

City of Rocky River - Planning Commision  
800 Linda - FINAL Submission  
February 18th, 2026



## EXISTING CONTEXT



### ABOUT THE SITE

Address:  
19911 Lake Rd  
Rocky River, OH, 44116

Zoning Type:  
Multi-Family Residential, R-5

Lot Size:  
1.64 Acres  
71,434 SF

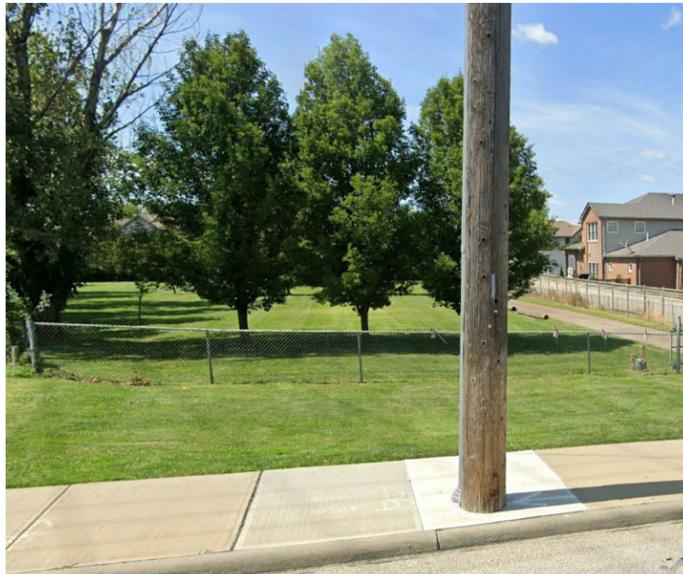
Street Frontage:  
62'

Lot Depth:  
283'

### NEARBY PROPERTIES OF NOTE

1. Truwest Holdings
2. Beachcliff Row
3. Roundstone Insurance
4. The Kennedy
5. Dependable LLC
6. FE3 Integrated Fitness
7. Astor Place

# EXISTING CONTEXT



Looking West Towards Parcel from Linda Street



Looking NW Towards Adj. Context from Linda St



Looking SW Towards Linda Street from Lake Road



Looking SW Towards Adj. Context from Lake Rd

# EXISTING CONTEXT - ROUNDSTONE INSURANCE



# ZONING MAP

## ZONING REQUIREMENTS

**Parcel Number:** 30117005  
**Parcel Zoning:** R5 Multi-Family Residential

**Surrounding Parcels:** R3 Single-Family Attached Residential  
 LB Local Business

**Site Area (Schedule 1157.05)**

Min. Width	150 ft
Max. Bldg Coverage	40%
Max. Hardscape	75%

**Setbacks (Schedule 1157.07)**

Building	25 ft
Street ROW	25 ft
Site Bounds	20 ft

**Parking (Schedule 1157.11)**

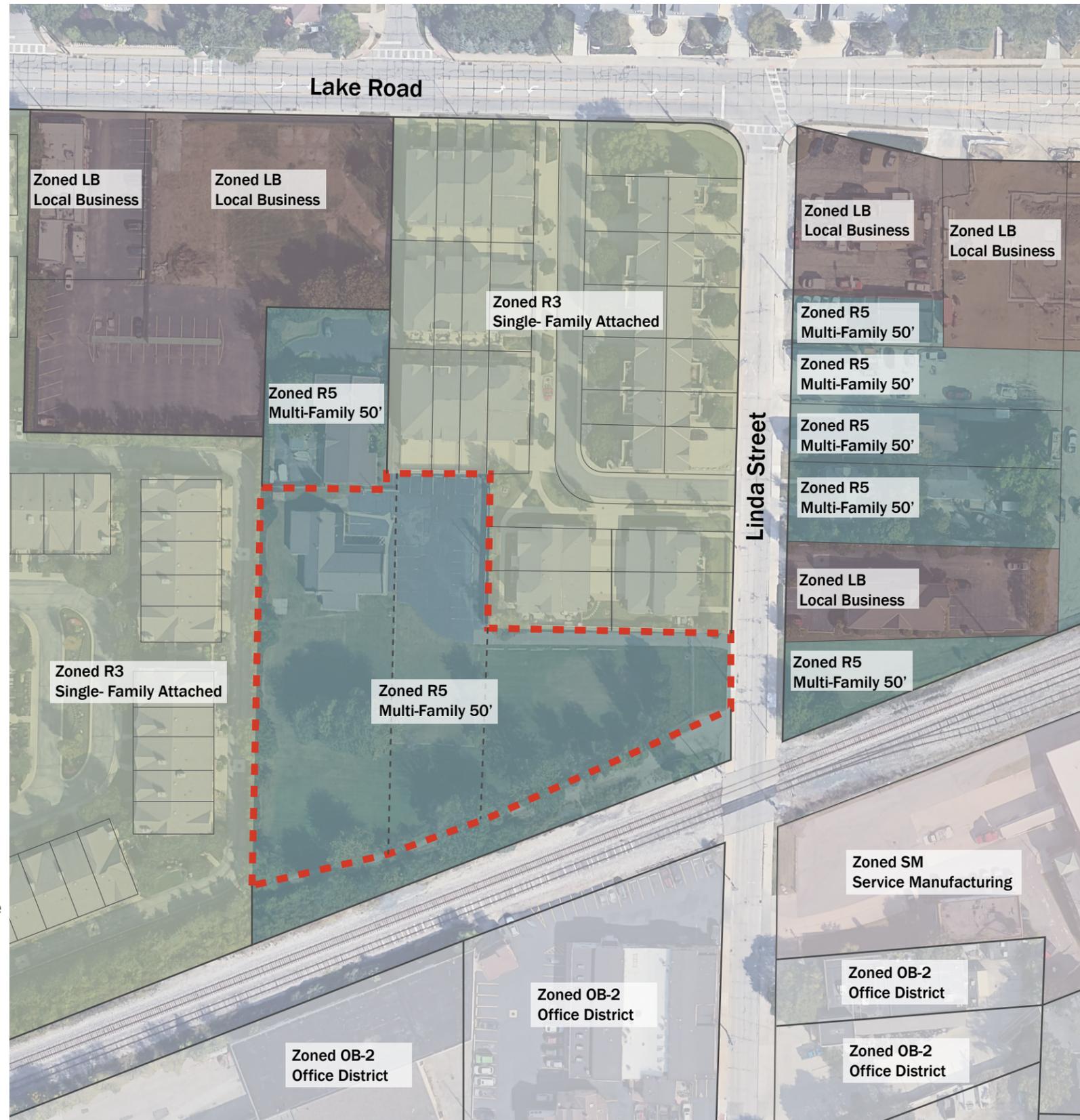
Street ROW	10 ft
Rear/Side Yd	10 ft

**Height Limitations (1157.09)**

Main Building	50 ft
Accessory Buildings	15 ft

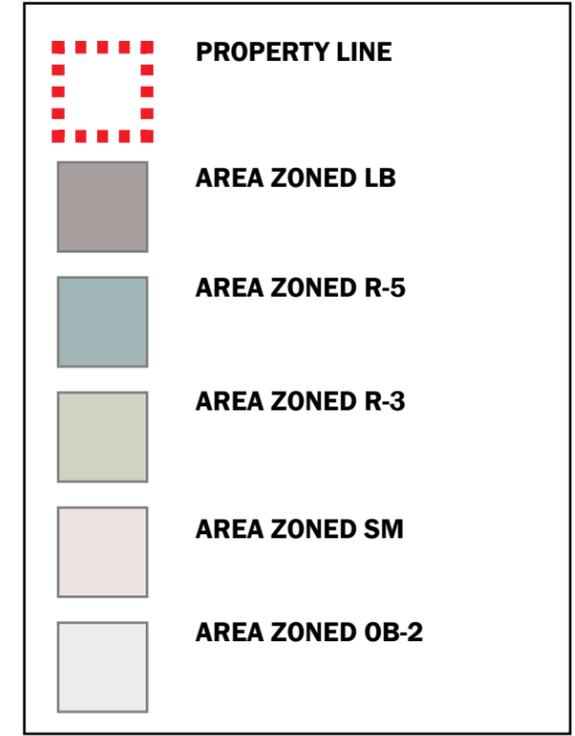
**Required Parking (Schedule 1187.09)**  
 2 spaces per dwelling unit at least 1 enclosed in a garage, plus guest parking at the rate of 1 space for every 4 dwelling units

