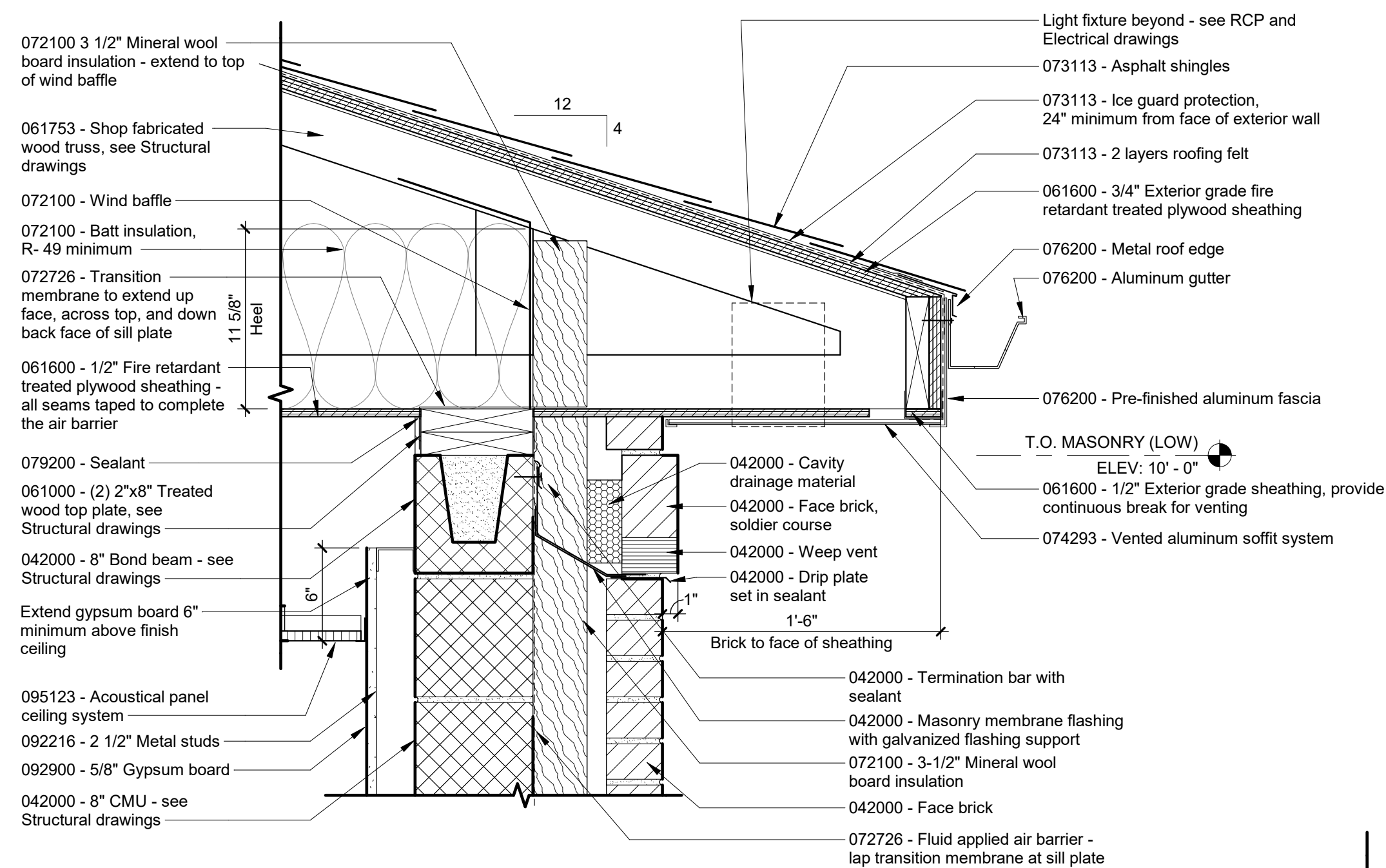
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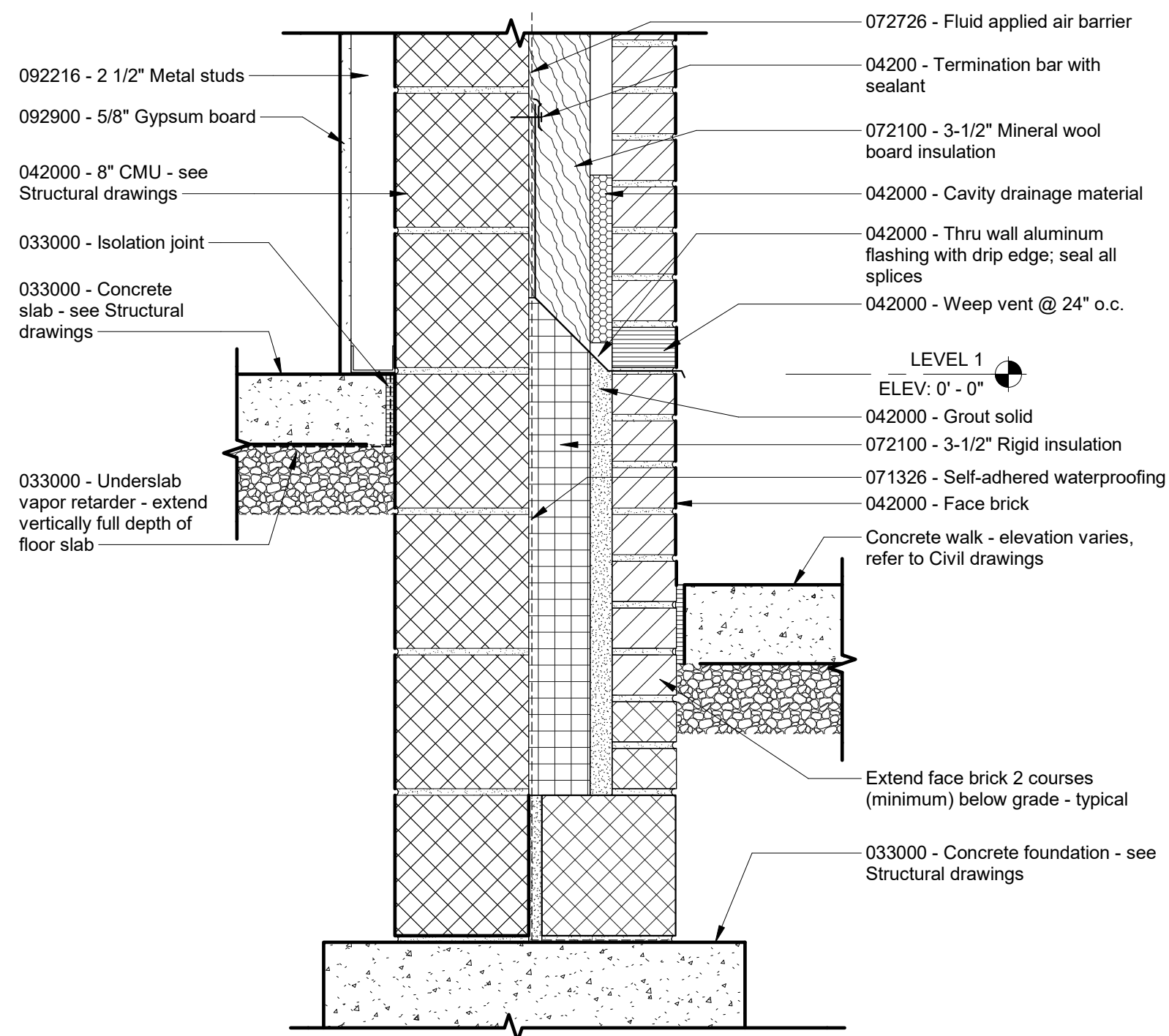
EXTERIOR ELEVATIONS