**VARIANCE REQUIREMENTS**  
 Use Variance: First Floor Public Fitness Center Amenity Space



**ZONING PLAN**  
 1" = 40' - 0"

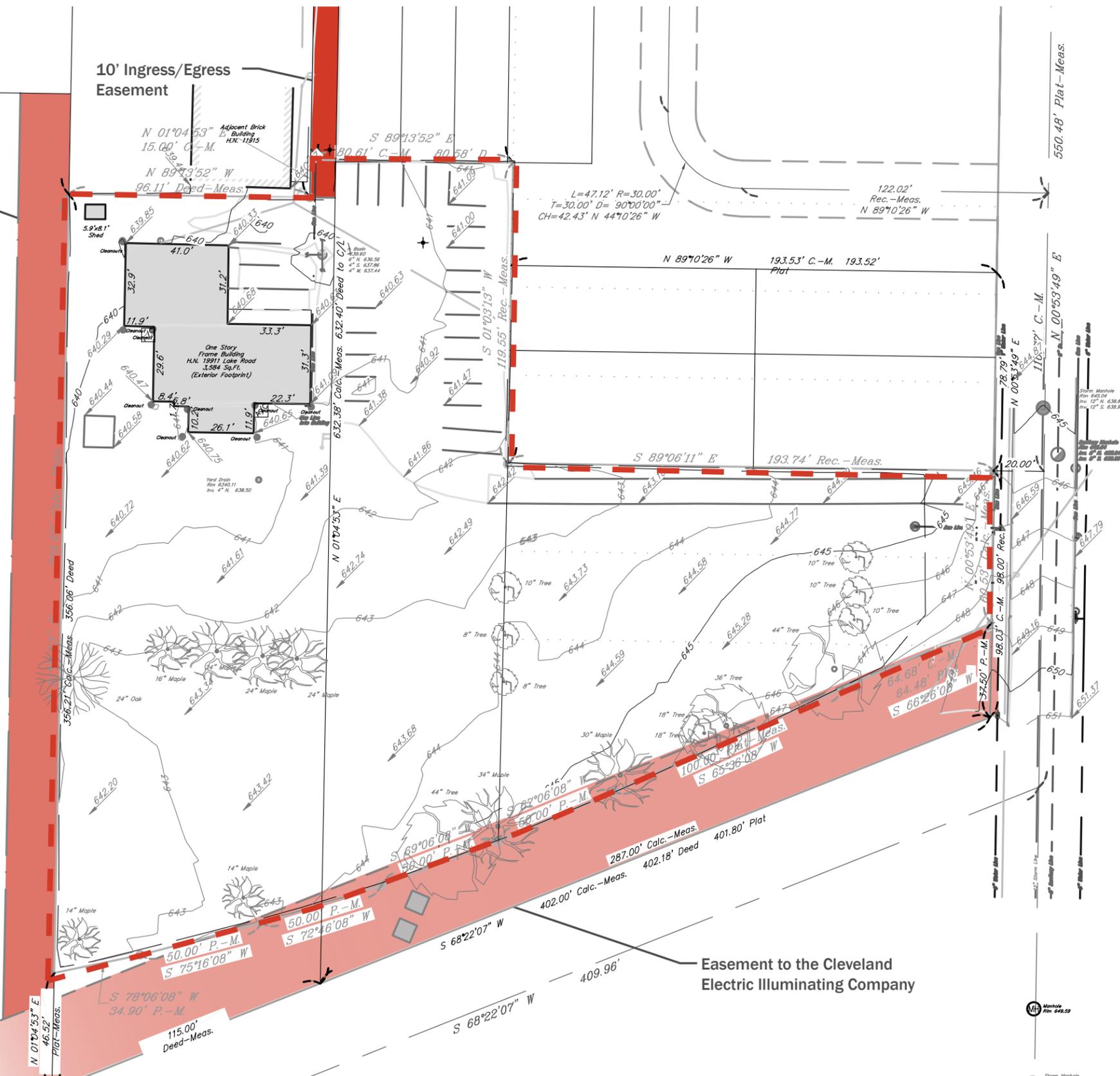
## ZONING LEGEND



# EXISTING SURVEY

20' Gas Easement

10' Ingress/Egress Easement



EXISTING SITE SURVEY

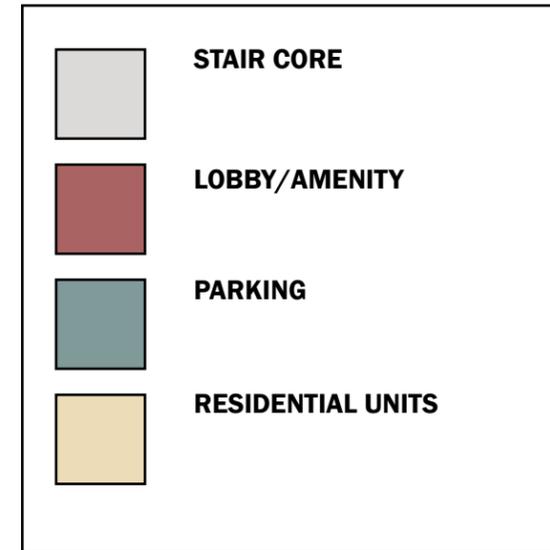
1" = 20' - 0"



Easement to the Cleveland Electric Illuminating Company

# ZONING COMPARISON - ALTERNATIVE DEVELOPMENT

## ZONING LEGEND



## ZONING METRICS

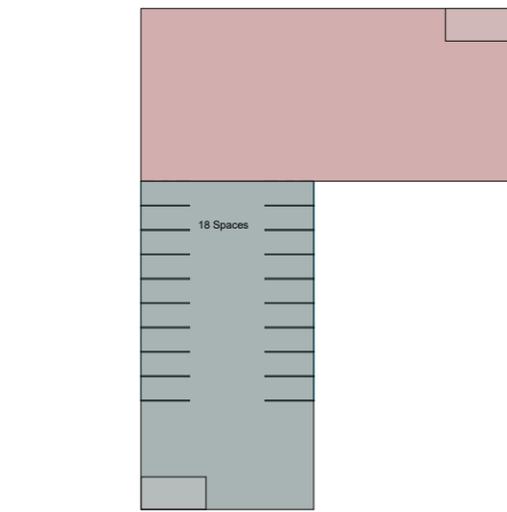
ACRES (SF):	1.65 (72000 SF +/-)
MAX LOT COVER - BUILDING (40%):	28,800 SF +/-
BUILDING SETBACK =	25'
PARKING SETBACK =	10'
HEIGHT/STORIES =	5/50'
MAX LOT COVER - HARDSCAPE (75%) =	54,000 SF +/-

## BUILDING METRICS

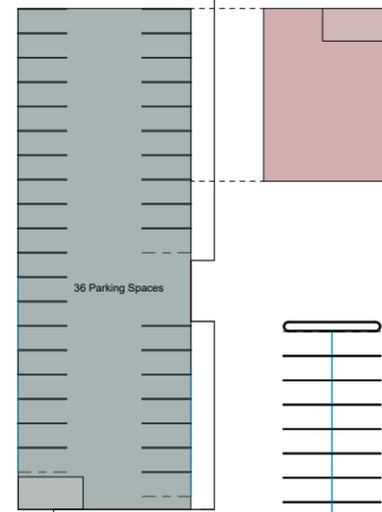
2 LEVELS OF PARKING + LOBBY AND AMENITY	
3 LEVELS OF RESIDENTIAL UNITS	
BUILDING FOOTPRINT =	16,580 SF (3 LEVELS)
TOTAL RESIDENTIAL SQ FOOTAGE =	49,740 SF
RESIDENTIAL SQ FT (90% EFFICIENT) =	44,766 SF
	850 AVG. UNIT SIZE
TOTAL UNIT COUNT @ 850 SF AVG. =	+/- 53 UNITS

## PARKING

REQUIRED PARKING:	53 INDOOR
PARKING PROVIDED:	LEVEL 1 = 36
	LEVEL 2 = 18
	SURFACE = 53
	13 GUEST (53/4)
TOTAL:	119 SPACES



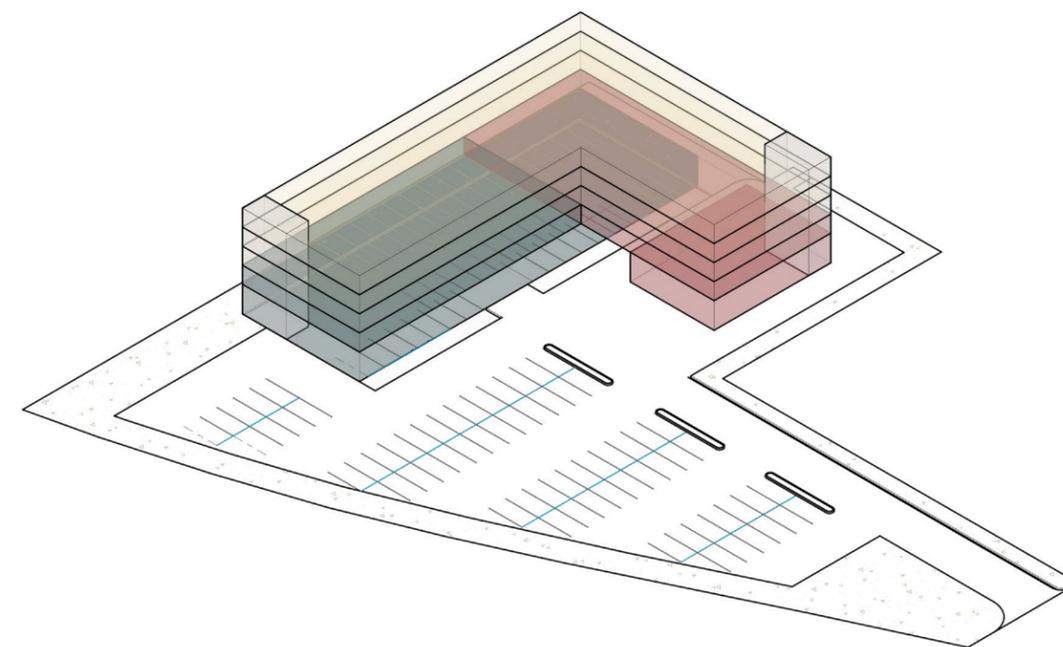
**FLOOR 2**  
1" = 30'-0"



**FLOOR 1**  
1" = 30'-0"



**ALTERNATIVE DEVELOPMENT SITE PLAN**  
1" = 30'-0"



**ALTERNATIVE DEVELOPMENT AXONOMETRIC VIEW**  
1" = 30'-0"

# ZONING COMPARISON - PROPOSED PROJECT

## ZONING METRICS

ACRES (SF):	1.65 (72000 SF +/-)
MAX LOT COVER - BUILDING (40%)	28,800 SF +/-
BUILDING SETBACK =	25'
PARKING SETBACK =	10'
HEIGHT/STORIES =	5/50'
MAX LOT COVER - HARDSCAPE (75%) =	54,000 SF +/-

## BUILDING METRICS

1 LEVEL OF PARKING + OFFICE + GYM + SUPPORT	
1 LEVEL OF RESIDENTIAL UNITS	
BUILDING FOOTPRINT =	9,000 SF ( 1 LEVEL)
RESIDENTIAL	
TOTAL RES. SQ FOOTAGE (- TERRACES) =	7,800 SF
RESIDENTIAL SQ FT (80% EFFICIENT) =	6,240 SF
1,500 AVG. UNIT SIZE	4 UNITS TOTAL
COMMERCIAL+GYM+SUPPORT USES	
GYM =	4,800 SF
LOCKER ROOMS =	800 SF
SPA =	942 SF
OFFICE/BUSINESS =	1,405 SF
INDOOR PARKING SPACE =	999 SF
LOT COVER IMPERVIOUS SURFACE =	46 % (75% ALLOWABLE)

## REQUIRED PARKING

(AS PER 1187.09)

RESIDENTIAL (4 UNITS)	
2 SPACES PER UNIT, PLUS 1 GUEST SPACE FOR EVERY 4 UNITS	
MINIMUM =	9 SPACES
MAXIMUM =	N/A
NON-RESIDENTIAL	
OFFICE/BUSINESS (1,405 SF)	
MIN 3 SPACES, MAX 5 SPACES PER 1,000 SF	
MINIMUM (1,405 X 0.003) =	5 SPACES
MAXIMUM (1,405 X 0.005) =	8 SPACES
GYM/HEALTH CLUB/COMMERCIAL RECREATION (6,486 SF)	
(WE COMBINED THE GYM/LOCKERS/SPA AS PART OF "EXERCISE AREA")	
1 SPACE PER A MIN OF 250 SF OR A MAX OF 200 SF	
MINIMUM (6,486 / 250) =	27 SPACES
MAXIMUM (6,486 / 200) =	33 SPACES
OVERALL PARKING REQUIRED	
TOTAL REQUIRED MINIMUM =	40 SPACES
TOTAL REQUIRED MAXIMUM =	50 SPACES