A-201



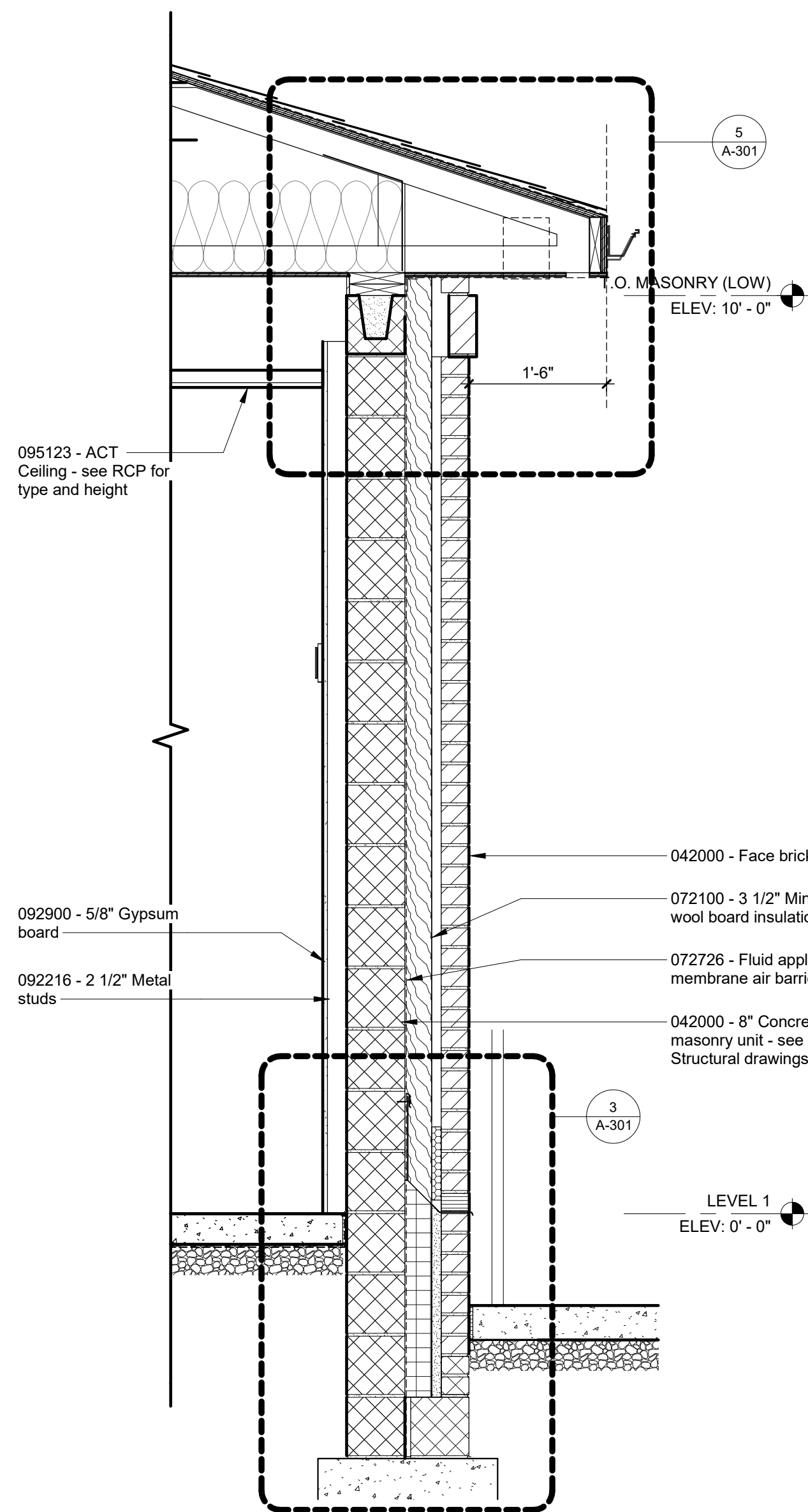
5 SECTION DETAIL

A-301 Scale: 1 1/2" = 1'-0"



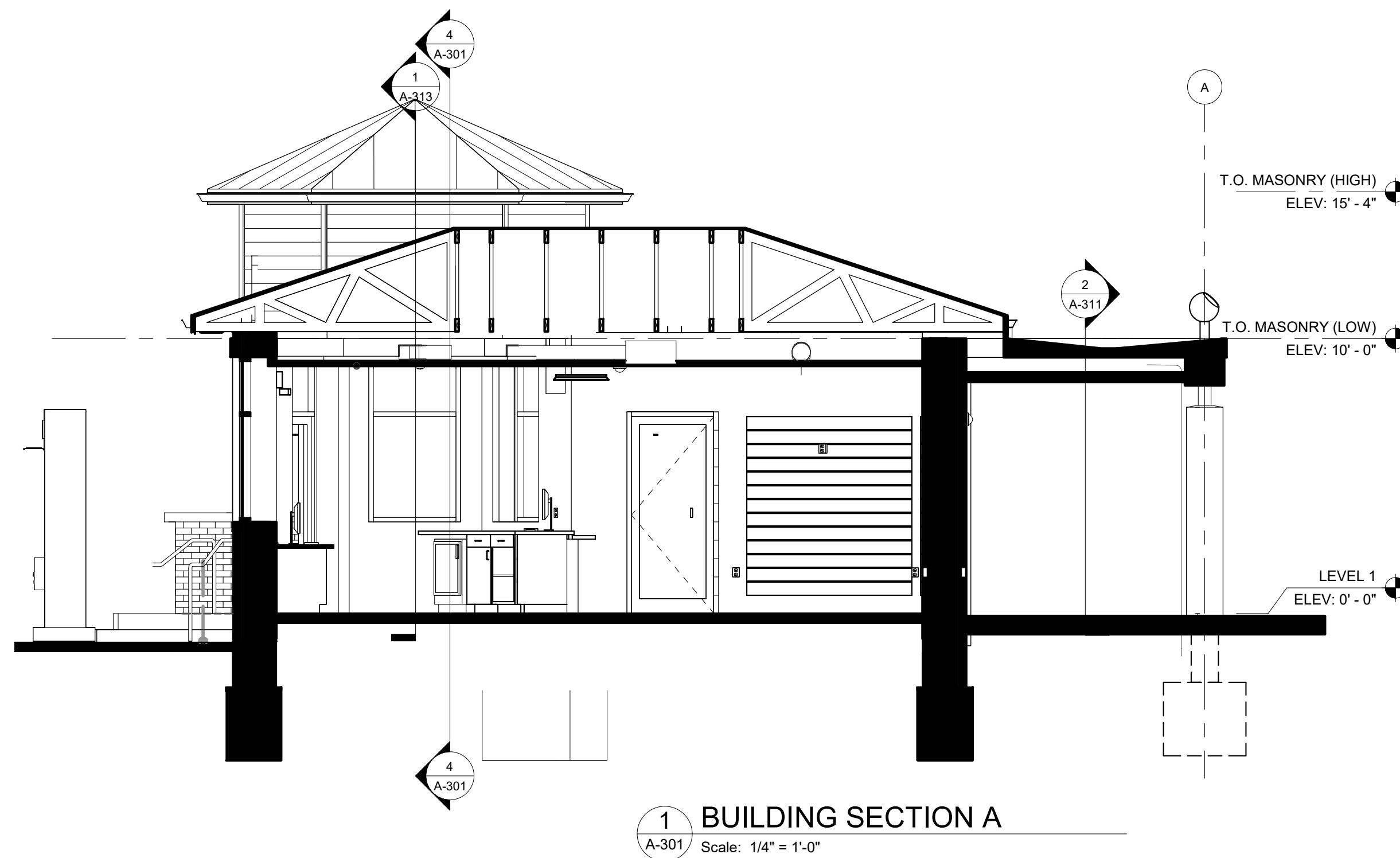