## PROVIDED PARKING

INDOOR PARKING SPACES (1 ADA) =	4 SPACES
EXTERIOR PARKING (2 ADA) =	46 SPACES
TOTAL PROVIDED PARKING =	50 SPACES



**FLOOR 1**  
nts



**FLOOR 2**  
nts

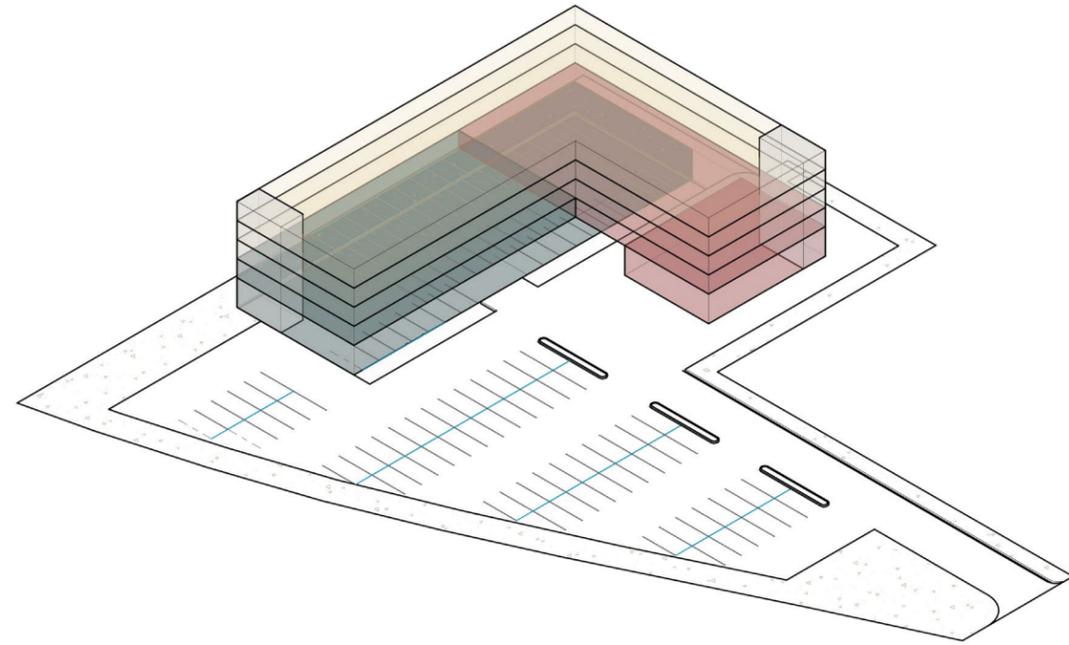


**PROPOSED SITE PLAN**  
nts

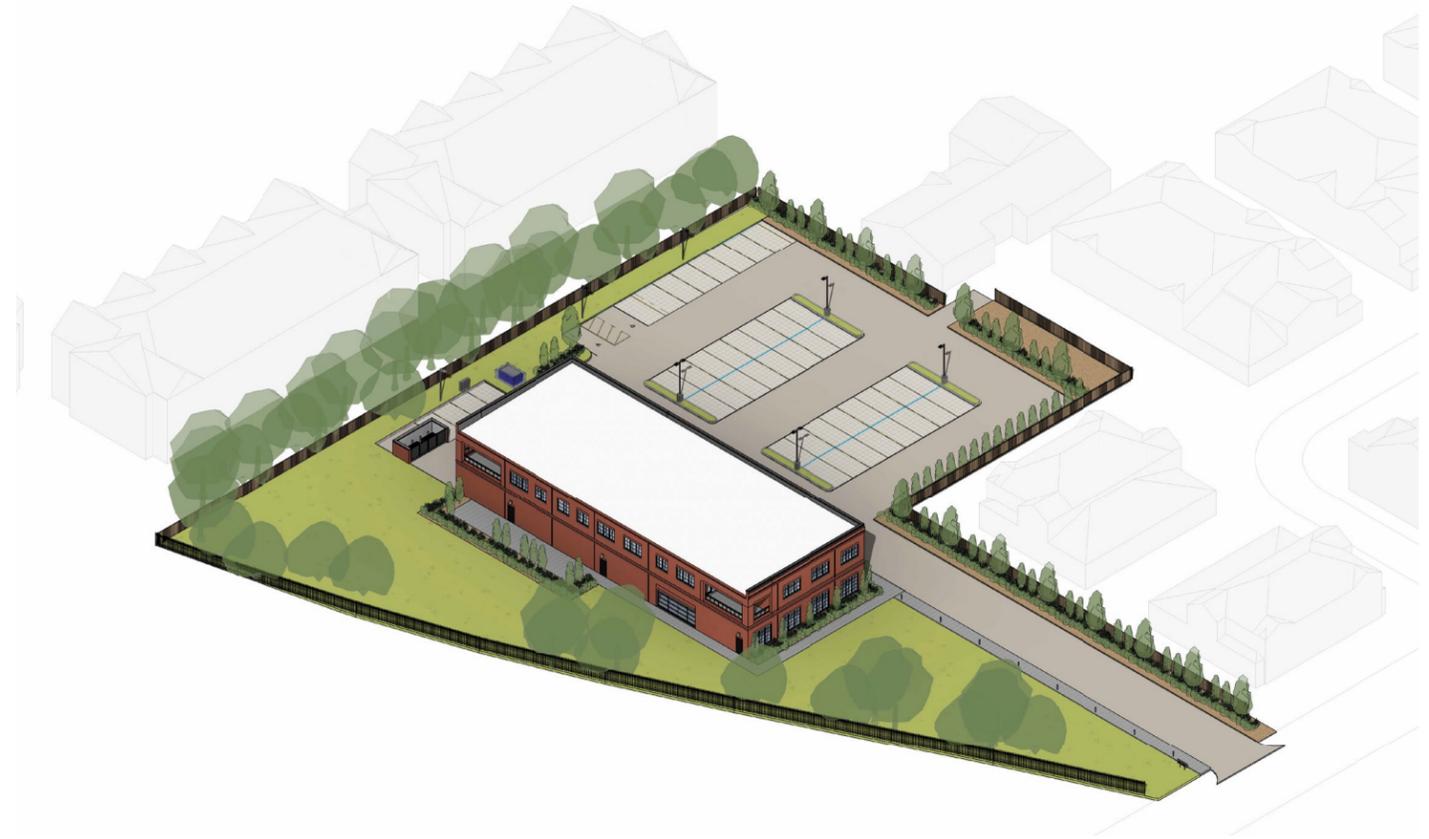


**PROPOSED SITE AXONOMETRIC VIEW**  
nts

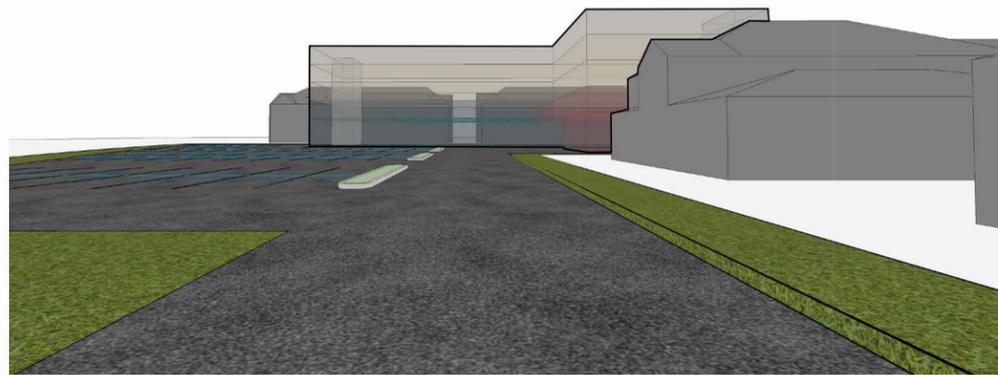
**ZONING COMPARISON**



*ALTERNATIVE DEVELOPMENT  
AXONOMETRIC*



*PROPOSED PROJECT  
AXONOMETRIC*

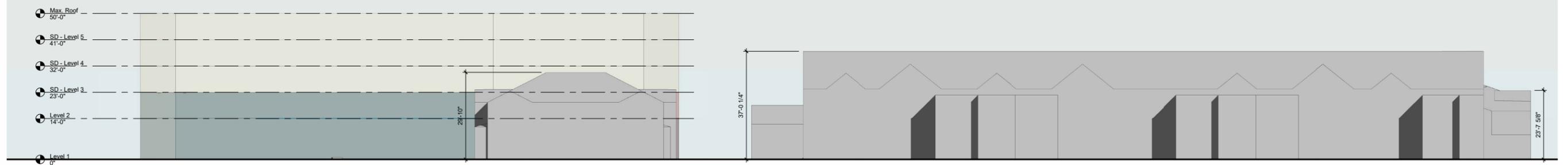
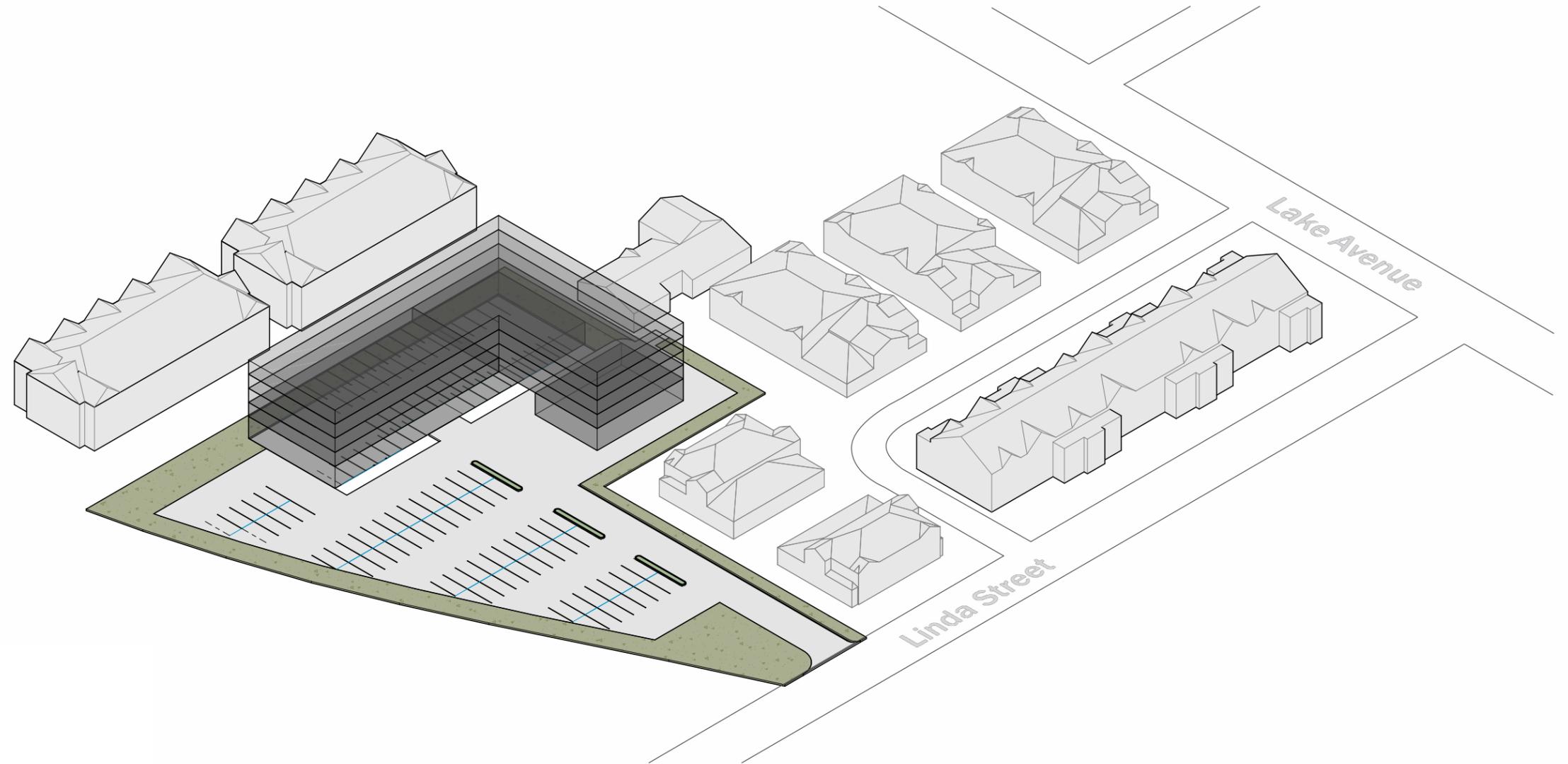


*ALTERNATIVE DEVELOPMENT  
VIEW FROM LINDA STREET*



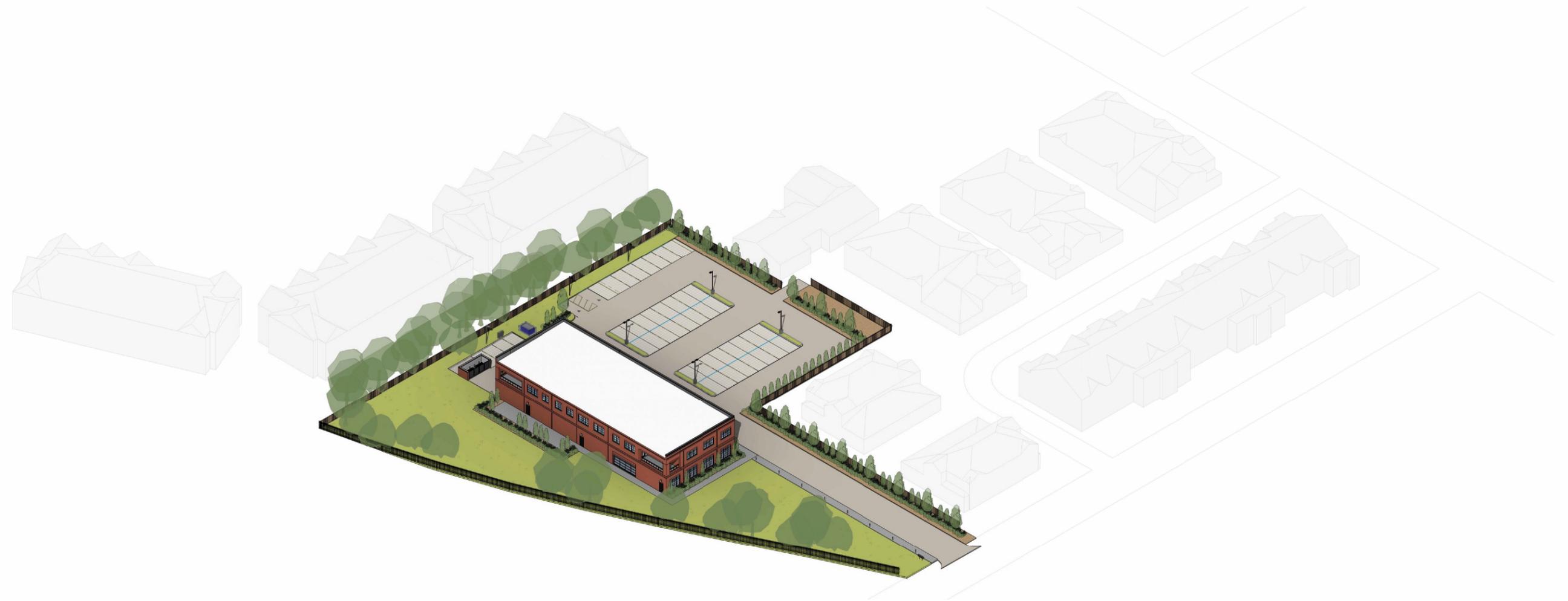
*PROPOSED PROJECT  
VIEW FROM LINDA STREET*

# ALTERNATIVE DEVELOPMENT WITHIN CONTEXT



**STREET ELEVATION**  
1/16" = 1' - 0"

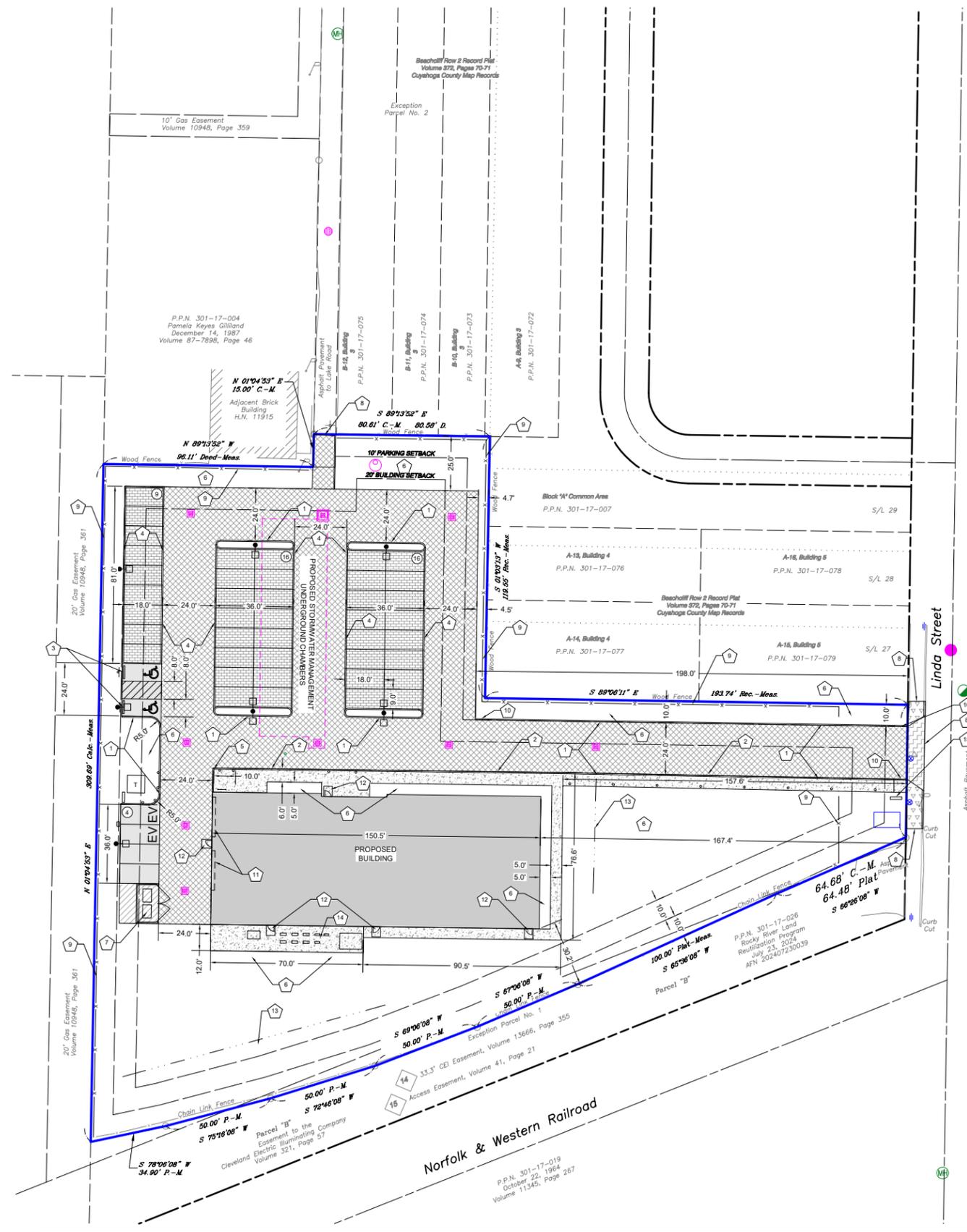
# PROPOSED PROJECT WITHIN CONTEXT



**STREET ELEVATION**  
1/16" = 1' - 0"



# SITE PLAN - CIVIL GEOMETRY PLAN



- KEY NOTES**
- 1 FURNISH AND INSTALL ODOT TYPE 6 CONCRETE VERTICAL CURB. SEE DETAIL AND SPECIFICATIONS ON SHEET C6-00.
  - 2 FURNISH AND INSTALL INTEGRAL CONCRETE CURB & WALK. SEE DETAIL AND SPECIFICATIONS ON SHEET C6-00.
  - 3 FURNISH AND INSTALL CONCRETE WHEEL STOP. SEE DETAIL AND SPECIFICATIONS ON SHEET C6-00.
  - 4 MAINTAIN FLUSH CURB ALONG PAVEMENT EDGE.
  - 5 ASPHALT FLUSH WITH CURB. SLOPE ASPHALT AT 5.0% FOR 10' TO REVEAL 6" CURB.
  - 6 LANDSCAPE AREA. SEE LANDSCAPE PLAN FOR PLANTING DETAILS AND SPECIFICATIONS.
  - 7 FURNISH AND INSTALL MASONRY TRASH RECEPTACLE. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
  - 8 MEET AND MATCH EXISTING PAVEMENT.
  - 9 PROPOSED 6" WOODEN SHADOW BOX FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
  - 10 FURNISH AND INSTALL CURB HEIGHT TAPER. SEE DETAIL ON SHEET C6-00.
  - 11 PROPOSED OVERHEAD GARAGE DOORS. SEE ARCHITECTURAL PLANS.
  - 12 FURNISH AND INSTALL FROST SLAB. SEE STRUCTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
  - 13 PROPOSED SIWALE.
  - 14 PROPOSED MECHANICAL UTILITY PAD. SEE MECHANICAL PLANS FOR DETAILS AND SPECIFICATIONS.
  - 15 PROPOSED MONUMENT. SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.

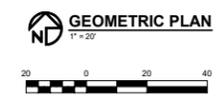
- LEGEND**
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C6-00.
  - PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C6-00.
  - PROPOSED SIDEWALK CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C6-00.
  - PROPOSED DUMPSTER PAD CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET C6-00.
  - PROPOSED HEAVY DUTY CONCRETE PAVEMENT PER CITY OF ROCKY RIVER SPECIFICATIONS.
  - PROPOSED STANDARD DUTY CONCRETE PAVEMENT PER CITY OF ROCKY RIVER SPECIFICATIONS.
  - PROPOSED 4" x 12" UNLOCK ECO-PROMENADE PAVER UNITS. MATCH COLOR TO ROUNDSTONE (WINTER MARVEL COLOR). SEE SHEET C6-00 FOR DETAILS AND SPECIFICATIONS.
  - PROPOSED LIGHT FIXTURE. SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLANS FOR DETAILS AND SPECIFICATIONS.