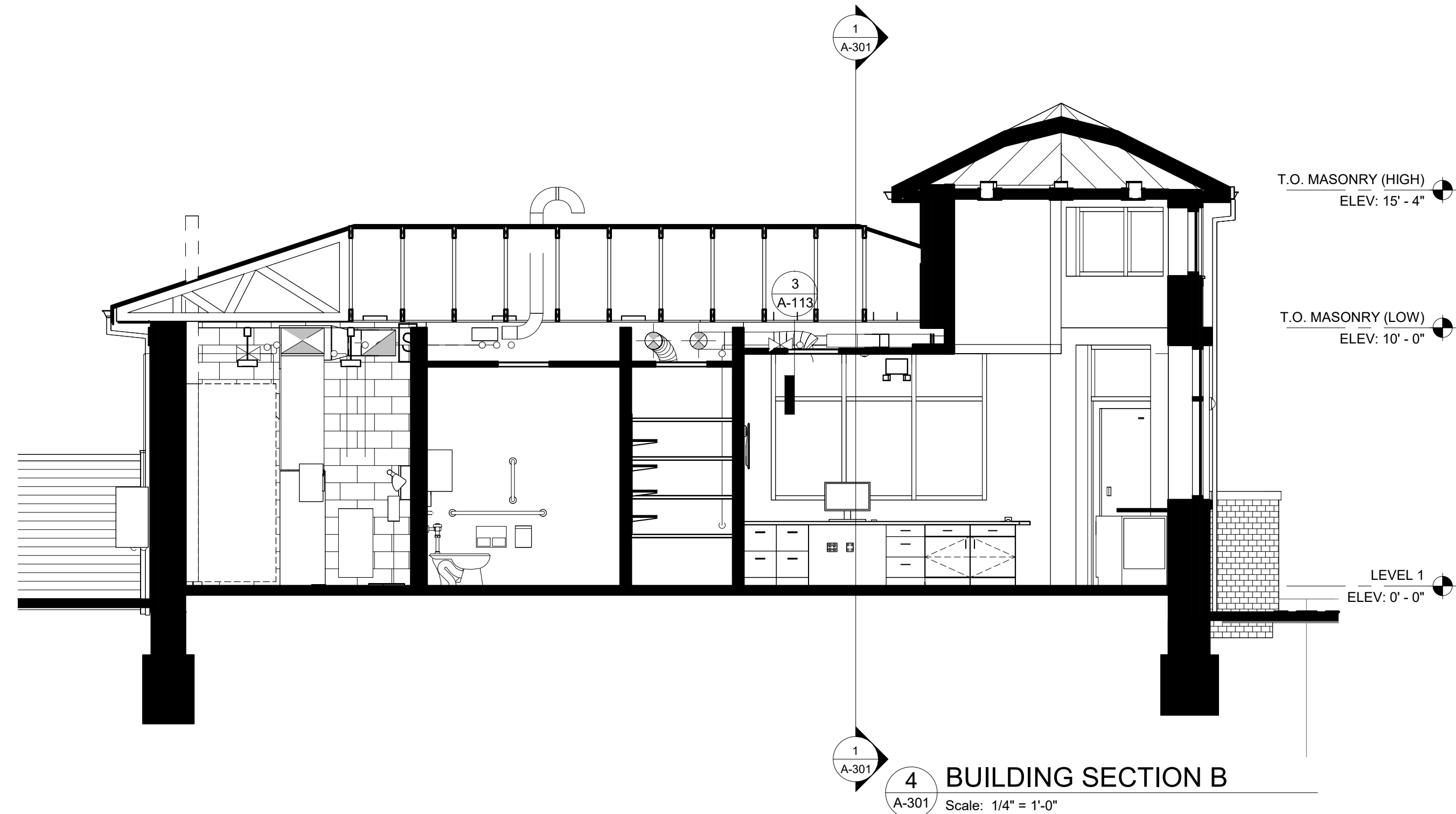
3 SECTION DETAIL