SITE DATA		
ADDRESS	19911 LAKE ROAD, ROCKY RIVER, OHIO 44116	
ZONING DISTRICT	R5 MULTI FAMILY	
SITE AREA	72032 SF	
CURRENT USE	COMMERCIAL	
PROPOSED USE	RESIDENTIAL	
LOT COVERAGE	PROPOSED BUILDING	9065 SF
	PAVED SURFACES	30976
	TOTAL LOT AREA	40041 SF
	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	50 FT	
FRONT YARD BUILDING SETBACK	25 FT	167 FT
SIDE YARD BUILDING SETBACK	20 FT	30 FT
REAR YARD BUILDING SETBACK	20 FT	53 FT
FRONT YARD PARKING SETBACK	10 FT	222 FT
SIDE YARD PARKING SETBACK	10 FT	10 FT
REAR YARD PARKING SETBACK	10 FT	10 FT



**PROGRESS NOT FOR CONSTRUCTION**  
2/23/2026

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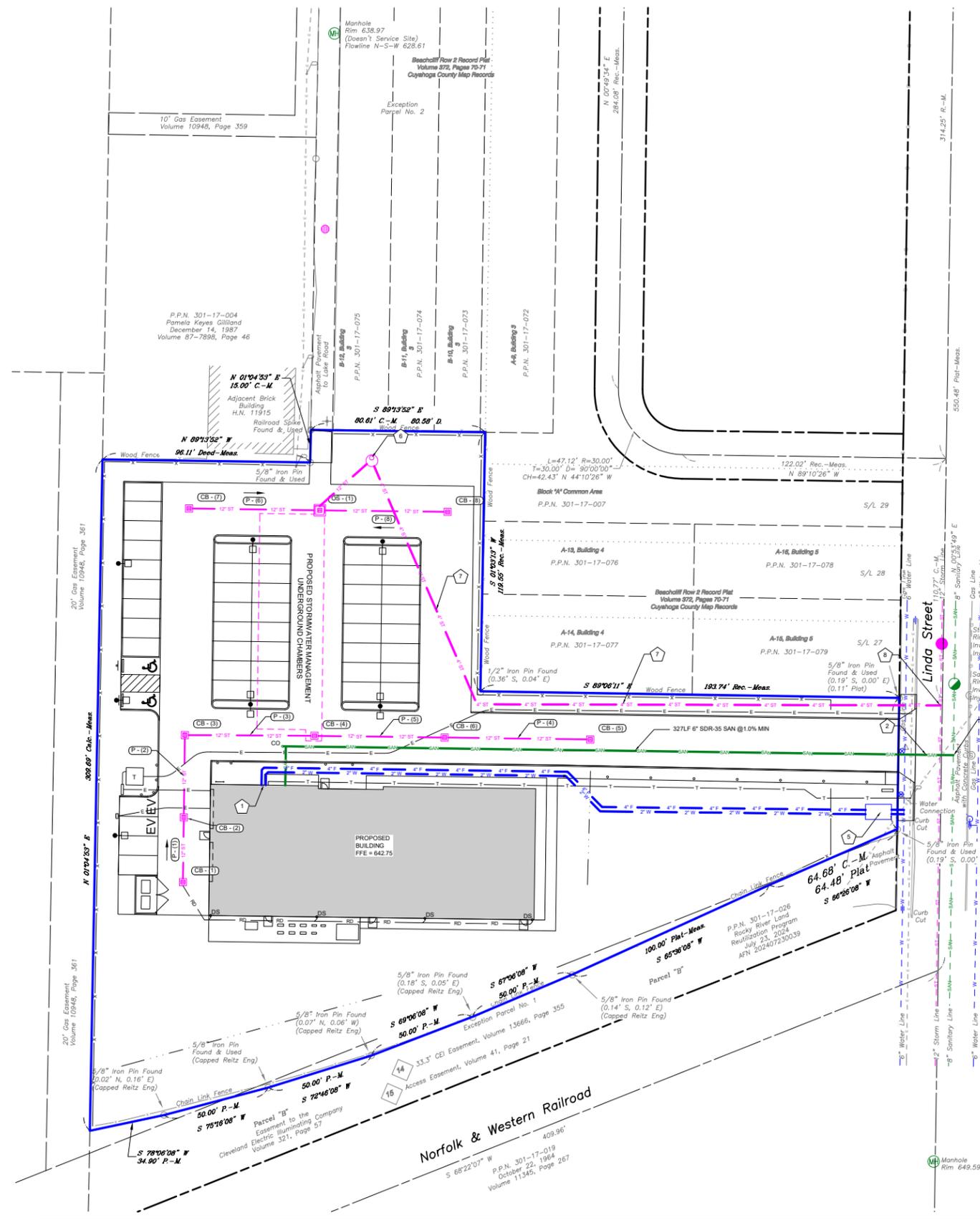
**newbrook PARTNERS**

Issue Description:	Revision Schedule
	F DATE ISSUED

PROJECT #:  
ISSUE DATE:

**C2-00**  
GEOMETRIC PLAN

# SITE PLAN - CIVIL UTILITIES PLAN



### KEY NOTES

- 1 SEE PLUMBING PLAN FOR CONTINUATION OF WATER LINE AND FIRE LINE.
- 2 REMOVE & REPLACE CONCRETE CURBS AND PAVEMENT AS REQUIRED FOR UTILITY TRENCH.
- 3 NOT USED.
- 4 CUT-IN SANITARY SEWER WYE FITTING. CONNECT WYE FITTING TO EXISTING PIPE WITH FERNCO FLEXIBLE RUBBER UNION OR EQUAL.
- 5 FURNISH AND INSTALL WATER METER AND BACK FLOW PREVENTER VAULT.
- 6 FURNISH AND INSTALL DUPLEX PUMP SYSTEM.
- 7 FURNISH AND INSTALL 24" DIA. OF 4" DUCTIFORM LINE TO LINDA TO PUMP STORMWATER.
- 8 FURNISH AND INSTALL FERNCO INSERT-4-TEE AND COUPLINGS OR EQUAL TO THE 4" PIPE TO EXISTING 12" PIPE IN RIGHT-OF-WAY.

### LEGEND

- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING OVERHEAD LINE
- EXISTING SANITARY
- EXISTING STORM
- EXISTING TELEPHONE
- EXISTING WATER
- PROPOSED ELECTRIC. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
- PROPOSED GAS. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.
- PROPOSED SANITARY
- PROPOSED STORM
- PROPOSED STORM ROOF DRAIN
- PROPOSED TELEPHONE/DATA. SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER UTILITY PROVIDER AND/OR TECHNOLOGY DESIGNER.
- PROPOSED WATER LINE.
- PROPOSED LIGHT FIXTURE. SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLANS FOR DETAILS AND SPECIFICATIONS.
- PROPOSED TRANSFORMER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY THE UTILITY PROVIDER AND THE ELECTRICAL ENGINEER. SEE ELECTRICAL SITE PLAN.
- PROPOSED CATCH BASIN (CB) CURB INLET (CI). SEE SHEET C6-01 FOR DETAILS AND SPECIFICATIONS.
- PROPOSED GAS METER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY GAS COMPANY.
- PROPOSED CLEANOUT (CO). SEE SHEET C6-01 FOR DETAILS AND SPECIFICATIONS.
- DOWNSPOUT. SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR FINAL LOCATION AND SIZE.

STRUCTURE TABLE (PROPOSED STORM SEWERS)					
STRUCTURE NAME	STRUCTURE TYPE	DETAILS	COORDINATES	FRAME	GRATE
CB - (1)	ODOT 2-2C CATCH BASIN	RIM = 645.00 INV OUT = 642.45 (12.00" N)	N: 662170.57 E: 2148796.91	EJRW V-5622	TYPE 5250M
CB - (2)	ODOT 2-2C CATCH BASIN	RIM = 645.30 INV IN = 642.75 (12.00" S) INV OUT = 642.75 (12.00" N)	N: 662200.46 E: 2148797.30	EJRW V-5622	TYPE 5250M
CB - (3)	ODOT 2-2C CATCH BASIN	RIM = 645.68 INV IN = 643.13 (12.00" S) INV OUT = 643.13 (12.00" E)	N: 662238.39 E: 2148797.81	EJRW V-5622	TYPE 5250M
CB - (4)	ODOT 2-2C CATCH BASIN	RIM = 646.27 INV IN = 643.72 (12.00" W) INV OUT = 646.58 (12.00" E)	N: 662238.06 E: 2148857.72	EJRW V-5622	TYPE 5250M
CB - (5)	ODOT 2-2C CATCH BASIN	RIM = 646.67 INV OUT = 644.12 (12.00" W)	N: 662236.36 E: 2148865.29	EJRW V-5622	TYPE 5250M
CB - (6)	ODOT 2-2C CATCH BASIN	RIM = 648.03 INV IN = 645.48 (12.00" E) INV OUT = 645.48 (12.00" W)	N: 662237.28 E: 2148917.91	EJRW V-5622	TYPE 5250M
CB - (7)	ODOT 2-2C CATCH BASIN	RIM = 640.34 INV OUT = 634.33 (12.00" E)	N: 662342.96 E: 2148799.71	EJRW V-5622	TYPE 5250M
CB - (8)	ODOT 2-2C CATCH BASIN	RIM = 640.33 INV IN = 633.33 (12.00" W) INV OUT = 633.33 (12.00" E)	N: 662341.37 E: 2148919.26	EJRW V-5622	TYPE 5250M
OS - (1)	ODOT 2-4 CATCH BASIN	RIM = 640.33 INV IN = 633.33 (12.00" W) INV OUT = 633.33 (12.00" E)	N: 662342.10 E: 2148860.19	EJRW 5110	TYPE M3

PIPE TABLE (PROPOSED STORM SEWERS)				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
P - (1)	12"	28 FT	-1.00%	HDPE
P - (2)	12"	36 FT	-1.00%	HDPE
P - (3)	12"	58 FT	-1.00%	HDPE
P - (4)	12"	65 FT	-2.01%	HDPE
P - (5)	12"	59 FT	-1.00%	HDPE
P - (6)	12"	58 FT	1.65%	HDPE
P - (8)	12"	56 FT	1.69%	HDPE



**PROGRESS NOT FOR CONSTRUCTION**  
2/23/2026

**newbrook PARTNERS**

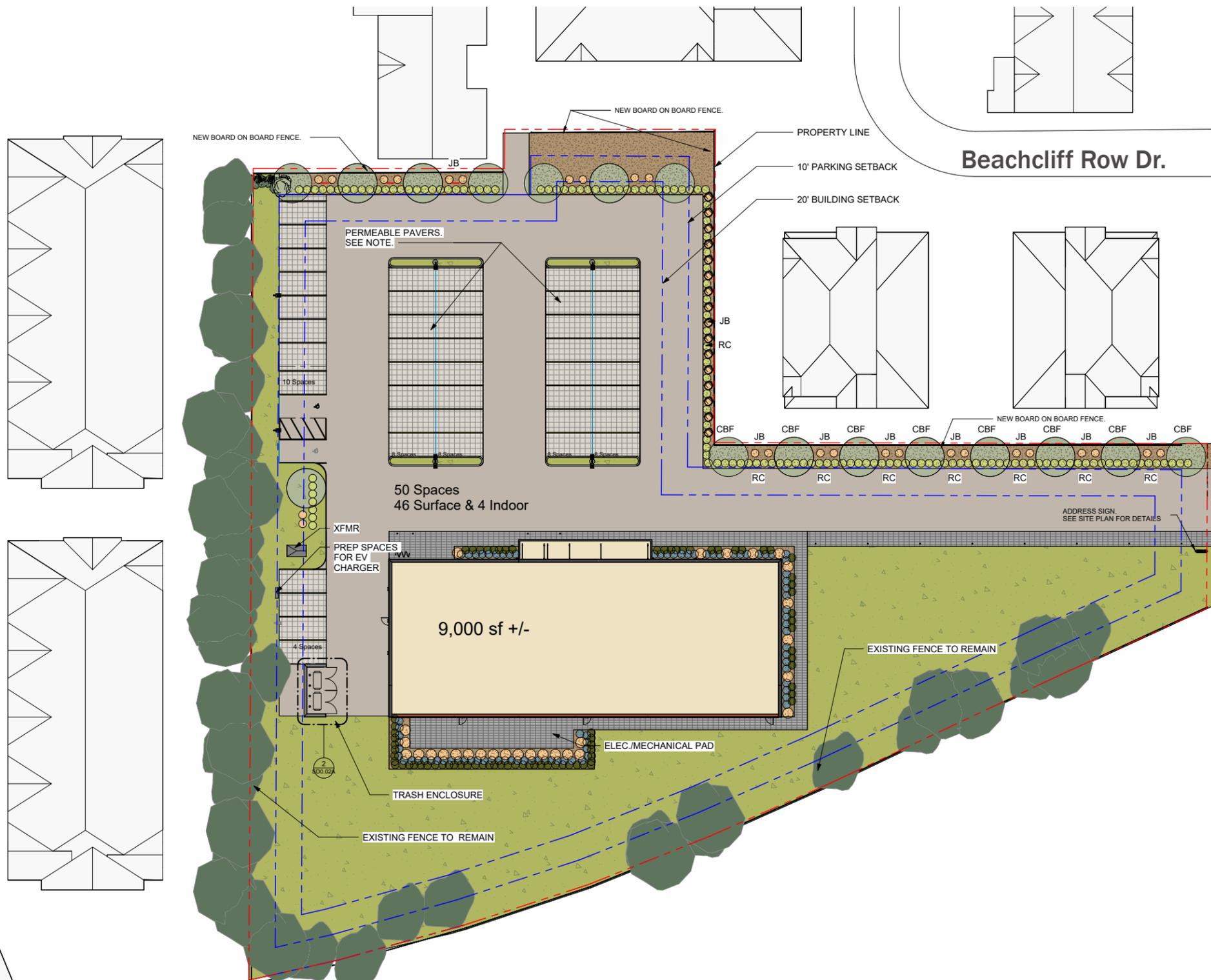
Issue Description:  
Revision Schedule:  
DATE ISSUED

PROJECT #:  
ISSUE DATE:

C4-00

UTILITY PLAN

# SITE PLAN - PROPOSED

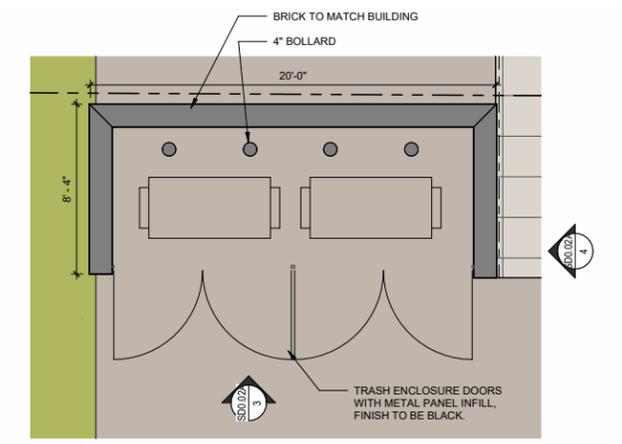


**ARCHITECTURAL SITE PLAN**  
 1" = 40'-0"

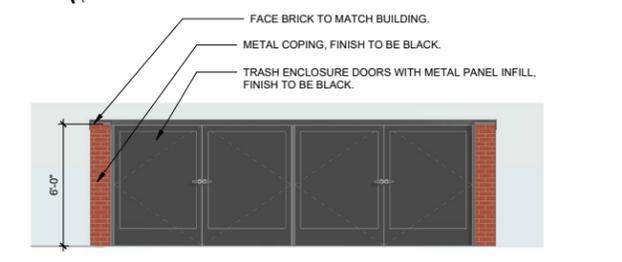


Beachcliff Row Dr.

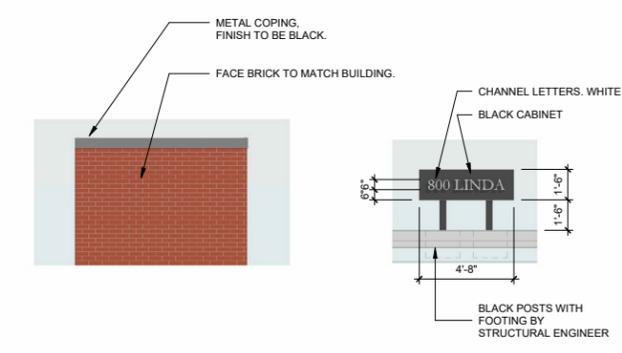
Linda Street



**2 Enlarged Trash Enclosure Plan**



**3 Enlarged Trash Enclosure Elevation**



**4 Enlarged Trash Enclosure Elevation**

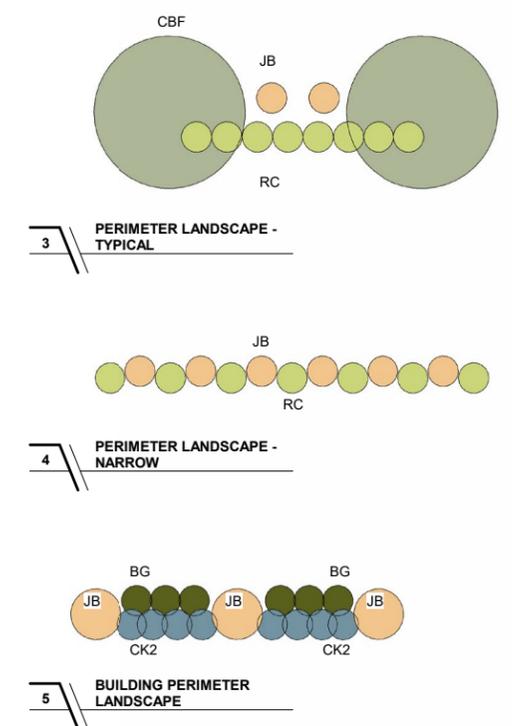
**5 Elevation 1 - d**



**PERMEABLE PAVER ACCENT (SPACES ONLY)**

**PRODUCT MANUFACTURER: UNILOCK**  
**SERIES: ECO PROMENADE**  
**MATERIAL: 4 IN X 12 IN X 10 CM**  
**COLOR BLEND: WINTER MARVEL**  
**OR OWNER APPROVED EQUIVALENT**

# SITE PLAN - LANDSCAPE PLAN



## PLANT SCHEDULE BOTANICAL NAME/ COMMON NAME

- CBF:** CARPINUS BETULUS FRANS FONTAINE  
FRANS FONTAINE HORNBEAM
- JB:** JUNIPERUS SCOPULORUM BLUE ARROW  
BLUE ARROW JUNIPER
- RC:** RIBES ALPINUM COMPACT  
COMPACT ALPINE CURRANT
- BG:** BUXUS X GREEN VELVET  
GREEN VELVET BOXWOOD
- CK2:** CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER  
KARL FOESTER FEATHER REED GRASS



**CBF**



**JB**



**RC**



**BG**



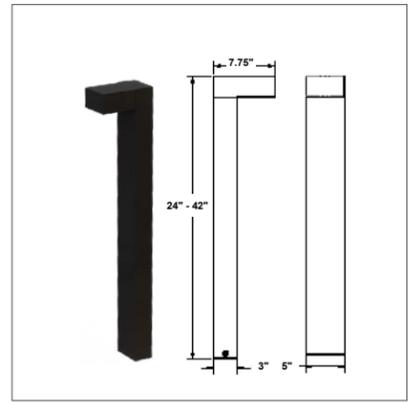
**CK2**

**SITE PLAN - LANDSCAPE**  
1/32" = 1'-0"

# SITE PLAN - LIGHTING PLAN



**SD1 LITHONIA RECESSED CANOPY**



**S2 NLS TRAC BOLLARD 42\"/>**



**SW1 LITHONIA WALL PACK**



**SS1 LUMINIS WALL SCONCE**



**S1,S3,S4 LITHONIA AREA LUMINARE**

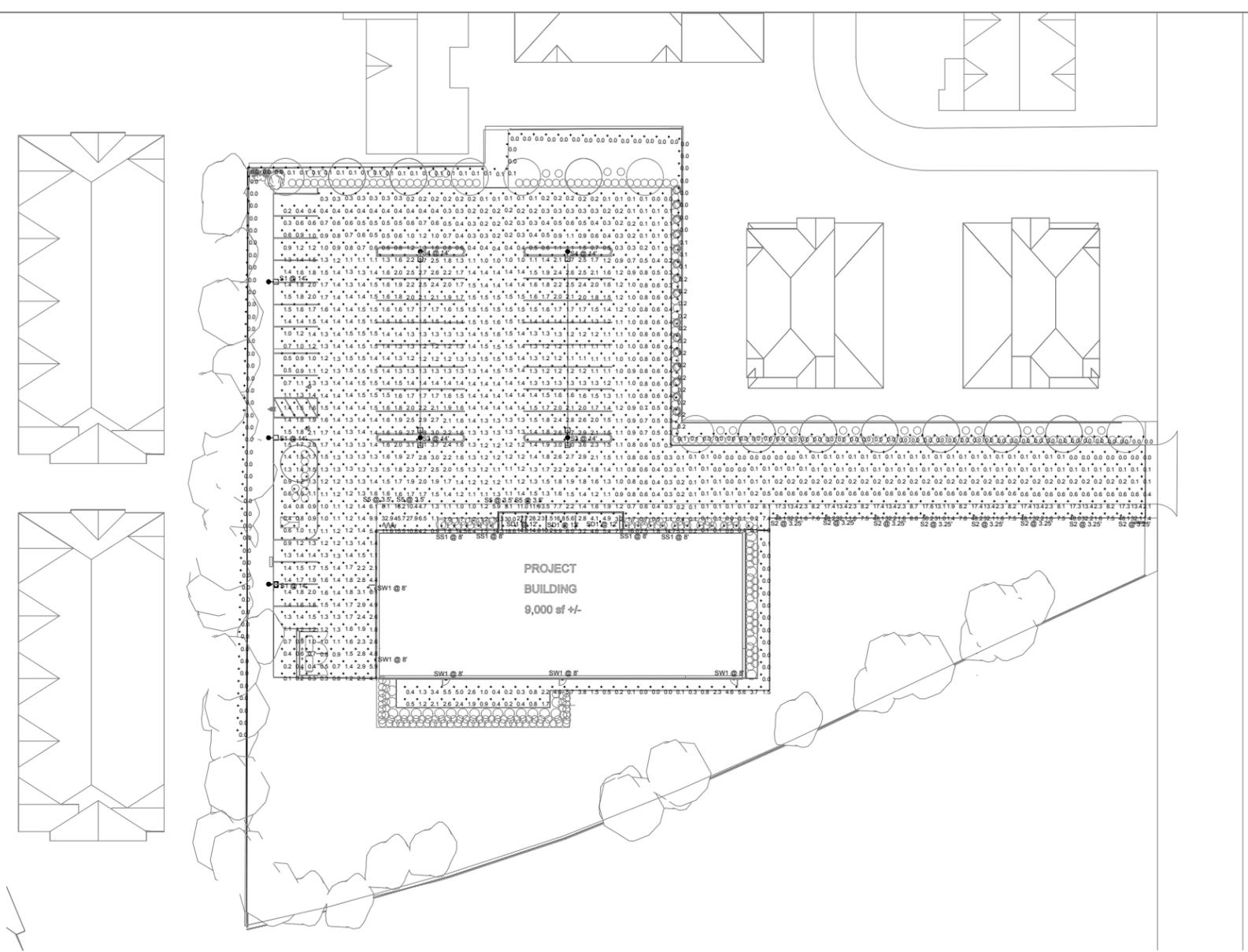
**SITE PLAN - SITE LIGHTING**  
 1/32" = 1'-0"

# SITE PLAN - PHOTOMETRICS PLAN



PROGRESS NOT FOR CONSTRUCTION 2/3/2025

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20 0 20 40 SITE PHOTOMETRIC PLAN T<sub>a</sub> = 20'

Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
○	SD1	5	LDN4 3007 LO4 AR LSS	4IN LDN, 3000K, 750LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	1	741	1	8.6
○	SS1	4	SY300-L1L10-WD-40K	Syrios Round 3	1	844	1	12.5
□	SW1	5	WPX1 LED P1 30K Mvot	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts	1	1537	1	11.49
□	S1	3	DSX0 LED P1 30K 70CRI BLC4	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control	1	3454	0.75	33.21
□	S2	8	TBL-T4-16L-53-30K7	NLS Lighting, 42" Lighted Bollard	1	3019	1	28
□	S3	2	DSX0 LED P1 30K 70CRI TFTM	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Forward Throw	1	4698	0.75	66.42
□	S4	2	DSX0 LED P1 30K 70CRI TFTM	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Forward Throw	1	4698	1	33.21
□	S5	4	TBL-T4-16L-53-30K7	NLS Lighting, 42" Lighted Bollard	1	3019	1	28

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Parking Area & Drive	+	2.3 fc	50.2 fc	0.0 fc	N/A	N/A
Rear/Side Walkway	+	1.4 fc	5.7 fc	0.0 fc	N/A	N/A
West Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

Notes:  
 1. Calculated foot-candle values indicated on plan shown at grade.  
 2. Light fixture data sheets submitted as a separate compiled document.