A-301 Scale: 1 1/2" = 1'-0"



2 TYPICAL WALL SECTION

A-301 Scale: 3/4" = 1'-0"



25-031

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Addendum 01	07-30-2025
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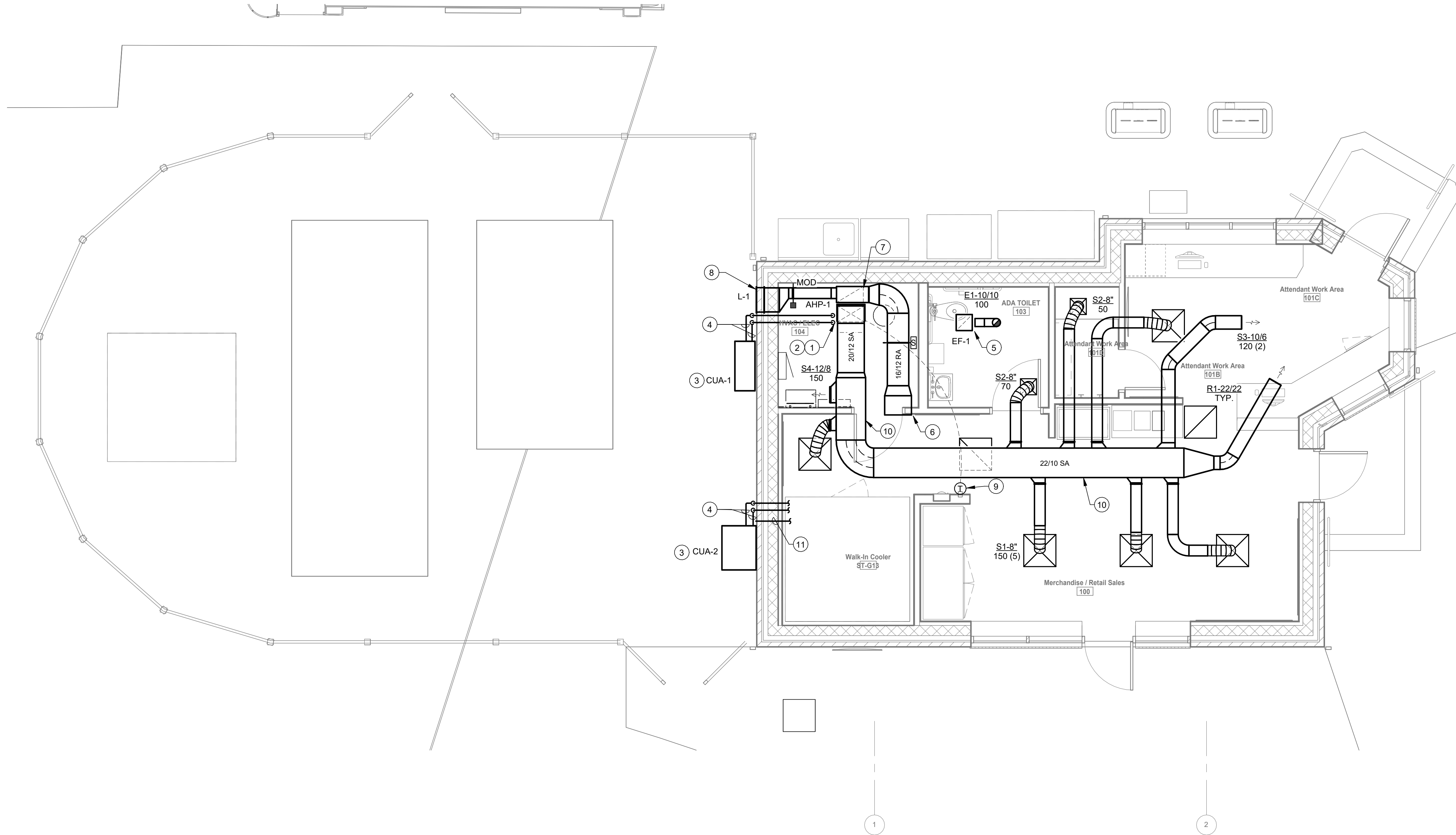
BUILDING SECTIONS,
WALL SECTIONS AND
DETAILS

A-301



Karpinski
ENGINEERING

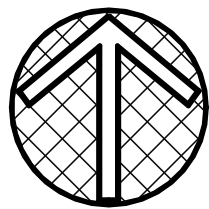
3135 Euclid Ave.
Cleveland, OH 44115
216-391-3700
karpinskieng.com



PLAN NOTES

- 1 AIR SOURCE HEAT PUMP INSTALLED ON 4" CONCRETE PAD.
- 2 3/4" CONDENSATE PIPING ROUTED TO FLOOR DRAIN IN MECHANICAL ROOM.
- 3 CONDENSING UNIT MOUNTED 24" AFF ON FIELD FABRICATED FLOOR MOUNTED BRACKET.
- 4 REFRIGERANT SUCTION AND LIQUID LINES TO BE ROUTED ALONG WALL. PIPING TO BE SIZED PER MANUFACTURER REQUIREMENTS.
- 5 CEILING MOUNTED EXHAUST FAN WITH INTEGRAL FAN CONTROLLED VIA WALL SWITCH. ROUTE 6" ROUND EXHAUST DUCT UP THROUGH ROOF AND TERMINATE WITH GOOSE NECK. PROVIDE BACK DRAFT DAMPER IN EXHAUST AIR DUCTWORK.
- 6 16/12 RETURN AIR TRANSITION TO 20/8 AND PENETRATE THROUGH WALL FOR RETURN AIR PLENUM.
- 7 20/12 RETURN AIR CONNECTION TO BACK OF AIR SOURCE HEAT PUMP. TRANSITION TO 16/12.
- 8 18/16 OUTSIDE AIR LOUVER. EXTEND 18/16 OUTSIDE AIR DUCT THROUGH WALL AND TRANSITION TO 8/8 OUTSIDE AIR. CONNECT TO 20/12 RETURN AIR DUCT. PROVIDE MOTOR OPERATED DAMPER.
- 9 INSTALL NEW THERMOSTAT AND EXTEND CONTROLS TO AIR SOURCE HEAT PUMP. COORDINATE FINAL LOCATION WITH ARCHITECT.
- 10 SUPPLY AIR DUCTWORK TO BE ROUTED ABOVE CEILING AND BELOW BOTTOM OF STRUCTURAL JOINT SYSTEM.
- 11 1" CONDENSATE DRAIN FROM BEER COOLER THRU WALL. TERMINATE TO SPLASH BLOCK. COORDINATE FINAL LOCATION IN FIELD.

SCALE: 1/4" = 1'-0"
0 2 4 6 8



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**FIRST FLOOR HVAC
PLAN**

H-111