Luminaire Locations		Location		
No.	Label	X	Y	Z
3	S1	9.37	201.01	14.00
4	S1	9.14	261.69	14.00
1	S2	255.61	166.76	3.25
2	S2	215.61	166.76	3.25
3	S2	265.61	166.76	3.25
4	S2	275.41	166.76	3.25
5	S2	295.60	166.76	3.25
6	S2	315.61	166.76	3.25
7	S2	335.62	166.76	3.25
8	S2	355.61	166.76	3.25
1	S3	130.22	198.18	14.00
	S3-1	130.22	195.89	14.00
2	S3	130.22	200.47	14.00
	S3-1	70.21	198.16	14.00
	S3-1	70.21	195.96	14.00
	S3-2	70.21	200.44	14.00
1	S4	130.18	273.65	14.00
2	S4	70.38	274.00	14.00
1	S5	105.61	170.66	3.50
2	S5	117.95	170.66	3.50
3	S5	55.66	170.66	3.50
4	S5	61.84	170.66	3.50
15	S1	9.21	138.74	14.00
1	SD1	111.43	164.37	12.00
3	SD1	127.50	164.37	12.00
5	SD1	143.51	164.37	12.00
2	SS1	85.08	161.04	8.00
3	SS1	101.43	161.04	8.00
5	SS1	169.85	161.04	8.00
6	SS1	153.51	161.04	8.00
1	SW1	52.11	137.12	8.00
2	SW1	80.75	100.23	8.00
3	SW1	128.16	100.27	8.00
4	SW1	198.02	100.35	8.00
5	SW1	52.11	109.18	8.00

**EXTERIOR LIGHTING CONTROLS**

1. EXTERIOR SIT LIGHTING SHALL BE CONTROLLED TO COMPLY WITH CURRENT ENERGY CODE REQUIREMENTS.  
 Chapter 4 CEI Commercial Energy Efficiency, Ohio Energy Code 2021

C405.2.7 Exterior Lighting Controls  
 Exterior lighting systems shall be provided with controls that comply with Sections C405.2.7.1 through C405.2.7.4.  
 Exceptions:  
 1. Lighting for covered vehicle entrances and exits from buildings and parking structures where required for eye adaptation.  
 2. Lighting controlled from within dwelling units.

C405.2.7.1 Daylight Shutoff  
 Lights shall be automatically turned off when daylight is present and satisfies the lighting needs.

C405.2.7.2 Building Facade and Landscape Lighting  
 Building facade and landscape lighting shall automatically shut off from not later than 1 hour after business closing to not earlier than 1 hour before business opening.

C405.2.7.3 Lighting Setback  
 Lighting that is not controlled in accordance with Section C405.2.7.2 shall comply with the following:  
 1. Be controlled so that the total wattage of such lighting is automatically reduced by not less than 50 percent by selectively switching off or dimming luminaires at one of the following times:  
 1.1 From not later than midnight to not earlier than 6 a.m.  
 1.2 From not later than one hour after business closing to not earlier than one hour before business opening.  
 1.3 During any time where activity has not been detected for 15 minutes or more.

2. Luminaires serving outdoor parking areas and having a rated input wattage of greater than 75 watts and a mounting height of 24 feet (7315 mm) or less above the ground shall be controlled so that the total wattage of such lighting is automatically reduced by not less than 50 percent during any time where activity has not been detected for 15 minutes or more. Not more than 1,500 watts of lighting power shall be controlled together.

C405.2.7.4 Exterior Time-Switch Control Function  
 Time-switch controls for exterior lighting shall comply with the following:  
 1. They shall have a clock capable of being programmed for not fewer than 7 days.  
 2. They shall be capable of being set for seven different day types per week.  
 3. They shall incorporate an automatic holiday setback feature.  
 4. They shall have program backup capabilities that prevent the loss of program and time settings for a period of not less than 10 hours in the event that power is interrupted.

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Issue Description:  
 PLANNING COMMISSION SUBMISSION  
 Revision Schedule  
 # DATE ISSUED

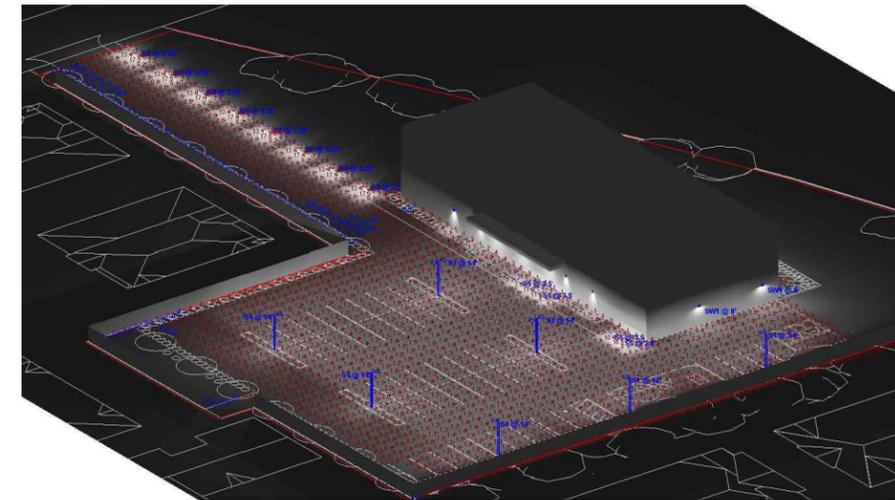
PROJECT #:  
 ISSUE DATE:

SITE PHOTOMETRIC PLAN  
 CE1.00

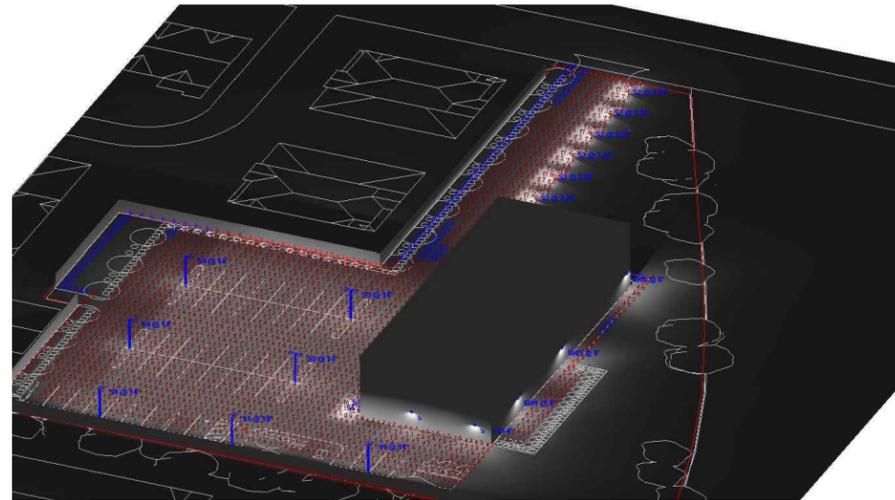
# SITE PLAN - SITE LIGHTING RENDERING



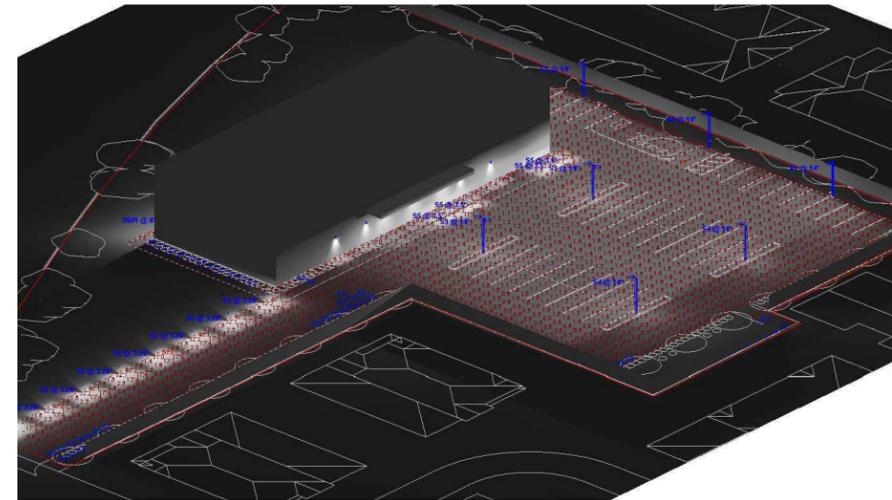
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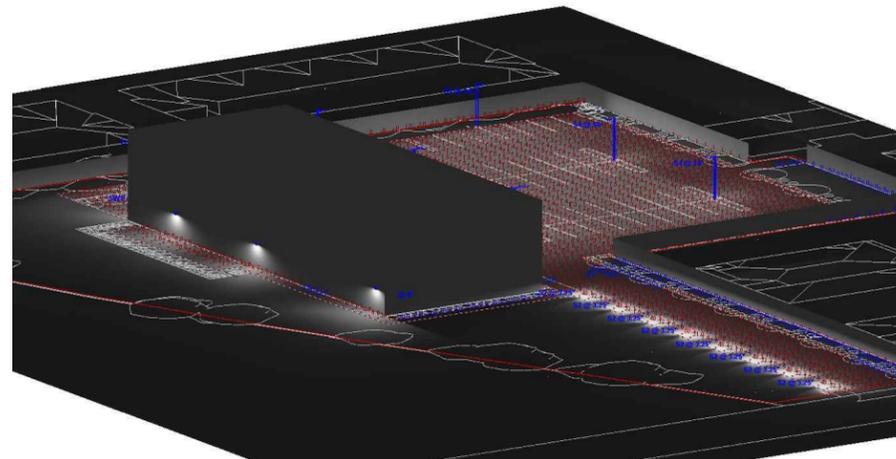
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N.T.S.



**SITE PHOTOMETRIC - NORTHEAST VIEW RENDERING**  
N.T.S.



**SITE PHOTOMETRIC - SOUTHWEST VIEW RENDERING**  
N.T.S.



**SITE PHOTOMETRIC - NORTHWEST VIEW RENDERING**  
N.T.S.



PROGRESS  
NOT FOR  
CONSTRUCTION  
2/3/2026

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PARTNERS

Issue Description:  
**PLANNING COMMISSION  
SUBMISSION**

Revision Schedule

#	DATE	ISSUED

PROJECT #:  
ISSUE DATE:

SITE  
PHOTOMETRIC  
PLAN  
CE1.01



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# FLOOR PLAN - LEVEL 1



## LEVEL 1 FLOOR PLAN

3/32" = 1' - 0"

# FLOOR PLAN - LEVEL 2



**LEVEL 2 FLOOR PLAN**  
3/32" = 1' - 0"

# EXTERIOR ELEVATIONS



**SOUTH ELEVATION**  
1/16" = 1' - 0"



**EAST ELEVATION**  
1/16" = 1' - 0"



**NORTH ELEVATION**  
1/16" = 1' - 0"



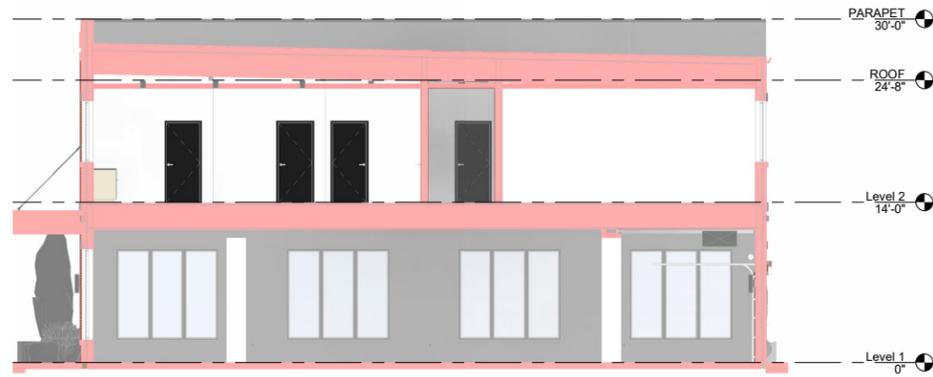
**WEST ELEVATION**  
1/16" = 1' - 0"

Exterior Materials Legend	
 BR-1	<b>Exterior Masonry</b> Modular Brick Rainscreen Facade Manufacturer: Glen-Gery Color: Adrian Texture/Finish: Sand
 BR-2	<b>Exterior Masonry</b> Modular Brick Rainscreen Facade Manufacturer: Glen-Gery Color: Elyria Texture/Finish: Sand
 EC-1	<b>Exterior Cladding</b> Woodgrain Metal Panel (Inside Terrace Face) Manufacturer: Longboard Color: Light National Walnut Texture/Finish: Textured Matte
 MTL-1	<b>Metal Accent Panel</b> Formed Break Metal Manufacturer: tbd Color: Black Texture/Finish: Smooth
 AC-1	<b>Coping/Fascia</b> Aluminum coping Color: To match MTL-1 Texture/Finish: na
 ST-1	<b>Storefront</b> YKK 45 XT Storefront system Texture/Finish: Black Glazing: GL-1
 MTL-2	<b>Standing Seam Metal Panel: Chevron Panel</b> Facade rainscreen on continuous insulation Manufacturer: ATAS Metafor Color: Black Texture/Finish: Smooth
<b>Glazing Legend</b>	
 GL-1	1" (min) Insulating glazing unit (SHGC .41) (U Value .24) Solarban 60 (2) + Clear Low-E IGU or Architect / Owner approved equal

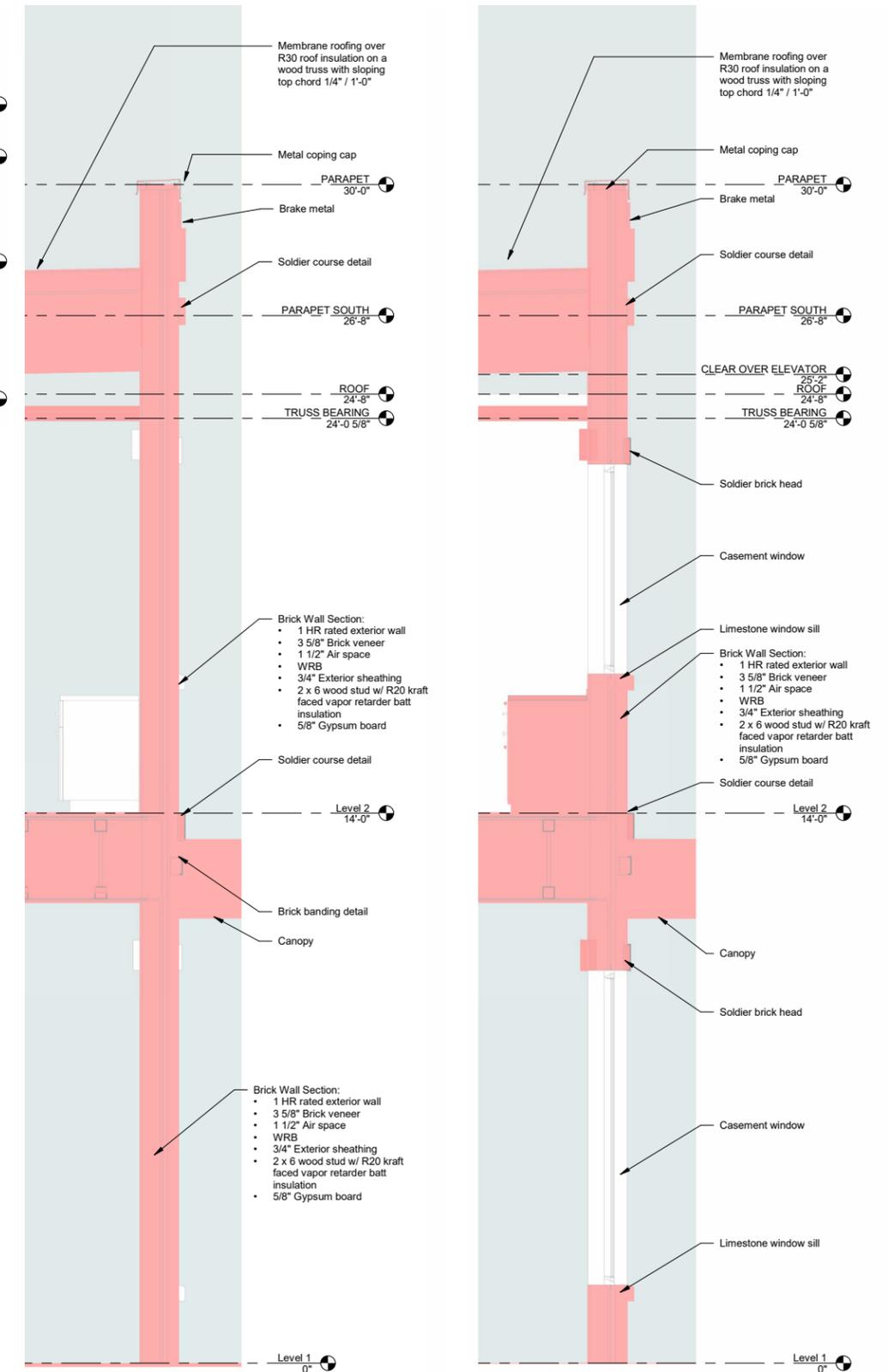
# BUILDING SECTIONS



**E/W BUILDING SECTION**  
1/16" = 1' - 0"



**N/S BUILDING SECTION**  
1/16" = 1' - 0"



**5** Typ. Masonry Wall Section  
1/2" = 1'-0"

**4** Masonry Wall w/ Glazing  
1/2" = 1'-0"

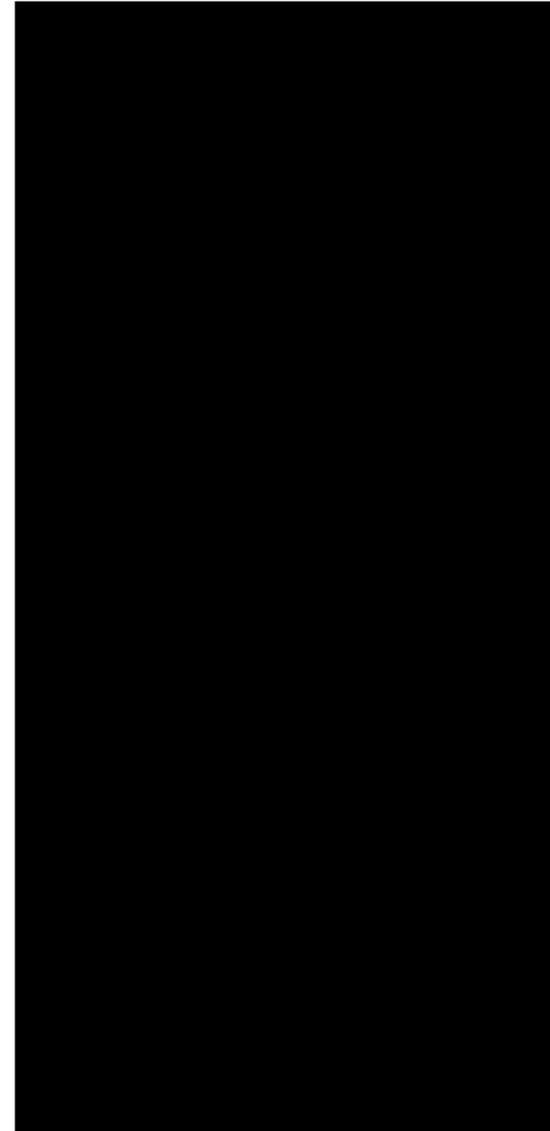
**EXTERIOR MATERIALITY**



*FACE BRICK  
MFR: GLEN GERY  
COLOR: ADRIAN*



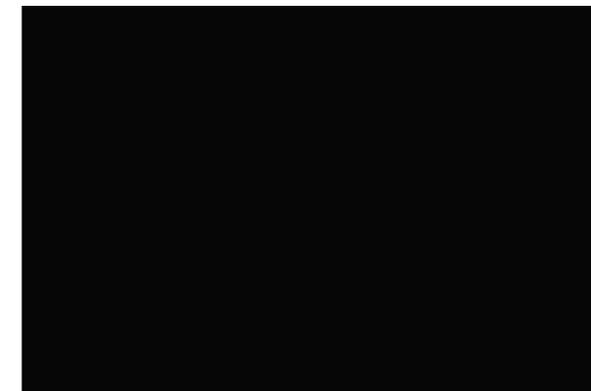
*FACE BRICK  
MFR: GLEN GERY  
COLOR: ELYRIA*



*ACCENT METAL  
MFR: TBD  
COLOR: BLACK*



*METAL PANEL  
MFR: ATAS METAA-  
FOR  
COLOR: BLACK*



*STOREFRONT YT45  
MFR: YKK  
COLOR: BLACK*

## EXTERIOR RENDERINGS



## EXTERIOR RENDERINGS



## EXTERIOR RENDERINGS



## EXTERIOR RENDERINGS



## EXTERIOR RENDERINGS



